



**NSLPP MEETING HELD ON 01/06/2022**

**Attachments:**

1. Site Plan
  2. Architectural and Landscape Plans
  3. Geotechnical Report
  4. Structural Report
- Clause 4.6 Written Request

**ADDRESS/WARD:** 1 Warung Street, McMahons Point

**APPLICATION No:** DA 379/21

**PROPOSAL:** Partial demolition of existing residential flat building, construction of below ground basement and reconstructed and new apartment addition above and configuration of remaining apartments.

**PLANS REF:** Architectural Plans, prepared by Squillace, Issue B, Plan No's DA 001- DA-800, dated 28 March 2022.  
Stormwater Plans, prepared by Jones Nicholson Pty Ltd, Issue 3, Plan No's C001 – C401, dated 30 August 2021.  
Landscape Plans, prepared by Conzept Landscape Architects, Revision B, Plan No's LPDA-22-79, Sheets 1-4, dated 1 April 2022.

**OWNERS:** T Paradisis, D J Collins, L Kingsborough McNeill, C B Dettmann, D Brutans, L B Conway-Hunt, F Marks, P B Seddon

**APPLICANT:** T Paradisis

**AUTHOR:** Miguel Rivera, Senior Assessment Officer

**DATE OF REPORT:** 21 May 2022

**DATE LODGED:** 9 November 2021

**RECOMMENDATION:** Refusal

---

## EXECUTIVE SUMMARY

The Applicant seeks development consent from the North Sydney Local Planning Panel (NSLPP) for partial demolition of existing residential flat building, excavation and construction of basement, new basement entry from Henry Lawson Avenue and construction of a new apartment additions above, and substantial alterations of remaining apartments on land identified as No 1 Warung Street, McMahons Point.

**The application is required to be reported to the NSLPP for determination, as directed by the Minister of Planning, as the development application has attracted 10 or more unique submissions by way of objection; involves a departure from a development standard that is greater than 10%; and is considered sensitive development which State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65) applies.**

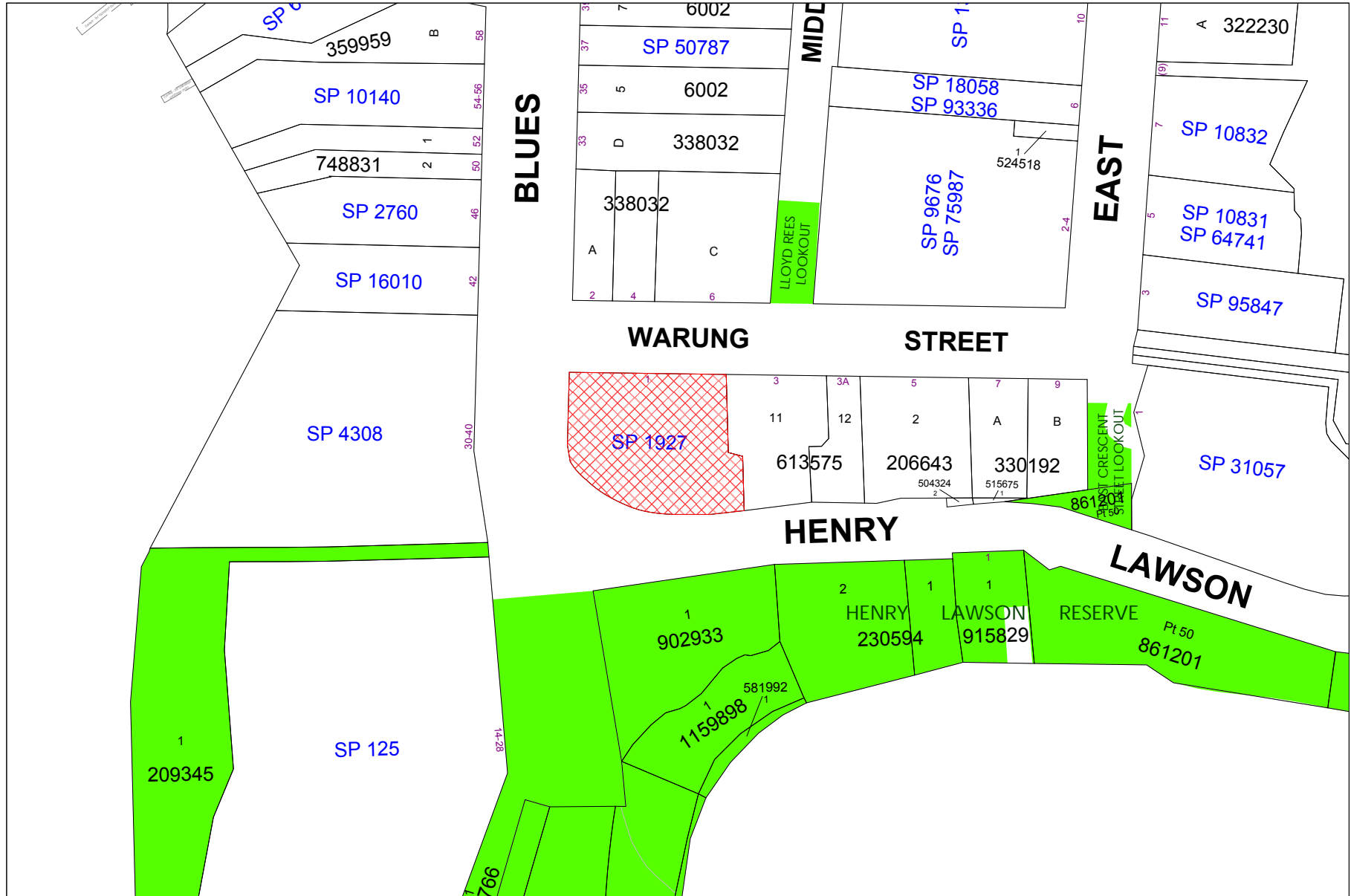
Council's notification of the original plans has attracted a total of eleven (11) submissions from eight (8) individual addresses and the Lavender Bay Precinct Committee and Union Precinct Committee, raising concerns regarding impacts on the sandstone cutting to Henry Lawson Avenue, breach to maximum building height, bulk and scale, impacts associated with traffic, safety, amenity, view loss, privacy and solar access, loss of landscaped areas, excavation, uncharacteristic built form, and impacts on the heritage conservation area. Amended plans illustrating a revised scheme were re-notified in April 2022, which attracted a further eight (8) submissions from four (4) individual addresses and the Lavender Bay Precinct Committee.

The development application was assessed against relevant State Planning Policies such as SEPP 65, as well as Council policies including the North Sydney Local Environmental Plan 2013 (NSLEP 2013) and North Sydney Development Control Plan 2013 (NSDCP 2013). Having regard for the context of the site and the applicable environmental planning controls the proposed development will result in an undesirable and unacceptable design and planning outcome that fails to appropriately respond to the site's unique constraints, context and setting. The proposed development is regarded as in-fill development that would not contribute positively to the streetscape, conservation area, foreshore zone and public domain and is a clear reflection that the site is not suitable for the development as proposed. This is further demonstrated by the excess bulk and scale, poor aesthetic and architectural expression, significant adverse impacts on heritage and streetscape and the lack of residential amenity attributed to the scheme.

The application involves a non-compliance to the maximum height of buildings development standard (8.5m) under Clause 4.3 of NSLEP 2013 as the proposal features a building height of 11.7m above natural ground level. This represents a departure of 3.2m or 38% from the development standard. The Applicant submitted a written request pursuant to Clause 4.6 of the NSLEP 2013. The request is not supported as insufficient planning grounds were provided and the included information failed to demonstrate that compliance with this development standard is unreasonable or unnecessary.

The assessment of the proposed development considered the concerns raised in the submissions and its performance against Council's planning requirements. Following this assessment and having regard to the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), the application is recommended for refusal given the proposal's failure to achieve compliance to and consistency with critical objectives, provisions and controls under the SEPP 65 and Council policy.

**LOCATION MAP**



Property/Applicant    ● Submitters - Properties Notified

## **DESCRIPTION OF PROPOSAL**

The proposal before the Panel is for partial demolition of existing residential flat building, excavation and construction of basement, new basement entry from Henry Lawson Avenue and construction of a new apartment additions above, and substantial alterations of remaining apartments at No. 1 Warung Street, McMahons Point. The residential flat building will comprise of nine (9) residential units, which is a reduced from the current yield of twelve (12) units. It is noted that the original proposal consisted of ten (10) residential units. The final scheme has a reduced number of units and a modified layout of each level in the building. The general building footprint of both basement level and building remained unchanged between both revisions.

Specifically, the proposed development involves the following elements:

### Tree removal:

- Removal of seven (7) trees within the subject site.

### Demolition:

- Demolition of eastern portion of residential flat building – resulting in the removal of three (3) apartments and nine (9) undercroft parking spaces; and
- Demolition of internal and external components within the building including walls, stairs, balconies, windows and doors.

### Construction:

- Excavation works and demolition of an existing sandstone rock wall to facilitate a single basement level and opening for vehicular access to the basement. The basement level will comprise of twelve (12) car spaces arranged in car stackers, five (5) bike/storage cages, stairwell and lift to access upper levels and turntable and vehicular access areas;
- Re-construction and extension of the eastern portion of the building and alterations and additions to remaining building to create:
  - Lower ground floor (Lower Ground Level) containing a 3-bedroom + study unit (adaptable), four (4) bike/storage cages, service rooms, garage room, communal open space with undercover area and two (2) retained car spaces, a single visitor car space/car wash bay;
  - Ground floor (Ground Floor Level) containing a 2-bedroom unit, a 2-bedroom + study unit and a 3-bedroom + study unit (adaptable);
  - First floor (Level 1) containing a 2-bedroom + study unit, a 3-bedroom unit and a double storey 3-bedroom + study unit;
  - Second floor (Level 2) containing the upper level of the 3-bedroom + study unit (at the level below), a 2-bedroom + study unit and a 3-bedroom + study unit; and
- Retention of existing roof and construction of a flat roof for the new and re-built eastern portions.

### Ancillary and external works:

- Installation of skylights, pebbled areas and solar panels on roof;
- Works for new stormwater management system including drains, pipes and other components to distribute runoff to existing infrastructure within Henry Lawson Avenue road reserve; and
- Associated landscaping works including garden beds, plantings on top of rock wall addressing Henry Lawson Avenue, Blues Point Road and , open atrium within ground floor of dwelling house and roof garden above garage.

A site analysis plan, demolition plans, floor plans, roof plan, elevations, section basement details and photomontages are shown in Figures 1 to 19 below.



Figure 1: Site analysis plan



Figure 2: Demolition plan – existing lower ground floor



Figure 3: Demolition plan – existing ground floor

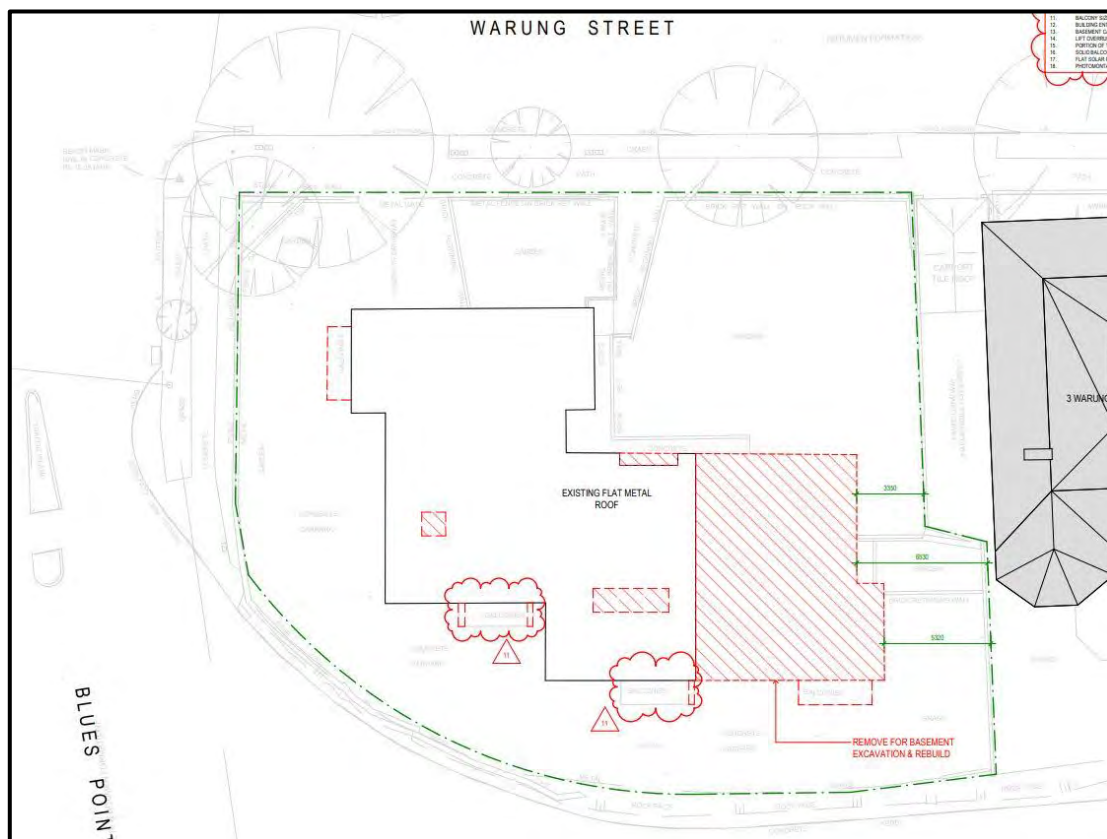


Figure 4: Demolition plan – existing roof

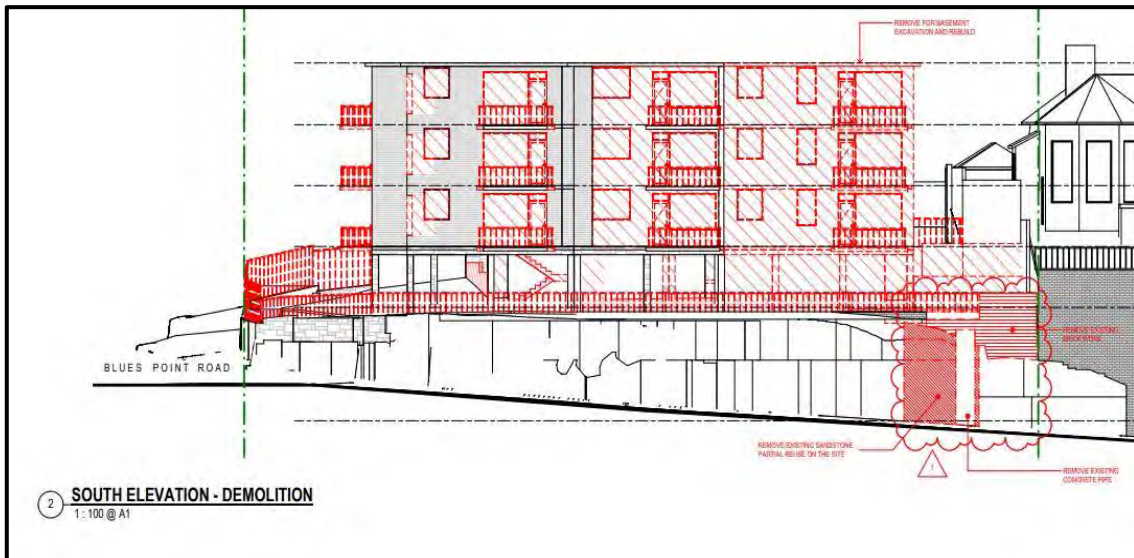


Figure 5: Demolition plan – south elevation

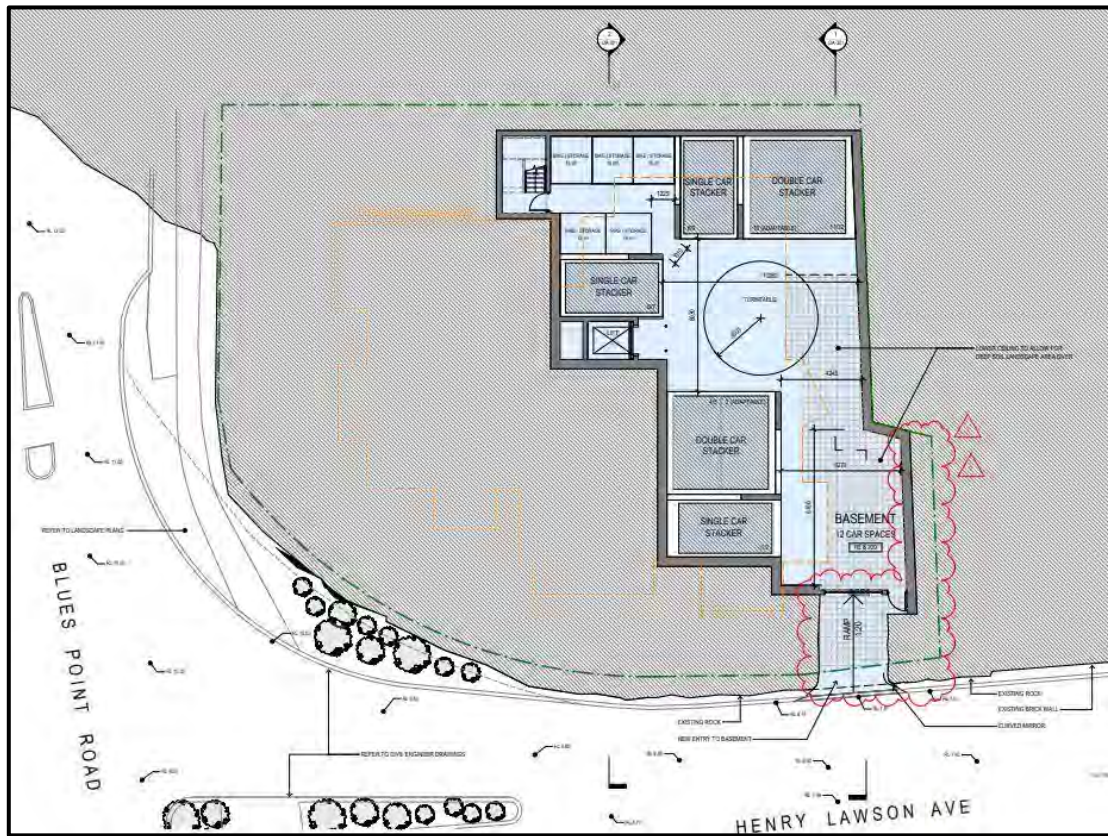


Figure 6: Basement plan

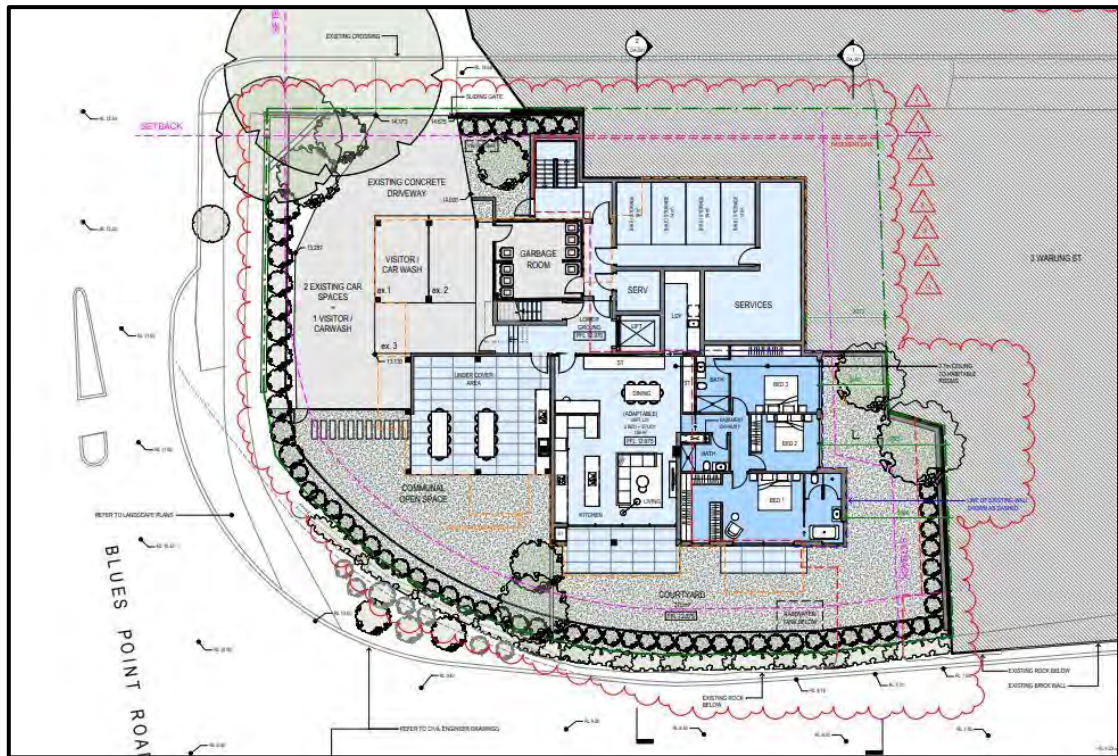


Figure 7: Lower ground floor plan



Figure 8: Ground floor plan





Figure 9: First floor (Level 1) plan



Figure 10: Second floor (Level 2) plan



Figure 11: Roof plan

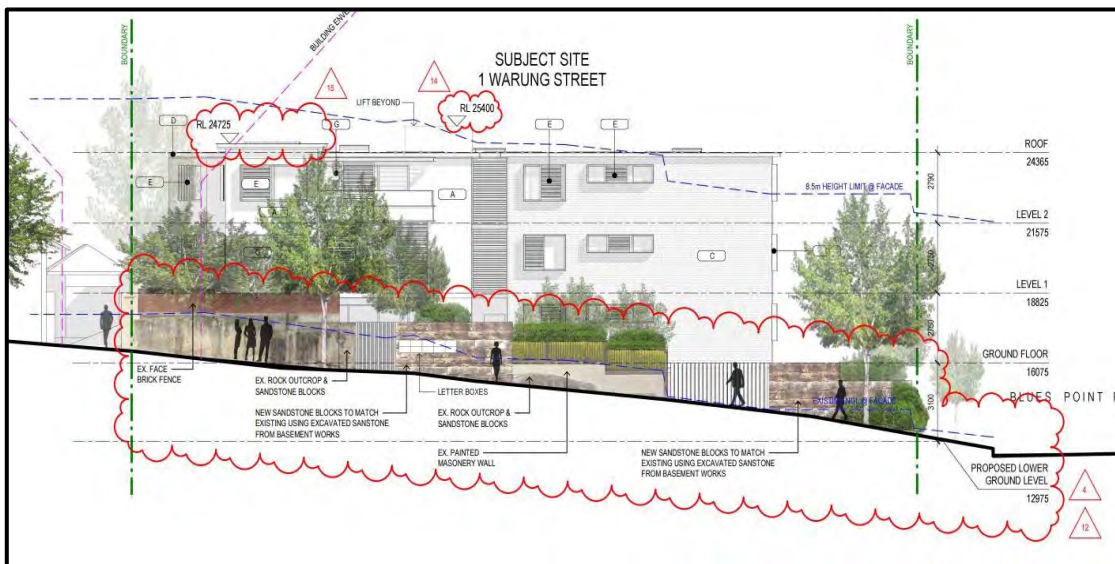


Figure 12: Northern elevation

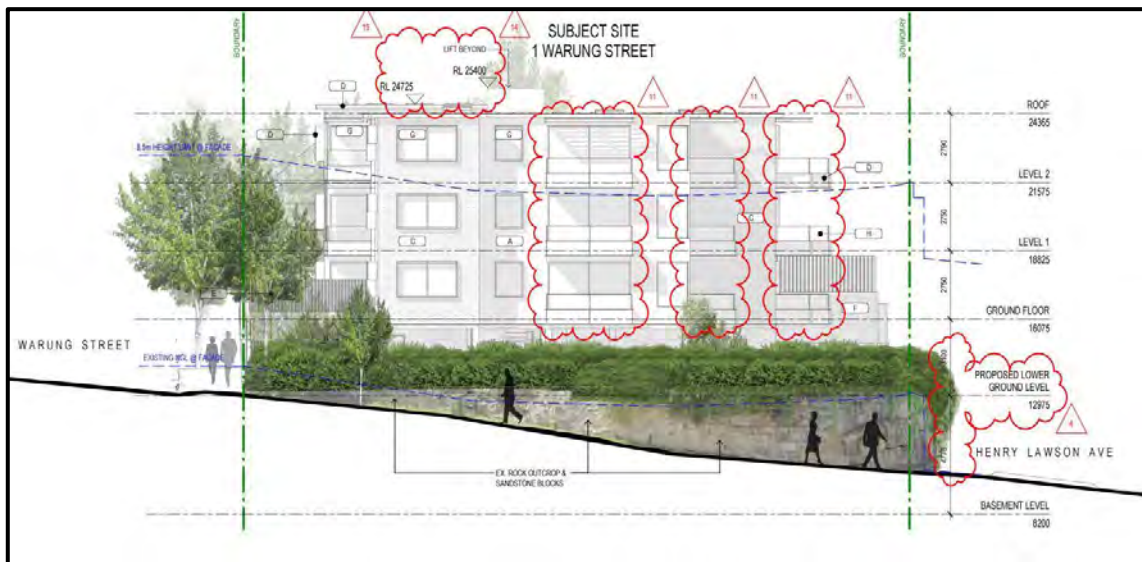


Figure 13: Western elevation

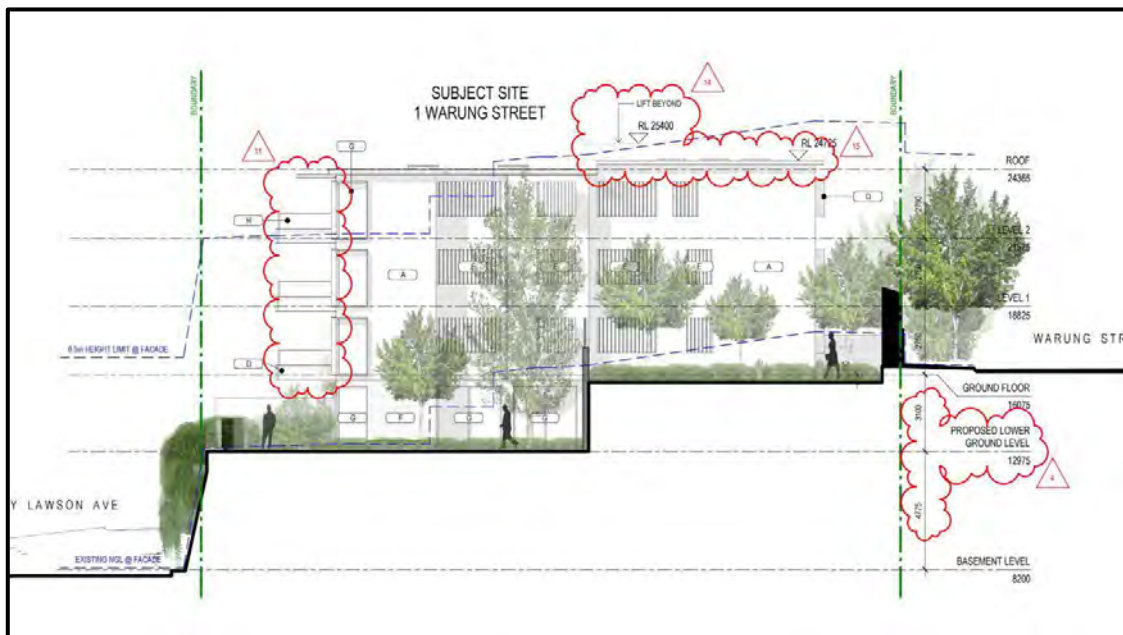


Figure 14: Eastern elevation

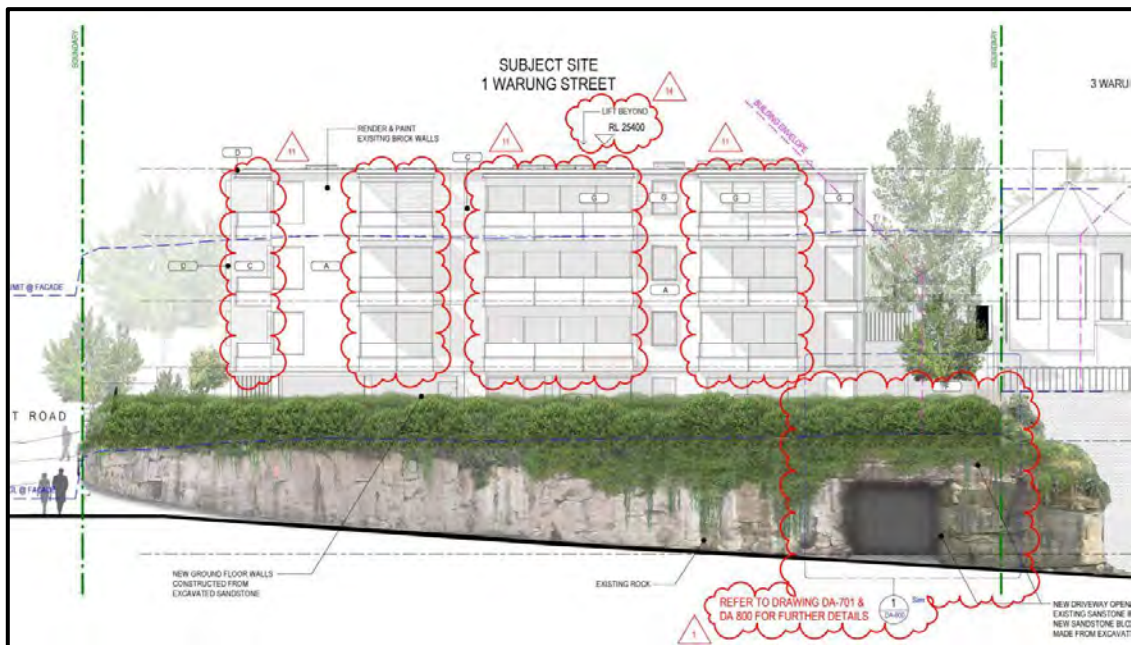


Figure 15: Southern elevation

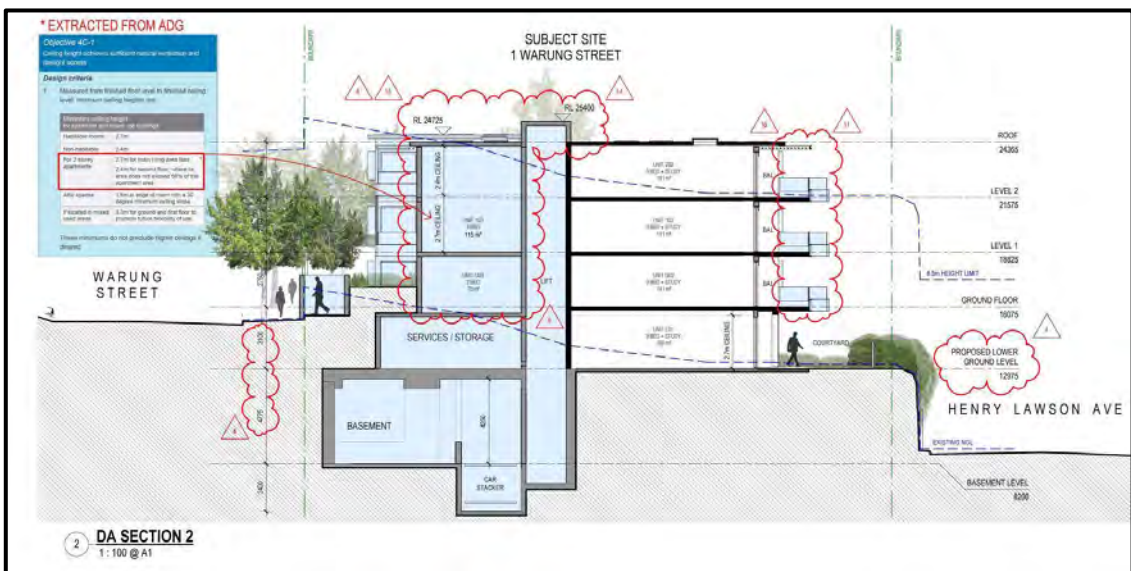
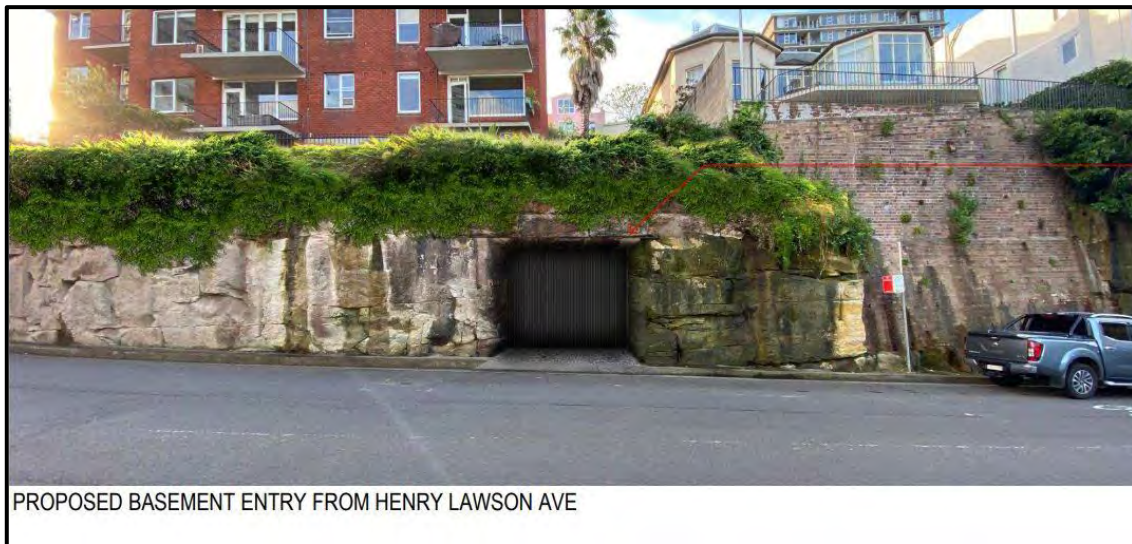


Figure 16: Section



Figure 17: Basement details



PROPOSED BASEMENT ENTRY FROM HENRY LAWSON AVE

**Figure 18: Photomontage – basement entry**



PROPOSED VIEW FROM BLUES POINT ROAD

**Figure 19: Photomontage – proposed development (view from Blues Point Road)**

## STATUTORY CONTROLS

*Environmental Planning and Assessment Act 1979* (as amended)  
Environmental Planning and Assessment Regulation 2021

North Sydney Local Environmental Plan 2013 (NSLEP 2013):

- Zoning – R3 – Medium Density Residential
- Clause 5.6 – Architectural roof features – No
- Clause 5.7 – Development below mean high water mark – No
- Clause 5.10 – Heritage conservation:
  - Item of heritage – No

- In vicinity of heritage item – Yes, adjoins No. 3 Warung Street (IO515)
- Conservation area – Yes, noted as an uncharacteristic item in McMahons Point South (CA14)
- Clause 6.9 – Limited development in foreshore area – No
- Clause 6.10 – Earthworks – Yes
- Clause 6.12 – Residential flat buildings – No, not on land zoned R4

State and regional environmental planning policies:

- State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development (SEPP 65)
- SEPP (Transport and Infrastructure) 2021
- SEPP (Biodiversity and Conservation) 2021
- SEPP (Resilience and Hazards) 2021
- SEPP (Building Sustainability Index: BASIX) 2004

## **POLICY CONTROLS**

North Sydney Local Infrastructure Contributions Plan  
North Sydney Development Control Plan 2013 (NSDCP 2013)  
Sydney Harbour Foreshores and Waterways Area DCP 2005

## **DESCRIPTION OF LOCALITY**

The subject site is commonly identified as No. 1 Warung Street, McMahons Point, and is legally described as SP 1927. It is an irregular shaped allotment, located on a prominent corner with Warung Street, Blues Point Road and Henry Lawson Avenue bordering its northern, western and southern boundaries (refer to Figures 20 and 21). The site has a north-south orientation, a 33.53m wide frontage (addressing Warung Street), a 19.178m wide secondary frontage (addressing Blues Point Road) and a 32.59m wide splayed boundary (addressing Henry Lawson Avenue). It comprises a total area of 985.4m<sup>2</sup> and features a steep fall of 5m from the north-eastern corner to the south-western corner with a small cliff to the road reserve at Henry Lawson Avenue.

The subject site is predominantly modified and currently occupied by a 3-storey residential flat building containing twelve (12) units and at-grade undercover parking and undercroft service areas arranged in a L-shaped formation (refer to Figures 22 to 32). External of and surrounding the existing building are open areas consisting of internal driveway and paved turning areas, garden beds and grassed lawn areas and pedestrian access paths. The site features a sandstone rock wall that wraps around its northern, southern and western perimeters (refer to Figures 22 to 26 and Figure 32). This wall is a prominent element that is highly visible from public domain and is continued along the eastern extent of Henry Lawson Avenue.



Figure 20: Location plan showing subject site (outlined in blue) and surrounding properties (Source: Spatial Information Exchange Maps)



Figure 21: Aerial photo showing subject site (outlined in yellow) and surrounding properties (Source: Spatial Information Exchange Maps)



**Figure 22: Front of existing residential flat building – viewed from Warung Street**



**Figure 23: Front driveway of existing residential flat building – viewed from Warung Street**





Figure 24: Southern side of existing building and rock wall – viewed from Henry Lawson Avenue



Figure 25: South-western side of existing building and rock wall – viewed from Henry Lawson Avenue



**Figure 26: Western and south-western sides of existing building and rock wall – viewed from Blues Point Road**



**Figure 27: Pedestrian access to front entry of existing building**



**Figure 28: Internal driveway area and undercover parking**



**Figure 29: Southern extent of driveway, turning areas, undercover parking and landscaping**



Figure 30: Eastern view of driveway, turning areas, undercover parking and landscaping



Figure 31: Undercover parking, clothes drying area and landscaping and rear view of No. 3 Warung Street



**Figure 32: Rock wall along western boundary of site**

The immediate locality features a varied low-medium and high density residential-suburban character that is dominated by low-rise apartment buildings, taller and expansive residential flat buildings, and palatial, traditional-style dwelling houses on sloping sites. Many residences overlook Sydney Harbour (including Blues Bay) and have some views and vistas of the harbour and public reserves.

The site is surrounded and adjoined by the following properties:

- Front (north): No. 2 Warung Street (dwelling house), No. 4 Warung Street (dwelling house), No. 6 Warung Street (dwelling house) (refer to Figure 33)
- East-adjointing: No. 3 Warung Street (dwelling house) (refer to Figure 34)
- Secondary front (west): No. 30-40 Blues Point Road (4-storey residential flat building) refer to Figure 35).
- Rear (south): Henry Lawson Reserve (refer to Figures 36 and 37).

A tall, multi-storey residential tower-building (Blues Point Tower) is situated south-west of the site (at No. 14-28 Blues Point Road) and is a highly prominent structure in the vicinity (refer to Figure 38).



**Figure 33: Front of residences at No.'s 2, 4 and 6 Warung Street**



**Figure 34: Front of residence at No. 3 Warung Street**



**Figure 35: Front of 4-storey building at No. 30-40 Blues Point Road**



**Figure 36: Northern boundary of Henry Lawson Reserve showing landscaped traffic island and a bus shelter along Henry Lawson Avenue**



**Figure 37: Southern views of Henry Lawson Reserve and properties at No.'s 1 and 3 Warung Street**



**Figure 38: Blues Point Tower at No. 14-28 Blues Point Road**



## RELEVANT HISTORY

### Pre-lodgement advice

Date	Action
18 January 2021	<p>A Pre-Lodgement Meeting was undertaken via Zoom with the Applicant and Council officers. The minutes of this meeting were distributed to the Applicant on 8 March 2021. The following matters/issues were raised in the meeting and detailed in the minutes:</p> <ul style="list-style-type: none"><li>• Heritage matters such as impacts on conservation area due to partial demolition of rock wall;</li><li>• Engineering issues such as structural stability of rock wall and traffic assessment to considered vehicular safety and manoeuvring;</li><li>• Impacts on the scenic quality of the foreshore;</li><li>• Permissibility of residential flat buildings in the R3 zone and existing use rights;</li><li>• Non-compliance with maximum building height provision under Clause 4.3 of NSLEP 2013;</li><li>• View loss impacts; and</li><li>• Application and consideration of controls under NSDCP 2013.</li></ul>

### **Amendment No. 30 – NSLEP 2013**

On 30 June 2021, Amendment No. 30 of the NSLEP 2013 was endorsed by the NSW Department of Planning and Environment. One of the key amendments in Amendment No. 30 included permissibility of residential flat buildings within the R3 – Medium Density Residential zone. It is noted that the subject application was lodged to Council after 30 June 2021 and accordingly, permissibility and existing use rights are not considered critical issues with regard to the assessment of the proposed development.

It is noted that on 28 March 2022, Council resolved to re-visit the permissibility of residential flat buildings in the R3 – Medium Density Residential zone and to endorse the respective Planning Proposal to be submitted to the Minister for Planning for consideration of gateway determination in accordance with Section 3.34 of the *Environmental Planning and Assessment Act 1979*. This Planning Proposal has been lodged; however, gateway determination has not been issued by the Minister for Planning. Under the current NSLEP 2013, residential flat buildings remain a permissible development in the R3 – Medium Density Residential zone and as such, the application does not rely on the existing use rights or the Incorporated Provisions of the NSW EP&A Regulations 2021 to be considered permissible. The application must be considered against the prevailing development controls otherwise applicable to the R3 (Medium Density Residential) zone, including applicable standards for building height and zone objectives. Any further amendment to the NSLEP 2013 could not; however, be regarded as imminent or certain at this time and any breach to the maximum height of buildings development standard would be subject to consideration under Clause 4.6.

There are no previously lodged development applications for the site that are relevant to the subject application.

**Current Application**

Date	Action
9 November 2021	The subject application was lodged with Council.
26 November 2021	<p>A Stop the Clock (STC) letter was sent to the Applicant via the Planning Portal. The STC letter advised that the following additional information must be submitted to proceed with the assessment:</p> <ul style="list-style-type: none"> <li>• Heritage impact statement;</li> <li>• Elevational shadow diagrams;</li> <li>• Revised schedule of materials and colours; and</li> <li>• Detailed shoring diagrams.</li> </ul>
26 November 2021	<p>The application was notified as per Council’s Community Participation Plan. The notification period ended on 10 December 2021. A total of eleven (11) submissions from eight (8) individual addresses and the Lavender Bay Precinct Committee and Union Precinct Committee, were received during this period.</p>
2, 3, 15 December 2021	<p>The Applicant provided the above additional information via the Planning Portal.</p>
13 December 2021	<p>A site inspection was conducted by Council’s Assessment Officer.</p>
14 December 2021	<p>The Design Excellence Panel (DEP) Meeting was held via Zoom with the DEP, the Applicant and Council. The following matters/issues were raised in the meeting:</p> <ul style="list-style-type: none"> <li>• Context and local character;</li> <li>• Heritage impacts – namely demolition of rock wall;</li> <li>• Built form and scale including height exceedance and extent of excavation;</li> <li>• Sustainability, building performance and adaptability;</li> <li>• Landscape integration;</li> <li>• Building configuration, planning and amenity:               <ul style="list-style-type: none"> <li>○ Ceiling height;</li> <li>○ Building services;</li> <li>○ Building separation;</li> <li>○ Pedestrian entrance;</li> <li>○ Basement stair access;</li> <li>○ Bike parking;</li> <li>○ Roof-top design and materiality – should be high quality;</li> <li>○ Lack of communal open space;</li> <li>○ Excessive car parking ;</li> </ul> </li> <li>• Apartment mix; and</li> <li>• Architectural expression and materiality.</li> </ul>
18 January 2022	<p>The minutes of the meeting were sent to the Applicant via the Planning Portal on 19 January 2022. A summary of the issues raised were also included in a Withdraw/Refuse Letter.</p>
18 January 2022	<p>A Withdraw/Refuse Letter was sent to the Applicant via the Planning Portal. The letter advised the following matters that required addressing:</p>

1 February 2022	<ul style="list-style-type: none"><li>• Matters raised in the DEP Meeting;</li><li>• Traffic and parking issues including use of car stackers and road works – footpath extension and pedestrian island;</li><li>• Waste management and facilities.</li></ul> <p>An informal meeting was held via Microsoft Teams between between the Applicant and Council officers to discuss the matters described in the Withdraw/Refuse Letter.</p>
4 April 2022	<p>The Applicant submitted additional information via the Planning Portal.</p>
21 April 2022	<p>The amended plans were re-notified as per Council’s Community Participation Plan. The notification period ended on 6 May 2022. A total of eight (8) submissions from four (4) individual addresses and the Lavender Bay Precinct Committee, were received during this time.</p>

## INTERNAL REFERRALS

### BUILDING

Council’s Senior Building Surveyor reviewed the application and provided the following commentary with regard to compliance against the relevant requirements under the Building Code of Australia (BCA) (now known as the National Construction Code/NCC):

*The Development Application seeks approval for the partial demolition of an existing residential flat building and construction of new basement level and change to the configuration of all existing units. The building will be classified by the NCC BCA 2019 as a class 2 and 7a building of Type A construction.*

*The development application is supported by a Disability Access Report dated 26 August 2021 prepared by Access Solutions Pty Ltd which concludes that the proposed development can comply with the requirements of the NCC BCA 2019 and Disability (Access to Premises- Buildings) Standards 2010.*

*It should be noted that no BCA Compliance Assessment Report has been provided with the application. It is recommended that a BCA Compliance Assessment Report be provided to ensure no additional works are required that would require any major change to proposed building design or trigger need for a s4.55 Modified Development Application at a later date.*

*Given the scope and scale of the proposed building works upgrade of the existing building pursuant to Clause 94 of the Environmental Planning & Assessment Regulations 2000 is required.*

*A detailed assessment of compliance with the Building Code of Australia 2019 will be undertaken by an appropriately accredited certifier at the Construction Certificate Stage of the proposed development. Additionally, a Fire Safety Schedule is to be prepared by the certifier and accompany the Construction Certificate.*

*It is recommended that standard conditions are imposed.*

**Planning comment:** The above comments are noted and concurred with. Conditions can be imposed to ensure compliance with the relevant building standards.

## ENGINEERING

Council's Development Engineer reviewed the application and the comments made by Council's Traffic and Transport Engineer, and confirmed that no objections were raised with regard to the proposed vehicular access and parking, and stormwater management system, subject to the imposition of recommended conditions.

**Planning comment:** The above comments are noted and concurred with. The recommended conditions could be imposed and included in any development consent.

## HERITAGE

Council's Heritage Planner reviewed the application and provided the following advice:

*"The site is occupied by a free standing 1960s walk-up residential flat building with red textured face brick containing three storeys above an open car park. The building occupies a prominent and highly visible location and is orientated to take advantage of harbour views. It is set within a highly significant heritage context and is directly adjacent heritage item 3 Warung Street.*

*The construction of 1 Warung Street is generally in the same timeline as the nearby residential flat buildings at Blues Point Tower and 30-40 Blues Point Road (see descriptions above). All three buildings have distinctive but different forms and are built outside the key development period of the McMahons Point conservation area. Their typology as residential flat buildings represent the larger scale, higher density development from the mid-20th century expressing the evolving built history of the McMahons Point South Conservation Area*

*The subject development application is for alterations and additions to the existing building and not for the construction of a new replacement building. The assessment of the proposed development is therefore, guided by heritage conservation area provisions in NDCP 2013 Part B.*

*Whilst the proposed treatment of the existing building does upgrade/refresh the appearance of the building and noting that it is built in the same era as Blues Point Tower and 30-40 Blues Point Road to the west, collectively expressing the evolving built history of the McMahons Point South Conservation Area, it does not overcome the potential reason for the buildings' classification as an uncharacteristic item. A preliminary assessment as to the uncharacteristic status of the building is likely to be:*

- *its bulk and scale adjacent to the heritage item group along Warung Street, and in relation to which the description of the heritage group as provided in the SHI sheet states that the view is spoilt by the Flats at No.1;*
- *the prominent and highly visible location of the site; and*
- *that the subject site does not form part of any significant view setting in relation to the heritage items in the vicinity of the site.*

*As an uncharacteristic building the key emphasis of any future works is to encourage an improved outcome by incorporating changes to improve the contextual design and visual impact on the site generally and on the setting of the nearby heritage items adjacent to the site and with the objective being to reclassify the building from “uncharacteristic” to “neutral or even “contributory”. The limitations of working with the existing building in terms of its form, massing and scale does not achieve this.*

*The creation of a vehicular access off Henry Lawson Avenue is not supported on heritage grounds for its physical and visual impact on the rocky outcrop and in relation to the landscape setting with Henry Lawson Reserve. It is disruptive to the scenic and environmental qualities of the site and its proximity to Henry Lawson Reserve and will adversely impact on the historical evidence of the man-made wall that follows the line of the tramline that once serviced the area. The man-made sandstone wall to the northern side of Henry Lawson Avenue is important to the setting of the buildings above it. The wall was created by cutting into the natural stone as part of the construction of a tramline in 1909. Whilst it has undergone alteration in the past and has been repaired and/or altered, it traces the former tramline which closed in 1932. The cut was made in 1909 to accommodate the tram line from McMahan’s Point to Chatswood and Lane Cove and was the principal car ferry service from the North Shore to Dawes Point. It gave residents from these suburbs and locations along the line direct access to a cross harbour ferry. Cliff Avenue (and earlier known as Cliff Lane as referenced in the 1890 waterboard plan) and was renamed to Henry Lawson Avenue in 1967 in the year of the centenary of Henry Lawsons birth. [Ref p5-7 of HIS 1 Warung Street Weir Philips Heritage and Planning December 2021].*

*Although identified as an uncharacteristic item, the building is typical of its era and retains its original character. As such, the changes should be cognisant of its original design. The pre-da advice sought to achieve a lightweight/floating character for the balconies similar to the existing and with a similar, albeit updated balustrade design discernible as a contemporary overlay to the existing building. Despite the ‘invigorated’ appearance of the building, the limitations set by the form of the existing typical 1960s walk-up design do not mitigate the impact on the heritage setting/context of the subject site. The net outcome is that the existing building on the site is larger.*

*The upgrade works alter the appearance of the existing building by changing the proportions of the fenestration, reduction of the face brick and colour scheme and hence its architectural style. However, the limitations of working with the existing building form remain. Within this context, the glazed balustrades are not supported and nor is the vehicular access from Henry Lawson Avenue.*

*The most optimum outcome for the site would be for a new development designed to fit the site context applying the best practice architectural design principles applicable to current architectural trends and address the elements of the existing building design that identify it as an uncharacteristic item.*

*With reference to the above, the proposal does not comply with the heritage conservation provisions relevant to the site and is therefore not supported on heritage conservation grounds.*

*With reference to the above an assessment of the proposal has been undertaken in terms of North Sydney LEP 2013, Part 5 Clause 5.10 Heritage conservation with regard for North Sydney DCP 2013 Part B: section 13 Heritage and Conservation and the Lavender Bay Planning Area Character Statement in Part C relating to the McMahons Point South conservation area. The proposal is contrary to the following NDCP 2013 provisions and therefore does not meet the objectives of NLEP 2013 Cl 5.10 Heritage conservation.”*

**Planning comment:** The above comments are considered and generally concurred with. The amended scheme features a more acceptable basement opening design; however, insufficient information was provided to ensure the remaining structure is unaffected in terms of its integrity and stability. The potential heritage impacts and creation of a highly uncharacteristic item are key matters that have not been resolved and on heritage grounds, the proposed development cannot be supported.

### **DESIGN EXCELLENCE PANEL (DEP)**

The Design Excellence Panel (DEP) provided a suite of key matters in relation to the design principles under the SEPP 65 and ADG. These matters were as follows:

*“Principle 1: Context and local character*

*The primary contextual concerns regarding the proposed development include:*

- *Overshadowing impacts on Blues Point Reserve.*
- *Extent of basement excavation and impact on neighbouring heritage items.*
- *Part demolition of sandstone wall and precedent impacting on the heritage and landscape setting.*
- *Exceedance of maximum parking control, particularly in view of immediacy of public transport.*
- *Treatment of roofscape impacting the amenity of residences overlooking the site.*
- *External material treatment of render, glass, steel and the lack of relationship to neighbouring built character.*

*Principle 2: Built form, scale and public domain/ urban design response*

*The proposal exceeds 8.5m height control by approximately one floor but appears to maintain the height of the existing building with the exception of the lift overrun and roof lights. Exceedance of the existing height is not supported in view of significant impact on harbour views from some of the existing nearby buildings and additional overshadowing impacts on Blues Point Reserve.*

*Acceptability of site coverage allowing for additional development in north-east corner, is subject to Council confirmation of compliance with height and boundary setback controls and provision of communal open space at ground level to satisfy ADG criteria.*

*The proposed improvement to exposed car parking at street level is marginal. The ground level remains partially devoted to visitor car-parking, wash bay and enclosed garage area. The ground level should be amended to improve presentation to the public domain. The extensive excavation for small number of additional carparking spaces is questioned.*

*Principle 3: Density*

*While the proposal may have the potential to achieve an acceptable density, issues raised under each of the Principles must be resolved.*

*Principle 4: Sustainability, building performance and adaptability*

*The design generally appears reasonable in relation to environmental performance, but there are no apparent additional initiatives. The Applicant should be urged to at least incorporate solar power generation and greening of the areas of new roof.*

*Sun shading to north facade, to manage low summer north western sun, and screening to west facing balconies should be provided.*

*Principle 5: Landscape integration*

*The drawings and montage views indicate the intended form of landscape. Detailed information should be provided with the amended design, maximising opportunities for greening and provision of a least medium sized trees to replace the seven (7) trees proposed for removed.*

*Council comments: the proposed tree removal is supported subject to additional planting of two (2) x *Tristanopsis laurina* (75l) within the rear (southern) setback of the site. This replacement planting is in addition to any planting already shown in the Landscape Plan prepared by Conzept Landscape Architects, dated August 2021.*

*Principle 6: Amenity*

*The proposed development retains only a portion of the existing built fabric. Floor-to-floor dimensions are proposed as 2750mm resulting in ceiling heights less than ADG minimum requirements. This is due to the retention of ceiling heights in the existing building.*

***A major concern is the accumulative impacts of planning reconfiguration, relocation of buildings services and associated slab penetrations and introduction of new structure to extended balconies likely resulting in around 2450mm ceiling heights for a significant proportion of the floor area. Effectively, the proposed requires a rebuild of much of the existing fabric, in which case floor to ceiling heights should be made to comply with ADG requirements.***

*The north eastern portion which is entirely a new build, should comply with ADG required floor to ceiling heights. This would involve a reduction in unit yield in order to deliver a built form of the same scale and height as the existing building and which does not result in any additional overshadowing, view loss or amenity impacts.*

*No building services information nor spatial allocation has been provided for services such as heating, air-conditioning, power, basement car-park venting and utilities. Further, no structural nor hydraulic details have been provided for new and extended balconies proposed.*

*Sections and details should be provided including the provision for building services and structure demonstrating floor to ceiling heights meet ADG requirements.*

*Setbacks/building separation should comply with the ADG to protect acoustic and visual amenity of the heritage item (No. 3 Warung Street) noting that part of the proposal is contained within the footprint of the existing building envelope. Details to No. 3 Warung Street western elevation are required confirming windows/openings to habitable/non-habitable spaces relative to the proposed at all levels to meet ADG requirements.*

*The main entrance route includes four steps and platform lift, both could be avoided if the entrance gate was located a few metres to the east where the footpath level is higher. The pedestrian access should be amended to allow for at-grade entry from Warung Street and should not require a chairlift.*

*A seat and small covered space could be provided inside the entrance gate adjacent to the letter box for meeting, sitting/communal place.*

*The deep recess accessing the main entrance doors should be reduced in depth for security reasons.*

*Basement stair access is disconnected from the main entry and egress inconveniently requires exiting the building and re-entry via the lower ground level car-parking. The basement stair access should be rationalised and seamlessly connected to the residential levels.*

*Spatial allowance for bike parking located at ground is inadequate and in conflict with car-parking. Bike parking should be reconfigured.*

*Roof-lights/vents should be provided to internal toilets/bathrooms on the top floor.*

*The design and external finish of the roof impacts on residents overlooking the subject site. Roof plan and details should be provided. The roof finish should not be reflective, all service penetrations and skylights should be detailed to present a high quality roofscape. Any extension of the roof area should maximize opportunities for greening and improvement of visual amenity.*

*No communal space is provided. Communal space at ground level in association with landscaping should be provided to meet ADG area and solar access requirements. Proposed reliance on private open space and Blues Point Reserve is not supported.*

*The lift overrun results in further height breach. The Applicant advised that the chosen lift company is able to design and construct a lift with a minimal over-run. Details of the lift must be provided to confirm the lift does not result in a further breach beyond that of the existing height. Skylights should not result in further height breach.*

*Off-street parking is proposed for a total of 17 cars as follows:*

- *5 existing car spaces retained in the existing at-grade, under-croft car parking area, to be accessed via the existing driveway in Warung Street, and*
- *12 car spaces (plus 2 shared zones) in 7 car stackers provided in a new single-level basement car parking area, to be accessed via a new driveway in Henry Lawson Drive.*



*That proposed provision of 17 car spaces results in 2 car spaces over and above Council's maximum car parking threshold.*

***Given the site has good access to public transport, the need for any basement car-parking is questioned. The extent of excavation, associated likely significant structural challenges and impact on the presentation of sandstone wall to Blues Point Reserve and harbour are of concern. The Applicant should be encouraged to minimise carparking. Exceedance of Council's carparking controls is not supported.***

*Significant sandstone excavation of about 7-8m is proposed to reach the street level of Henry Lawson Ave with a further 2.4m excavation for car stacking. The new vehicle entry will impact the existing sandstone face. The partial removal of the sandstone wall for the new driveway is not supported given the visibility of this entrance from public domain and its contribution to the local heritage and landscape setting.*

*The Applicant should provide further engineering information to confirm any basement level construction is appropriately managed, and does not result in unacceptable visual impacts such as anchors and rock ties.*

*Principle 8: Housing diversity and social interaction*

*The development is located in proximity to good public transport. The apartment mix should provide a diversity of housing choices equal to that of the existing development or better to meet DCP compliance. External communal open space should be provided as noted above.*

*Principle 9: Architectural expression and material*

*Full-glass balconies provide inadequate privacy and are highly visible from Blues Point Reserve. The amount of glazing may not be appropriate in context of the heritage conservation area and unique setting of the site. A composition of solid upstands and metal balustrades more in keeping with neighbouring character should be considered.*

*The design is visually over-assertive in this sensitive context, with unduly contrasting materials and finishes. The dark 'charcoal' of the steel structure for example should be a warmer, lighter finish to better relate to other finishes and the overall context of the area.*

*Insufficient details have been provided to appropriately assess the quality of the development. Details at minimum scale 1:20 should be provided for fenestration, balcony design and soffits, brick rendering, skylights, roof finish.*

**Planning comment:** The above comments relate to the originally proposed design and are noted and considered. It is noted that some of the above matters have been addressed in the amended design and additional information submitted by the Applicant; however, a number of design principles and remain unachieved by the proposed development and accordingly, some outstanding matters raised by DEP are substantive and have not been resolved. As such, the proposed development is not supported in its current form.

## LANDSCAPING

Council's Landscape Development Officer evaluated the application and provided the following commentary with regard to the proposed tree removal and new landscaping treatments:

*"Some concern is raised in relation to the proposed excavation into the existing exposed sandstone rockface for the realignment of the street/footpath on the corner of Blues Point Road and Henry Lawson Avenue. There does not appear to be much detail in lodged documents regarding the reason for this, nor the proposed finish. It is assumed that this proposal is in response to the traffic approach to the newly proposed driveway on Henry Lawson Avenue. Council does not normally support the removal of existing stone outcrops, and particularly given the proximity in relation to harbourside views, this particular component of the proposal may need to be considered by heritage & traffic/infrastructure.*

*Retention of existing rockface, or exposure of newly exposed natural sandstone would be the preferred finish.*

*Subject to satisfactory resolution of the above, recommended conditions shall apply.*

*The existing Jacaranda mimosifolia trees (3m - 12m var.) in the Council verge of the Warung Street frontage of the subject site shall be protected in accordance with AS4970.*

*A collective tree bond of \$35,000 shall be applied.*

*One (1) x unidentified, un-numbered small tree (4m) in the Council verge of the Blues Pt Rd frontage of the subject site (between postal box and telegraph pole) shall be protected in accordance with AS4970. A tree bond of \$3,00 shall be applied.*

*T6 Plumeria sp. (5x6m) located in the NW corner of No. 1 Warung Street shall be protected in accordance with AS4970.*

*No objection is raised to the removal of T7-T13, subject to the additional planting of 2 x Tristaniopsis laurina (75l) within the rear (southern) setback of No. 1 Warung Street.*

*This replacement planting is in addition to any planting already shown in the Landscape Plan.*

*The Arborist Report prepared by advanced Treescape Consulting (dated 13/8/21) and all recommendations contained therein, shall be strictly adhered to for the duration of works.*

*Any work within the TPZ of a protected tree shall be carried out using sensitive construction techniques, no roots greater than 40mm shall be cut, no canopy pruning shall be permitted."*

**Planning comment:** The above comments are noted and considered. It is noted that an amended design and additional information has been provided by the Applicant that comprises sufficient detail in relation to the visual presentation of the basement opening. The presentation of this opening and the partial removal of the rock wall to accommodate the opening are considered generally acceptable in terms of context and response to neighbourhood character, subject to the works successfully ensuring the remainder of the rock wall remains in-situ and that both the adjoining property at No. 3 Warung Street and the retained portions of the building are unaffected. As outlined in different sections of this report, the proposed development is not supported in its current form – however, conditions can be imposed (as recommended by Councils Landscape Development Officer).

## TRAFFIC

Council's Traffic and Transport Engineer provided the following comments:

*It is recommended that the development be refused due to the use of car stackers. The use of dependent single or double stacker should always be the last alternative, and car stackers by their very own nature are highly mechanical systems, which therefore makes it highly likely to break down.*

*Should Council approve this development it is recommended that the following conditions be imposed:*

- *That all aspects of the carpark comply with the Australian Standard AS2890.1 Off-Street Parking.*
- *That all aspects of the bicycle parking and storage facilities comply with the Australian Standard AS2890.3.*
- *Accommodate all bicycle parking and storage facilities in the basement parking area.*
- *That all aspects of parking spaces for people with disabilities comply with the Australian Standard AS 2890.6.*
- *That all queuing or waiting for the use of the stackers need to occur within the basement car park area*
- *That all aspects of the car stacker comply with the Austrian Standard AS2890.5 including the minimum height clearance of 2200mm.*
- *The driveway to the site must be designed such that there are minimum sightlines for pedestrian safety as per Figure 3.2 of AS 2890.1.*
- *That the developer upgrades the lighting on Warung Street, Blues Point Road and Henry Lawson Avenue adjacent to the site, to PR3 lighting level in accordance with AS1158.3.*
- *That a Demolition and Construction Management Program be prepared and submitted to Council for consideration by the North Sydney Traffic Committee and approval by Council prior to the issue of a Construction Certificate. Any use of Council property shall require appropriate separate permits/ approvals.*
- *That any further design of the footpath widening, and traffic calming device shall be submitted to Council for approval prior to implementation.*

**Planning comment:** The above comments are noted and considered. There are examples of residential flat buildings and other forms of development in the North Sydney Local Government Area in which car stackers have been accepted and are successful. In this instance, the car stacker design could be accepted; however, due to a number of unresolved matters and key concerns, the proposed development is not supported.

## **WASTE**

Council's Waste Operations and Education Officer reviewed the application and provided the following commentary with regard to the proposed tree removal and new landscaping treatments:

*“Properties with a lift must have a garbage chute and recycling bin on each level. Recycling bins should be provided on each floor next to the garbage chute.*

*The residential waste bins need a temporary bin holding area for collection off the street and within 2m of the street alignment.*

*The proposed holding bay must fit the minimum eight (8) x 240L bins.*

*There needs to be functional bulky waste storage area to hold household clean up material. This room must be separate to the waste room. The proposed development must adhere to the NSC DCP 2013 Section 19 - Waste Minimisation and Management and Part B: Section 1 - Residential Development requirements.*

*A temporary holding bay for collections must be provided of sufficient size to accommodate the required garbage and recycling bins and located within 2m from the street boundary. At least eight (8) x 240L bins are required as a minimum for this proposal. The standard conditions will apply to this proposed development.”*

**Planning comment:** The above comments are noted and considered. The proposed development is not supported in its current form. It is acknowledged that the existing residential flat building does not comply with the above waste requirements. Given the intent of the design (retaining a large proportion of the building) some consideration can be applied to eliminate the need for waste service rooms and chutes at the each floor. Given the number of units proposed is nine (9) total, some consideration can be given to provide a proportionate bulky storage area within the same vicinity as the proposed waste room.

## **EXTERNAL REFERRALS**

### **TRANSPORT FOR NSW – SYDNEY METRO**

The subject site is directly adjacent to an existing bus route along Henry Lawson Avenue and within immediate vicinity of the Sydney Metro – City and Southwest rail corridor. Accordingly, the application required a referral to Transport for NSW – Sydney Metro in accordance with Clause 86 of the State Environmental Planning Policy (Infrastructure) 2007 (now repealed and contained within State Environmental Planning Policy (Transport and Infrastructure) 2021). Transport for NSW – Sydney Metro assessed the application encompassing the amended design and raised no objections, subject to the imposition of conditions.

The following comments were received from Transport for NSW – Sydney Metro:

*“Assessment requirements under the Transport and Infrastructure SEPP*

*Sydney Metro has reviewed the DA documents that were uploaded onto the NSW Planning Portal on 4 November 2021 and received via email on 25 February 2022.*

*Sydney Metro has assessed the development proposed by the DA in accordance with the requirements of Section 2.98 of the Transport and Infrastructure SEPP.*

*In this regard, Sydney Metro has taken into account:*

- (a) the potential effects of the development (whether alone or cumulatively with other development or proposed development) on:
  - (i) the safety or structural integrity of existing or proposed rail infrastructure facilities in the rail corridor, and*
  - (ii) the safe and effective operation of existing or proposed rail infrastructure facilities in the rail corridor, and**
- (b) what measures are proposed, or could reasonably be taken, to avoid or minimise those potential effects.*

*Sydney Metro has taken the above matters into consideration and has decided to grant its concurrence to the development proposed in the DA, subject to the consent authority imposing recommended conditions.*

*Should the consent authority determine not to impose the conditions provided, then concurrence from Sydney Metro has not been granted to the DA.*

*The consent authority is also advised that Sydney Metro’s concurrence is not to be amended, replaced or superseded by any concurrence which may be issued by any other authority, without further agreement from Sydney Metro.”*

**Planning comment:** The above recommendations are noted and considered. The proposed development is not supported in its current form.

It is noted that Sydney Buses did not provide comments on the proposed development (specifically, the design and location of the basement entry) in relation to the existing bus stop/shelter along Henry Lawson Avenue. Should the application be approved, Council can consult with Sydney Buses to confirm if any design changes are required and any conditions to be imposed to resolve potential issues with the bus stop/shelter.

## **FORESHORES AND WATERWAYS – PLANNING AND DEVELOPMENT ADVISORY COMMITTEE**

The subject site is adjacent to the foreshore area and is at a prominent corner location that is visible from the foreshore. As per Chapter 10 of the SSEPP (Biodiversity and Conservation) 2021, the application was referred to the Foreshores and Waterways – Planning and Development Advisory Committee. No specific issues were raised.

**Planning comment:** Despite no issues being raised by the committee Council has identified numerous issues and concerns, and the proposed development cannot be supported in its current form.

### **SUBMISSIONS**

#### **Original proposal**

In accordance with Council's Community Participation Plan, Council notified adjoining properties and the Lavender Bay Precinct Committee and Union Precinct Committee of the proposed development from 26 November to 10 December 2021. Council received eleven (11) submissions from eight (8) individual properties and from both precinct committees during this period.

The matters raised in these submissions objecting to the proposed development are listed below:

- Impacts on the sandstone cutting;
- Breach to maximum building height;
- Bulk, scale and density;
- Impacts associated with traffic, safety, amenity, view loss, privacy and solar access;
- impacts on heritage conservation area;
- Loss of landscaped areas;
- Excessive excavation;
- Setbacks;
- Construction noise;
- Inaccurate information in Statement of Environmental Effects;
- New building and additions and alterations; and
- Uncharacteristic built form.

The issues raised in the submissions are summarised below and addressed later in this report. The original submissions may be viewed by way of DA tracking on Council's website [https://www.northsydney.nsw.gov.au/Building\\_Development/Current\\_DAs](https://www.northsydney.nsw.gov.au/Building_Development/Current_DAs) and are available for review by NSLPP members.

#### **Amended Proposal**

The Applicant submitted an amended design and additional information in response to correspondence from Council. The nature of the changes within the final scheme were such that it was determined that a re-notification of the revised design and associated plans was required as per Council's Community Participation Plan. Council notified adjoining properties and the Lavender Bay Precinct Committee and Union Precinct Committee of the amended plans from 21 April 2022 to 6 May 2022. Council received eight (8) submissions from four (4) individual properties and from the Lavender Bay Precinct Committee during this period.

The matters raised in these submissions were near identical to those mentioned in the submissions received in the first notification period.

## CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

### SEPP (Transport and Infrastructure) 2021

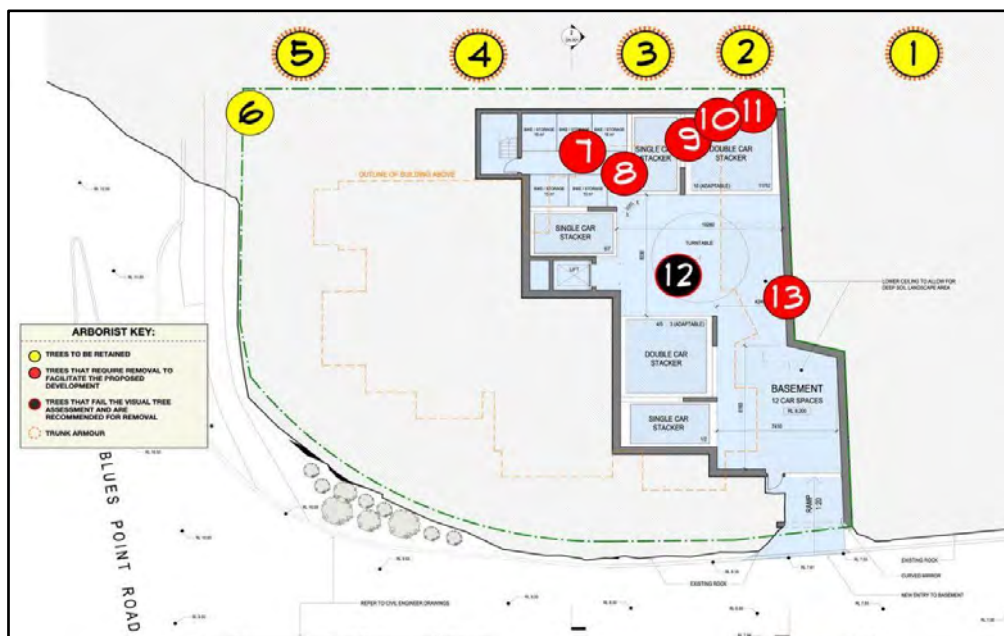
The subject site is situated adjacent to the Sydney Metro – City and Southwest rail corridor. As such, Division 15, Subdivision 2 Development in or adjacent to rail corridors and interim rail corridors—notification and other requirements of this SEPP applies and concurrence from the relevant authority (Transport for NSW – Sydney Metro) will be required. The application was referred to Transport for NSW – Sydney Metro and concurrence was granted, subject to the imposition of recommended conditions. The proposed development is considered to satisfy the relevant provisions under this SEPP.

### SEPP (Biodiversity and Conservation) 2021

The following sections apply to the proposed development and have been considered in the assessment:

#### *Chapter 2 – Vegetation in non-rural areas*

The proposed development involves the removal of seven (7) trees and other plantings (refer to Figure 39). Council’s Landscape Development Officer confirmed support for the removal of these trees and the replacement plantings incorporating several tall and medium-sized trees, shrubs, grasses and groundcover species, palms and tree ferns scattered throughout the site. It is noted that several trailing plants are proposed above the rock wall sections facing Henry Lawson Avenue and Blues Point Road – which further assist in improving the presentation of scheme and integrating the landscaped treatments with the rock wall. With regard to the proposed vegetation removal and landscaping treatments alone the application is able to satisfy the respective aims under Chapter 2 of this SEPP.



**Figure 39: Tree removal and retention plan – trees to be retained (marked in yellow) and trees to be removed (marked in red/black)**

### Chapter 10 – Sydney Harbour Catchment

It is noted that the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 has been included in Chapter 10 of this SEPP since its endorsement in December 2021. Given the prominent and highly visible location of the site and the unsympathetic design and poor outcome delivered by the proposed development, it is considered that the aims relating to the enhancement of Sydney Harbour foreshores and achieving a highly quality urban environment, have not been satisfied. As such, the development is considered unacceptable having regard to the Chapter 10 of this SEPP and the Sydney Harbour Foreshores and Waterways DCP 2005.

### SEPP (Resilience and Hazards) 2021

The provisions of Chapter 4 of this SEPP require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has been used for residential purposes (residential flat building) for over 50 years and as such is unlikely to contain any contamination. The nature and location of the proposed development (involving partial demolition and alterations and additions to an existing residential flat building) are such that any applicable requirements of this SEPP can be satisfactorily addressed. Further, the Applicant provided information such as a geotechnical report, demonstrating that the significant excavation works required for the basement level can be undertaken without significant risk of contamination and that the site does not require remediation for the purposes of undertaking the proposed works.

### SEPP (Building Sustainability Index: BASIX) 2004

A valid BASIX certificate (No. 1230923M, dated 30 August 2021) for the proposed development has been submitted with the application to satisfy the aims of this SEPP. It is noted that this certificate related to the initial and superseded design, which involved ten (10) units. Conditions can be imposed to ensure that new BASIX certificate is submitted prior to construction certificate, to reflect the final design.

### State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development (SEPP 65)

The proposed development involves partial demolition and alterations and additions to a residential flat building that is over three (3) storeys and comprises more than four (4) dwellings. Consequently, SEPP 65 applies to the application. The table below provides a summary of the assessment of the proposed development against the design quality principles contained in this SEPP.

Design quality principles	Objective	Proposal
Principle 1: Context and neighbourhood character	<p>Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.</p> <p>Responding to context involves identifying the desirable elements of an area's existing or future character.</p>	<p><i>Removal of rock wall</i></p> <p>The Applicant provided an amended design and further information that comprises sufficient detail in relation to the visual presentation of the basement opening. The presentation of this opening and the partial removal of the rock wall to accommodate the opening are considered generally acceptable in terms of context and</p>



Design quality principles	Objective	Proposal
	<p>Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.</p> <p>Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change</p>	<p>response to neighbourhood character, subject to the works successfully ensuring the remainder of the rock wall remains in-situ and that both the adjoining property at No. 3 Warung Street and the retained portions of the building are unaffected. In this regard, Council considers that insufficient information is provided to ensure that the above can be achieved. Concern is raised with regard to the significant extent of excavation works required for the design. Further, the use of anchors required to extend into the neighbouring property at No. 3 Warung Street is not considered an acceptable solution and would require consent from the respective owner/s.</p> <p><i>Building design</i></p> <p>The final scheme includes a re-allocation of bulk (relating to the balconies) from the western portion (to the southern portion), a reduction to glazing and a warmer, softer palette (within the materials and finishes) compared to the initial design. The roof form has also been amended to incorporate pebbled areas to partially resolve the presentation of the roof. Notwithstanding this, the overall presentation and height of building however remain critical issues to the design of the additions.</p> <p>It is evident that the design intends on utilising the design and height of the current building; however, it is recognised that a more sensitive design and contextually appropriate scheme is required. Such a scheme should involve a more compliant scale and removal of the bulk/massing contributing to the excess height into the lower ground portion comprising the current undercroft parking. It is noted that the northerly extension further contributes to the excessive bulk and scale.</p> <p>The proposed architecture expressed in the design is a confused mixture of features that are either borrowed from the existing building or highly contemporary, resulting in a poorly resolved architectural response to the streetscape and existing site context. The outcome delivered is incompatible with streetscape and locality and</p>

Design quality principles	Objective	Proposal
		<p>comprises a more uncharacteristic design compared to the current and more recessive building. <b>Accordingly, the proposed development fails to achieve the objective of Principle 1.</b></p>
<p>Principle 2: Built form and scale</p>	<p>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.</p> <p>Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.</p> <p>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.</p>	<p>Whilst comparable in built form and scale as the existing building, the proposed development fails to achieve a scale, bulk and height that is appropriate to the existing or future desired character of the immediate locality. As mentioned above, the opportunity to shift bulk and massing to lower portions and achieve a more compliant building is lost and the new north-eastern portion further exacerbates the excessive bulk and scale through an expanded building footprint and the projection of large balconies to the southern and western building elevations.</p> <p>The prominent location of the site further ensures high visibility of the built form and exacerbates the dominant presentation of the building. Council is of the view that a more responsive design should incorporate a significantly reduced bulk and scale that recedes into the landscape and foreshore area. The proposed development fails to this this due to the proposed bulk and scale that extends into the northern portion of the site. Combined with the mixed architectural elements, the built form fails to provide a positive contribution to the streetscape, foreshore and heritage conservation area. <b>Accordingly, the proposed development fails to achieve the objective of Principle 2.</b></p>
<p>Principle 3: Density</p>	<p>Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.</p> <p>Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.</p>	<p>It is acknowledged that the proposed development will have modified and functional layouts with dimensions that are more in-line with current area requirements for habitable spaces and storage. It is noted however, that the residential amenity offered by the proposed development is poor and insufficient – reflected by the lack of solar access for several units and the majority of units failing to achieve the minimum floor to ceiling height requirements (2.7m) for habitable rooms (refer to ADG table below). The design intent for retaining a portion of the existing building and utilising the finished levels therein severely limits</p>

Design quality principles	Objective	Proposal
		<p>the ability for the proposed development to achieve an acceptable outcome in terms of amenity. A more appropriate design should deliver an optimal outcome for the site without involving significant height breaches. <b>Accordingly, the proposed development fails to achieve the objective of Principle 3.</b></p>
<p>Principle 4: Sustainability</p>	<p>Good design combines positive environmental, social and economic outcomes.</p> <p>Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</p>	<p>Unacceptable as the final scheme fails to demonstrate compliance with the Apartment Design Guide for providing solar access to residential units (refer to ADG table below). As mentioned above, the intention of retaining a portion of the existing building and utilising the finished levels therein restricts the ability for the proposed development to achieve an acceptable outcome in terms of amenity. <b>Consequently, the proposed development does not feature good sustainable design and it fails to achieve the objective of Principle 4.</b></p>
<p>Principle 5: Landscape</p>	<p>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity.</p> <p>A positive image and contextual fit of well designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</p> <p>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</p> <p>Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.</p>	<p>Acceptable and demonstrates compliance with the Apartment Design Guide. The amended landscaping treatments feature a number of scattered plantings in garden beds, grassed lawn areas and spilling vegetation to administer some softening of the built form and greater integration with the rock wall. <b>Accordingly, the proposed development achieves the objective of Principle 5.</b></p>
<p>Principle 6: Amenity</p>	<p>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being.</p>	<p>As mentioned above, the residential amenity featured in the proposed development is poor and insufficient – reflected by the lack of solar access for several units and the majority of units failing to achieve the minimum floor to ceiling height requirements (2.7m) for</p>

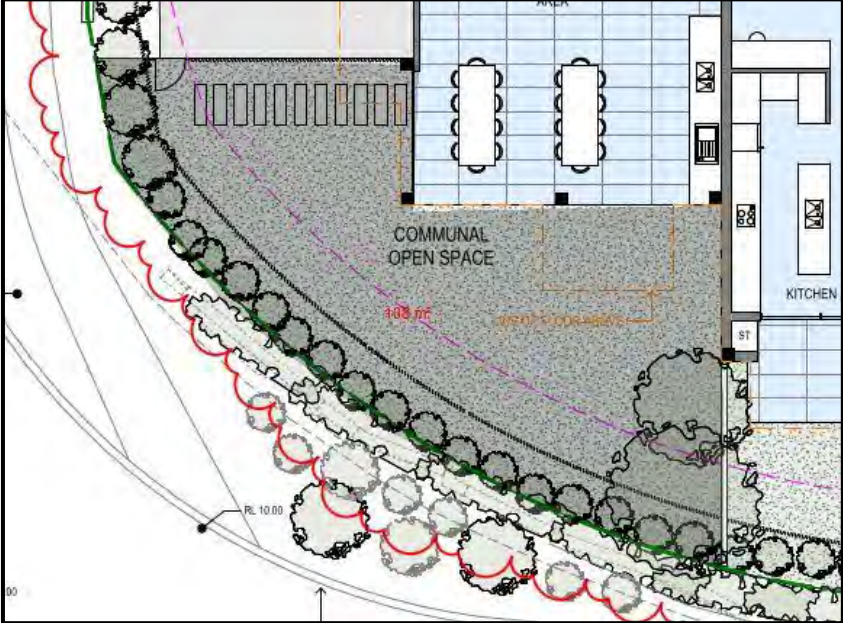
Design quality principles	Objective	Proposal
	<p>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.</p>	<p>habitable rooms (refer to ADG table below). <b>Accordingly, the proposed development fails to achieve the objective of Principle 6.</b></p>
<p>Principle 7: Safety</p>	<p>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</p> <p>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.</p>	<p>The proposed development provides some components that integrate appropriately with public domain and enable adequate passive surveillance across the surrounding public reserves and roadways. The new basement entry combined with the proposed retention of the existing driveway to accommodate the servicing of the building and some parking spaces is unacceptable in terms of safety as the provision of a single access/egress to site for all vehicles (including waste collection traffic) is considered a better performing design.</p> <p>The site clearly benefits from its a corner location and frontages to three (3) separate road reserves.</p> <p>An improved outcome could utilise the Warung Street interface solely for pedestrian activity and the Henry Lawson Avenue frontage could accommodate vehicular and bicycle traffic subject to a more sensitively design basement entry.</p> <p>The proposed development does not achieve this and would not achieve a positive relationship between public and private places. As reiterated above, the design intent of retaining portions of the building and the current constructed elements within the site limit the ability for the proposed development to achieve better safety outcomes. <b>Accordingly, the proposed development fails to achieve the objective of Principle 7.</b></p>
<p>Principle 8: Housing diversity and social interaction</p>	<p>Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.</p> <p>Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.</p>	<p>The proposed development involves removal of:</p> <ul style="list-style-type: none"> <li>• Nine (9) x 2-bedroom units</li> <li>• Three (3) x 1-bedroom units</li> </ul> <p><b>A total of twelve (12) units</b> within the building and replacing these with:</p> <ul style="list-style-type: none"> <li>• Four (4) x 2-bedroom units</li> <li>• Five (5) x 3-bedroom units</li> </ul> <p><b>A total of nine (9) units</b></p>


Design quality principles	Objective	Proposal
	<p>Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.</p>	<p>The proposed apartment mix is generally acceptable and encourages family-sized units that are typically uncommon in more traditional residential flat buildings such as Interwar and 1960's-built apartment buildings. This generally supports housing diversity and improved choices in the area, which primarily comprise of older residential flat buildings and palatial dwelling houses. It is further noted that two (2) of the units are adaptable units that can be re-configured to cater for households with challenged accessibility.</p> <p>The amended design comprises a large grassed lawn area with uninterrupted vistas of Sydney Harbour including the Sydney Harbour Bridge and surrounding public reserves that is allocated for communal open space. This space connects to an undercover area (previously undercroft parking) with seating and BBQ/cooking facilities. The design of the communal areas will provide opportunities for social interaction among residents.</p> <p><b>Accordingly, the proposed development achieves the objective of Principle 8.</b></p>
<p>Principle 9: Aesthetics</p>	<p>Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.</p> <p>The visual appearance of a well designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape</p>	<p>As mentioned in detail above, the design, bulk, scale and visual presentation of the final scheme are considered unacceptable and uncharacteristic of the streetscape and immediate locality. The overall design and mixture of traditional and modern aesthetics fail to deliver an appropriate and site-responsive outcome that can be accepted with regard to the unique context of the site and its prominent foreshore setting – being highly visible from public domain (particularly Sydney Harbour). <b>Accordingly, the proposed development's aesthetics are not supported and do not achieve the objective of Principle 9.</b></p>

Apartment Design Guide (ADG)

The proposed development has also been assessed against the relevant provisions within the ADG as follows:

Amenity	Design Criteria	Compliance	Comments
<b>2F - Building Separation</b>	<p><i>Minimum separation distances for buildings (up to four storeys):</i></p> <ul style="list-style-type: none"> <li>• <i>12m between habitable rooms/balconies (6m to boundary)</i></li> <li>• <i>9m between habitable and non-habitable rooms (4.5m to boundary)</i></li> <li>• <i>6m between non-habitable rooms (3m to boundary)</i></li> </ul>	<b>No</b>	<p>Setback of 2.795m to boundary from habitable room (Bedroom 3 in G02, 102, 202). Privacy screens have been provided to the east-facing windows to minimise privacy impacts. It is noted that a more appropriate outcome involves a new building on a different footprint (compared to the existing building) with more compliant building separation – thereby reducing the need to rely on design treatments to ameliorate privacy impacts.</p> <p>The proposed setback distances demonstrate some merit – however, the bulk and scale of the proposed building are unacceptable.</p>
<b>3D – Communal Open Space</b>	<p><i>Communal open space has a minimum area equal to 25% of the site.</i></p> <p><i>Site area: 985.4m<sup>2</sup></i>  <i>25% of site area: 246.35m<sup>2</sup></i></p> <p><i>Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid-winter)</i></p> <p><i>Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting</i></p> <p><i>Communal open space is designed to maximise safety</i></p>	<p><b>108m<sup>2</sup> of communal open space proposed = 11%</b></p> <p><b>No – demonstrates merit</b></p> <p><b>Yes</b></p> <p><b>Yes</b></p> <p><b>Yes</b></p>	<p>The proposed development has been amended to incorporate a single communal open space at the south-western portion of the site. Some merit can be applied to the variation given that all units are provided with a courtyard or balconies and ample public open spaces – i.e. Henry Lawson Reserve and Blues Point Road Reserve are easily accessible within a short walking distance from the building. As such it is Council’s position that the amount of communal open space provided will be sufficient for the number of units (9) proposed for the site.</p> <p>Communal open space is orientated to the south-west and will receive sunlight for at least two (2) hours during mid-winter.</p> <p>The undercroft (roofed) area with seating and BBQ/cooking facilities provides additional amenity and weather protection, and provides opportunity for leisure and interaction amongst residents.</p>

Amenity	Design Criteria	Compliance	Comments
	 <p style="text-align: center;"><b>Communal open space (proposed area shaded in grey)</b></p>		
<p><b>3E – Deep Soil Zones</b></p>	<p>Deep soil zones are to meet the following minimum requirements:</p> <ul style="list-style-type: none"> <li>• 3m minimum width</li> <li>• Criteria: minimum 7% of the site area</li> <li>• Guidance: minimum 10% of the site area (650-1000m<sup>2</sup>)</li> </ul> <p>Site area: 985.4m<sup>2</sup>                      7% of site area: 68.98m<sup>2</sup>                      10% of site area: 95.54m<sup>2</sup></p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>The proposed development comprises deep soil zones that have a minimum 3m width and cover 288.1m<sup>2</sup> (29.2%7%) of the site.</p> <p>It is noted that there are a number of landscaped areas proposed that are less than 3m in width and/or occur above the basement slab; however, these were not counted in the calculation.</p>

Amenity	Design Criteria	Compliance	Comments
 <p style="text-align: center;"><b>Landscaped area diagram (proposed area shaded in green)</b></p>			
<p><b>3F - Visual privacy</b></p>	<p><i>Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:</i></p> <p><i>6m (between habitable rooms and balconies to boundaries)</i>  <i>3m (between non-habitable rooms)</i></p>	<p><b>No – acceptable on merit</b></p>	<p>The proposed development (as amended) generally complies with the minimum separation distances criteria; with the only exception noted for several bedrooms within the eastern units. These bedrooms are located 2.795 to 5.6m from the eastern boundary. The above variations and separation distances can be acceptable considering that:</p> <ul style="list-style-type: none"> <li>• Some of these spaces are wholly contained within the footprint of the existing building;</li> <li>• The provision of privacy screens (fixed louvres) will aid in minimising overlooking from these spaces; and</li> <li>• The orientation and design of the east-adjointing residence and the upper floor windows of the development being bedrooms; ensures that any associated privacy impacts are reasonable.</li> </ul> <p>As mentioned above a more appropriate outcome involves a new building on a different footprint (compared to the existing building) with more compliant building separation – thereby reducing the need to rely on design treatments to ameliorate privacy impacts.</p>



Amenity	Design Criteria	Compliance	Comments
<b>3G – Pedestrian Access &amp; Entries</b>	<i>Building entries and pedestrian access connects to and addresses the public domain            Access, entries and pathways are accessible and easy to identify</i>	<b>Yes</b>	The amended design will relocate the entry point and pedestrian access to the centre of the northern boundary. This is considered an improvement to the current situation, with the existing pedestrian access and entrance to the building being tucked away and recessed within the north-eastern corner. The new entrance and pedestrian access are more easily readable, accessible and will appropriately address public domain – ensuring minimal issues with regard to wayfinding and accessibility for occupants and visitors.
<b>3H – Vehicle Access</b>	<i>Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes</i>	<b>No</b>	The proposed development (as amended) retains the existing vehicular access to the site from Warung Street for some at-grade parking and waste services, and will provide a second driveway and vehicular access for the new basement parking off Henry Lawson Avenue. Whilst this arrangement is supportable – a more preferential design should involve a single, well-defined vehicular access for the site. The design intent restricts this. It is evident that a more site responsive design requires significant changes involving demolition of the existing building and creation of a more refined and clearly defined singular vehicular access that caters for all vehicular parking and servicing of the premises.

Amenity	Design Criteria	Compliance	Comments
<p><b>3J – Bicycle and Car parking</b></p>	<p><i>For development in the following locations:</i></p> <ul style="list-style-type: none"> <li>• <i>on sites that are within 800 metres of a railway station or light rail stop in the Sydney Metropolitan Area; or</i></li> <li>• <i>on land zoned, and sites within 400 metres of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less</i></li> </ul> <p><i>The car parking needs for a development must be provided off street</i></p> <p><i>Parking and facilities are provided for other modes of transport</i></p>	<p><b>3J – Bicycle and Car parking</b></p>	<p>As per the Section 10.1 of Part P, Section 10 of the NSDCP 2013, the following parking rates apply to the proposed development:</p> <p>Cars (maximum rates):</p> <ul style="list-style-type: none"> <li>• 1-2 bedrooms: 1 space per dwelling</li> <li>• 3 or more bedrooms: 1.5 spaces per dwelling</li> <li>• Visitor parking: 0.25 spaces per dwelling</li> </ul> <p>Bicycle/Motorcycle (minimum rates):</p> <ul style="list-style-type: none"> <li>• 1 space per dwelling</li> <li>• 1 visitor space per 10 dwellings</li> <li>• No requirement for motorcycles</li> </ul> <p>The proposed development (as amended) involves five (5) x 3-bedroom units and four (4) x 2-bedroom units. This capacity generates the following parking rates:</p> <p>Car (maximum rates):</p> <ul style="list-style-type: none"> <li>• Four (4) car spaces (2 bedroom units)</li> <li>• Eight (8) car spaces (3 bedroom units)</li> <li>• Two (2) visitor spaces = <b>14 car spaces.</b></li> </ul>
		<p><b>No</b></p>	<p>Bicycle/Motorcycle (minimum rates):</p> <ul style="list-style-type: none"> <li>• Nine (9) bicycle spaces and a visitor space = <b>10 bicycle spaces.</b></li> <li>• No minimum motorcycle spaces.</li> </ul> <p>The amended scheme involves a total of fifteen (15) car spaces and nine (9) bicycle spaces. The proposed development involves an excessive amount of car parking (by a single space) and a lack of bike parking (by a single space).</p>



Amenity	Design Criteria	Compliance	Comments
<b>4C - Ceiling Heights</b>	<i>Ceiling height achieves sufficient natural ventilation and daylight access - Minimum 2.7m (habitable rooms)</i>	<b>No</b>	The proposed floor to floor height is approximately 2.75-2.79m for each residential level. With a required slab thickness of about 0.35m the resultant floor to ceiling height is likely to be 2.4m – which fails to comply. Notwithstanding that the proposal intends on keeping some of the existing building, a significant portion is demolished and re-built, a new extension is proposed, and significant changes to the current layout are also proposed. The proposed development should comply with this criteria and this has been highlighted by the DEP and Council. The amended design fails to achieve this for most units except the 2-storey unit (Unit 103). As mentioned, a more appropriate design entails full compliance with this criteria. There is not merit for supporting the variation and as such, is unacceptable.
<b>4D 1 - Apartment size and layout</b>	<p><i>Apartments are required to have the following minimum internal areas:</i>                      50m<sup>2</sup> (1B),                      70m<sup>2</sup> (2B),                      90m<sup>2</sup> (3B)</p> <p><i>Additional bathrooms increase the minimum internal area by 5m<sup>2</sup> each</i></p> <p><i>A fourth bedroom and further additional bedrooms increase the minimum internal area by 12m<sup>2</sup> each</i></p> <p><i>Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms</i></p>	<p>Yes</p> <p>Noted</p> <p>Noted</p> <p>Yes</p>	<p>The proposed development comprises the following internal areas (minimum) for respective unit sizes:</p> <ul style="list-style-type: none"> <li>• 2-bedroom units: 75m<sup>2</sup></li> <li>• 3-bedroom units: 141m<sup>2</sup></li> </ul> <p>The proposed development complies with this criteria.</p>

Amenity	Design Criteria	Compliance	Comments
<b>4D 2 - Apartment size and layout</b>	<p>1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height</p> <p>2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window</p>	<p>Yes</p> <p><b>No – acceptable on merit</b></p>	<p>The proposal complies with this control.</p> <p>The combined living, dining and kitchen room of the 3 bedroom units (L01, G02, 102, 202) have a depth of about 9m. It is noted that the northern most portion of these spaces comprise of storage cabinetry with much of the habitable area contained within the 8m from a window/opening. The configuration of these units are generally acceptable and a slight extension to their depth is considered to have merit.</p>
<b>4D 3- Apartment size and layout</b>	<p>1. Master bedrooms have a minimum area of 10m<sup>2</sup> and other bedrooms 9m<sup>2</sup> (excluding wardrobe space)</p> <p>2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)</p> <p>3. Living rooms or combined living/dining rooms have a minimum width of:</p> <ul style="list-style-type: none"> <li>• 4m for 2 and 3 bedroom apartments</li> </ul>	<p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>Master bedrooms = minimum 11m<sup>2</sup>            Other bedrooms = minimum 11m<sup>2</sup></p> <p>Bedrooms have a minimum dimension of 3m.</p> <p>Living rooms or combined living/dining rooms have a minimum width of 4m.</p>
<b>4E - Private open space and balconies</b>	<p>All apartments are required to have primary balconies as follows:</p> <p>2 bedroom apartments 10m<sup>2</sup> minimum depth 2m            3+ bedroom apartments 12m<sup>2</sup> minimum depth 2.4m</p> <p>The minimum balcony depth to be counted as contributing to the balcony area is 1m</p> <p>2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m<sup>2</sup> and a minimum depth of 3m</p> <p>Primary private open space and balconies are appropriately located to enhance liveability for residents.</p>	<p>Yes</p> <p>Yes</p> <p>Noted</p> <p>Yes</p> <p>Yes</p>	<p>2-bedroom unit balconies:</p> <ul style="list-style-type: none"> <li>• Minimum size: 11m<sup>2</sup></li> <li>• Minimum depth: 2.4m</li> </ul> <p>3-bedroom unit balconies:</p> <ul style="list-style-type: none"> <li>• Minimum size: 16m<sup>2</sup></li> <li>• Minimum depth: 2.4m</li> </ul> <p>L01: 270m<sup>2</sup> courtyard, depth of &gt;3m            G03: 85m<sup>2</sup> courtyard, depth of &gt;3m</p> <p>Privacy open spaces and balconies are appropriately located – address street frontages, provide passive surveillance and are adequately designed and orientated.</p>

Amenity	Design Criteria	Compliance	Comments
	<i>Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.</i>	Yes	Design is integrated into the built form – providing visual interest, a break-up to the built form and articulation and variation of materiality. The design of these features are considered appropriate in context of the overall scheme and surrounding locality.
	<i>Private open space and balcony design maximises safety.</i>	Yes	Acceptable.
<b>4F - Common circulation and spaces</b>	<i>1. The maximum number of apartments off a circulation core on a single level is eight</i>	Yes	Maximum of three (3) units per level.
<b>4G -Storage</b>	<i>Studio apartments- 4m<sup>3</sup> 1 bedroom apartments- 6m<sup>3</sup> 2 bedroom apartments- 8m<sup>3</sup> 3+bedroom apartments- 10m<sup>3</sup></i>		<ul style="list-style-type: none"> <li>• 2-bedroom unit storage: minimum 8.2m<sup>2</sup></li> <li>• 3-bedroom unit storage: minimum 18.6m<sup>2</sup></li> </ul>

## NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

### Aims of the Plan

The relevant aims of the NSLEP 2013 are contained in Clause 1.2. These aims have been considered as part of the assessment process for the subject application. The following is a summary of this assessment on any applicable aims under Clause 1.2.

Aim	Proposal
<b>(a) to promote development that is appropriate to its context and enhances the amenity of the North Sydney community and environment,</b>	<p><b>Not achieved.</b> The proposed development introduces an uncharacteristic building that is excessive in bulk and scale, unsympathetic to the site constraints and in particular, the heritage conservation area context and prominent corner setting of the site. The design, bulk and scale of the proposed development is not compatible with the desired future character and does not respect the existing development pattern of the locality. The proposed height breach is considered to have little merit and is not be supported.</p> <p>The scheme fails to provide a positive and desirable contribution to the streetscape.</p> <p>The high visibility of the proposed development from public domain and foreshore area further exacerbates its poor contribution and inappropriate design aesthetic and expression.</p> <p>It is evident that proposed development has not been sufficiently designed with respect to the site's constraints and context including the respective heritage and foreshore character of the immediate vicinity. The visual qualities of both the conservation area and foreshore are adversely impacted. Thus, this demonstrates that the site is not suitable for the proposed development.</p>
<b>(b) in relation to the character of North Sydney's neighbourhoods—</b>	<b>Not achieved.</b> The comments in response to (a) are relevant here.

<p>(i) to ensure that new development is compatible with the desired future character of an area in terms of bulk, scale and appearance, and                  (ii) to maintain a diversity of activities while protecting residential accommodation and local amenity, and                  (iii) to ensure that new development on foreshore land does not adversely affect the visual qualities of that foreshore land when viewed from Sydney Harbour and its tributaries,</p>	
<p>(c) in relation to residential development—                  (i) to ensure that new development does not adversely affect residential amenity in terms of visual and acoustic privacy, solar access and view sharing, and                  (ii) to maintain and provide for an increase in dwelling stock, where appropriate,</p>	<p><b>Not achieved.</b> The proposed development reduces the existing number of dwellings (units) from twelve (12) to nine (9) and fails to provide a high level of amenity for these new units – most of which fail to have sufficient floor to ceiling heights and a number do not receive sufficient solar access. The proposed development introduces further bulk and intrusion to the north-eastern extent of the site – exposing the neighbour to additional amenity impacts. Whilst privacy concerns could be resolved through screening/privacy treatments, a more appropriate outcome involves a new building on a different footprint (compared to the existing) with more compliant building separation – thereby reducing the need to rely on treatments.</p>
<p>(e) in relation to environmental quality—                  (i) to maintain and protect natural landscapes, topographic features and existing ground levels, and                  (ii) to minimise stormwater run-off and its adverse effects and improve the quality of local waterways,</p>	<p><b>Not achieved.</b> The proposed development involves significant excavation works to accommodate a basement level and removal of an existing sandstone rock wall addressing Henry Lawson Avenue and the foreshore. This outcome fails to maintain the topographical features and will modify ground levels.                  In an effort to develop around the existing building, the proposed development fails to regard the natural topography of the site – delivering a bulky building that does not step down with the topography of the site.</p>
<p>(f) to identify and protect the natural, archaeological and built heritage of North Sydney and ensure that development does not adversely affect its significance,</p>	<p><b>Not achieved.</b> The comments in response to (a) are relevant here.</p>
<p>(g) to provide for the growth of a permanent resident population and encourage the provision of a full range of housing, including affordable housing.</p>	<p><b>Achieved.</b> It is possible that the reduced dwelling density, removal of smaller unit sizes and provision of family-sized units will result in housing that will be less affordable in the immediate vicinity. On balance, the new units will fill an existing gap in the terms of medium density housing within McMahons Point, and as such, the proposed housing mix is acceptable.</p>

### Permissibility

The subject site is within the R3 – Medium Density Residential zone under NSLEP 2013. The proposed development can be defined as partial demolition of and alterations and additions to an existing residential flat building. As of 30 June 2021 and as per Amendment 30 of the NSLEP 2013, **residential flat buildings** are permissible in the R3 zone, with development consent.

### **Objectives of the zone**

The objectives of the R3 – Medium Density Residential zone are stated below:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for medium density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To provide for a suitable visual transition between high density residential areas and lower density residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The proposed development fails to achieve key objectives of the zone that relate to compromising the natural and cultural heritage of the area, enabling a visual transition between high density residential and low density residential areas and ensuring a high level of residential amenity is maintained. The following matters are considered:

- The proposed design (comprising a mixture of traditional and modern architectural elements) and the excessive bulk and scale fails to achieve a suitable and responsive outcome for the site and surrounding area that is sympathetic to the unique constraints and setting of the site – which is in a prominent and highly visible corner, set against the Sydney Harbour foreshore and in a conservation area. The proposed development will compromise the quality and importance of the heritage conservation area – delivering a dominant, bulky and highly uncharacteristic built form that is not suitable to both the site and its context.
- The subject site is uniquely placed at the edge of an R3 zone, adjacent to areas zoned R4 and RE1 (refer to Figure 40). The proposed development fails to provide an acceptable visual transition between the high and low density residential areas as its scale is excessive and its design is not adequately recessive nor responsive to the site being in a conservation area and at the edge of a medium density residential zone, adjoining a high density residential zone and public reserves. The proposed development fails to have better integration with the current single dwelling houses to the north and east – along Warung Street, which are more reflective of the current development pattern of the R3 zone (at this locality).
- The proposed development's intent of utilising the existing building significantly restricts the ability to achieve a high level of residential amenity. As such, despite the proposed excess bulk and non-compliant height, the resultant building provides inadequate amenity for future occupants and demonstrates that the site is not suitable for the proposal.





Figure 40: Land use zoning map showing subject site (outlined in yellow hatched) and surrounding properties (Source: ePlanning Spatial Viewer)

Given the above aspects, the proposed development fails to achieve the objectives of the R3 – Medium Density Residential zone.

**Part 4 – Principal Development Standards**

Principal Development Standards – North Sydney Local Environmental Plan 2013			
Site Area: 985.4m <sup>2</sup>	Control	Proposed	Complies
Clause 4.1 – Subdivision lot size	Min. 230m <sup>2</sup>	N/A	N/A No subdivision proposed
Clause 4.3 – Heights of Building	Max. 8.5m	Roof ridge: 10.68m to 11.37m  Lift overrun: 11.7m	No*  Roof ridge: 2.87m or 34%  Lift overrun: 3.2m or 38%

\* Clause 4.6 written submission provided

### **Clause 4.3 – Height of Buildings**

The proposed development involves a maximum height of 11.7m, which is attributed to the new lift overrun and that represents a 3.2m or 38% variation to the maximum height of buildings development standard under Clause 4.3 of NSLEP 2013. It is noted that the existing building has a height of 11.37m, which is a pre-existing variation of 2.87m or 34%. The newer and re-built portions of the building will have a height of 10.68-11.19m above existing ground. It is noted that the northern extension will further exacerbate the excess scale and bulky presentation of the scheme as this will be built on an undeveloped portion of the site, which currently contains trees and other vegetation.

A discussion regarding the proposed height breach and its assessment against Clause 4.6 of the NSLEP 2013 are contained below.

### **Clause 4.6 – Exceptions to development standards**

The Applicant has provided a written request to vary the development standard under Clause 4.3 of NSLEP 2013 – maximum height of buildings.

#### **Extent of the Variation**

As described above, the proposed development involves a maximum height of 11.7m (for the new lift overrun), which represents a 3.2m or 38% variation to the maximum height of buildings development standard. The entire flat roof of the proposed development involves a variation to this development standard as it is elevated to a height of 10.68-11.37m above natural ground. These elevations reflect the natural topography of the site. The roof will have a maximum variation of 2.87m or 34%.

#### **Clause 4.6(3)(a) Is compliance with the development standard unreasonable and unnecessary in the circumstances of the case?**

For reference the objectives of the development standard are as follows:

Clause 4.3 of the NSLEP 2013

(1) *The objectives of this clause are as follows:-*

- (a) *to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,*
- (b) *to promote the retention and, if appropriate, sharing of existing views,*
- (c) *to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,*
- (d) *to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,*
- (e) *to ensure compatibility between development, particularly at zone boundaries,*

- (f) *to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area,*
- (g) *to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.*

The Applicant's written request relies upon Webhe Test 1 to demonstrate that compliance with the development standard is unreasonable and unnecessary. In response to Clause 4.6, the following excerpts are relevant and contained within the Applicant's written request:

***“Objective (a) is to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient.***

*The site has a crossfall from the north-eastern corner on Warung Street to its Henry Lawson frontage, noting that Henry Lawson Avenue slopes from Blues Point Road towards McMahons Point in the east. The pavement on Henry Lawson Avenue is 3.5m-5.7m lower than the subject site.*

*The existing building was not stepped down the site, rather it was constructed with ground level parking, accessed off Warung Street, with three habitable levels above. The parking areas utilises the slope of the land, not the habitable floor levels.*

*To satisfy the intent of this objective, a height compliant development on the site would need to step down the slope of the land. In this case this would require dropping off the existing upper-level units across the whole of the building.*

*The proposal provides access to a new basement for parking and services from Henry Lawson Avenue, with reconstructed apartments above, including a lower ground floor level unit that replaces the driveway and parking previously located under the southern wing of the building. The basement, being wholly below ground level, does not add to the overall height or building envelope when viewed from street level.*

*Overall, the proposal does not explicitly achieve this objective as the building is not stepped down the site. It must be accepted that the building envelope is a function of the existing construction and the proposal does not increase the height or massing of the building over and above the current built form.*

***Objective (b) is to promote the retention and, if appropriate, sharing of existing views. The proposal does not adversely impact views of adjoining or adjacent properties.***

*The properties to the north of the site are either high set or already impacted by the existing building envelope. As the height and eastern extent of the existing building is not changed from the existing building envelope, views from the north are not impacted.*

*Properties to the north along Blues Point Road are not unduly impacted by the modification of the western façade of the building. The north-western balconies are removed and the new western balconies do not protrude any further towards the Blues Point Road frontage than the existing balconies.*

*Overall, the height of the new roof is maintained in line with the existing roof height and the only protrusion above the existing roof height is a low set lift overrun (360mm higher than the roof). This particular model of lift was selected due to its low height and ability to significantly reduce any view impacts or loss of amenity. The lift overrun is centrally located within the building footplate. Any distant views across the top of the building will not be obscured to a degree that would warrant refusal or modification of the lift overrun.*

*The new apartments at the rear are sited behind the existing building (when viewed from the primary public domain), are well setback from the eastern side boundary and from the Warung Street boundary. The height of the addition is compliant and within the parameters of the existing building. This objective is achieved.*

*Objective (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development.*

*The site has a north-south orientation with road reserves on the northern, western and southern sides of the property. Additional shadows from the proposal have been tracked and shadow diagrams submitted with the DA package. These demonstrate that only minor increases occur as a result of the new and updated development and these predominantly fall over the road reserve and Blue Point Reserve areas only. This objective is achieved.*

*Objective (d) is to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings.*

*The layout and orientation of the apartments is not altered by the development. The new apartments (closest to Warung Street) have their main living areas facing the street. The remainder of the units face west and south to take full advantage of the Sydney Harbour and cityscape views. Low traffic rooms, being bedrooms face the eastern side boundary with each window opening screened to ensure cross-boundary privacy. This objective is achieved.*

***Objective (e) is to ensure compatibility between development, particularly at zone boundaries. The development site is not located at a zone boundary and is permissible in the R3 Medium Density Residential zone.***

*This section of McMahons Point and Blues Point contains an eclectic mix of low, medium and high density development. The existing development is a longstanding flat building, built in the 1960's after the Warung Street heritage listed residences, No. 30-40 Blues Point Road (constructed prior to 1955) and the Blues Point Tower (built around 1962) were constructed. The building's height, bulk and building mass lies between the large, low density residences and the multistorey, high-density tower buildings. The proposal does not seek to substantially alter the built form of the existing development. In heritage terms the existing building has been categorised as 'uncharacteristic'. The proposed modernisation of the building provides a link between the past and present, providing a recategorisation of the building as 'neutral' within the McMahan Point South Heritage Conservation Area landscape. Given this in addition to the retention of the overall urban morphology of the building the development remains compatible with adjoining and adjacent development. This objective is achieved.*

***Objective (f) is to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.***

*The subject site is located on a corner block with three street frontages and is opposite Henry Lawson Reserve. The three streets that surround the subject site vary in topography and character. The site is zoned R3 Medium Density Residential and the development is permissible with Council's consent.*

*As stated above the existing building is a 1960's red brick flat building with at-grade parking with access off Warung Street. It is situated amongst an eclectic mix of building types, including detached older dwellings (some heritage listed), modern infill developments and residential flat buildings (both medium and high density).*

*The proposal utilises, as part of its architectural expression, the existing red face brick and further breaks down the scale of the development through the use new painted rendered finishes, sandstone and new steel and glass detailing. The overall composition of these elements creates a scale that enhances the sense of place and comfort.*

*In terms of heritage, the site is not a listed heritage item, rather Council's DCP (Appendix) lists the site as 'uncharacteristic'. The proposal will improve the visual fit of the development, recategorising the development as 'neutral'. The existing setting is generally unchanged and the building façade modifications remain consistent with the character of the area. This objective is achieved.*

***Objective (g) is to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.***

*This objective is not applicable to the existing or proposed residential flat building in this case. The existing building is three storeys over at-grade parking. The proposal retains the three habitable floor levels with a new basement below. The locality is clearly defined by buildings greater than 2 storeys and greater on the downslope."*

Council's evaluation of the Applicant's written request confirmed that the objectives of the development standard and the relevant zone (R3) cannot be achieved should support for the proposal and the non-compliance with the development standard be supported (as demonstrated in the 'Objectives of the zone' section above and the section below).

The Applicant's written request nominates "environmental planning grounds" which should be considered to justify the variation and that support for the variation will be in the public interest. Council's assessment of the written request confirms that no sufficient environmental planning grounds have been demonstrated and support for the variation is not in the public interest.

The proposed development is considered below, having regard to the objectives of the development standard.

**(a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient**

The proposed development fails to step the development on sloping land to follow the natural gradient. This is primarily due to the design intent, which retains a portion of the existing building. Regardless of this, significant works are proposed relating to the basement excavation and rock wall intrusion, the partial demolition of the building, a re-building of this portion and northerly extension – all of which, fail to respond to the existing topography and as a result, are unable to reduce bulk and scale. The proposed development fails to achieve this objective.

**(b) to promote the retention and, if appropriate, sharing of existing views**

The subject site and immediate vicinity benefits from having waterfront, scenic, iconic and prominent views – in particular, of Sydney Harbour and public reserves. Some of these views are interrupted and rely upon gaps between buildings. The proposed development has been designed to not only maintain the existing height breach but exacerbate this scale by providing a taller element (lift overrun) and extend the building to portions of the site that are undeveloped. Any additional view loss impacts are unlikely to be significant compared to the existing building due to the topography of the site, the centralised location and dimensions of the lift overrun and orientation of the building extension. These impacts could be considered acceptable; however, it is recognised that a more compliant building with reduced massing will assist in improved sharing of existing views. The proposed development fails to achieve this objective.

**(c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development**

Introducing a northerly extension of the building will have some additional overshadowing impacts on No. 3 Warung Street – however, these are considered acceptable as the minimum three (3) hours are achieved in the morning during winter solstice. It is noted, however, that the proposed development involves poor amenity for future occupants – as demonstrated in the lack of solar access for several units and failure to comply with the minimum ADG requirements. The proposed development is unable to achieve this objective.

**(d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings**

The proposed development provides adequate separation distances and design measures that allow for adequate privacy between future occupants and neighbouring properties. It is noted that the windows along the eastern side of the building are within bedrooms and bathrooms, which are low activity spaces, and comprise of screening (fixed louvres) to minimise privacy impacts. The proposed development generally achieves this objective.

**(e) to ensure compatibility between development, particularly at zone boundaries**

The subject site is uniquely placed at the edge of an R3 zone, adjacent to areas zoned R4 and RE1 (refer to Figure 40). As mentioned above, the proposed development fails to provide an acceptable visual transition between the high and low density residential areas as its scale is excessive and its design is not adequately recessive nor responsive to the site being in a conservation area and at the edge of zone boundaries. The proposed development fails to achieve this objective.

**(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area**

The proposed development is not of an appropriate scale, bulk and density that is compatible with and consistent to the development pattern of the locality and context of the site. As described in previous sections, the scale and density of the development does not adequately respond to the site's constraints, context and setting and the overall scheme's dominant presentation is further exacerbated by the mixture of traditional and contemporary architectural features that poorly integrate with the surrounding area. The overall scheme results in a highly uncharacteristic design outcome that does not promote the character of the area and will have unacceptable impacts on the conservation area and streetscape. The proposed development is unable to achieve this objective.

**(g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living**

The proposed development does not maintain a 2-storey development within the R3 zone. Notwithstanding that the existing residential flat building is greater than 2-storeys, the unique constraints and sensitivities of the site and its context are not sufficiently considered by the scheme and are exacerbated and enhanced by the unusual hybrid design and architectural expression. The development fails to achieve a number of critical principles under the SEPP 65 for delivering design excellence in residential buildings and is unable to meet ADG objectives and controls, and offers poor amenity for future occupants. These aspects further highlight that the site is not suitable for the proposed development and a poor design and planning outcome will be delivered. As such, the proposed development fails to achieve this objective.

#### **Clause 4.6(4)(a)(ii) Applicant's written request**

It is noted that the Applicant's written request provides limited justification as it identifies objective (g) of Clause 4.3 as not applicable. Critically, any discussion included in the Applicant's written request fails to provide sufficient information and reasons demonstrating that compliance with the development standard is unreasonable or unnecessary. Considering the excessive bulk and scale and dominant presentation of the built form; the creation of a highly uncharacteristic building that fails to appropriately and sympathetically respond to the site's constraints and setting within a conservation area and highly visible from the foreshore area and public domain; and the provision of housing that offer poor residential amenity for future occupants it is evident that the proposed development will deliver an undesirable and poor planning and design outcome for the site and locality and that there are no environmental planning grounds to justify contravening the maximum building height development standard under Clause 4.3.

#### **Clause 4.6(4)(a)(ii) Public Interest**

The proposed development is not in the public interest as it fails to achieve several key objectives of the R3 – Medium Density Residential zone and cannot achieve most objectives in Clause 4.3 of NSLEP 2013.

#### **Conclusion**

The Applicant has submitted a written request pursuant to Clause 4.6 of NSLEP 2013 and this request has been reviewed by Council. Council's review indicated that the request fails to adequately address subclauses (3) and (4). The variation request also is not supported on the basis that the development would not achieve the zone objectives and aims of the LEP which apply to development in a heritage context. As such, the proposed non-compliance is considered unacceptable and cannot be supported.

#### **Part 5 – Miscellaneous Provisions**

##### **Clause 5.6 – Architectural roof features**

The objectives of the clause are as follows:

- (a) to permit variations to maximum building height standards for roof features of visual interest,*
- (b) to ensure that roof features are decorative elements and that the majority of the roof is contained within the maximum building height standard,*
- (c) to maintain solar access to new and existing buildings, public reserves and streets,*
- (d) to promote the retention and, if appropriate, sharing of existing views.*

The proposed development involves a significant breach to the maximum building height that relate to the majority of Level 2 of the building including the new lift overrun and the retained and additional roofing of the building. The extent of variation being 2.87-3.2m means that none of the offending elements can be considered architectural roof features to which Clause 5.6 can be applied as these are not decorative roof features and do include floor space. No further consideration is necessary with regard to Clause 5.6.



### **Clause 5.10 – Heritage Conservation**

The subject site is within the McMahons Point South Conservation Area (CA14), which is listed under Schedule 5 in NSLEP 2013 and it adjoins a listed heritage item at No. 3 Warung Street (I05015). As such, the following planning objectives apply to the site:

- (a) *to conserve the environmental heritage of North Sydney,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) *to conserve archaeological sites,*
- (d) *to conserve Aboriginal objects and Aboriginal places of heritage significance.*

As confirmed by Council's Heritage Planner the proposed development fails to achieve the above objectives as it fails to respond to the heritage context of the site and will have detrimental impacts on the quality and significance of the conservation area and respective item. Accordingly, the proposed development is not supported on heritage grounds and is unacceptable.

### **Part 6 – Additional local Provisions**

#### **Clause 6.10 – Earthworks**

The proposed development involves a significant amount of excavation to accommodate the basement and lower ground level. An assessment has been carried out below having regard to Clause 6.10 in NSLEP 2013.

As per the provisions of Clause 6.10(3), the following matters are required to consider before consent can be issued.

- (3) Before granting development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters:
  - (a) the likely disruption of, or any detrimental effect on:
    - (i) drainage patterns and soil stability in the locality of the development, and
    - (ii) natural features of, and vegetation on, the site and adjoining land,

The proposed earthworks are considered major and have the potential to affect soil stability. Of particular concern is the stability of the rock wall and the land comprising the adjoining property (No. 3 Warung Street). The information provided by the Applicant fails to give any certainty that the remainder of the rock wall, and both the adjoining property at No. 3 Warung Street and the retained portions of the building are able to remain in-situ and withstand the extent of demolition and excavation works proposed. Further, the use of anchors required to extend into the neighbouring property at No. 3 Warung Street is not considered an acceptable solution and would require consent from the respective owner/s. As such, the above matter is unresolved.

- (b) The effect of the development on the likely future use or redevelopment of the land,

The proposed development will maintain the current use of the land as a residential flat building. The proposed earthworks are unlikely to effect the future use/redevelopment of the land – however, the resultant outcome is not considered acceptable nor supportable in its current form and fails to accord with zone objectives applicable to the site.

- (c) the quality of the fill or the soil to be excavated, or both,

Given the residential history of the site it is unlikely that the site has experienced any significant contaminating activities which would give rise for concern relating to the quality of material to be utilised as fill or of any existing material that will be disturbed.

- (d) the effect of the development on the existing and likely amenity of adjoining properties,

As mentioned above, the proposed earthworks are considered major and have the potential to affect land stability of the adjoining property of No. 3 Warung Street. The Applicant failed to resolve this issue and as such the proposed development and associated earthworks are not acceptable in this regard.

- (e) the source of any fill material and the destination of any excavated material,

If the proposed development is supported, conditions can be imposed to ensure fill material is adequate and fit for purpose and any waste material from excavation exported and disposed of appropriately.

- (f) the likelihood of disturbing Aboriginal objects or relics,

The site has an extended history of residential usage with no surface outcropping of natural rock occurring on site. The likelihood of disturbing any relics is very low.

- (g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,

The site does not supply any drinking water catchments. If the proposed development is supported, appropriate sediment and erosion control measures can be included to prevent sediment movement into adjoining properties.

In accordance with the provisions of Clause 6.10(3) this assessment has considered the impact of the proposed excavation and filling within the site and to surrounding properties and found that the proposed earthworks are not acceptable for the reasons as outlined above. Accordingly, the proposed development is not supportable in this regard.

**NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013 (NSDCP 2013)**

The proposed development has been assessed against the relevant objectives and controls under the NSDCP 2013. An assessment has been carried out below:

**Part B, Section 1: Residential Development**

<b>Part B Section 1: Residential Development</b>		
<b>Control</b>	<b>Compliance</b>	<b>Comments</b>
<b>1.2 Social Amenity</b>		
<b>Population Mix</b>	<b>No – acceptable on merit</b>	The proposal intends on retaining the existing land use but with a reduced number of units that are have been updated and enlarged to provide for bigger households. Whilst there is a reduced number of units, the amount and type proposed are acceptable and will diversify the existing housing choice within the area.
<b>Universal Design and Adaptable Housing</b>	Yes	A minimum of 20% of dwellings in multi-dwelling housing and residential flat buildings that contain more than 5 dwellings must comprise adaptable housing. The proposal involves two (2) adaptable units of out nine (9) units = 22% – thereby achieving the minimum 20% of units to be adaptable housing.
<b>1.3 Environmental Criteria</b>		
<b>Topography</b>	<b>No</b>	<p>Some concern is raised with regard to potential impacts on the rock wall along southern perimeter. This rock wall appears to be continuous and extends to adjoining and neighbouring properties to the east including No. 3 Warung Street. The Applicant failed to provide sufficient information to support the partial demolition of the wall – such that the stability of this large structure and the adjoining property at No. 3 Warung Street, are not compromised.</p> <p>Under P5, excavation should not occur within 1m of any property boundary. Where excavation is required within 500mm of a property boundary, Council must not grant development consent unless it is satisfied that the proposed excavation will not result in adversely impacting upon the structural integrity of adjoining properties. As per above, the information provided gives no certainty that the stability and integrity of the remaining rock wall and adjoining properties will be unaffected by the significant earthworks and demolition proposed.</p>
<b>Views</b>	<b>No</b>	The proposed development has been designed to not only maintain the existing height breach but exacerbate this scale by providing a taller element (lift overrun) and extend the building to portions of the site that are undeveloped. Any additional view loss impacts are unlikely to be significant compared to the existing building due to the topography of the site, the centralised location and dimensions of the lift overrun and orientation of the building extension. Notwithstanding that these impacts could be considered acceptable; it is recognised that a more compliant building design with reduced massing will assist in an improved sharing of existing views. As such, the proposed development cannot achieve the provisions/controls relating to view loss impacts.

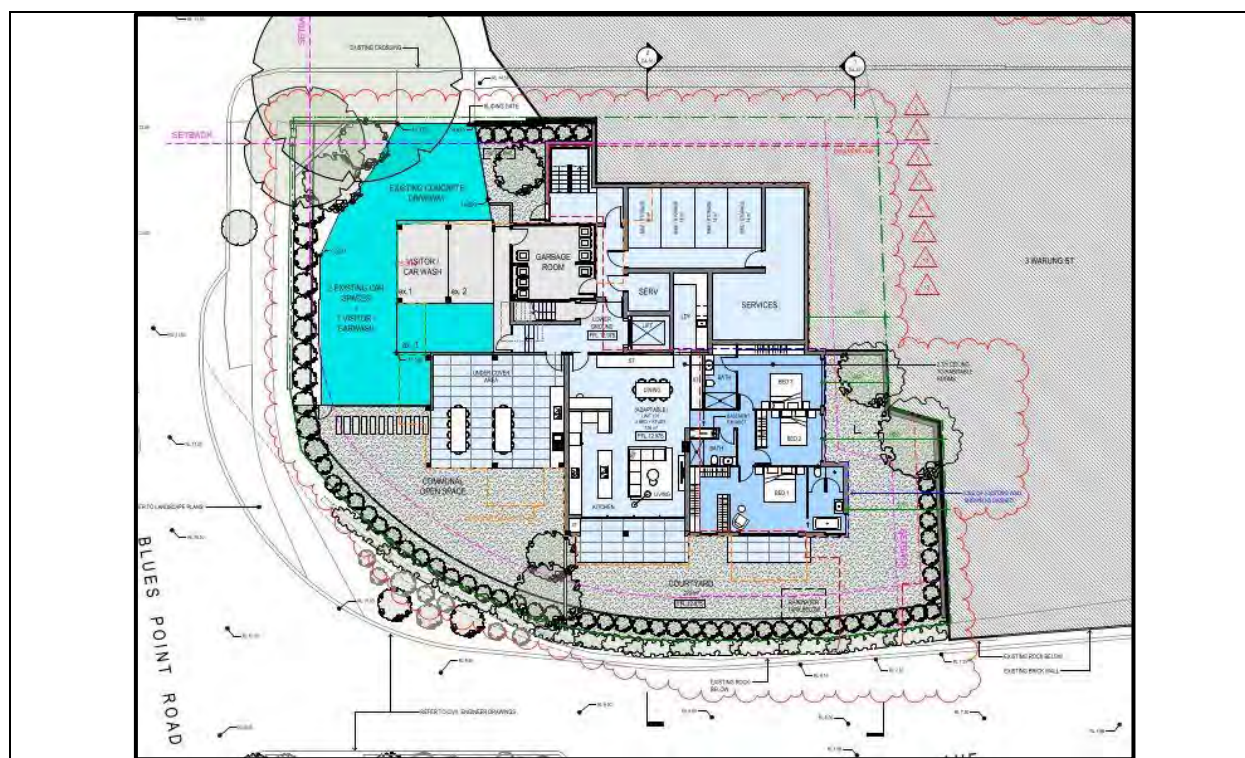
<b>Solar Access</b>	<b>No</b>	The ADG criteria is relevant and the proposed development fails to comply. The proposed development is able to provide sufficient solar access (3 hours) to adjoining and surrounding properties during mid-winter. A more height-compliant and less bulky building with greater eastern setbacks would provide improved solar access to No. 3 Warung Street.
<b>Acoustic Privacy</b>	Yes	Acoustic privacy is achieved by the design.
<b>Visual Privacy</b>	<b>No – acceptable on merit</b>	Some concern is raised with regard to the east-facing bedroom windows. The provision of privacy louvres is considered appropriate privacy treatments to minimise potential privacy impacts associated with these windows.
<b>1.4 Quality Built Form</b>		
<b>Context</b>	<b>No</b>	As mentioned and detailed above – the design and built form of the proposed development are not contextually appropriate.
<b>Streetscape</b>	<b>No</b>	As mentioned and detailed above – the visual bulk, presentation and dominance of the proposed development are critical issues and ensure this does not respond sufficiently to the streetscape character.
<b>Siting</b>	Yes	Generally within the footprint of the existing building – however, a more appropriate design involves modifying this footprint to offer improved setback distances.
<b>Setback – Front</b>	Yes	See above – generally complies with ADG.
<b>Setback – Side</b>	<b>No</b>	Does not comply with ADG.
<b>Building Separation</b>	<b>No</b>	Does not comply with ADG.
<b>Form, Massing Scale</b>	<b>No</b>	As mentioned and detailed above – the visual bulk, presentation and dominance of the proposed development are critical issues. The height non-compliance is unacceptable.
<b>Built Form Character</b>	<b>No</b>	See above.
<b>Dwelling Entry</b>	Yes	
<b>Roofs</b>	Yes	The new flat roof and elements on top are acceptable and generally similar to the flat roof of the existing building.
<b>Materials</b>	No	The design treatments and aesthetic are not in character with the surrounding area and are not sympathetic to the conservation area.
<b>Balconies – Apartments Minimum area of 8 m<sup>2</sup> and minimum depth of 2 metres</b>	Yes	Complies with ADG.
<b>Front Fences</b>	Yes	Acceptable and generally retains the rock wall as the more prominent feature.
<b>1.5 Quality Urban Environment</b>		
<b>High Quality Residential Accommodation</b>	Yes	The criteria and guidance under the Apartment Design Guide prevails.
<b>Vehicle Access and Parking (Inclusive of considerations required under Part B Section 10 Car Parking and Transport of NSDCP 2013)</b>	Yes	As per above.

<p><b>Site Coverage</b></p> <p><b>Site area: 985.4m<sup>2</sup></b></p> <p><b>Site coverage requirements for residential flat building: maximum 45% (443.43m<sup>2</sup>)</b></p>	<p><b>No</b></p>	<p>A maximum of 45% site coverage (443.43m<sup>2</sup>) is allowed for residential flat buildings on the subject site. The proposed building footprint of the proposal is calculated to be 511.7m<sup>2</sup>, which is 52% of the site area and therefore does not comply. The variation is considered to have no merit as the existing building is compliant with this control and the variation is only associated with the extension to the building. The variation is not acceptable given that it involves excess bulk and scale – further exacerbating the current height breach of the building and extending it further into undeveloped parts of the site. A number of critical matters including response to context and heritage have been raised and the overall scheme cannot be accepted.</p>
---	------------------	--



Site coverage diagram (proposed site coverage shaded in grey)

<p><b>Landscaped area</b></p> <p><b>Site area: 985.4m<sup>2</sup></b></p> <p><b>Landscaped area requirements for residential flat building: minimum 40% (397.16m<sup>2</sup>)</b></p>	<p><b>No – acceptable on merit</b></p>	<p>The proposed development will have landscaped areas totalling 288.1m<sup>2</sup> (29.2%) of the site and therefore, does not comply with the requirement. It is noted that the proposed development complies with the ADG criteria (refer to the ADG table).</p>
<p><b>Un-built upon area</b></p> <p><b>Site area: 985.4m<sup>2</sup></b></p> <p><b>Un-built upon area requirements for residential flat building: maximum 15% (147.81m<sup>2</sup>)</b></p>	<p><b>No - acceptable on merit</b></p>	<p>A maximum un-built upon area of 15% (147.81m<sup>2</sup>) of the site area is allowed. The total un-built upon area proposed is 185.6m<sup>2</sup> or 18.8% of the site area. The proposed development is non-compliant with this requirement. These areas are attributed to the existing driveway and parking and turning areas and are adequately balanced by numerous landscaping treatments throughout the site. The variation is acceptable on merit.</p>



Un-built upon area diagram (proposed un-built upon area shaded in cyan)

<b>Excavation</b>	No	No acceptable – see discussion under Clause 6.10 of the NSLEP 2013.
<b>Landscaping</b>	Yes	Acceptable.
<b>Private and Communal Open Space</b>	Yes	
<b>Garbage Storage</b>	No	Council’s Waste Officer confirmed objections.
<b>Site Facilities</b>	No	A clothes drying facility in the courtyard or common property should be provided to avoid the use of the visually permeable balconies for clothes drying.
<b>1.6 Efficient Use of Resources</b>		
<b>Energy Efficiency</b>	Yes	The Applicant has provided a BASIX Certificate in support of the development application which requires suite of energy efficiency measures such as: <ul style="list-style-type: none"> <li>• Energy efficient internal appliances</li> <li>• Energy efficient lighting</li> <li>• Thermal insulation levels for glazing, walls and ceilings</li> </ul> A condition can be imposed to ensure that the measures contained within the BASIX Certificate are undertaken at all stages of the development process.
<b>Passive Solar Design</b>	No	Fails to comply with ADG criteria.
<b>Natural Ventilation</b>	Yes	Achieves ADG criteria.
<b>Stormwater Management</b>	Yes	Accepted by Council’s Development Engineer.

**Part B, Section 13: Heritage and Conservation**

The following table assesses the proposed development with respect to the relevant objectives and controls under Part B, Section 13 of the NSDCP 2013.

<b>Part B, Section 13 – Heritage and Conservation</b>		
<b>Control</b>	<b>Compliance</b>	<b>Comments</b>
<b>13.6 Heritage conservation areas</b>		
<b>Objectives</b>		
<b>O1 Ensure that new development is designed to retain and complement the character and significance of the conservation area (refer to Part C of this DCP for a description of the significance of the heritage conservation area).</b>	<b>No</b>	The design, bulk and scape of the proposed development are not in keeping with the existing character and fails to complement nor provide positive contribution to the streetscape and prominent setting of the site.
<b>O4 Encourage change that will remove uncharacteristic items or reduce the extent of their intrusion.</b>	<b>No</b>	As confirmed by Council’s Heritage Planner – the proposed development will result in an uncharacteristic item becoming more uncharacteristic, enlarged, less recessive and less acceptable than the current building.
<b>P7 Respond to characteristic building alignments by not building forward of the established or characteristic front setback</b>	Yes	The proposed front setback is generally considered acceptable.
<b>P8 Repeat any consistent pattern of side and rear setbacks of heritage and contributory items in the vicinity of the site.</b>	<b>No</b>	The proposed setbacks in relation to heritage items in the vicinity are not acceptable and further separation is encouraged.
<b>P9 New work may adopt a contemporary character, provided the development is not likely to have a detrimental impact on the characteristic built form of the area, particularly in terms of bulk, scale, height, form or materials.</b>	<b>No</b>	The proposed aesthetic and presentation is not acceptable and will result in a dramatically different built form and appearance that is out of character and does not respond adequately to the conservation area and site’s context and setting. The design expresses a hybridised form that carries elements that split between post-war traditional and contemporary.
<b>13.10.5 – Apartment buildings</b>		
<b>Objectives</b>		
<b>O1 – Ensure that changes are sympathetic to significant fabric and building elements and do not have a detrimental impact on the heritage significance of the building.</b>	<b>No</b>	The proposed development involves significant changes that are not sympathetic to the primary significant fabric of the building and fail to borrow architectural forms and features within the immediate vicinity that allow it to be of a more compatible form and design.
<b>O2 – Conserve significant building elements and features including verandahs, fenestration patterns, internal lobbies and staircases.</b>	<b>No – acceptable on merit</b>	The proposed development involves changes to an uncharacteristic item.
<b>Provisions</b>		
<b>P1 – Major changes to the scale and form of apartment buildings should not occur where the additional floor space would compromise the heritage significance of the existing building or surrounding area.</b>	<b>No</b>	Excessive bulk and scale are proposed and will have impacts on the heritage significance of the surrounding area.

<b>P2 – Alterations and additions are to respond to the articulation and rhythm of the existing building through the repetition of significant features that occur at regular intervals.</b>	<b>No</b>	The proposed changes to the building fail to allow the uncharacteristic item to become a neutral item or a contributory item. In fact, the proposed development introduces an even more uncharacteristic building that does not complement the conservation area.
<b>P3 – Retain original or significant window and opening patterns. New openings are to respect this pattern and not introduce new patterns of window or door openings.</b>	Yes	The proposed changes to the windows are generally accepted.
<b>P4 – External awnings, hoods and other overhanging devices that will detract from the buildings form are not permitted.</b>	<b>No</b>	The proposed balconies feature colouration and materiality that are not appropriate to the conservation area.
<b>P5 – Incorporation of lifts should be designed to minimise impacts on significant spaces and fabric within the building.</b>	Yes	The proposed lift is generally acceptable.
<b>P6 – Upgrading for compliance with the BCA, fire egress, disable access or service installations or structural upgrade should comply with Section 13.5.6 to this Part of the DCP.</b>	Yes	
<b>P7 – Refer to section 13.5, 13.6 and 13.9 to this Part of the DCP for other applicable controls.</b>	<b>No</b>	The built form, massing and scale of the proposed development are unacceptable.
<b>P7 – Ensure new openings have similar dimensions or are compatible with existing openings, such as width and height of double doors.</b>	Yes	
<b>P8 – Provide for reversibility of internal changes (where appropriate and reasonable).</b>	Yes	Not relevant to uncharacteristic items.
<b>13.9.1 Skylights, solar panels and satellite dishes</b>	Yes	The proposed skylight and solar panels are situated on the flat roof and will have negligible impacts on the heritage significance of the conservation area.
<b>13.9.2 Dormer windows 13.9.3 Verandahs and balconies 13.9.6 Fences</b>	No	No dormer windows are proposed. The proposed balconies require re-design. The proposed fencing is generally acceptable.
<b>13.9.4 Materials, colours and finishes</b>  <b>P8 Ensure materials, finishes and colours are compatible with the characteristic built elements of the heritage conservation area as described in the relevant Area Character Statement (refer to Part C of the DCP).</b>	No	As mentioned above, the proposed materiality, colouration and finishes of the proposed development are not acceptable (as confirmed by Council’s Heritage Planner).



<p><b>13.9.5 Garages and carports</b></p> <p><b>O1 To ensure that vehicular accommodation does not detrimentally impact upon the significance of the heritage item or heritage conservation area.</b></p> <p><b>O2 To ensure that off-street car parking does not dominate the streetscape.</b></p>	<p>No</p>	<p>The concept of an opening in the rock wall is generally acceptable; however, insufficient detail and information was provided to ensure that the stability and integrity of the rock wall are maintained.</p>
<p><b>19.9.7 Gardens</b></p> <p><b>O1 To ensure that significant landscape features and trees are retained and reflected in new development.</b></p>	<p>Yes</p>	<p>The proposed landscaping treatments feature new trees, garden beds and grassed lawn areas that are considered acceptable.</p>

**Part C: Character Statements**

***Section 9 – Lavender Bay Planning Area***

***Section 9.8 – McMahons Point South Conservation Area***

The site is within the McMahons Point South Conservation Area, to which, Part C, Section 9.8 of the DCP applies. Given the unsympathetic design, excess bulk and scale, inappropriate architectural response and heritage impacts relating to the proposed development, it is considered that the proposed development will be highly contrary to the requirements under Section 9.8. This is further re-affirmed by Council’s Heritage Planner. As such, the proposed development fails to result in an acceptable and supportable planning outcome that is incongruence with the established and desired future character and built form of the McMahons Point South Conservation Area. The design and contextual issues raised are made critical and enhanced by the high visibility of the site – being in a prominent location set against the Sydney Harbour foreshore.

**LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN**

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to the payment of contributions towards the provision of local infrastructure. A Section 7.11 levy will be applicable due to the changed dwelling capacity and apartment mix proposed. It is noted; however, that the proposed development is recommended for refusal and the contribution payments have not been calculated. Should the Panel support the proposal, the relevant local infrastructure contributions amount can be calculated by Council and conditions to impose payment can be imposed in the subsequent consent.

**ALL LIKELY IMPACTS OF THE DEVELOPMENT**

All likely impacts of the proposed development have been considered within the context of this report.

<b>ENVIRONMENTAL APPRAISAL</b>	<b>CONSIDERED</b>
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	Yes
6. Loading and Servicing facilities	Yes
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	Yes
9. All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

### **SUBMITTERS CONCERNS**

The application was notified on two (2) occasions to adjoining properties and the Lavender Bay Precinct Committee and Union Precinct Committee.

Following the first notification period, Council received eleven (11) submissions from eight (8) individual properties and from both precinct committees during this period. The matters raised in these submissions objecting to the proposed development are listed below:

- Impacts on the sandstone cutting;
- Breach to maximum building height;
- Bulk, scale and density;
- Impacts associated with traffic, safety, amenity, view loss, privacy and solar access;
- impacts on heritage conservation area;
- Loss of landscaped areas;
- Excessive excavation;
- Setbacks;
- Construction noise;
- Inaccurate information in Statement of Environmental Effects;
- New building and additions and alterations; and
- Uncharacteristic built form.

Following the second notification period, Council received eight (8) submissions from four (4) individual properties and from the Lavender Bay Precinct Committee. The matters raised in these submissions were near identical to those mentioned in the submissions received in the first notification period.

Council's responses to the above issues and matters are provided below.

- Impacts on sandstone cutting

**Response:** As mentioned above, the concept of a basement wall can be supported and this is highlighted in the response from Council's Traffic and Transport Engineer. It is noted however, that the insufficient information was provided to support the ability to safely construction the basement level without compromising the integrity and stability of the remaining wall and adjoining property. Further, the proposed development cannot be supported due to a number of unresolved issues as detailed in this report.

- Breach to maximum building height

**Response:** The Assessment section above provides sufficient discussion on the breach to the maximum building height under Clause 4.3. The proposed breach is considered to not have merit and is not supported.

- Bulk, scale and density

**Response:** Adequate discussion has been provided in the Assessment section above – detailing the excess bulk, scale and density of the proposed development.

- Traffic and safety impacts

**Response:** Council's Traffic and Transport Engineer confirmed support for the basement opening. Transport for NSW – Sydney Metro did not raise concern with regard to the bus shelter. Traffic and safety impacts could be resolved through conditions and design details relating to the basement functions. Notwithstanding this, the proposed development is not supported for the reasons outlined throughout this report.

- Amenity and privacy impacts

**Response:** This has been covered in the Assessment section. Some of these impacts could be addressed through design changes – however, the proposed development is not supported for the reasons outlined throughout this report.

- View loss impacts

**Response:** Aside from the lift overrun and the new portion in the north-eastern portion of the site, the proposed flat roof is generally the same as the existing building. Any potential view loss impacts are likely to be similar to the existing building and any additional view loss impacts may be considered reasonable. It is noted, however, that a more appropriate built form should step down with the topography of the site, incorporate a reduced bulk and scale and be more compliant with the maximum building height and promote improved view sharing.

- Solar access

**Response:** Impacts on solar access on neighbouring properties has been covered in the Assessment section.

- Impacts on heritage conservation area

**Response:** Council's Heritage Planner confirmed that the proposed development fails to achieve objectives and provisions under Clause 5.10 of NSLEP 2013 and objectives and controls under the NSDCP 2013 (relating to heritage). As detailed throughout this report, the potential heritage impacts generated by the development are considered unacceptable.

- Loss of landscaped areas

**Response:** Council's Landscape Development Officer advised that the proposed tree removal and new landscaped areas are supported. The proposed landscaping treatments appear appropriate and reflective of treatments found in similar residential buildings within McMahons Point.

- Excessive excavation

**Response:** This has been detailed in the Assessment section pertaining to Clause 6.10 of NSLEP 2013. The proposed excavation is unacceptable.

- Setbacks

**Response:** The Assessment section above provides sufficient discussion on setbacks and building separation distances – refer to the ADG table and NSDCP 2013 table.

- Construction noise

**Response:** Construction noise can be minimised and mitigated through the imposition of conditions. It is acknowledged that such noise, whilst at times intrusive, are generally only temporary and intermittent.

- Inaccurate information in Statement of Environmental Effects

**Response:** Council undertakes a detailed and independent assessment of the application including any relevant matters relating to heritage. Any errors identified in the information package are disregarded and have no bearing on Council's assessment.

- New building and additions and alterations

**Response:** It is noted that whilst the proposed development introduces a modified building to the site, the respective proposal description is considered accurate and reflective of what is being proposed by the Applicant. Whether the proposal should be considered a new building or alterations and additions to an existing building has limited bearing on the assessment of the proposed development. The same merit assessment has been applied. On balance, the proposed development is considered an unacceptable and unsupportable outcome for the site and locality.

- Uncharacteristic built form.

**Response:** This has been covered in the Assessment section.

## **PUBLIC INTEREST**

The proposal is not considered to be in the public interest for the reasons stated throughout this report including failure to resolve and address substantive matters and issues raised in public submissions.

## **SUITABILITY OF THE SITE**

The proposed development is not considered to be suitable for the site having regard to the merits of the proposal as described in this report.

## **CONCLUSION + REASONS**

The proposed development was considered under the relevant Environmental Planning Instruments and policies including SEPP 65, NSLEP 2013 and NSDCP 2013 and was found to be not satisfactory.

The application proposes partial demolition of and additions and alterations to an existing residential flat building, which is development that is permissible (with consent) in the R3 – Medium Density Residential zone.

With regard to the potential impacts on the environment including streetscape, foreshore area, conservation area and adjoining and surrounding properties and the unique context and setting of the site, the proposal fails to achieve a high quality design and optimal planning outcome and contextually appropriate infill development for the site and locality. In light of the above and the numerous unresolved matters and issues identified, the application is not considered to be satisfactory and is recommended for refusal.

## **HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?**

Council received a total of nineteen (19) submissions from the community, the Lavender Bay Precinct Committee and Union Precinct Committee that raised valid and substantive concerns and issues including heritage impacts, excess height, bulk and scale, impacts on rock wall and excessive excavation. These concerns and issues have been discussed in this report and have not been adequately addressed by the final scheme.

Having regard to the merits of the proposed development, the application is recommended refusal for reasons outlined below.

## **RECOMMENDATION**

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

- A. In consideration of the written request made by the Applicant pursuant to Clause 4.6 of the North Sydney Local Environmental Plan 2013, the consent authority is not satisfied that compliance with the development standard contained in Clause 4.3 – Maximum Height of Buildings of NSLEP 2013 is well founded.

The consent authority has identified that there are no sufficient environmental planning grounds which would justify contravening the development standard.

The consent authority has identified that the proposed development is not in the public interest as it fails to achieve consistency with the relevant objectives of Clause 4.3 – Maximum Height of Buildings and the R3 – Medium Density Residential zone under NSLEP 2013.

- B. **THAT** the North Sydney Local Planning Panel, exercising the functions of Council as the consent authority, resolve to refuse development consent to Development Application No. 379/21 for development involving partial demolition of existing residential flat building, construction of below ground basement with reconstructed and new apartment addition above and configuration of remaining apartments, on land at No. 1 Warung Street (legally described as SP 1927), as shown on Architectural Plans, prepared by Squillace and dated 28/03/22, for the following reasons:

1. Pursuant to Section 4.15 (1)(a) of the EP&A Act 1979, the proposed development does not comply with the following relevant environmental planning instruments and development controls as follows:
  - a) State Environmental Planning Policy (Biodiversity and Conservation) 2021 – impacts on stability and integrity of rock wall and unable to satisfy relevant provisions under Chapter 10.
  - b) State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development – unable to achieve design quality principles (Principles 1, 2, 3, 4, 6, 7 and 9) under Schedule 1 and key guidance/criteria under the Apartment Design Guide.
  - c) North Sydney Local Environmental Plan 2013 – Aims of the Plan – unable to satisfy the key aims (2)(a), (2)(b), (2)(c) and (2)(e).
  - d) North Sydney Local Environmental Plan 2013 – objectives of R3 zone relating to not compromising amenity of surrounding area and natural and cultural heritage of the area, providing a suitable visual transition between high density and low density residential areas and ensuring a high level of residential amenity is achieved and maintained.
  - e) North Sydney Local Environmental Plan 2013 – objectives of Clause 4.3 – unable to satisfy the objectives (1)(a), (1)(b), (1)(c), (1)(e), (1)(f) and (1)(g).
  - f) North Sydney Local Environmental Plan 2013 – Clause 4.6 – the consent authority is not satisfied as per provisions (3) and (4).
  - g) North Sydney Local Environmental Plan 2013 – Clause 5.10 – unable to satisfy the provisions under this clause.

- h) North Sydney Local Environmental Plan 2013 – Clause 6.10 – unable to satisfy the provisions under this clause.
  - i) North Sydney Development Control Plan 2013, Part B, Section 1 – Environmental Criteria (Section 1.3) – failure to meet objectives and controls.
  - j) North Sydney Development Control Plan 2013, Part B, Section 1 – Quality Built Form (Section 1.4) – failure to meet objectives and controls.
  - k) North Sydney Development Control Plan 2013, Part B, Section 1 – Quality Urban Environment (Section 1.5) – failure to meet objectives and controls.
  - l) North Sydney Development Control Plan 2013, Part B, Section 13 – Heritage and Conservation – failure to meet objectives and controls.
  - m) North Sydney Development Control Plan 2013, Part C, Section 9 – McMahons Point South Conservation Area (Section 9.8) – failure to meet objectives and controls.
2. Pursuant to Section 4.15(1)(b) of the EP&A Act 1979, the proposed development is likely to have adverse impacts on the following aspects on the environment: heritage, streetscape, view loss, privacy, amenity, overshadowing (solar access), structural stability and integrity of adjoining land.
3. Pursuant to Section 4.15(1)(c) of the EP&A Act 1979, the subject site is not suitable for the proposed development for the following reasons: excessive bulk, scale and density, topography response, context and setting response – not sympathetic to heritage conservation area and foreshore area, adverse impacts and lack of residential amenity for future occupants.
4. Pursuant to Section 4.15(1)(e) of the EP&A Act 1979, the proposed development is not considered to be in the public interest and is likely to set an undesirable precedent including poor design response to conservation and foreshore areas, endorsement of an unacceptable non-compliance to the maximum building height provision under Clause 4.3 and non-compliances with criteria under SEPP 65 and design guidance under the ADG.

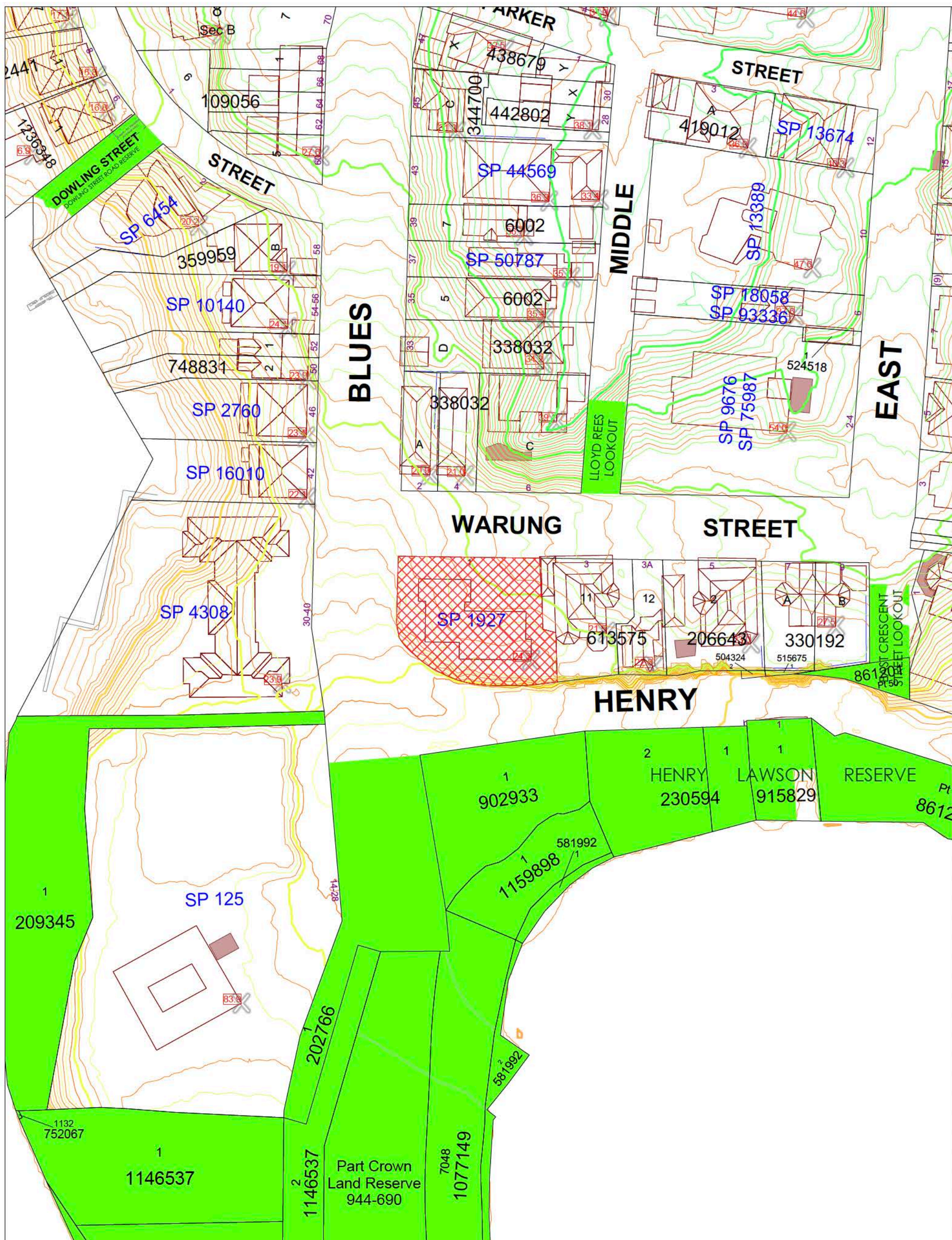
**MIGUEL RIVERA**  
**SENIOR ASSESSMENT OFFICER**

**DAVID HOY**  
**TEAM LEADER (ASSESSMENTS)**

---

**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

---



**North Sydney Council**

Copyright © North Sydney Council - No part of this map may be reproduced without permission. Commercial decisions should not be made based on information contained in this map without first checking details held by the responsible Government authority.

Further details can be obtained by calling (02) 9936 8100 or e-mail [mapping@northsydney.nsw.gov.au](mailto:mapping@northsydney.nsw.gov.au).



# WARUNG STREET APARTMENTS

1 WARUNG STREET, McMAHONS POINT

## DEVELOPMENT APPLICATION

### DA DRAWING LIST

NUMBER	COVER SHEET	NAME	CURRENT REVISION
DA-001	COVER SHEET		C
DA-012	SITE ANALYSIS PLAN		C
DA-019	LOWER GROUND LEVEL - DEMOLITION PLAN		C
DA-020	GROUND FLOOR - DEMOLITION PLAN		C
DA-021	LEVEL 1 - DEMOLITION PLAN		C
DA-022	LEVEL 2 - DEMOLITION PLAN		C
DA-023	ROOF LEVEL - DEMOLITION PLAN		C
DA-098	BASEMENT LEVEL PLAN		C
DA-099	LOWER GROUND LEVEL PLAN		C
DA-100	GROUND LEVEL PLAN		C
DA-101	LEVEL 1 PLAN		C
DA-102	LEVEL 2 PLAN		C
DA-103	ROOF PLAN		C
DA-201	NORTH & SOUTH ELEVATIONS - DEMOLITION		C
DA-202	EAST & WEST ELEVATION - DEMOLITION		C
DA-205	NORTH ELEVATION - PROPOSED		C
DA-206	EAST ELEVATION - PROPOSED		C
DA-207	WEST ELEVATION - PROPOSED		C
DA-208	SOUTH ELEVATION - PROPOSED		C
DA-210	STREETSCAPE WARUNG STREET		C
DA-211	STREETSCAPE BLUE POINT ROAD		C
DA-212	STREETSCAPE 4 & 6 WARUNG STREET		C
DA-213	STREETSCAPE HENRY LAWSON AVE		C
DA-301	SECTIONS SHEET 1		C
DA-401	SHADOW STUDY - WINTER SOLSTICE		C
DA-402	SHADOW STUDY - EQUINOXES		C
DA-431	SUN'S EYE VIEW - WINTER SOLSTICE		D
DA-432	SUN'S EYE VIEW - EQUINOXES		B
DA-450	3 WARUNG ST - SHADOW STUDY @ WINTER SOLSTICE		B
DA-531	LANDSCAPE COVERAGE & EXCAVATION PLAN		C
DA-551	BUILDING ENVELOPE		C
DA-601	SOLAR ACCESS & CROSS FLOW VENTILATION		C
DA-603	SEPP65 - STORAGE, PRIVATE & COMMUNAL OPEN SPACE		C
DA-700	PHOTOMONTAGE		C
DA-701	BASEMENT ENTRY PHOTOMONTAGE		A
DA-800	BASEMENT ENTRY DRAWING		B

### AMENDMENTS TO ARCHITECTURAL DRAWINGS

- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
- REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
- UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
- LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
- UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
- UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
- BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
- NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
- DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
- LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
- BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
- BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
- BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
- LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
- PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
- SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
- FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
- PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

### SUBJECT SITE



© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



### STATUS

#### DEVELOPMENT APPLICATION

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

#### GRAPHIC SCALE

NOT TO SCALE

#### DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 1510  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

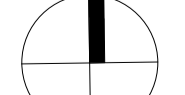
1 Warung Street, McMahons Point NSW

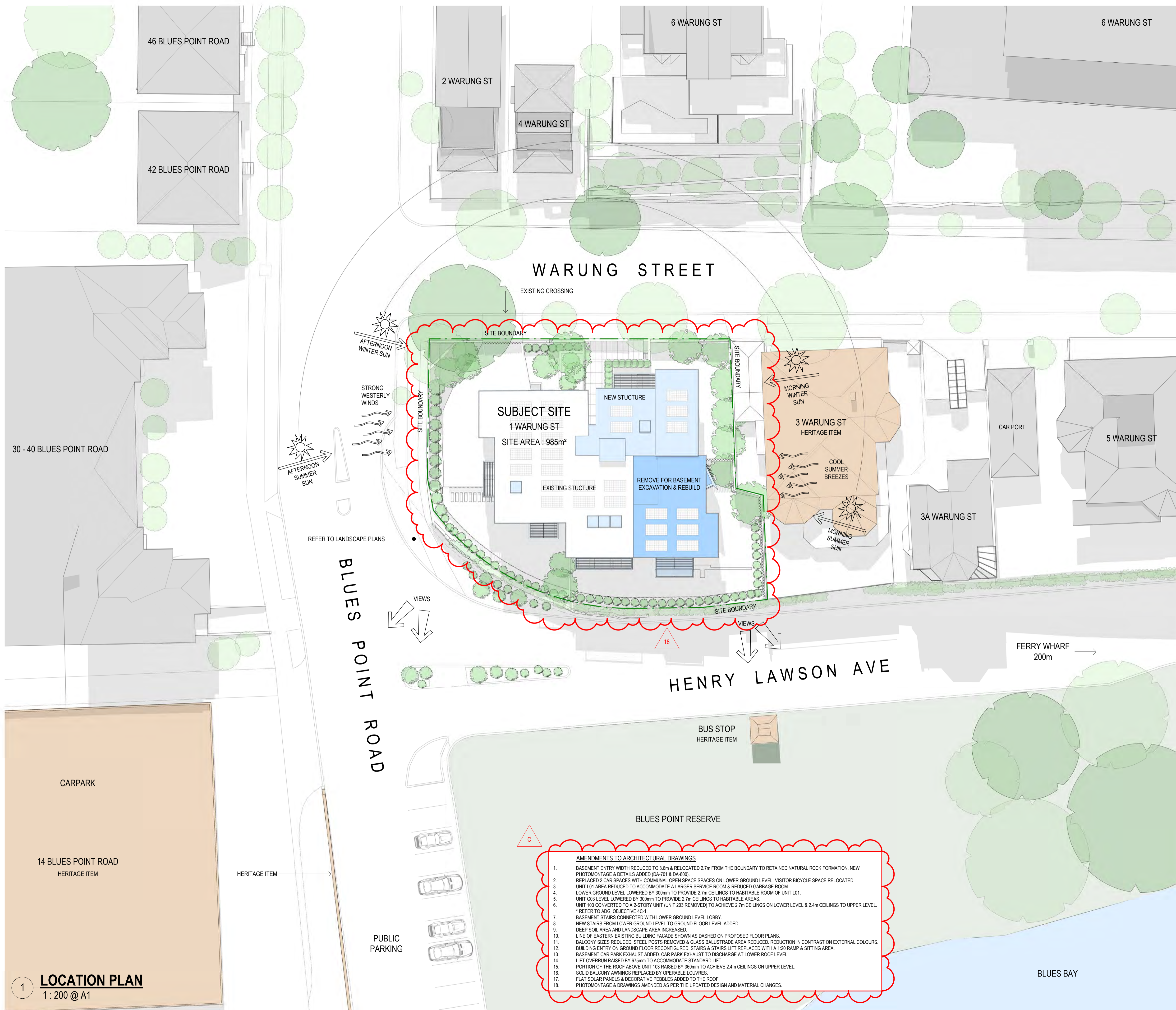
DRAWING NO.	ISSUE	
<b>DA-001</b>	<b>C</b>	
JOB NO.	SCALE	DATE
HIG2009	N.T.S.	28.03.2022

DRAWING TITLE  
COVER SHEET

DRAWN BY  
FO

CHECKED BY  
SC





© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



**DRAWING NOTES**

- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

**CLIENT**  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 1510  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

**PROJECT**  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

**DRAWING NO.** DA-012  
**SCALE** AS SHOWN  
**ISSUE** C  
**DATE** 28.03.2022

**DRAWING TITLE**  
SITE ANALYSIS PLAN

**DRAWN BY** FO  
**CHECKED BY** SC

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800)
  - REPLACED 2 CAR SPACES WITH COMBINAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADEL OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 575mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

**1 LOCATION PLAN**  
1 : 200 @ A1

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT 003 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY WINNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

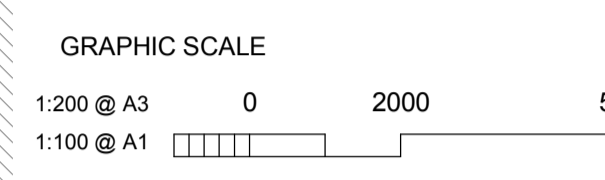
This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- DRAWING NOTES**
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

**CLIENT**  
Highbury Warung Pty Ltd

**squillace**

**ARCHITECTURE / INTERIORS**  
[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

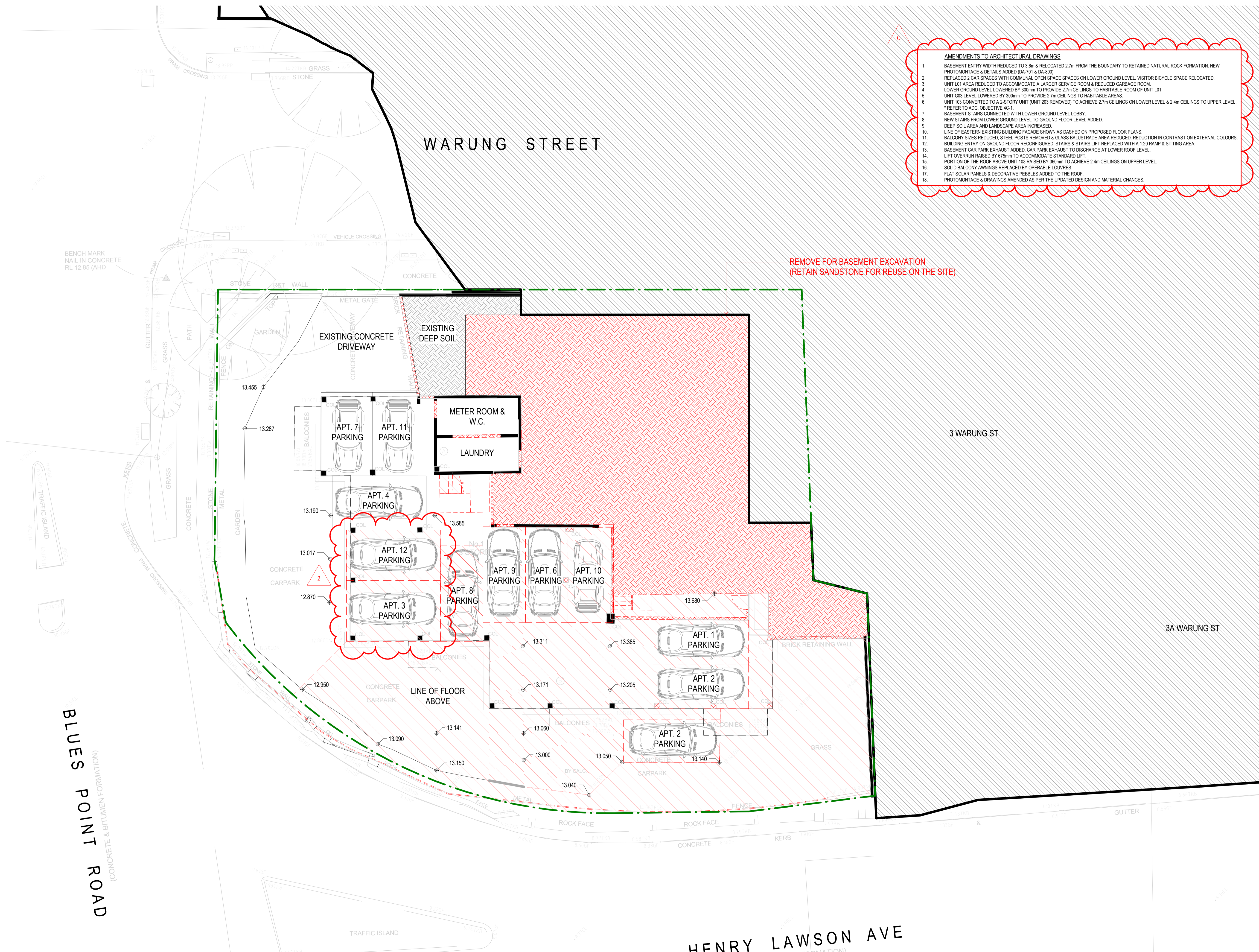
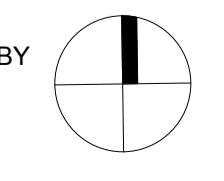
**PROJECT**  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

**DRAWING NO.** DA-019  
**ISSUE** C  
**JOB NO.** HIG2009  
**SCALE** 1 : 100 @ A1  
**DATE** 28.03.2022

**DRAWING TITLE**  
LOWER GROUND LEVEL - DEMOLITION PLAN

**DRAWN BY** FO  
**CHECKED BY** SC



**1 LOWER GROUND LEVEL - DEMOLITION PLAN**  
1 : 100 @ A1

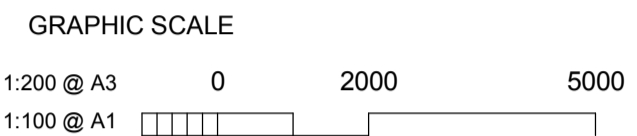
This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



DRAWING NOTES

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

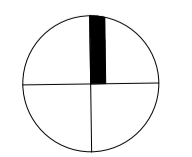
1 Warung Street, McMahons Point NSW

DRAWING NO. DA-020  
ISSUE C

JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
GROUND FLOOR - DEMOLITION PLAN

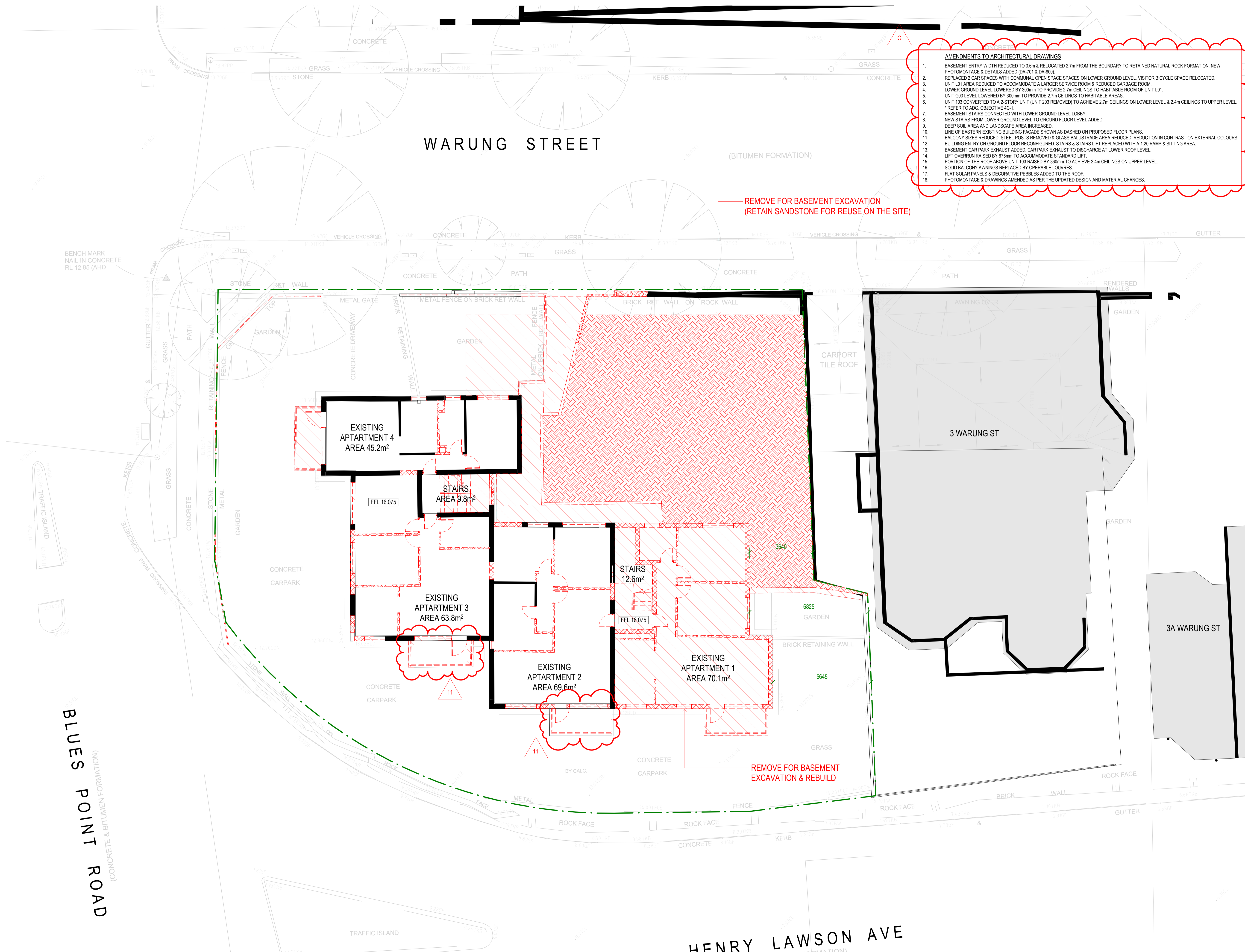
DRAWN BY FO CHECKED BY SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

REMOVE FOR BASEMENT EXCAVATION  
(RETAIN SANDSTONE FOR REUSE ON THE SITE)

REMOVE FOR BASEMENT EXCAVATION & REBUILD



**GROUND FLOOR - DEMOLITION PLAN**  
1:100 @ A1

1

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES

**LEGEND**

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

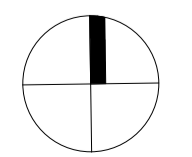
1 Warung Street, McMahons Point NSW

DRAWING NO. ISSUE  
**DA-021 C**

JOB NO. SCALE DATE  
HIG2009 1 : 100@ A1 28.03.2022

DRAWING TITLE  
LEVEL 1 - DEMOLITION PLAN

DRAWN BY CHECKED BY  
FO SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

WARUNG STREET

(BITUMEN FORMATION)

3 WARUNG ST

3A WARUNG ST

EXISTING APTARTMENT 8  
AREA 45.2m<sup>2</sup>

STAIRS  
AREA 9.8m<sup>2</sup>

FFL 18.825

EXISTING APTARTMENT 7  
AREA 63.8m<sup>2</sup>

STAIRS  
12.6m<sup>2</sup>

EXISTING APTARTMENT 6  
AREA 69.6m<sup>2</sup>

EXISTING APTARTMENT 5  
AREA 70.1m<sup>2</sup>

REMOVE FOR BASEMENT  
EXCAVATION & REBUILD

BLUES POINT ROAD  
(CONCRETE & BITUMEN FORMATION)

HENRY LAWSON AVE

**LEVEL 1 - DEMOLITION PLAN**  
1 : 100 @ A1

1

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

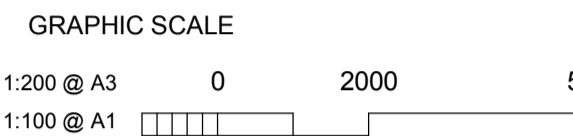
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



- DRAWING NOTES**
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

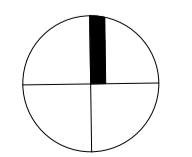
1 Warung Street, McMahons Point NSW

DRAWING NO. DA-022  
ISSUE C

JOB NO. HIG2009  
SCALE 1:100@A1  
DATE 28.03.2022

DRAWING TITLE  
LEVEL 2 - DEMOLITION PLAN

DRAWN BY FO  
CHECKED BY SC



WARUNG STREET

(BITUMEN FORMATION)

BENCH MARK  
NAIL IN CONCRETE  
RL 12.85 (AHD)

EXISTING  
APTARTMENT 12  
AREA 45.2m<sup>2</sup>

STAIRS  
AREA 9.8m<sup>2</sup>

EXISTING  
APTARTMENT 11  
AREA 63.8m<sup>2</sup>

EXISTING  
APTARTMENT 10  
AREA 69.6m<sup>2</sup>

EXISTING  
APTARTMENT 9  
AREA 70.1m<sup>2</sup>

3 WARUNG ST

3A WARUNG ST

BLUES POINT ROAD  
(CONCRETE & BITUMEN FORMATION)

HENRY LAWSON AVE

1 LEVEL 2 - DEMOLITION PLAN  
1:100 @ A1

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES

**LEGEND**

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

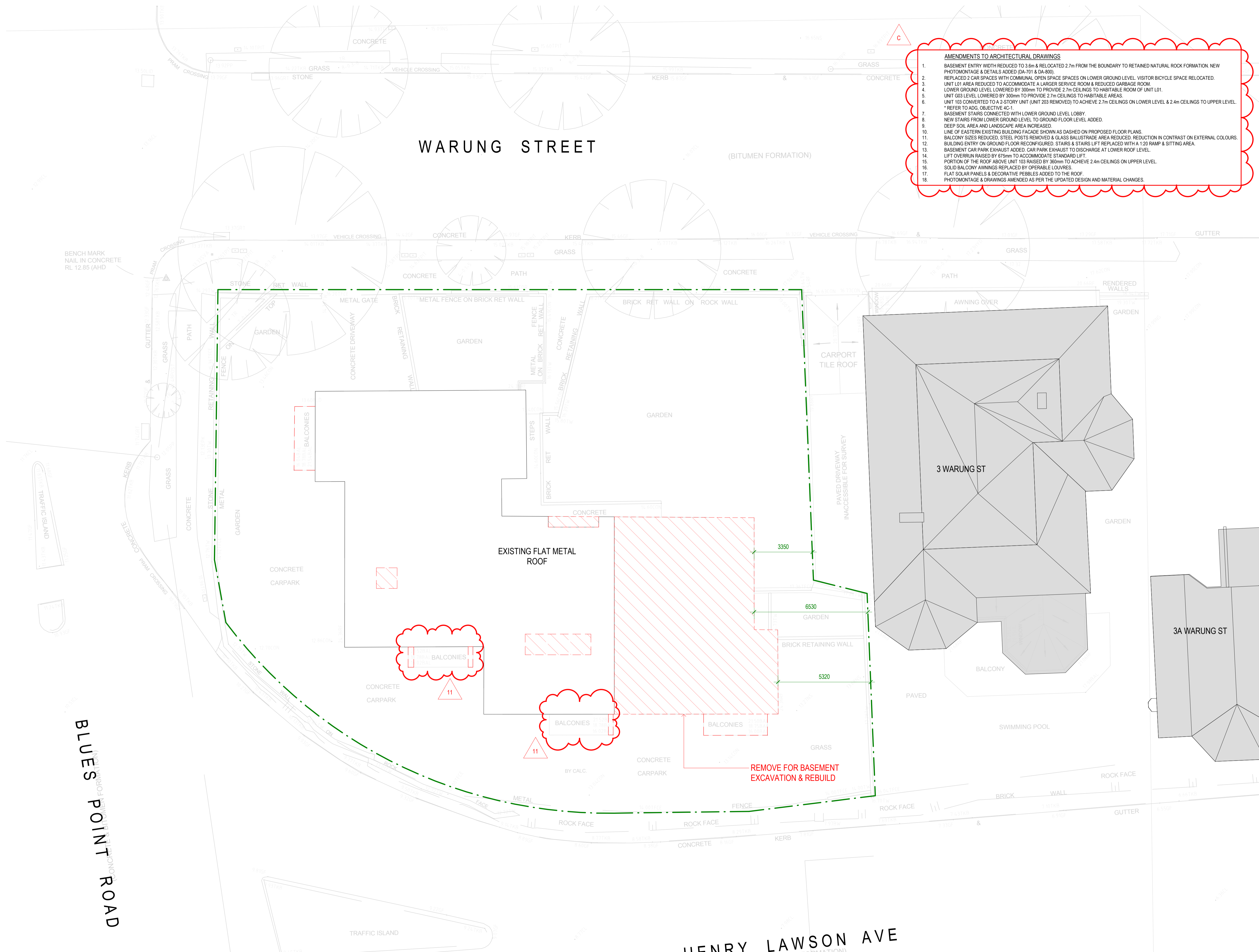
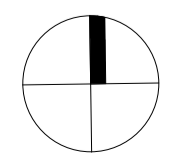
1 Warung Street, McMahons Point NSW

DRAWING NO. ISSUE  
**DA-023 C**

JOB NO. SCALE DATE  
HIG2009 1 : 100@ A1 28.03.2022

DRAWING TITLE  
ROOF LEVEL - DEMOLITION PLAN

DRAWN BY CHECKED BY  
FO SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.
  - \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

**1 ROOF LEVEL - DEMOLITION PLAN**  
1 : 100 @ A1

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

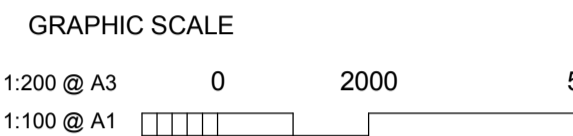
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



### STATUS

## DEVELOPMENT APPLICATION

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- #### DRAWING NOTES
- ##### LEGEND
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

# squillace

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

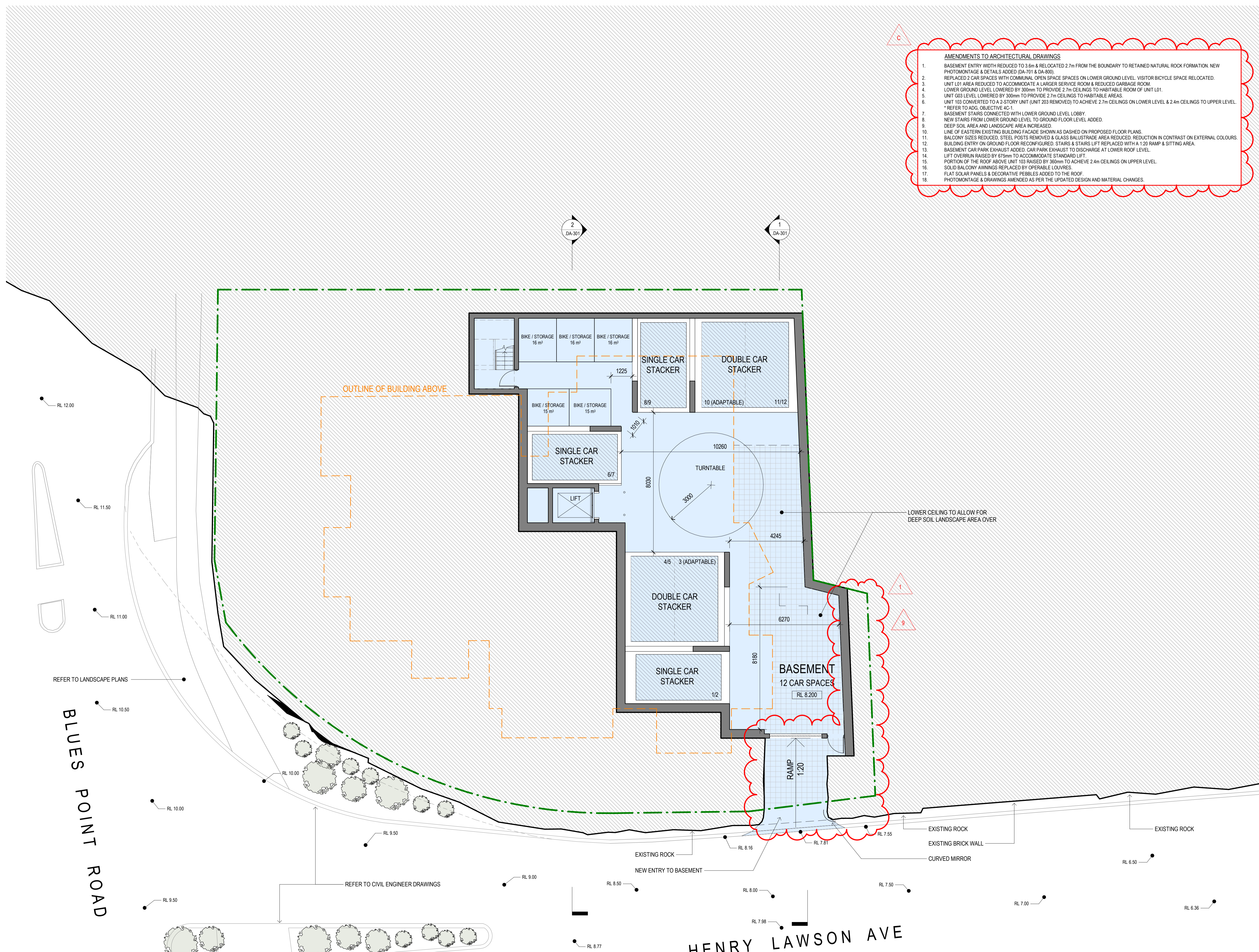
PROJECT  
Warung Street Apartments  
1 Warung Street, McMahons Point NSW

DRAWING NO. DA-098  
JOB NO. HIG2009  
SCALE 1:100@A1  
DATE 28.03.2022

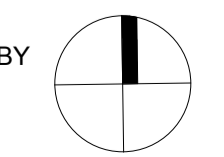
DRAWING TITLE  
BASEMENT LEVEL PLAN

DRAWN BY FO  
CHECKED BY SC

- #### AMENDMENTS TO ARCHITECTURAL DRAWINGS
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



1 **BASEMENT LEVEL PLAN**  
1:100 @ A1





This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

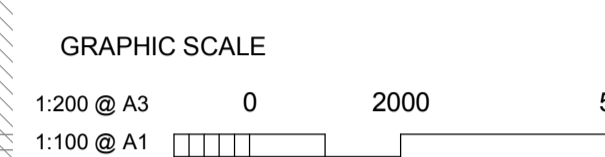
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



### STATUS

## DEVELOPMENT APPLICATION

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- #### DRAWING NOTES
- ##### LEGEND
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

# squillace

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

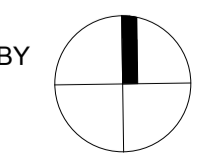
1 Warung Street, McMahons Point NSW

DRAWING NO. DA-099  
ISSUE C

JOB NO. HIG2009  
SCALE 1:100@A1  
DATE 28.03.2022

DRAWING TITLE  
LOWER GROUND LEVEL PLAN

DRAWN BY FO  
CHECKED BY SC



- #### AMENDMENTS TO ARCHITECTURAL DRAWINGS
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY WININGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



1 LOWER GROUND LEVEL PLAN  
1:100 @ A1

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

**AMENDMENTS TO ARCHITECTURAL DRAWINGS**

1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
11. BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
14. LIFT OVERHEAD RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

GRAPHIC SCALE



DRAWING NOTES

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

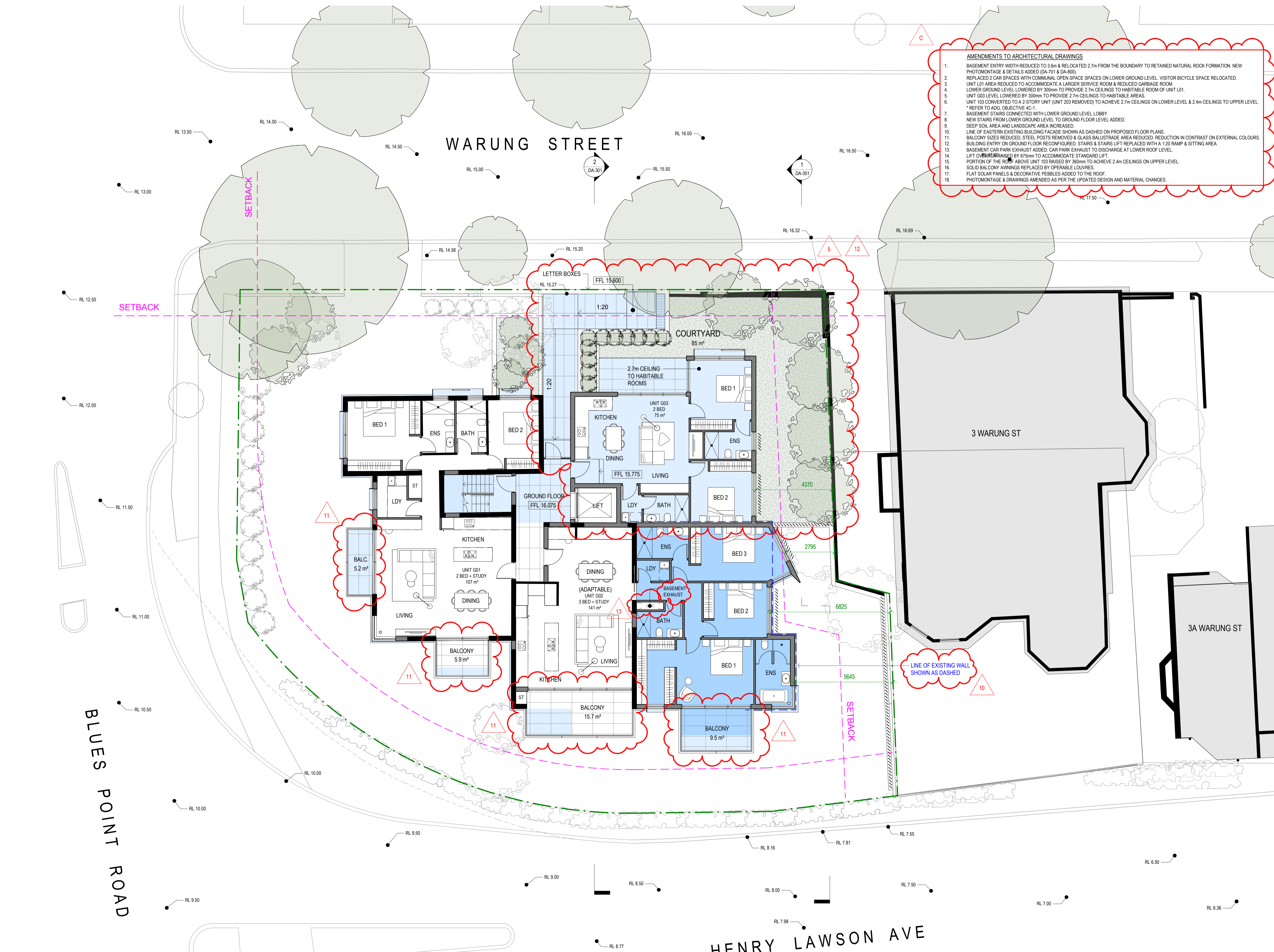
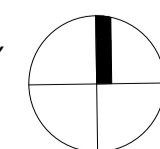
1 Warung Street, McMahons Point NSW

DRAWING NO. DA-100  
ISSUE C

JOB NO. HIG2009 SCALE 1 : 100@ A1 DATE 28.03.2022

DRAWING TITLE  
GROUND LEVEL PLAN

DRAWN BY FO CHECKED BY SC

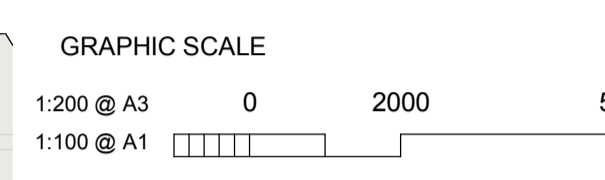


1 **GROUND LEVEL PLAN**  
1 : 100 @ A1

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.  
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**  
Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- DRAWING NOTES
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

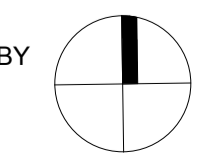
PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

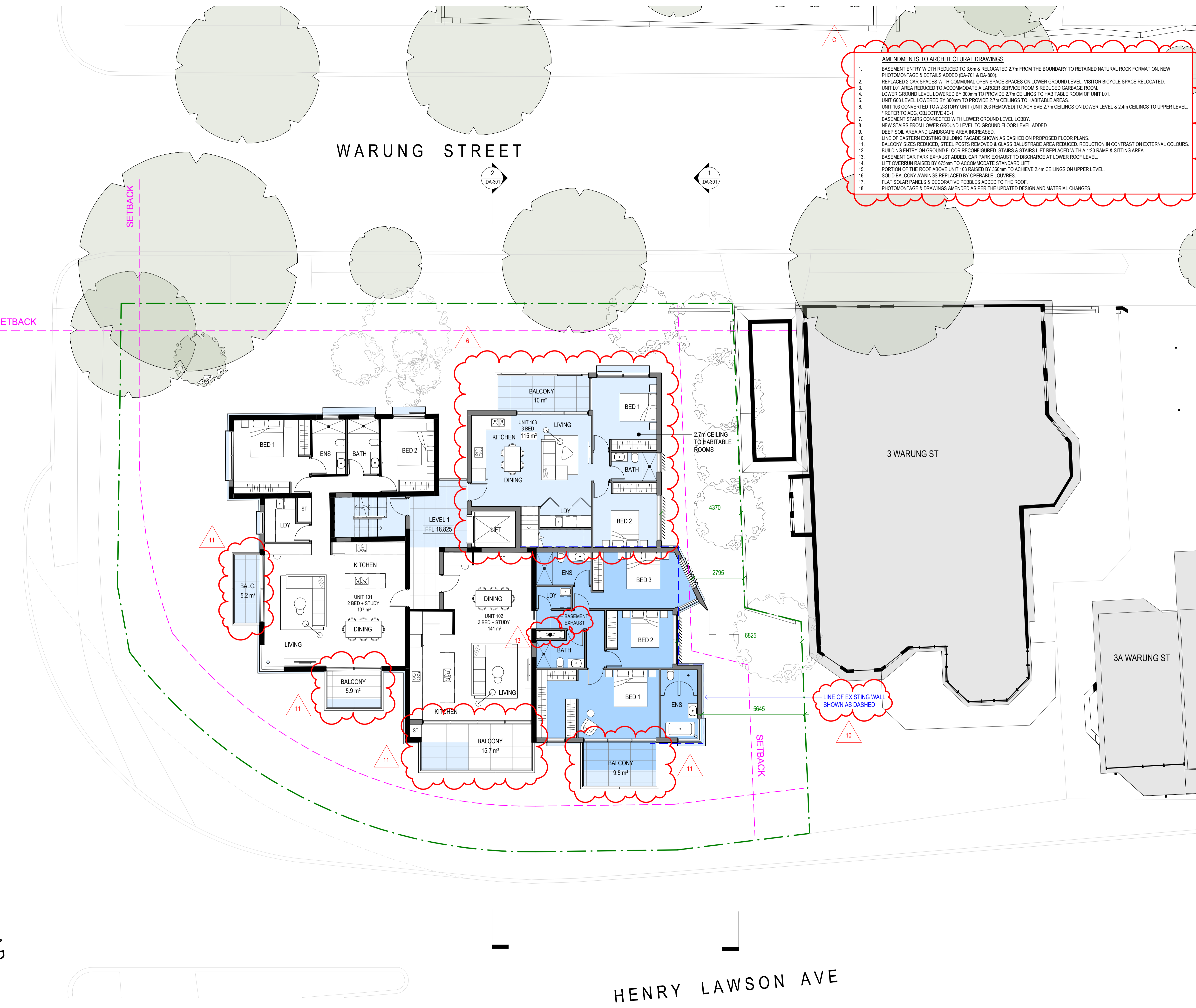
DRAWING NO. **DA-101** ISSUE **C**  
JOB NO. HIG2009 SCALE 1 : 100@ A1 DATE 28.03.2022

DRAWING TITLE  
LEVEL 1 PLAN

DRAWN BY FO CHECKED BY SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG. OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



1 **LEVEL 1 PLAN**  
1 : 100 @ A1

HENRY LAWSON AVE

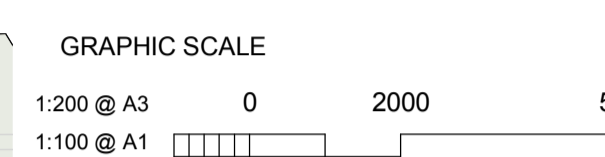
BLUES POINT ROAD

WARUNG STREET

This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.  
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**  
Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- DRAWING NOTES
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

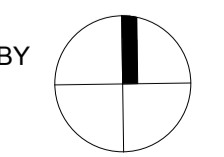
PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-102** ISSUE **C**  
JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
LEVEL 2 PLAN

DRAWN BY FO CHECKED BY SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

**\* EXTRACTED FROM ADG**

**Objective 4C-1**  
Ceiling height achieves sufficient natural ventilation and daylight access

**Design criteria**

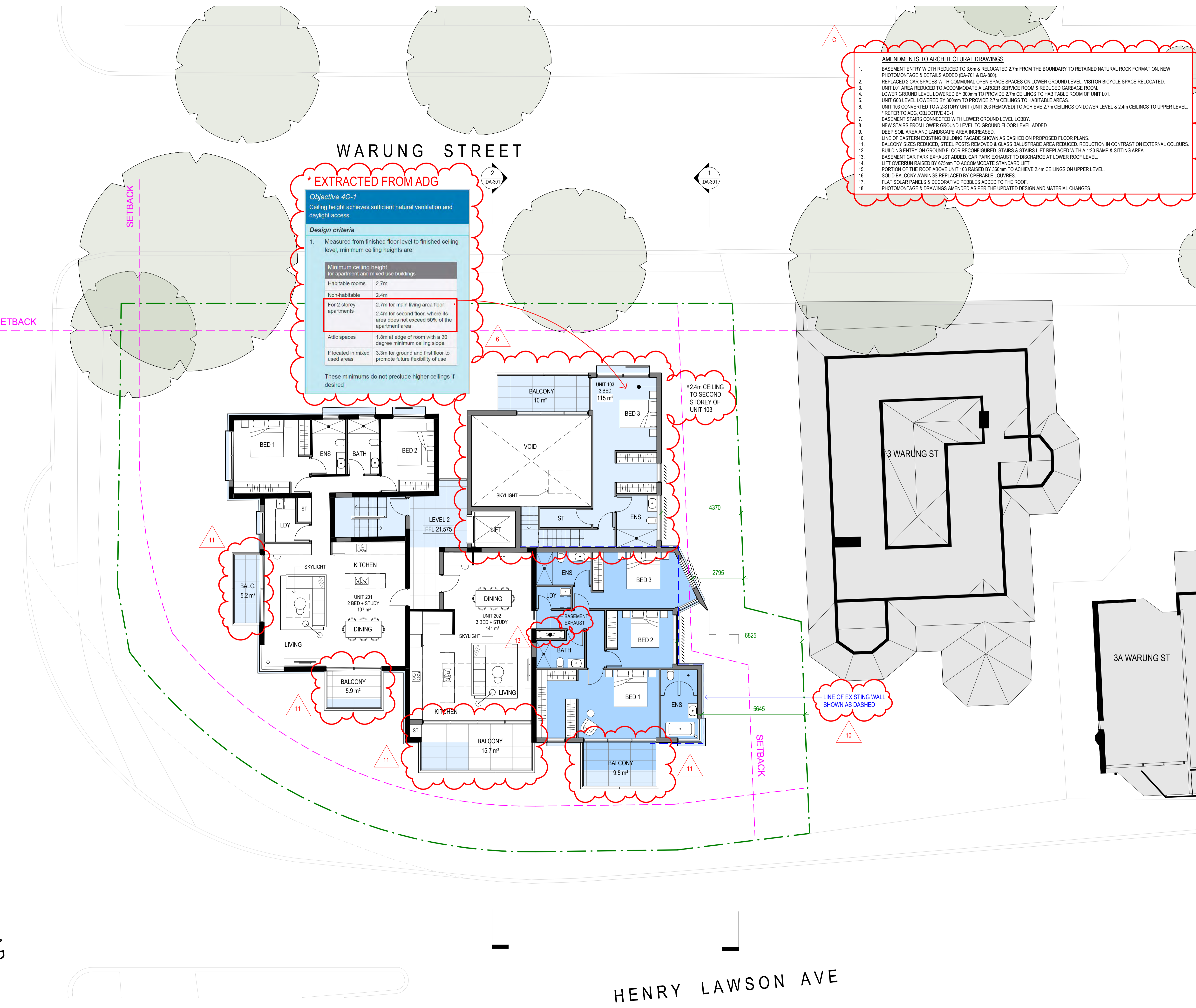
- Measured from finished floor level to finished ceiling level, minimum ceiling heights are:

Minimum ceiling height for apartment and mixed use buildings	
Habitable rooms	2.7m
Non-habitable	2.4m

For 2 storey apartments  
2.7m for main living area floor  
2.4m for second floor, where its area does not exceed 50% of the apartment area

Attic spaces	1.8m at edge of room with a 30 degree minimum ceiling slope
If located in mixed used areas	3.3m for ground and first floor to promote future flexibility of use

These minimums do not preclude higher ceilings if desired



1 **LEVEL 2 PLAN**  
1:100 @ A1

HENRY LAWSON AVE

BLUES POINT ROAD

WARUNG STREET

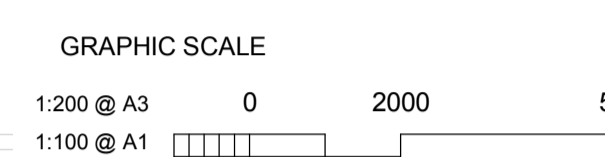
© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- DRAWING NOTES
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

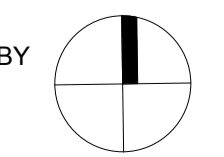
1 Warung Street, McMahons Point NSW

DRAWING NO.	ISSUE
<b>DA-103</b>	<b>C</b>

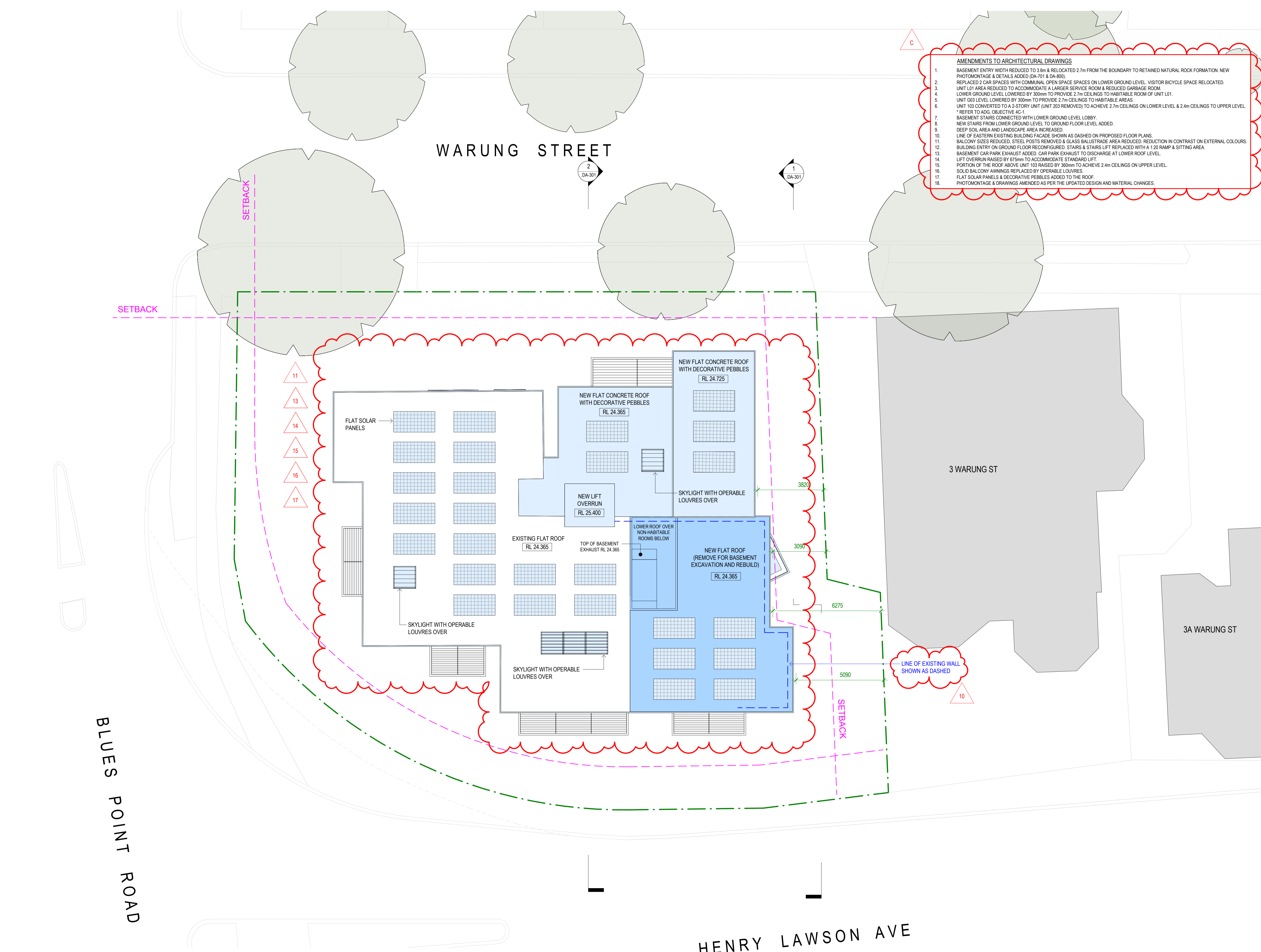
JOB NO. HIG2009    SCALE 1 : 100@ A1    DATE 28.03.2022

DRAWING TITLE  
ROOF PLAN

DRAWN BY FO    CHECKED BY SC



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



1 **ROOF PLAN**  
1 : 100 @ A1

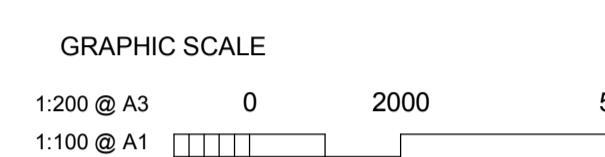
© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



- DRAWING NOTES**
- LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE DEMOLISHED
  - EXCAVATE
  - EXISTING TO BE DEMOLISHED
  - NEW WALLS & SLABS
  - REMOVE & REBUILD
  - NEW ADDITIONS

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

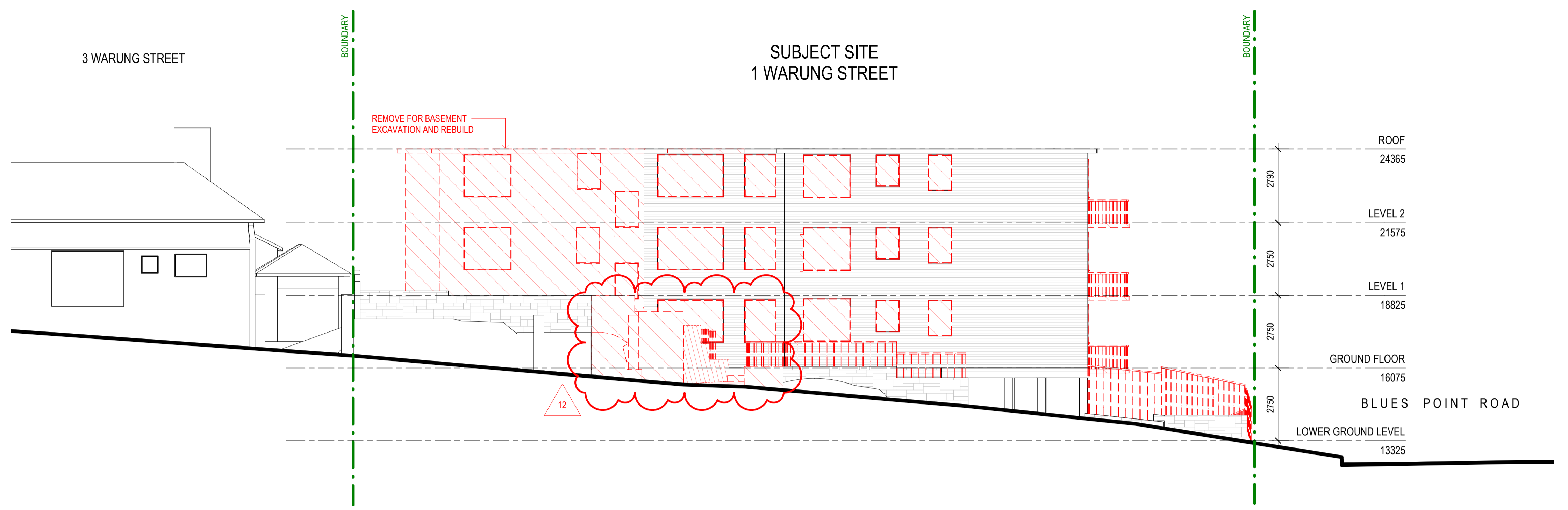
NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments  
1 Warung Street, McMahons Point NSW

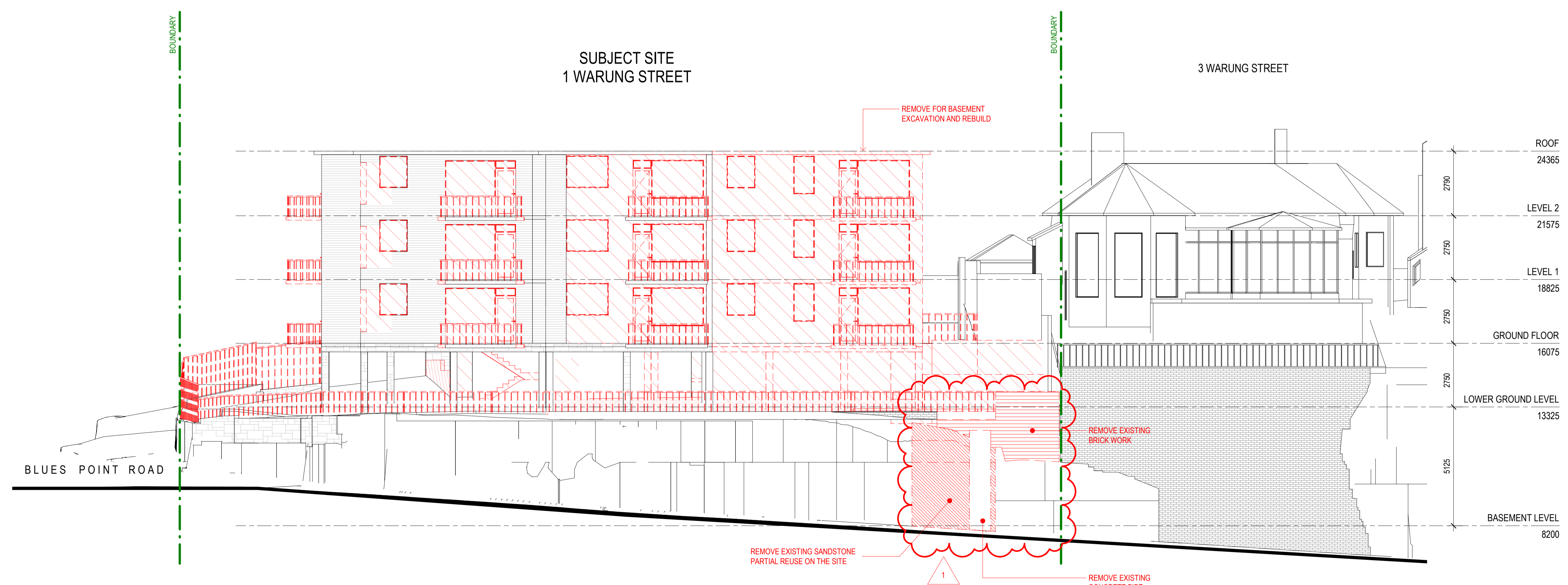
DRAWING NO. **DA-201** ISSUE **C**  
JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
NORTH & SOUTH ELEVATIONS - DEMOLITION

DRAWN BY FO CHECKED BY SC



**1 NORTH ELEVATION - DEMOLITION**  
1:100 @ A1



**2 SOUTH ELEVATION - DEMOLITION**  
1:100 @ A1

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

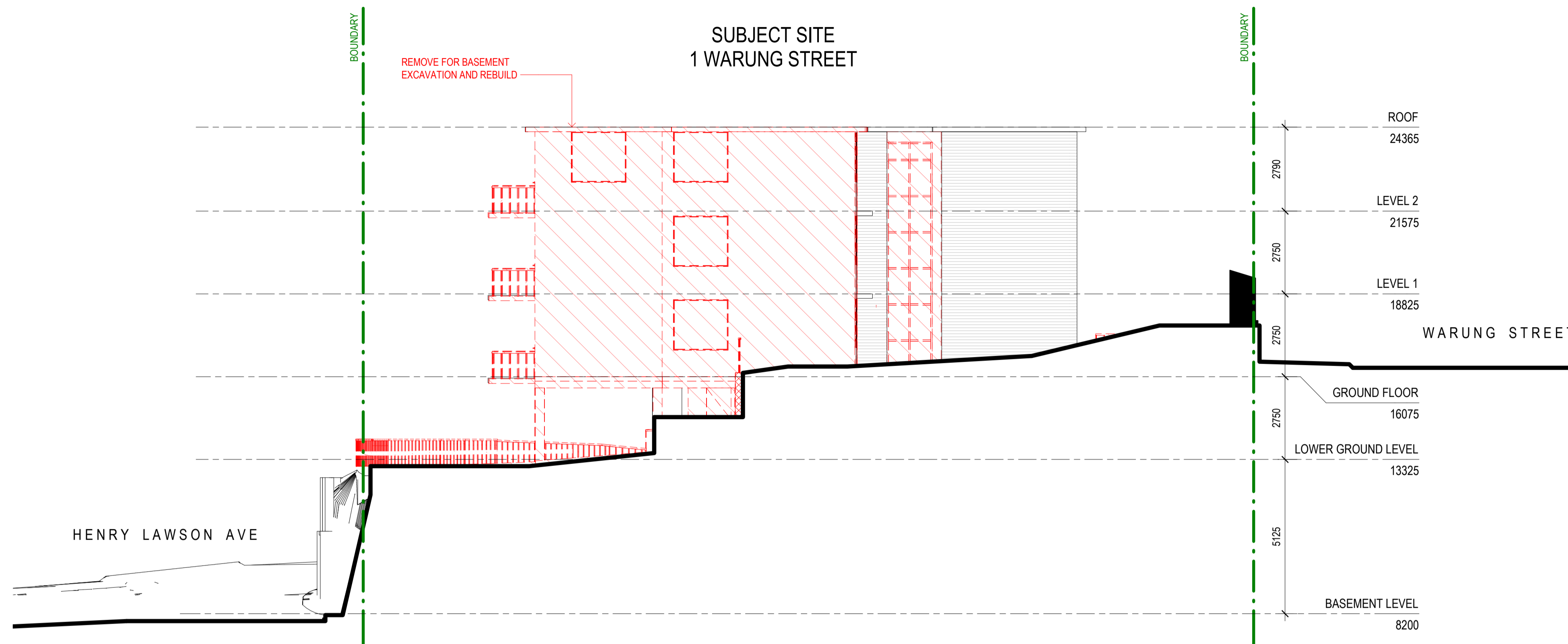
GRAPHIC SCALE



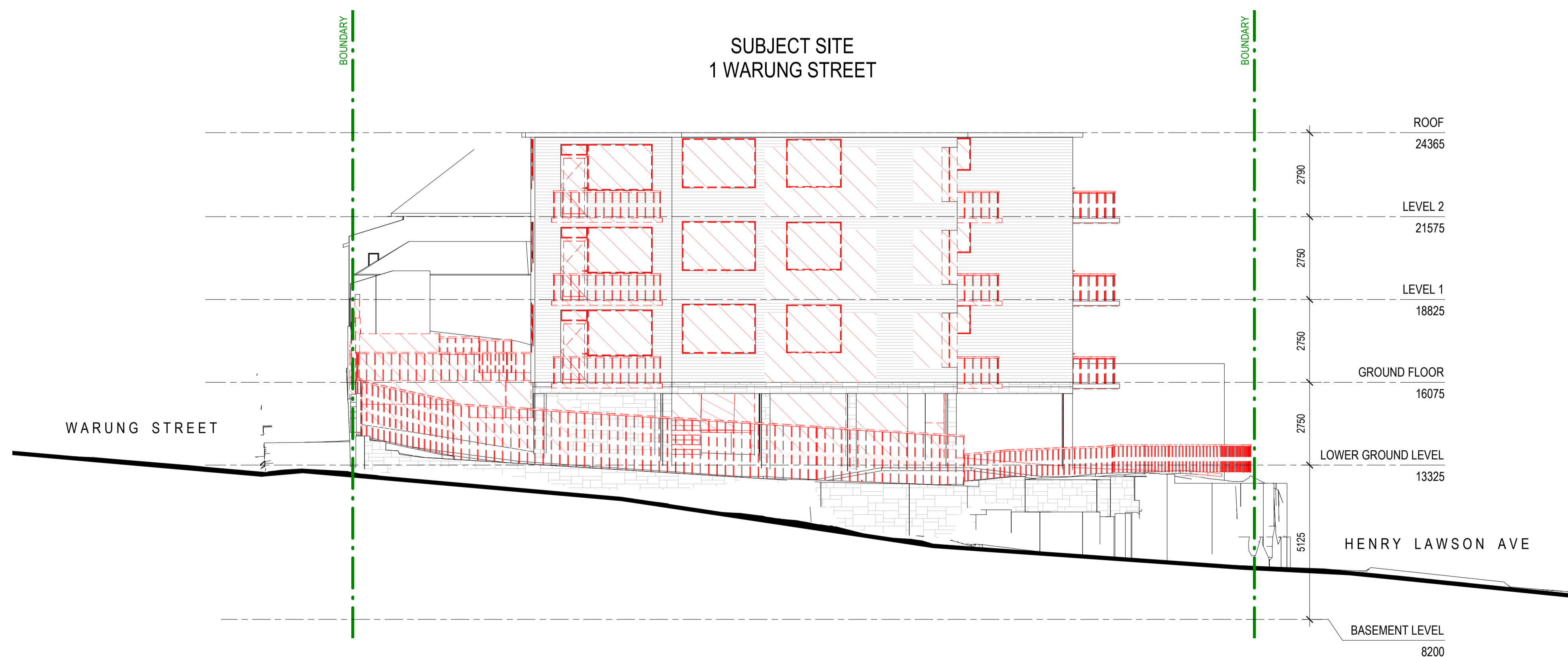
DRAWING NOTES

**LEGEND**

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS



1 **EAST ELEVATION - DEMOLITION**  
1 : 100 @ A1



2 **WEST ELEVATION - DEMOLITION**  
1 : 100 @ A1

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. ISSUE  
**DA-202 C**

JOB NO. SCALE DATE  
HIG2009 1 : 100 @ A1 28.03.2022

DRAWING TITLE  
EAST & WEST ELEVATION - DEMOLITION

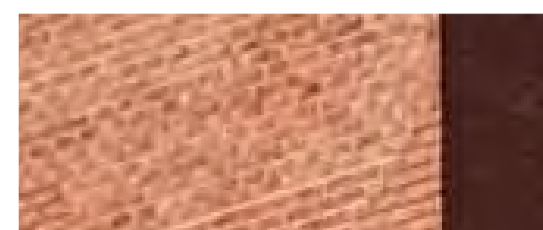
DRAWN BY CHECKED BY  
FO SC



A. RENDERED CONCRETE LIGHT GREY PAINT FINISH



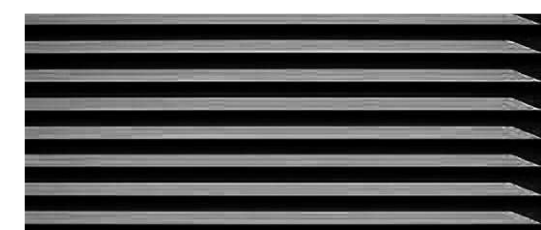
B. RENDERED CONCRETE DARK GREY PAINT FINISH TO CEILINGS



C. EXISTING BRICK WALL



D. STEEL STRUCTURES DARK GREY PAINT FINISH



E. DARK GREY COLOUR LOUVRES



F. SANDSTONE WALL



G. ALUMINIUM WINDOW FRAME BLACK POWDER COAT FINISH



H. FLAT BAR GLASS BALUSTRADE

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)

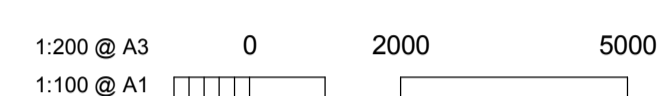


STATUS

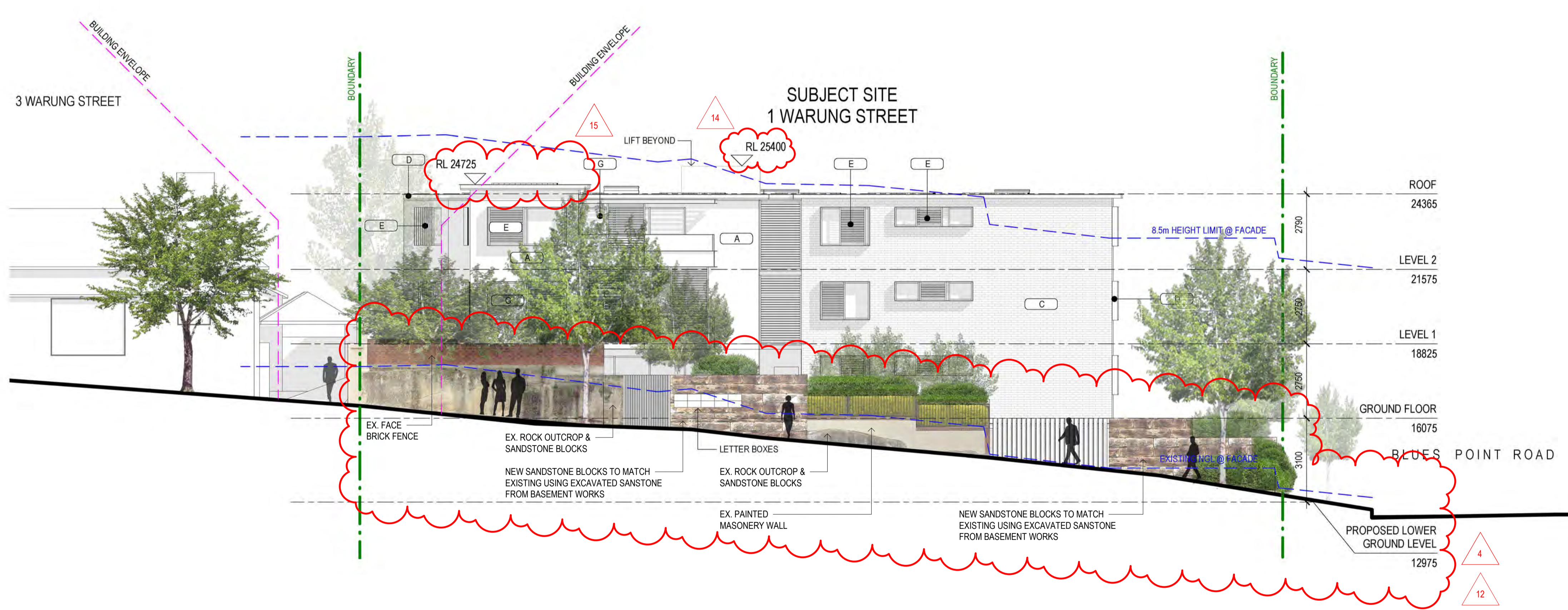
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES



ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6488 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-205** ISSUE **C**  
JOB NO. **HIG2009** SCALE **1 : 100 @ A1** DATE **28.03.2022**

DRAWING TITLE  
**NORTH ELEVATION - PROPOSED**

DRAWN BY **FO** CHECKED BY **SC**

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1-20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

**1 NORTH ELEVATION - PROPOSED**  
1 : 100 @ A1

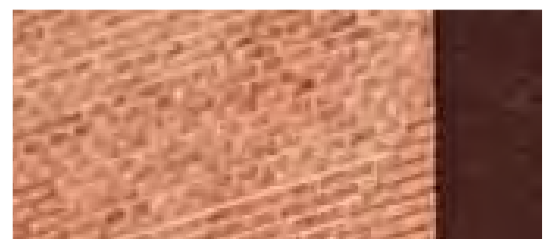




A. RENDERED CONCRETE LIGHT GREY PAINT FINISH



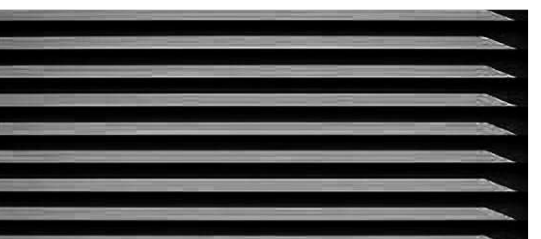
B. RENDERED CONCRETE DARK GREY PAINT FINISH TO CEILINGS



C. EXISTING BRICK WALL



D. STEEL STRUCTURES DARK GREY PAINT FINISH



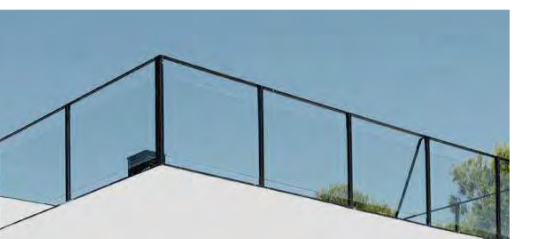
E. DARK GREY COLOUR LOUVRES



F. SANDSTONE WALL



G. ALUMINIUM WINDOW FRAME BLACK POWDER COAT FINISH



H. FLAT BAR GLASS BALUSTRADE

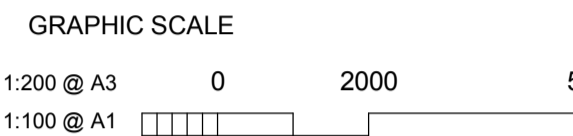
© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)

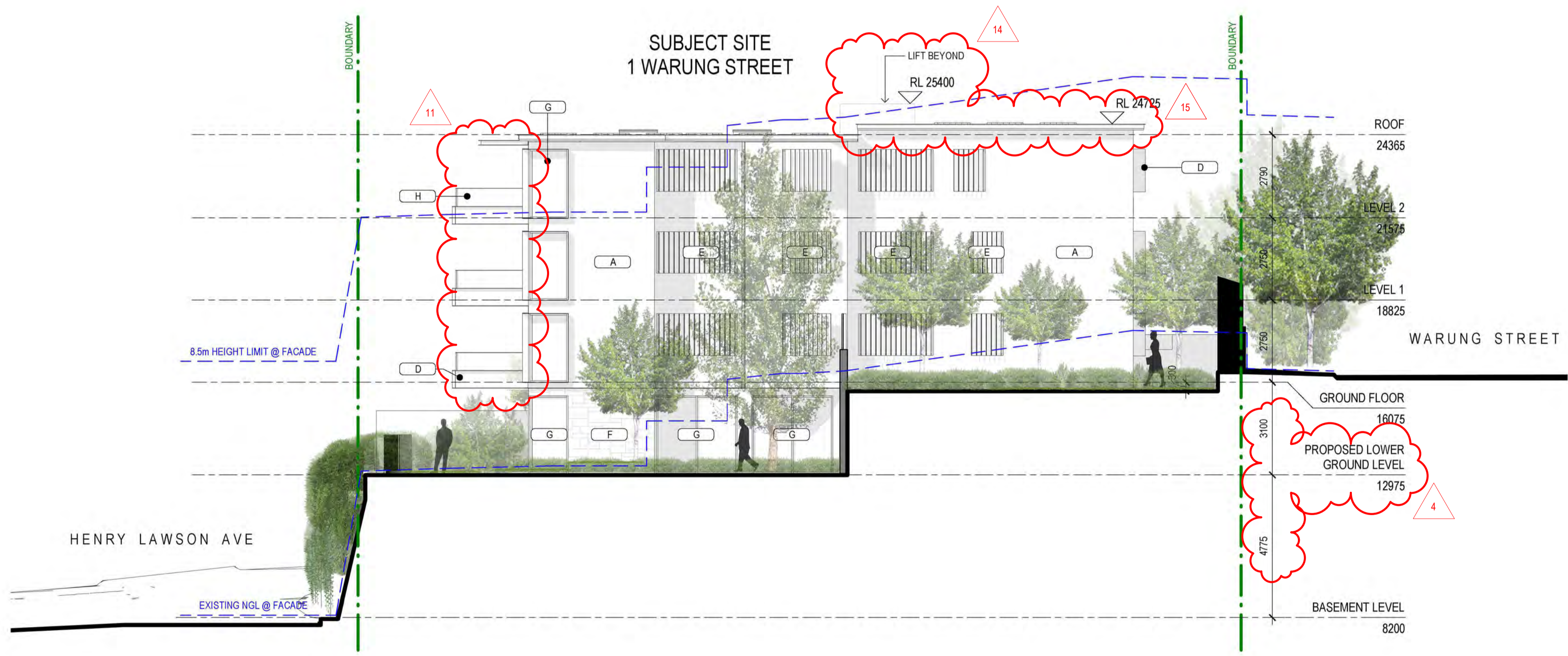


STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



DRAWING NOTES



ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-206** ISSUE **C**

JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
EAST ELEVATION - PROPOSED

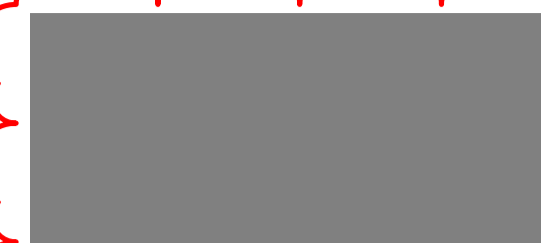
DRAWN BY FO CHECKED BY SC

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG. OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

**1 EAST ELEVATION - PROPOSED**  
1:100 @ A1



A. RENDERED CONCRETE LIGHT GREY PAINT FINISH



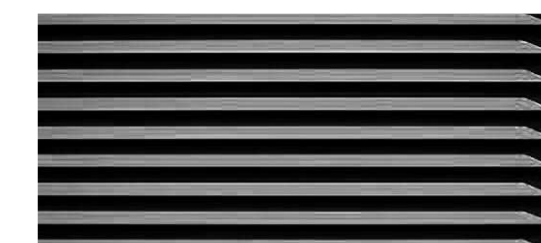
B. RENDERED CONCRETE DARK GREY PAINT FINISH TO CEILINGS



C. EXISTING BRICK WALL



D. STEEL STRUCTURES DARK GREY PAINT FINISH



E. DARK GREY COLOUR LOUVRES



F. SANDSTONE WALL



G. ALUMINIUM WINDOW FRAME BLACK POWDER COAT FINISH



H. FLAT BAR GLASS BALUSTRADE

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

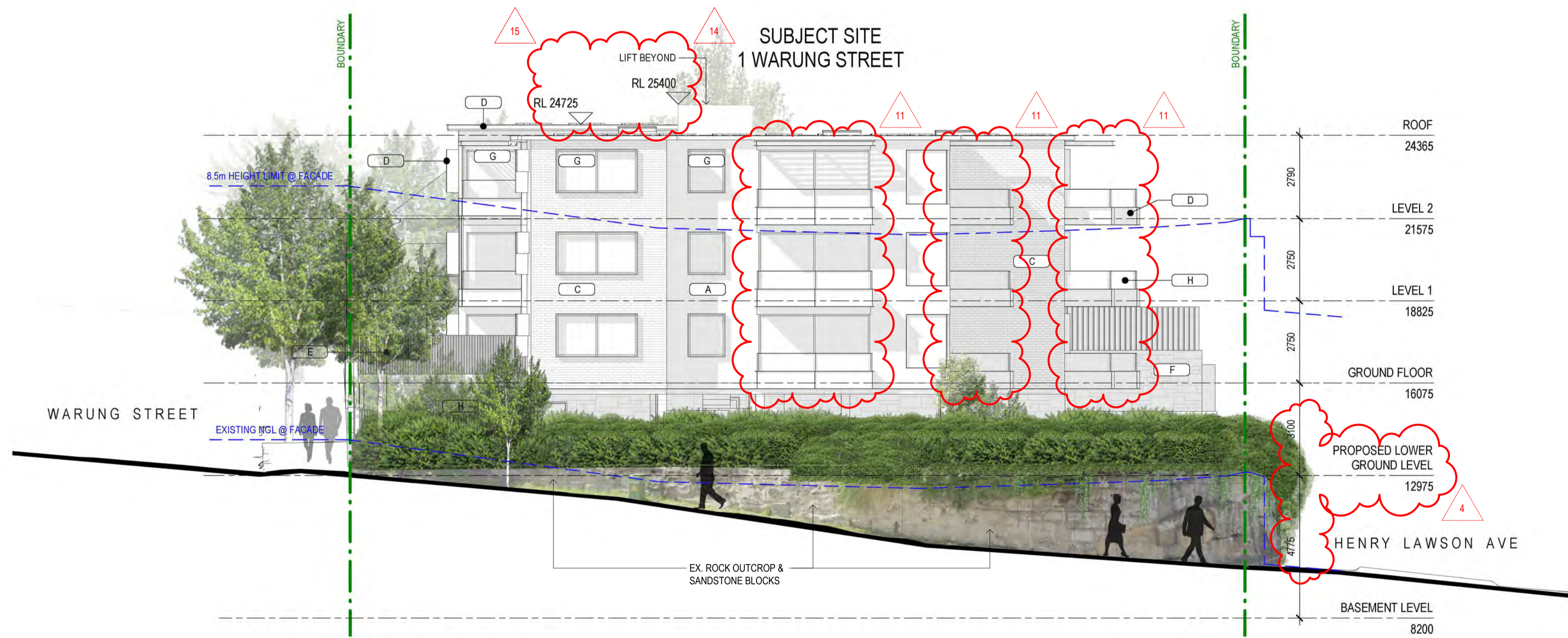
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES



ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6488 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-207** ISSUE **C**  
JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
WEST ELEVATION - PROPOSED

DRAWN BY FO CHECKED BY SC

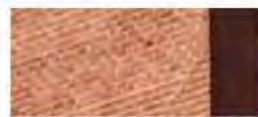
- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 575mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



A. RENDERED CONCRETE LIGHT GREY PAINT FINISH



B. RENDERED CONCRETE DARK GREY PAINT FINISH TO CEILINGS



C. EXISTING BRICK WALL



D. STEEL STRUCTURES DARK GREY PAINT FINISH



E. DARK GREY COLOUR LOUVRES



F. SANDSTONE WALL



G. ALUMINIUM WINDOW FRAME BLACK POWDER COAT FINISH



H. FLAT BAR GLASS BALUSTRADE

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.
- \* REFER TO ADG, OBJECTIVE 4C-1.
7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY RAILINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

This work is copyright. Apart from any use permitted under the copyright act 1966, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

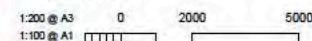
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.06.2021	ISSUE FOR DA
A	15.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Allison Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

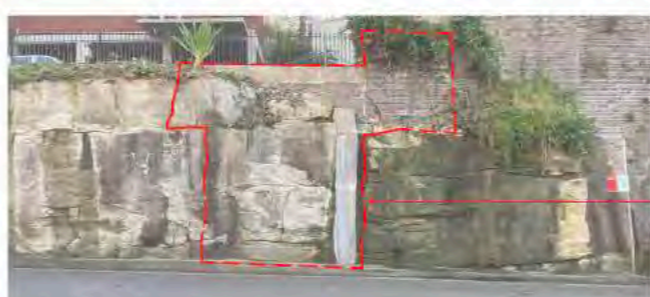
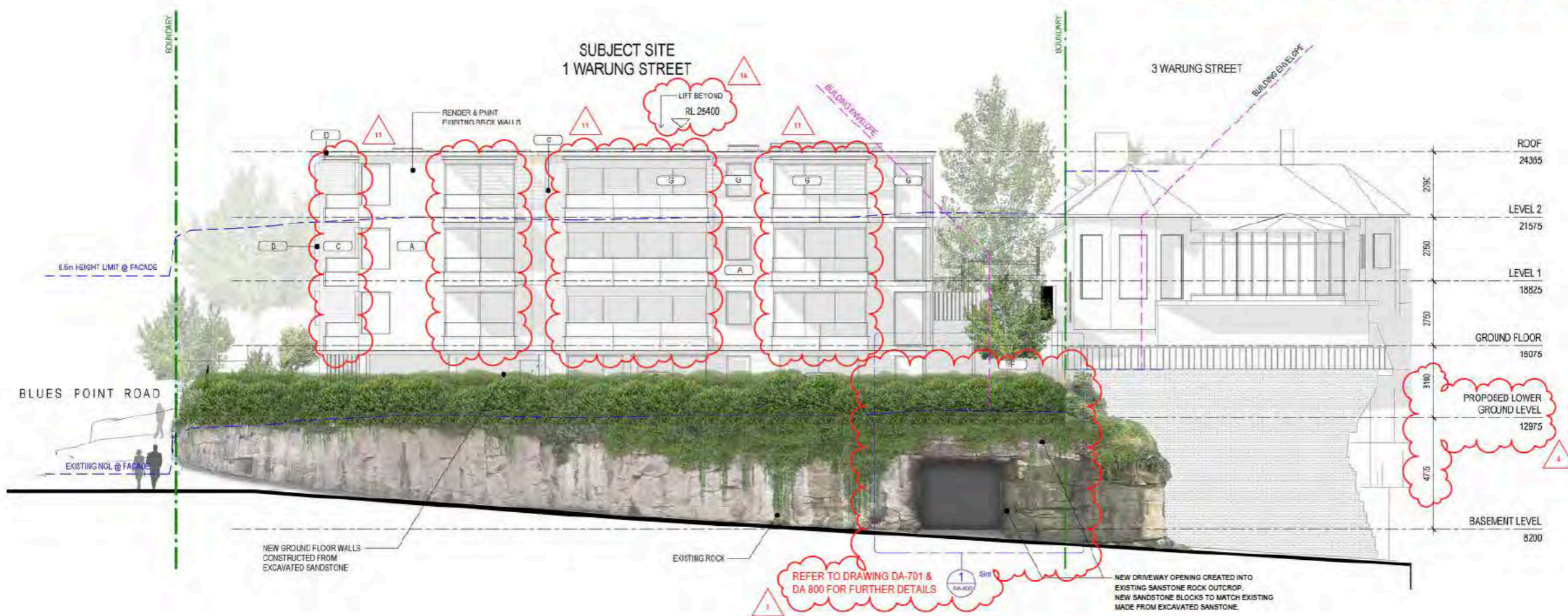
1 Warung Street, McMahon's Point NSW

DRAWING NO. DA-208 ISSUE C

JOB NO. HIG2009 SCALE 1:100@A1 DATE 28.03.2022

DRAWING TITLE  
SOUTH ELEVATION - PROPOSED

DRAWN BY FO CHECKED BY SC



EXISTING PHOTO

PORTION OF THE WALL TO BE DEMOLISHED

**1 SOUTH ELEVATION - PROPOSED**  
1:100 @ A1

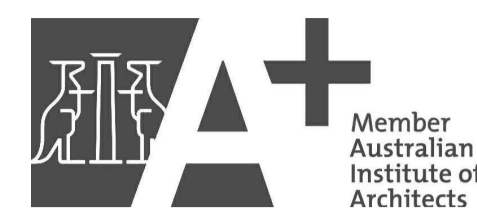
C

**AMENDMENTS TO ARCHITECTURAL DRAWINGS**

1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-80)
2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG. OBJECTIVE 4C-1.
7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
11. BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
14. LIFT OVERRUN RAISED BY 615mm TO ACCOMMODATE STANDARD LIFT.
15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT

Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-210** ISSUE **C**

JOB NO. HIG2009 SCALE **AS SHOWN** DATE 28.03.2022

DRAWING TITLE  
STREETSCAPE WARUNG STREET

DRAWN BY FO CHECKED BY SC



**STREETSCAPE ELEVATION WARUNG STREET**

1 : 200 @ A1

1

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS

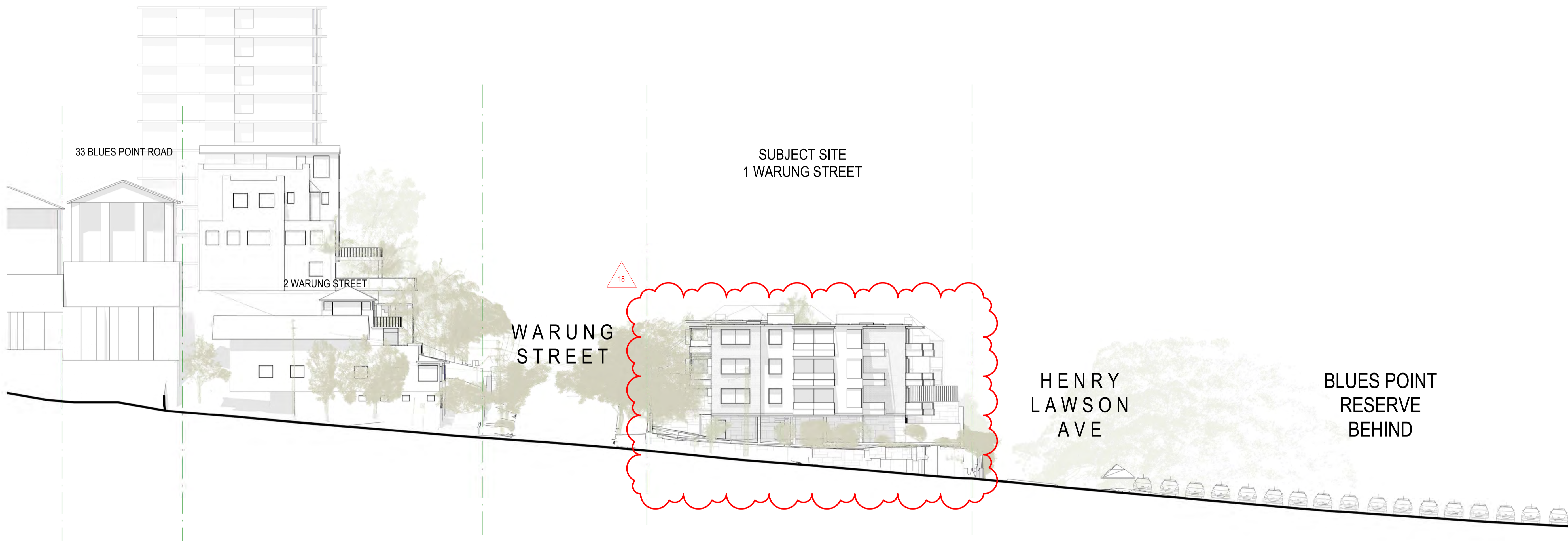
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES



ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. ISSUE  
**DA-211 C**

JOB NO. SCALE DATE  
HIG2009 **AS SHOWN** 28.03.2022

DRAWING TITLE  
STREETSCAPE BLUE POINT ROAD

DRAWN BY CHECKED BY  
FO SC

1 **STREETSCAPE ELEVATION BLUES POINT ROAD**  
1 : 200 @ A1



- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL.  
\* REFER TO ADG, OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 380mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

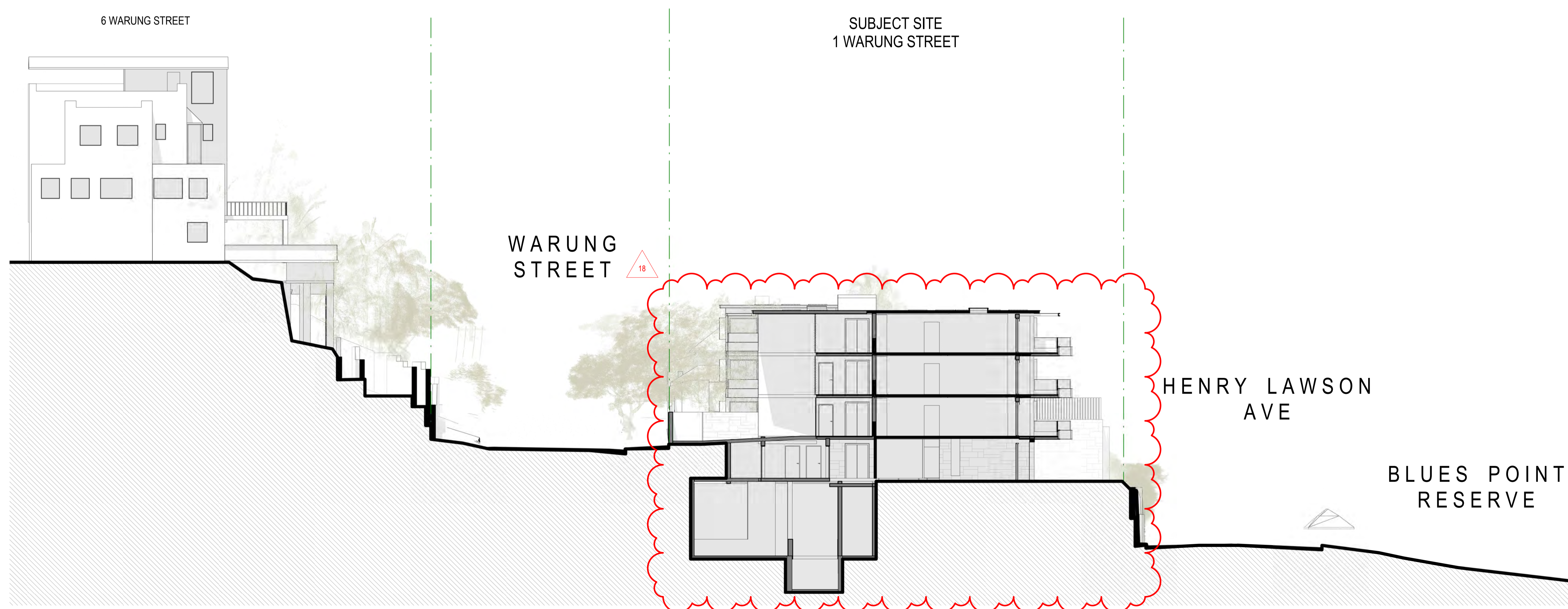
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



**STATUS**  
**DEVELOPMENT APPLICATION**  
 Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

**GRAPHIC SCALE**  
 NOT TO SCALE  
**DRAWING NOTES**

**2** **STREETSCAPE SECTION - 4 WARUNG STREET**  
 1:150 @ A1



ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

**CLIENT**  
 Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
 1/80 Albion Street, Surry Hills, NSW 2010  
 Ph: +61 2 8354 1300  
 ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
 Vince Squillace Reg No. 6468 (NSW),  
 17219 (VIC), 3677 (QLD), AR1173 (NT)

**PROJECT**  
 Warung Street Apartments  
 1 Warung Street, McMahons Point NSW

**DRAWING NO.** DA-212  
**ISSUE** C  
**JOB NO.** HIG2009  
**SCALE** AS SHOWN  
**DATE** 28.03.2022

**DRAWING TITLE**  
 STREETSCAPE 4 & 6 WARUNG STREET

**DRAWN BY** FO  
**CHECKED BY** SC

**1** **STREETSCAPE SECTION - 6 WARUNG STREET**  
 1:150 @ A1

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)

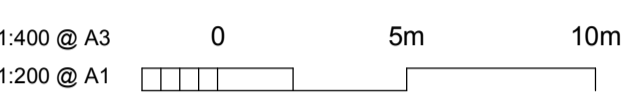


STATUS

**DEVELOPMENT APPLICATION**

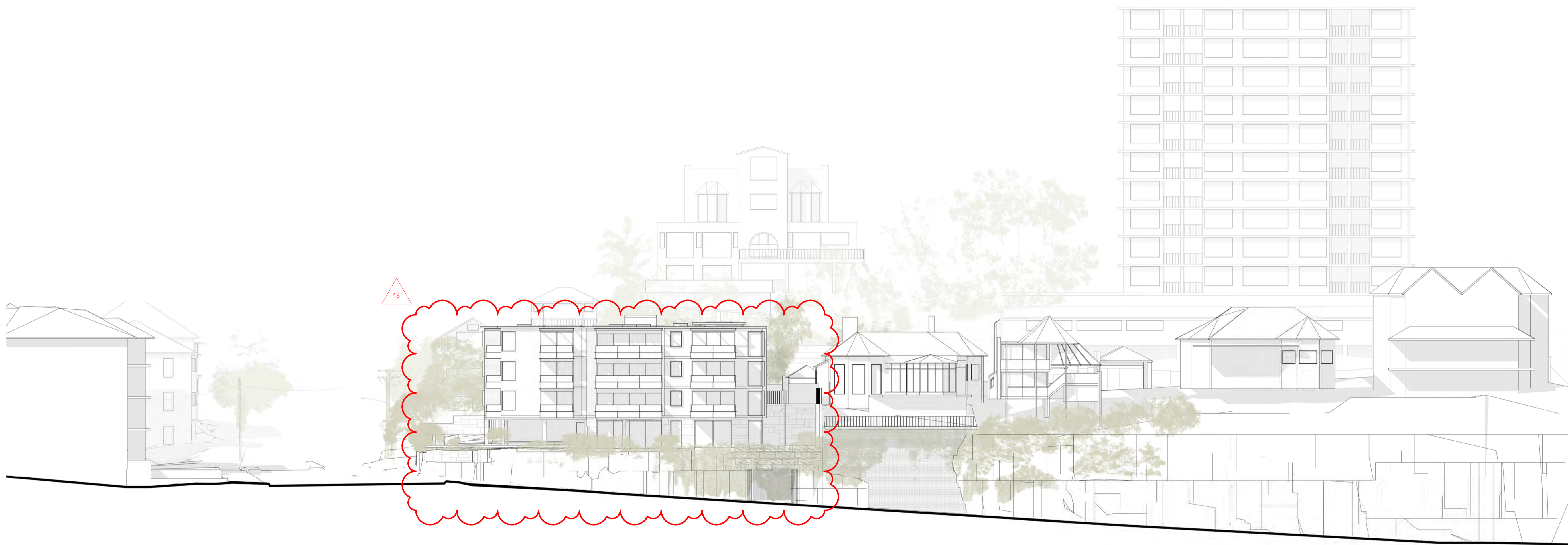
Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE



DRAWING NOTES

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED. STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1.20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



**1** **STREETSCAPE ELEVATION HENRY LAWSON AVE**  
1: 200 @ A1

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO.	ISSUE
<b>DA-213</b>	<b>C</b>
JOB NO. HIG2009	SCALE <b>AS SHOWN</b>
	DATE <b>28.03.2022</b>

DRAWING TITLE  
STREETSCAPE HENRY LAWSON AVE

DRAWN BY  
FO

CHECKED BY  
SC

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.  
 The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**  
 Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

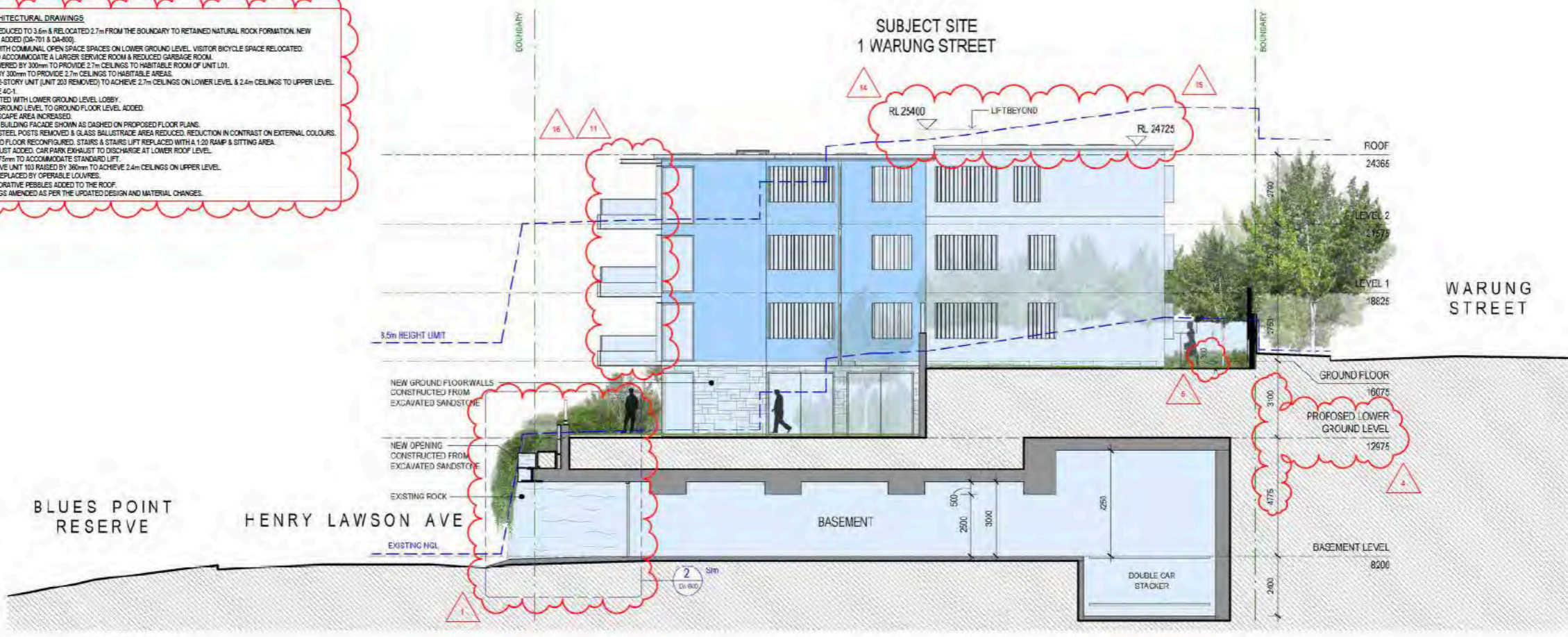
GRAPHIC SCALE  
 1:200 @ A3 0 2000 5000  
 1:100 @ A1

DRAWING NOTES

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- EXCAVATE
- EXISTING TO BE DEMOLISHED
- NEW WALLS & SLABS
- REMOVE & REBUILD
- NEW ADDITIONS

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTO MONTAGE & DETAILS ADDED (DA-701 & DA-600)
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED), TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL, & 2.4m CEILINGS ON UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED, REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED, STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRULIN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE FEESIBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.



1 DA SECTION 1  
 1:100 @ A1

\* EXTRACTED FROM ADG

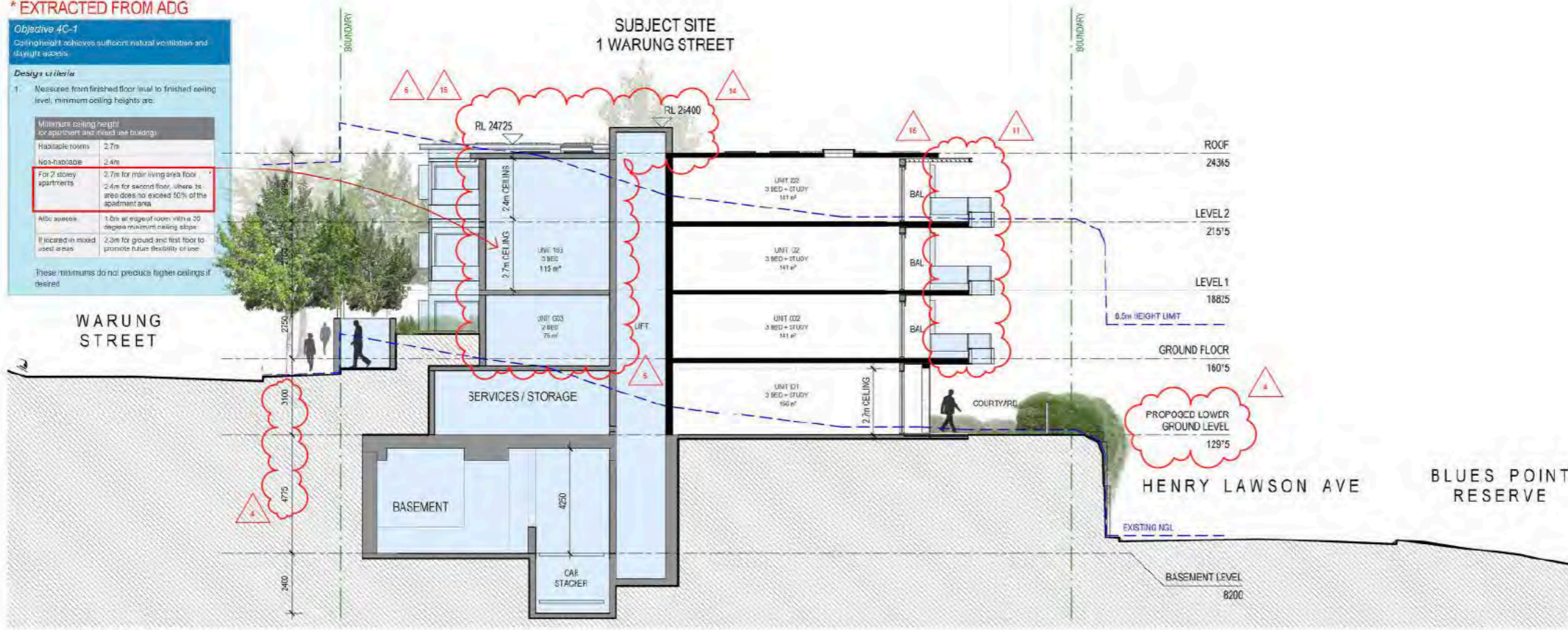
**Objective 4C-1**  
 Ceiling height achieves sufficient natural ventilation and daylight access.

**Design criteria**

- Measure from finished floor level to finished ceiling level, minimum ceiling heights are:

Minimum ceiling height for apartment and mixed use buildings:	
Habitable rooms	2.7m
Non-habitable	2.4m
For 2 storey apartments	2.7m for main living area floor 2.4m for second floor, where its area does not exceed 50% of the apartment area
Atic spaces	1.8m at edge of room with a 20 degree minimum ceiling slope
If located in mixed used areas	2.3m for ground and first floor to promote future flexibility of use

These minimums do not preclude higher ceilings if desired.



2 DA SECTION 2  
 1:100 @ A1

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.06.2021	ISSUE FOR DA
A	18.06.2021	ISSUE FOR DA

CLIENT  
 Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS  
[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
 1/80 Aldon Street, Surry Hills, NSW 2010  
 Ph: +61 2 8354 1300  
 ABN: 24 132 554 753

NOMINATED ARCHITECT  
 Vince Squillace Reg No. 6466 (NSW),  
 17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
 Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. ISSUE  
**DA-301 C**

JOB NO. SCALE DATE  
 HIG2009 1:100@A1 28.03.2022

DRAWING TITLE  
 SECTIONS SHEET 1

DRAWN BY CHECKED BY  
 FO SC



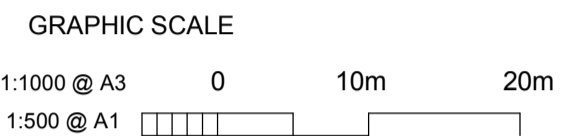
© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



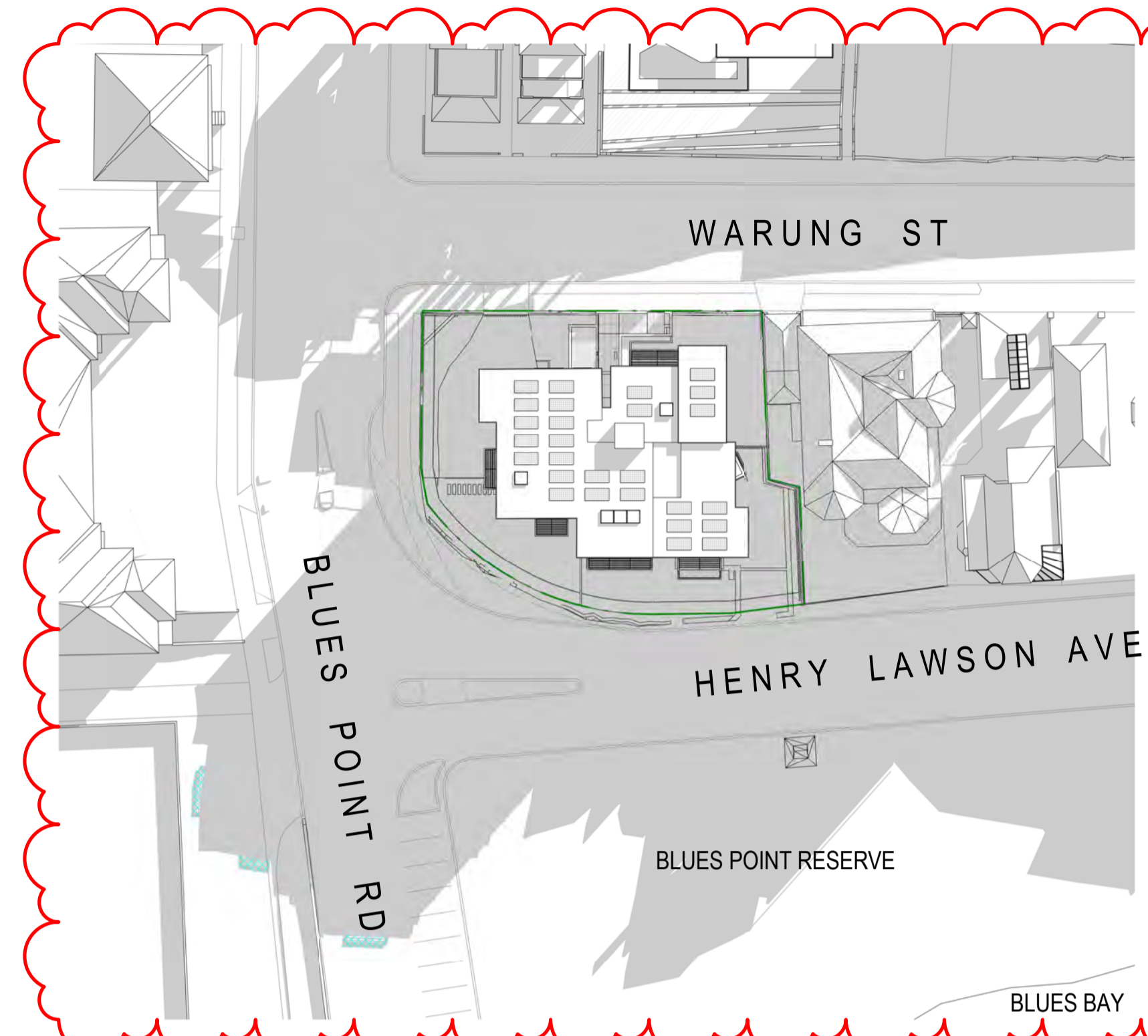
**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

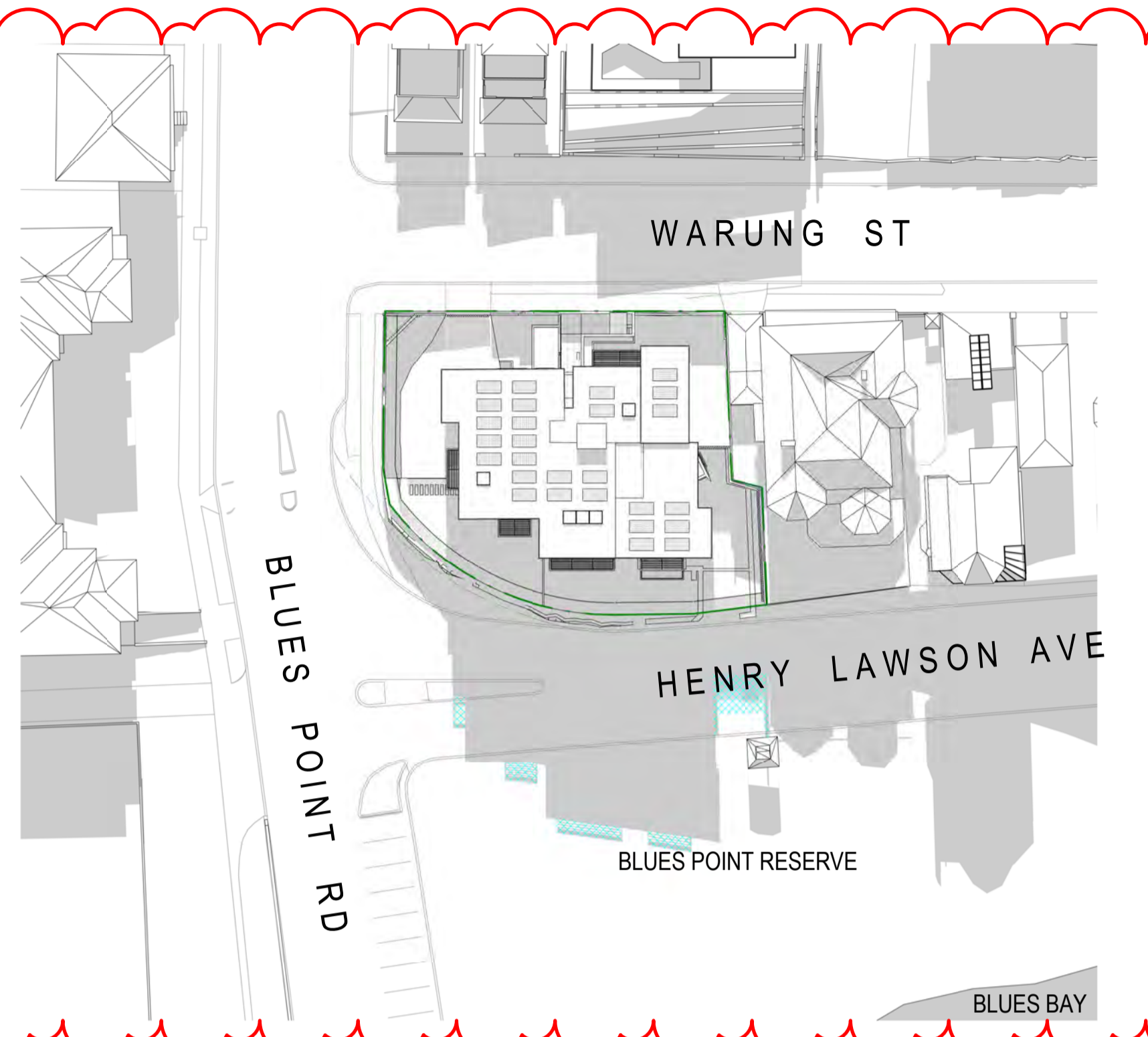


**DRAWING NOTES**

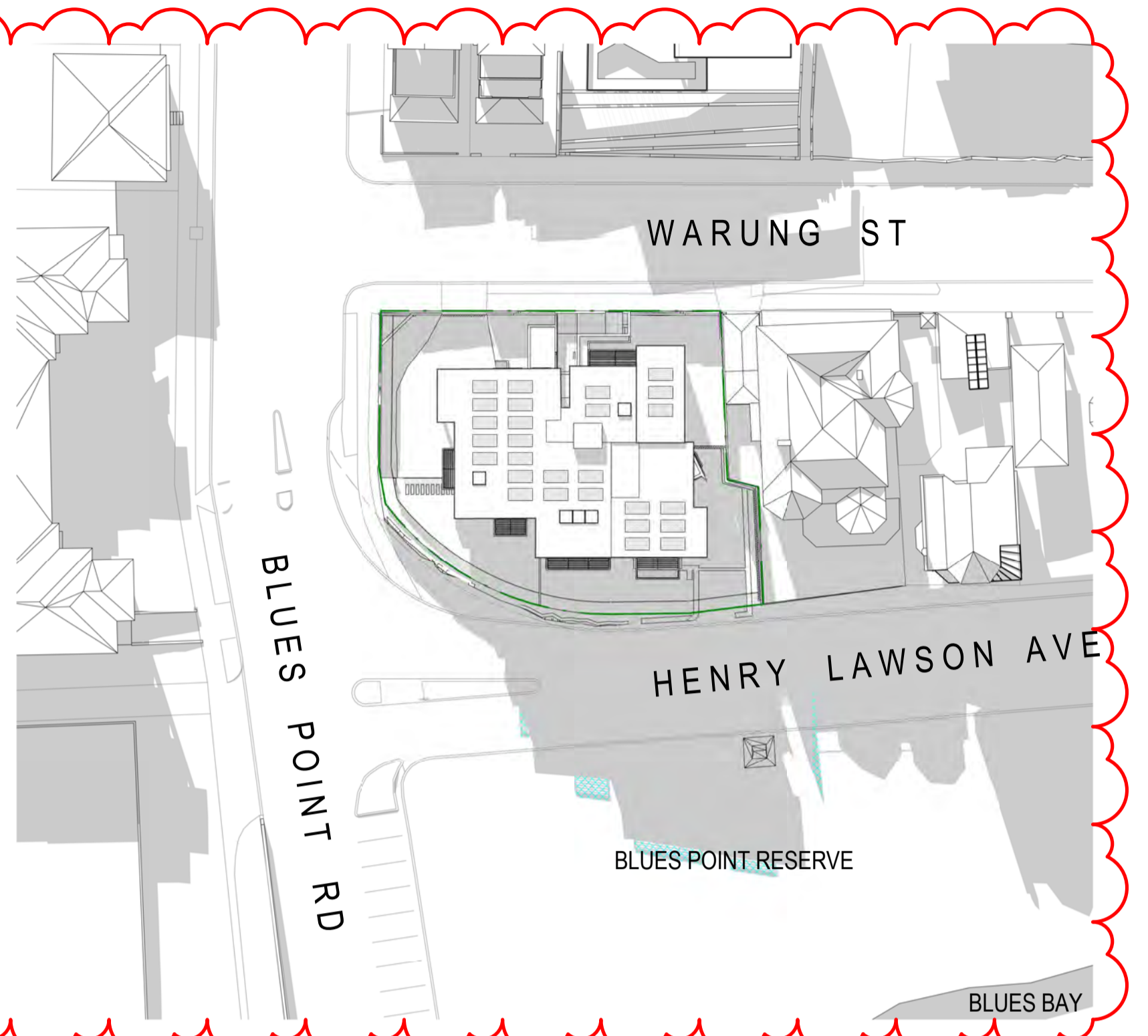
- LEGEND**
- SHADOW CAST BY EXISTING BUILDINGS
  - ADDITIONAL SHADOWS CAST BY PROPOSED NEW WORKS



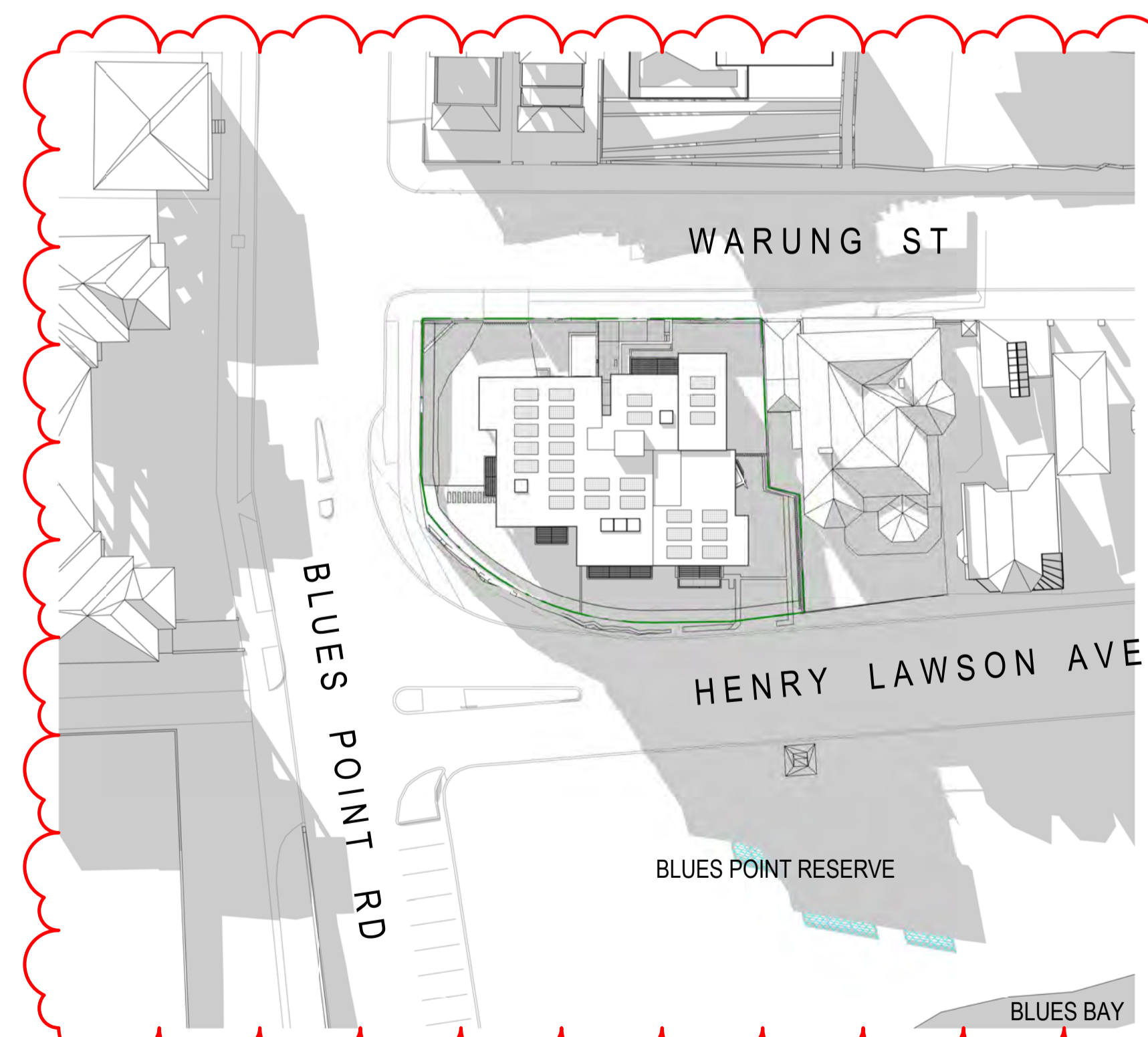
1 **SHADOW STUDY PLAN - WINTER SOLSTICE - 9AM**  
1 : 500 @ A1



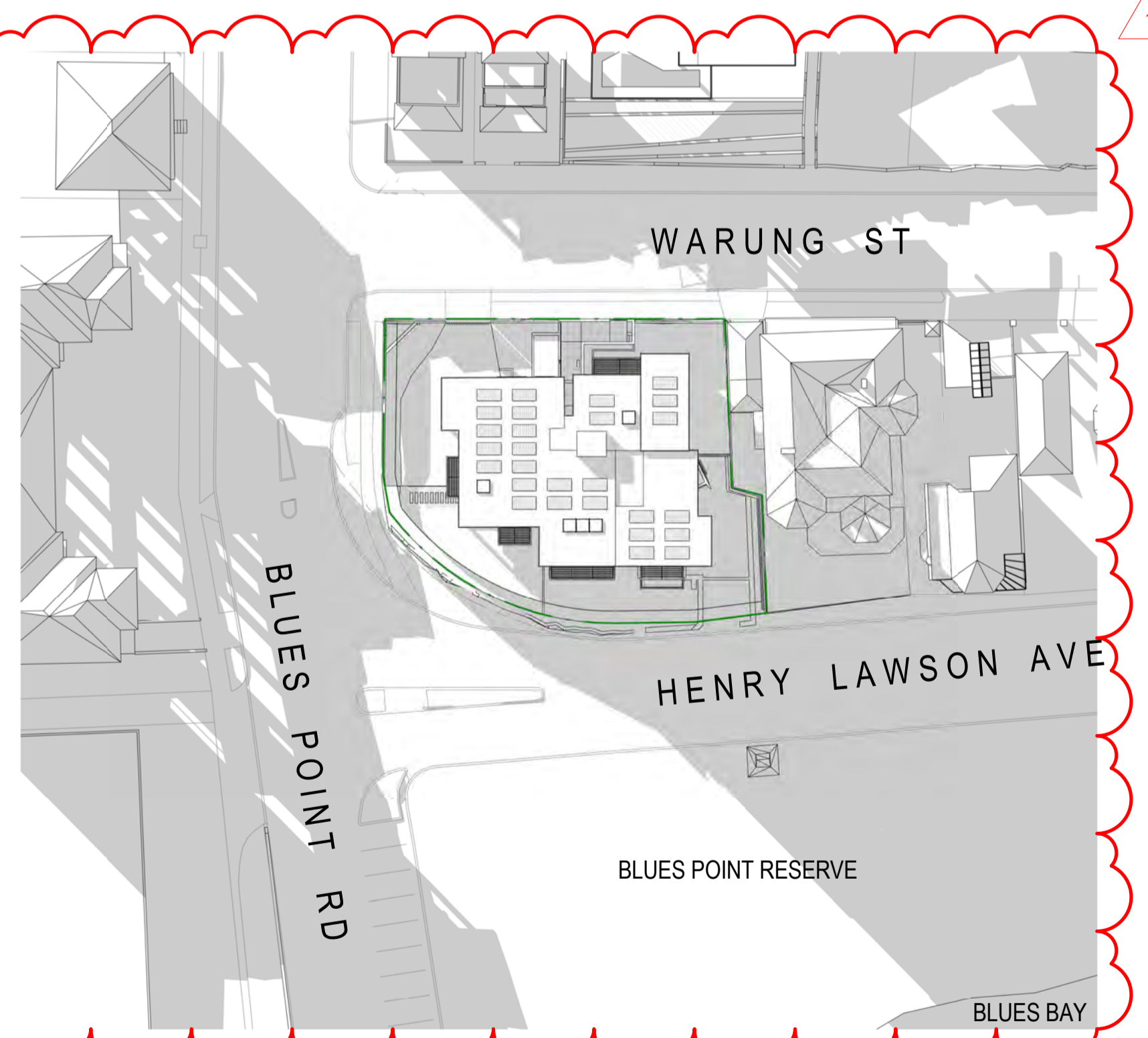
2 **SHADOW STUDY PLAN - WINTER SOLSTICE - NOON**  
1 : 500 @ A1



3 **SHADOW STUDY PLAN - WINTER SOLSTICE - 1PM**  
1 : 500 @ A1



4 **SHADOW STUDY PLAN - WINTER SOLSTICE - 2PM**  
1 : 500 @ A1



5 **SHADOW STUDY PLAN - WINTER SOLSTICE - 3PM**  
1 : 500 @ A1

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1-20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd



ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

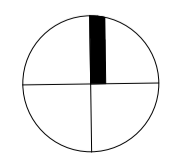
PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-401** ISSUE **C**  
JOB NO. HIG2009 SCALE As DATE 28.03.2022  
indicated@

DRAWING TITLE  
SHADOW STUDY - WINTER SOLSTICE

DRAWN BY FO CHECKED BY SC

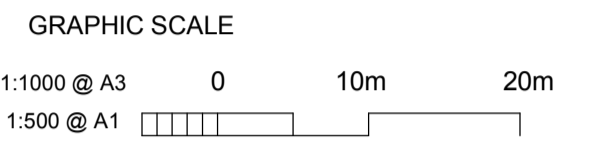


© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.  
The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



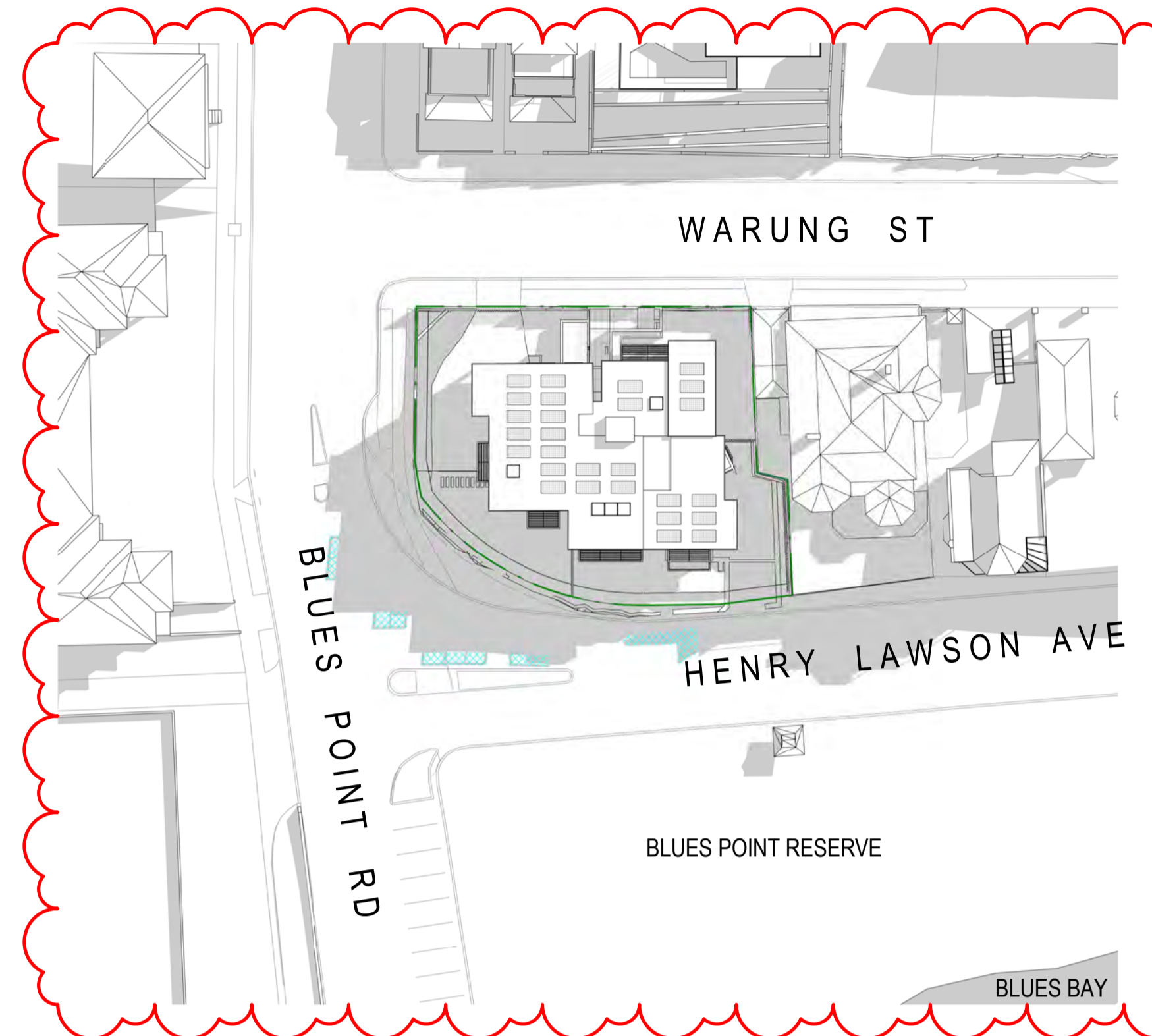
**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

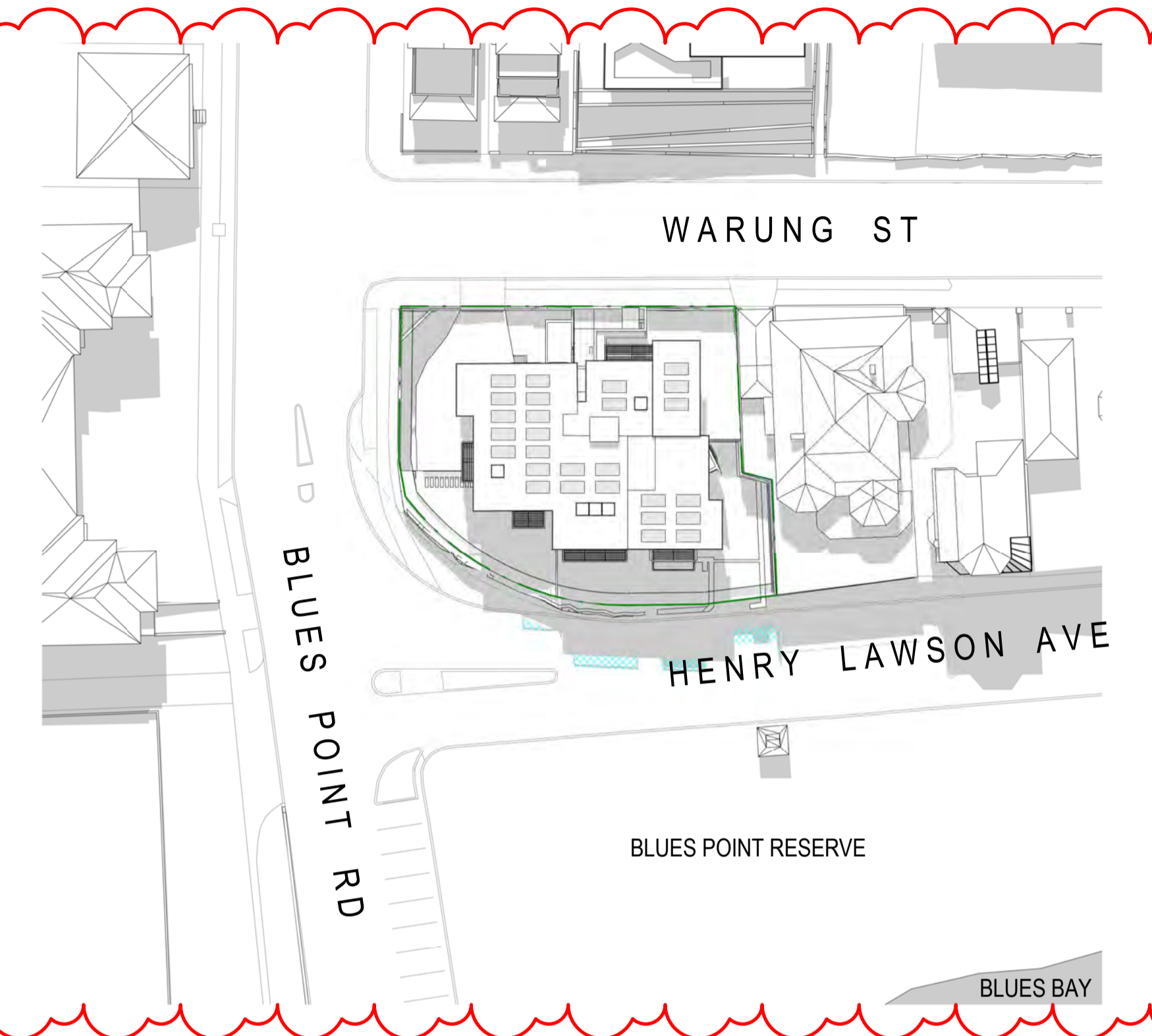


**DRAWING NOTES**

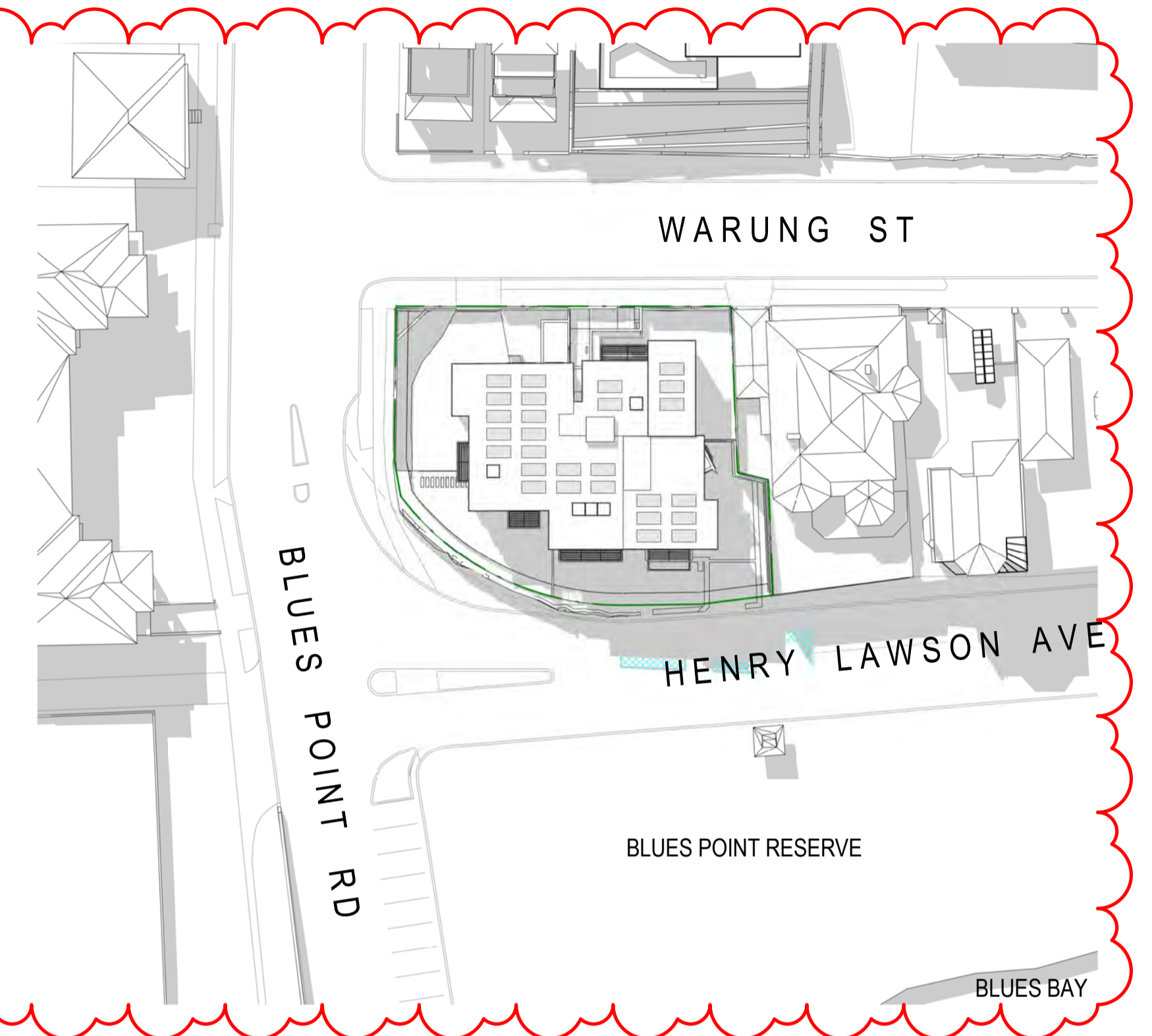
- LEGEND**
- SHADOW CAST BY EXISTING BUILDINGS
  - ADDITIONAL SHADOWS CAST BY PROPOSED NEW WORKS



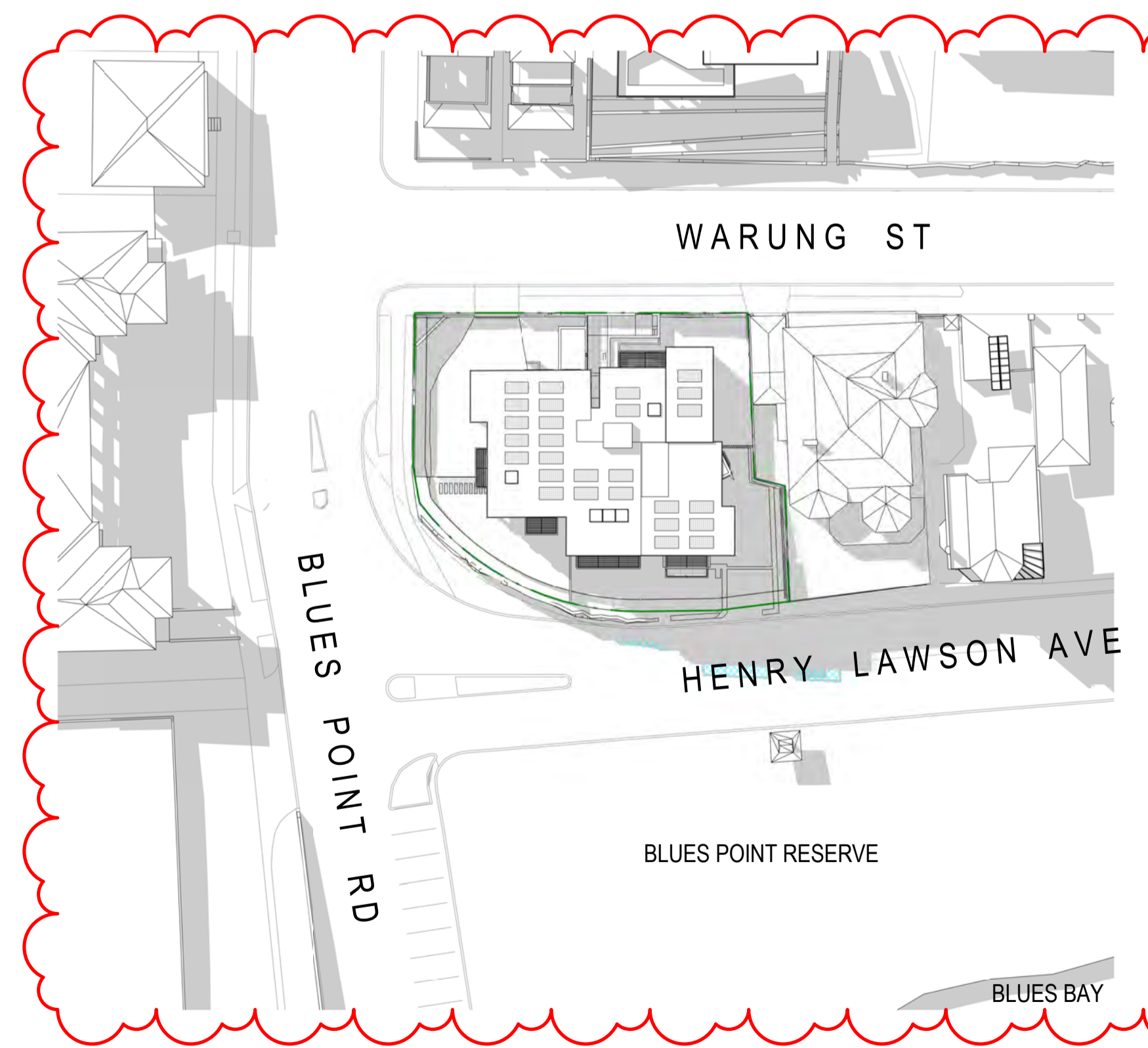
1 **SHADOW STUDY PLAN - EQUINOX - 9AM**  
1: 500 @ A1



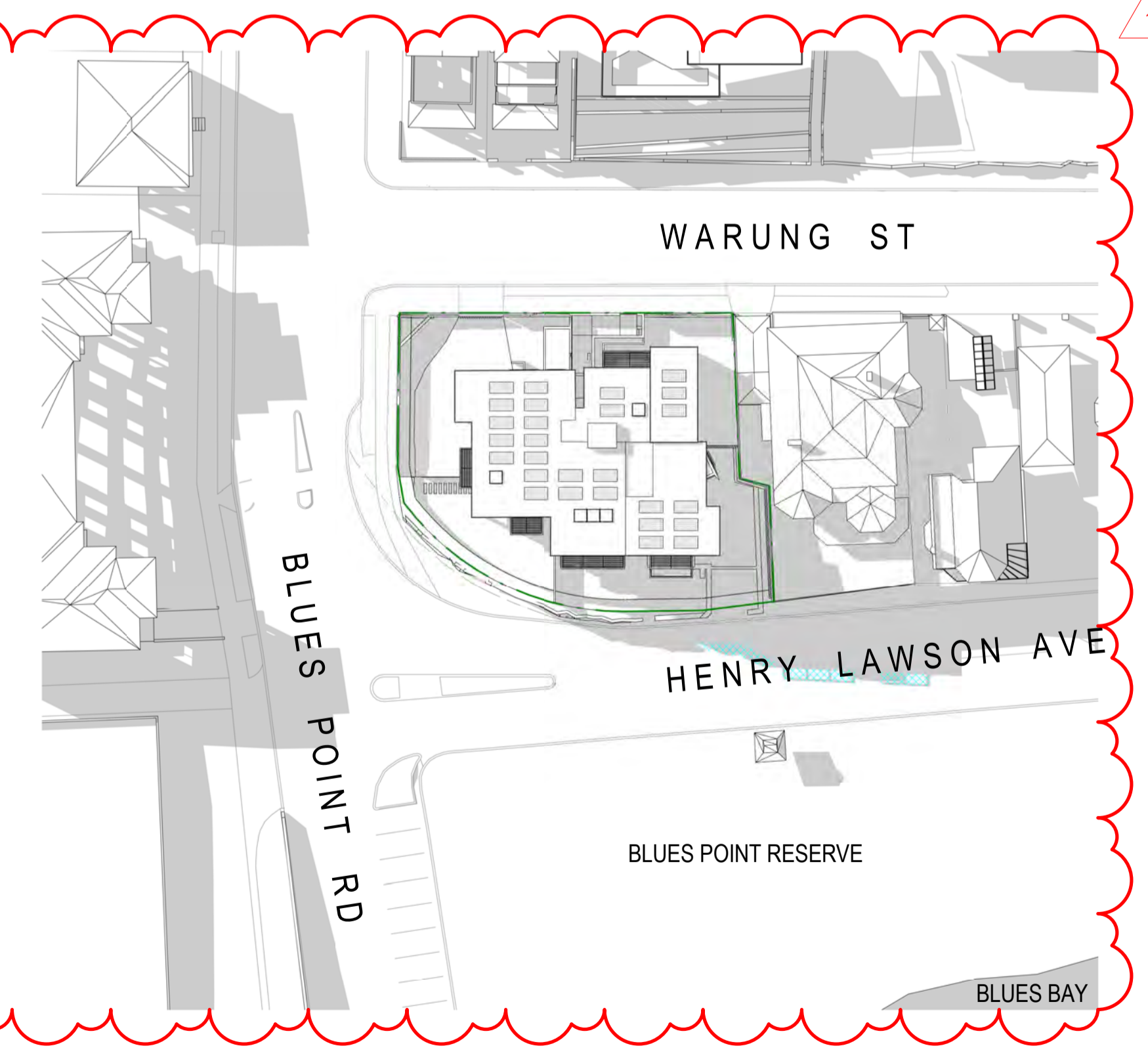
2 **SHADOW STUDY PLAN - EQUINOX - NOON**  
1: 500 @ A1



3 **SHADOW STUDY PLAN - EQUINOX - 1PM**  
1: 500 @ A1



4 **SHADOW STUDY PLAN - EQUINOX - 2PM**  
1: 500 @ A1



5 **SHADOW STUDY PLAN - EQUINOX - 3PM - PROPOSED**  
1: 500 @ A1

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
1. BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  2. REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  3. UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  4. LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  5. UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  6. UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG. OBJECTIVE 4C-1.
  7. BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  8. NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  9. DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  10. LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  11. BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  12. BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1-20 RAMP & SITTING AREA.
  13. BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  14. LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  15. PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  16. SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  17. FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  18. PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

ISS	DATE	PURPOSE OF ISSUE
C	28.03.2022	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

**CLIENT**  
Highbury Warung Pty Ltd



**ARCHITECTURE / INTERIORS**

[www.squillace.com.au](http://www.squillace.com.au)

**SYDNEY**  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

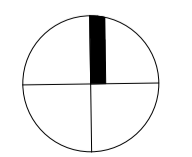
**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

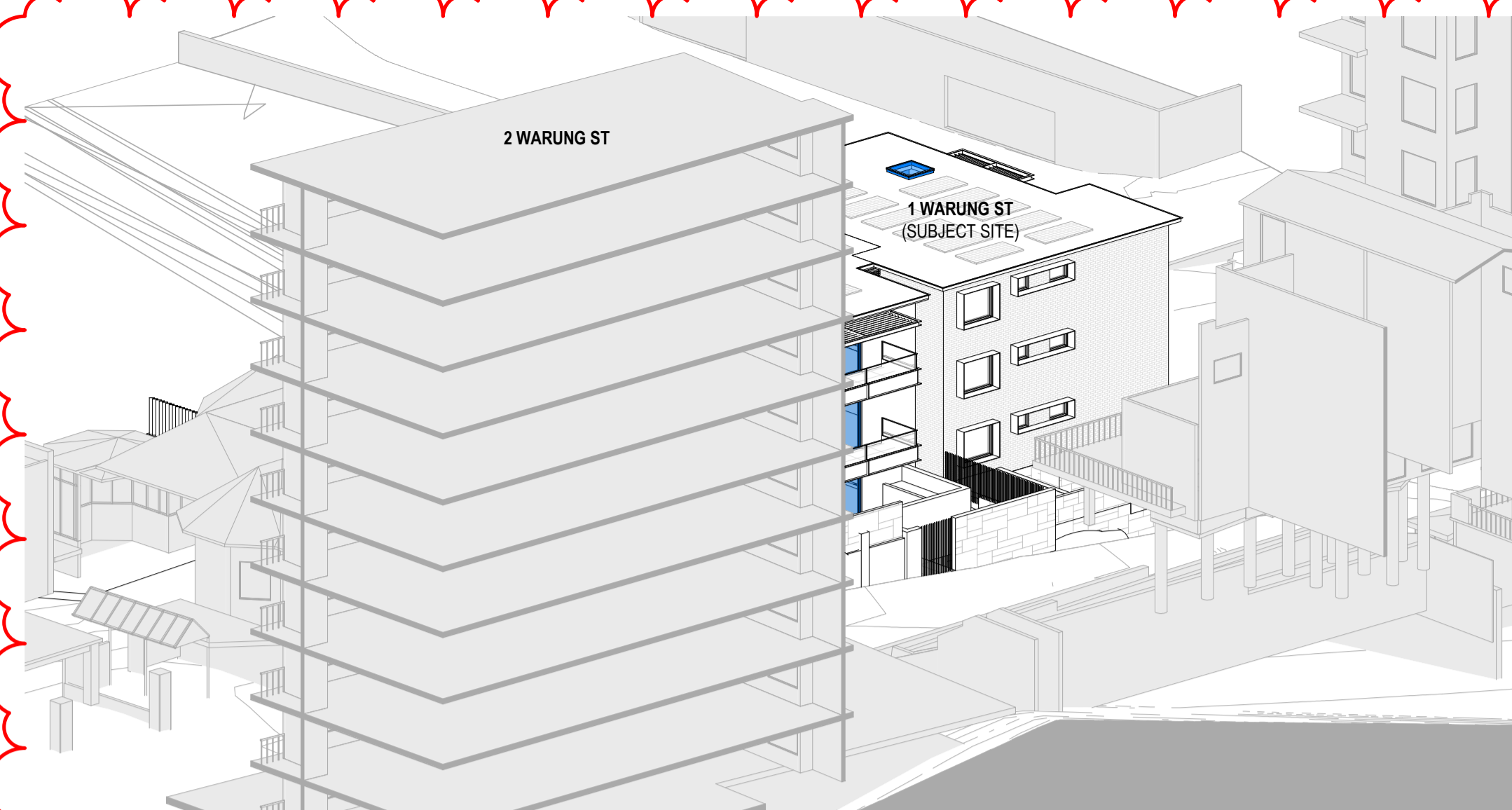
**PROJECT**  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

**DRAWING NO.** DA-402  
**SCALE** As indicated  
**DATE** 28.03.2022  
**ISSUE** C  
**DRAWING TITLE** SHADOW STUDY - EQUINOXES

**DRAWN BY** FO  
**CHECKED BY** SC

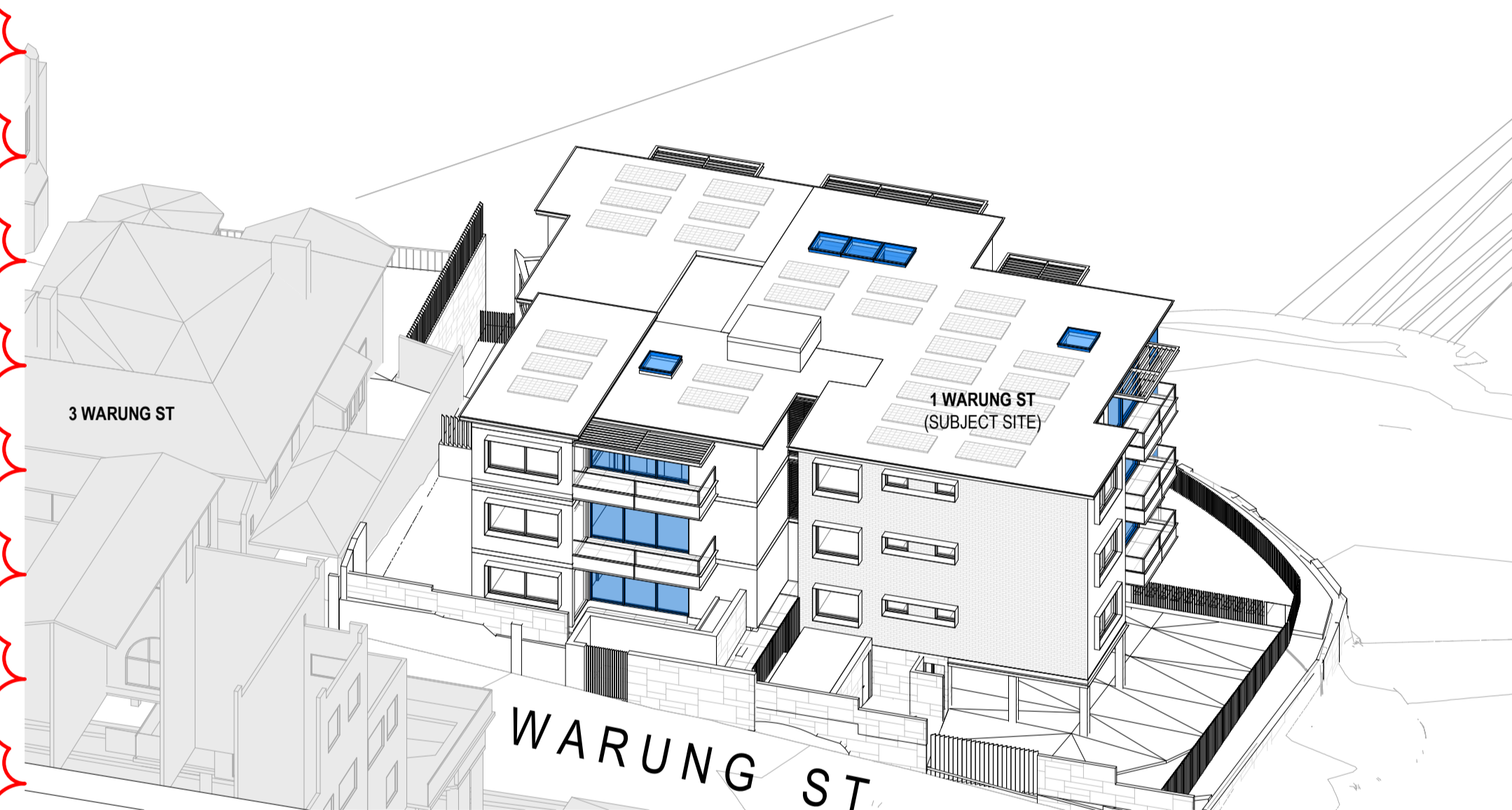




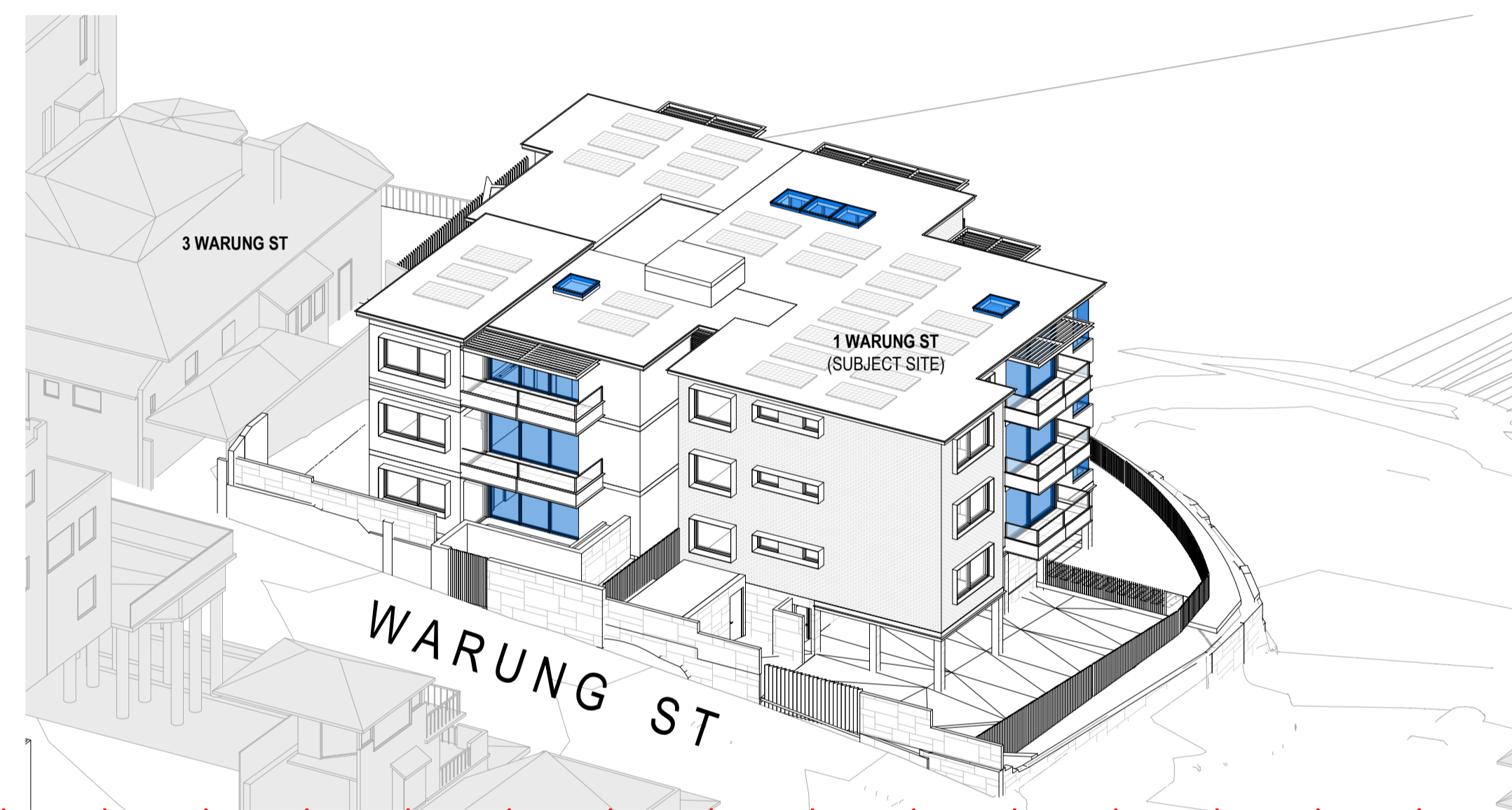
1 **SUN EYE VIEW - 9.00AM - WINTER SOLSTICE**  
@ A1



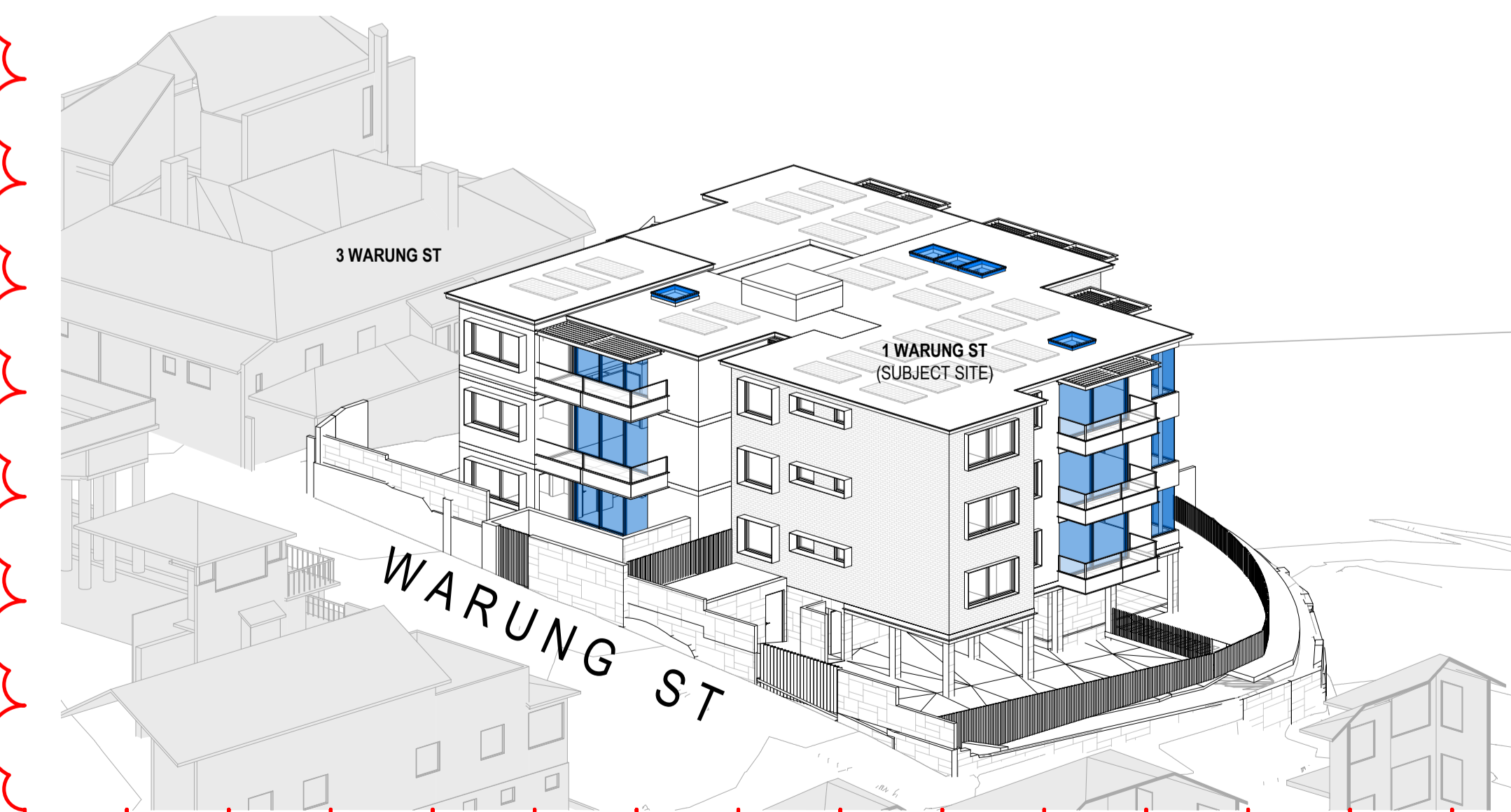
2 **SUN EYE VIEW - 12.00PM - WINTER SOLSTICE**  
@ A1



3 **SUN EYE VIEW - 1.00PM - WINTER SOLSTICE**  
@ A1



4 **SUN EYE VIEW - 2.00PM - WINTER SOLSTICE**  
@ A1



5 **SUN EYE VIEW - 3.00PM - WINTER SOLSTICE**  
@ A1

\* REFER TO DA-450 FOR ADDITIONAL SHADOW ANALYSIS OF THE WESTERN FACADE OF 3 WARUNG ST @ WINTER SOLSTICE

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1:20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUN RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



**STATUS**  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

SUN'S EYE VIEW LEGEND

■ INDICATES LIVING AREA GLAZING

ISS	DATE	PURPOSE OF ISSUE
D	28.03.2022	ISSUE FOR DA
C	01.12.2021	ISSUE FOR DA
B	26.08.2021	ISSUE FOR DA
A	18.08.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
Warung Street Apartments

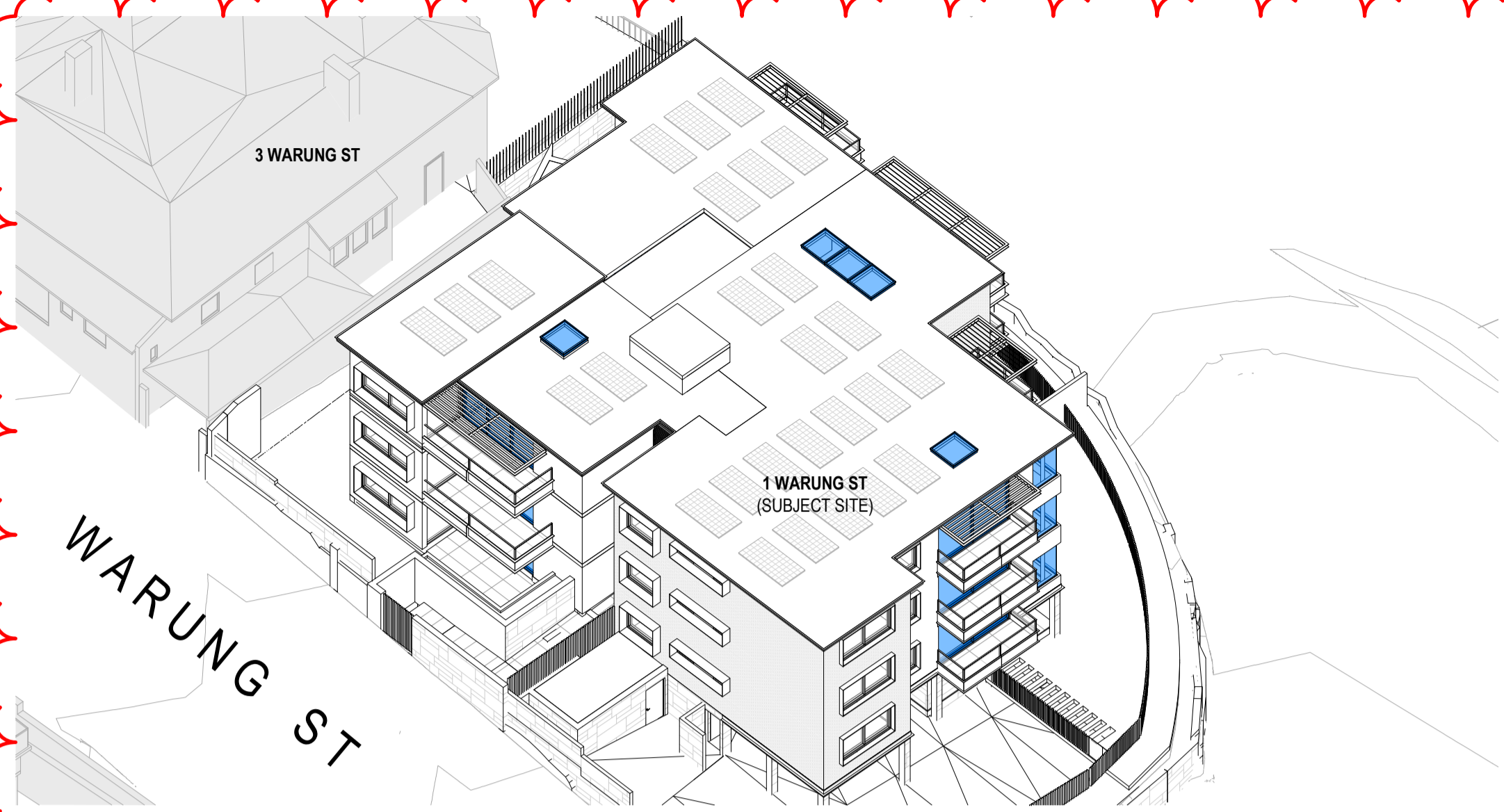
1 Warung Street, McMahons Point NSW

DRAWING NO. **DA-431** ISSUE **D**  
JOB NO. **HIG2009** SCALE **N.T.S.** DATE **28.03.2022**

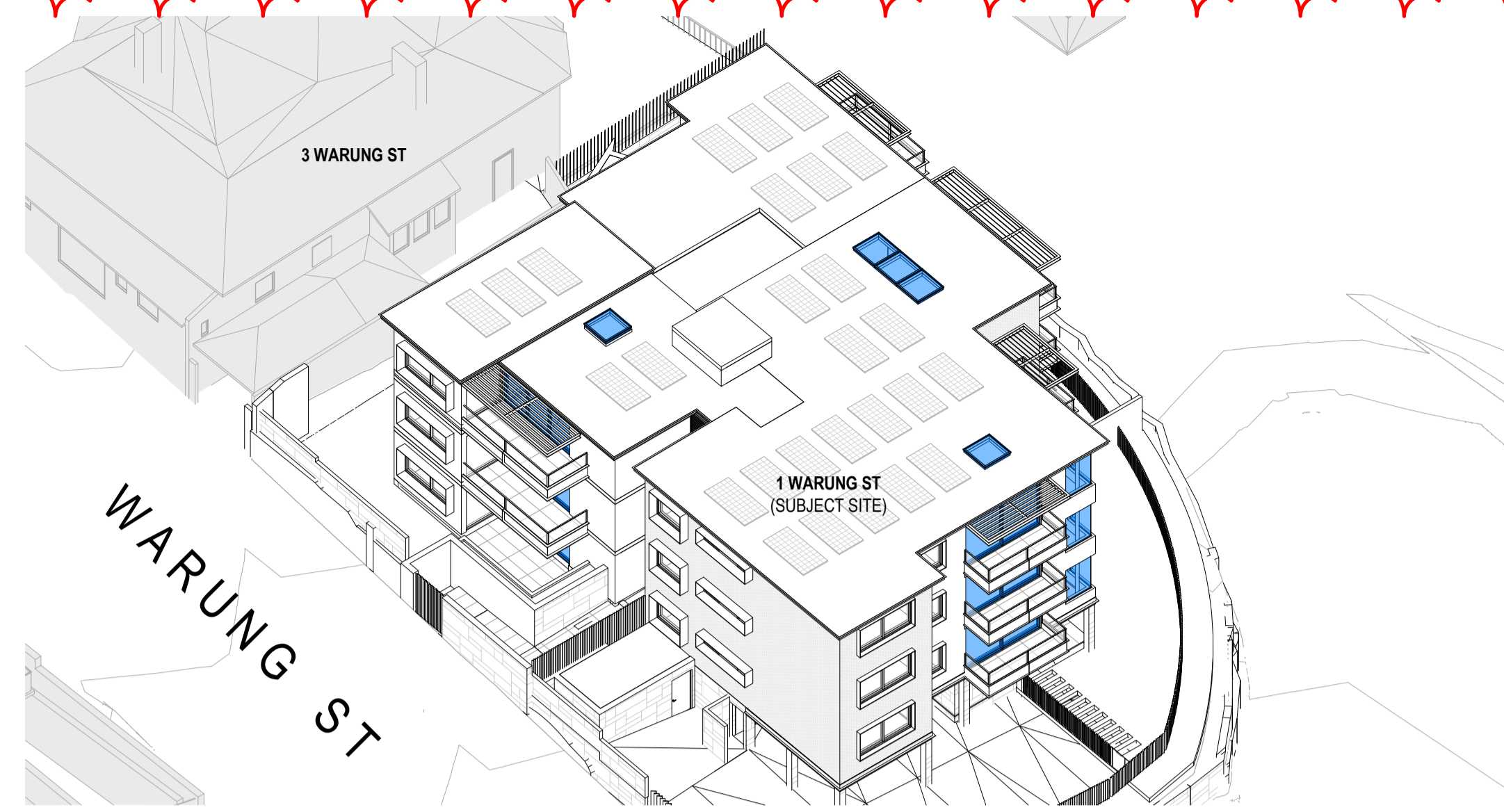
DRAWING TITLE  
**SUN'S EYE VIEW - WINTER SOLSTICE**

DRAWN BY **FO** CHECKED BY **SC**

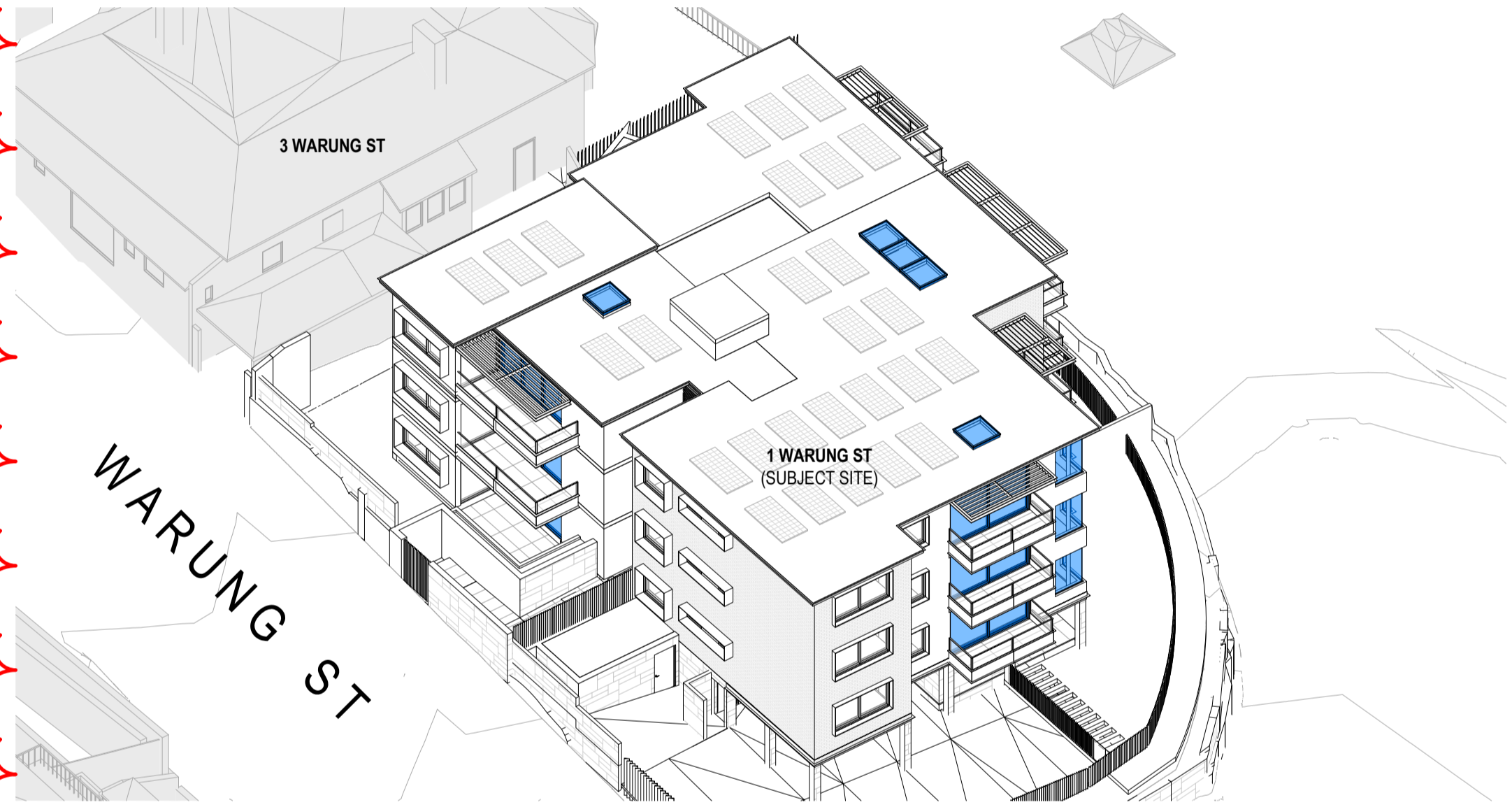
18



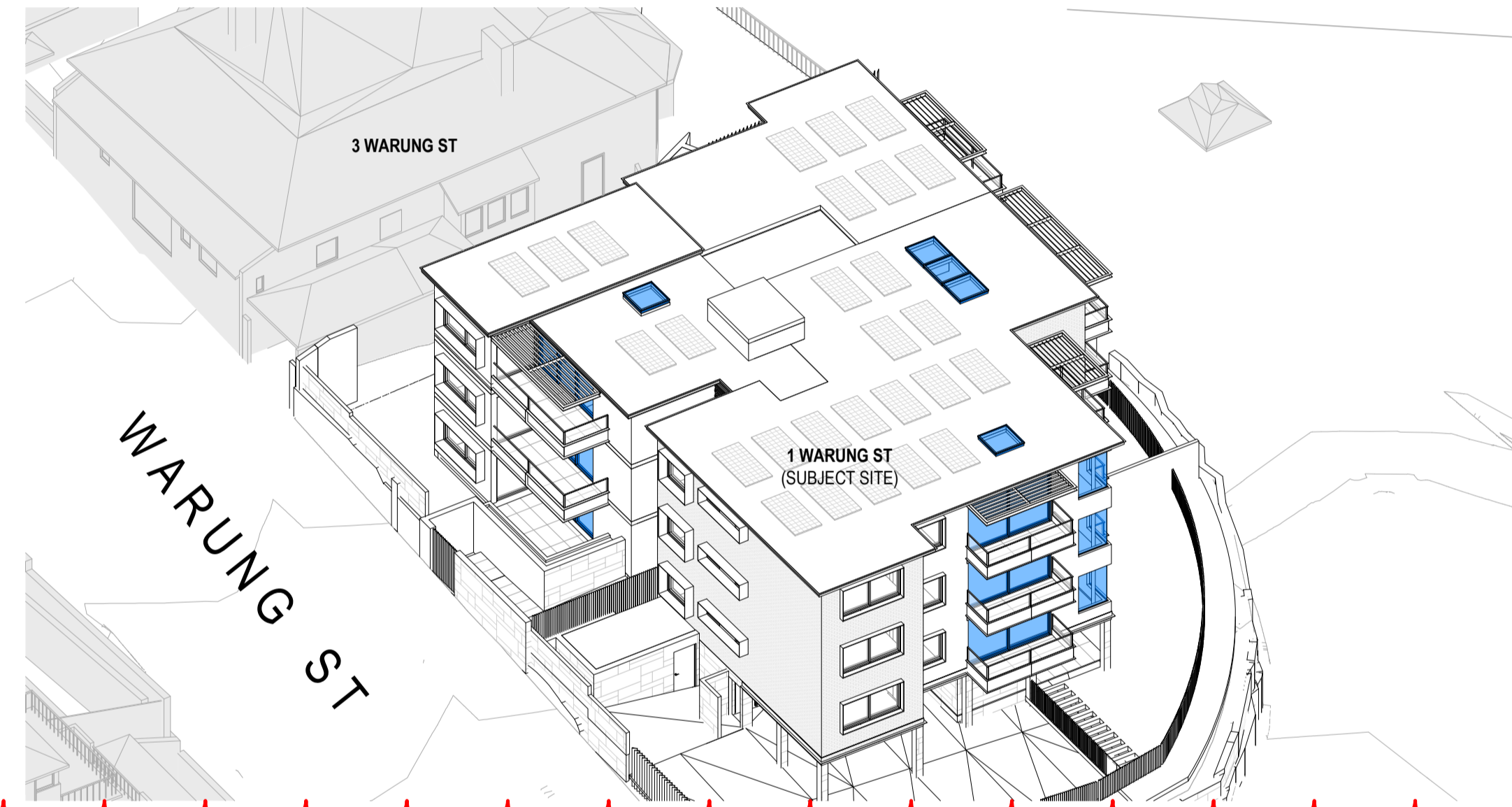
1 **SUN EYE VIEW - 2.00PM - EQUINOX - NO OVERSHADOWING BEFORE 2:00 PM**  
@ A1



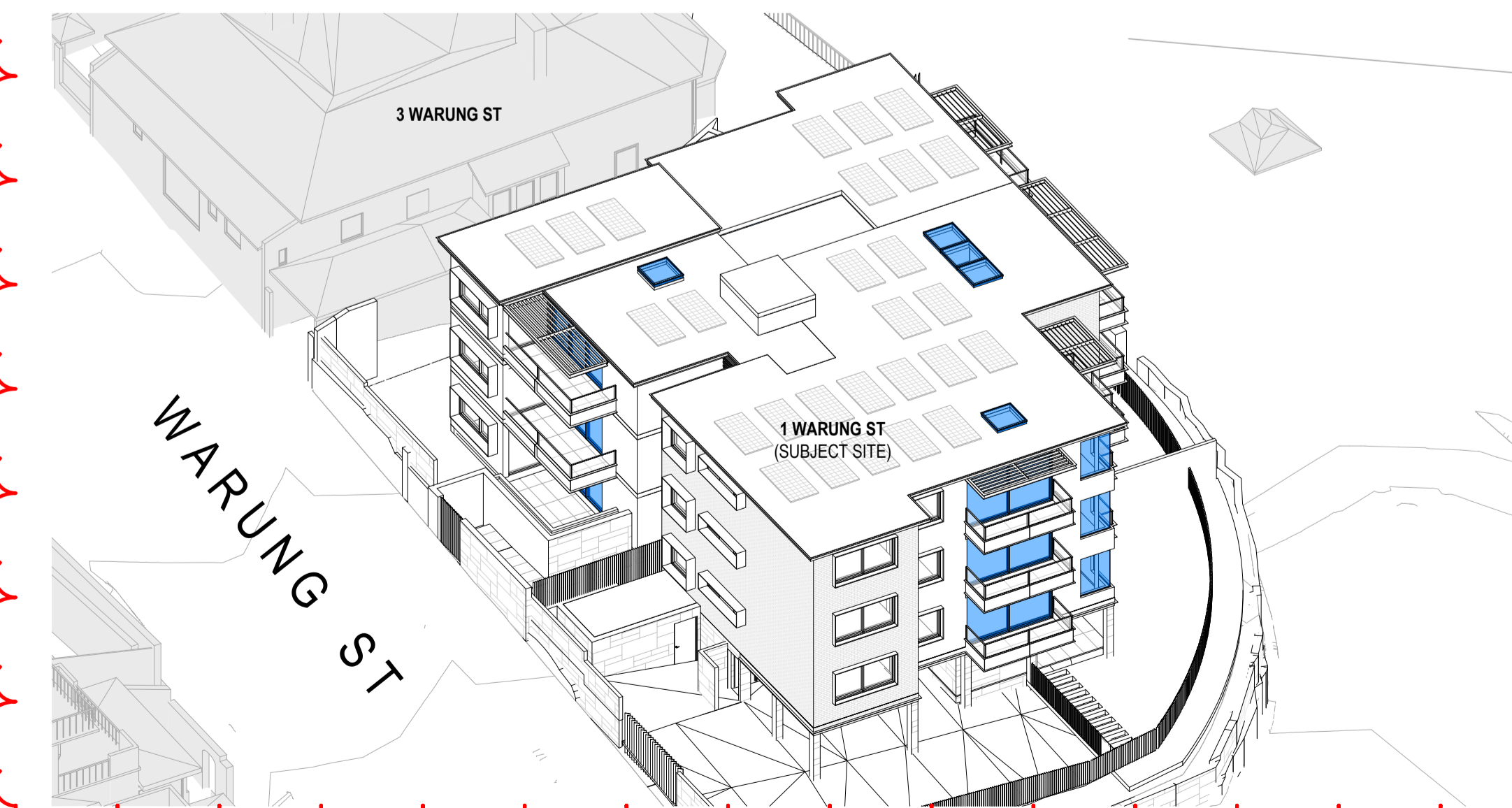
2 **SUN EYE VIEW - 2.15PM - EQUINOX**  
@ A1



3 **SUN EYE VIEW - 2.30PM - EQUINOX**  
@ A1



4 **SUN EYE VIEW - 2.45PM - EQUINOX**  
@ A1



5 **SUN EYE VIEW - 3.00PM - EQUINOX**  
@ A1

\* HABITABLE AREAS OF 3 WARUNG ST NOT AFFECTED BY PROPOSED NEW WORKS DURING THE EQUINOXES FROM 9AM TO 3PM.

- AMENDMENTS TO ARCHITECTURAL DRAWINGS**
- BASEMENT ENTRY WIDTH REDUCED TO 3.6m & RELOCATED 2.7m FROM THE BOUNDARY TO RETAINED NATURAL ROCK FORMATION. NEW PHOTOMONTAGE & DETAILS ADDED (DA-701 & DA-800).
  - REPLACED 2 CAR SPACES WITH COMMUNAL OPEN SPACE SPACES ON LOWER GROUND LEVEL. VISITOR BICYCLE SPACE RELOCATED.
  - UNIT L01 AREA REDUCED TO ACCOMMODATE A LARGER SERVICE ROOM & REDUCED GARBAGE ROOM.
  - LOWER GROUND LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE ROOM OF UNIT L01.
  - UNIT G03 LEVEL LOWERED BY 300mm TO PROVIDE 2.7m CEILINGS TO HABITABLE AREAS.
  - UNIT 103 CONVERTED TO A 2-STORY UNIT (UNIT 203 REMOVED) TO ACHIEVE 2.7m CEILINGS ON LOWER LEVEL & 2.4m CEILINGS TO UPPER LEVEL. \* REFER TO ADG, OBJECTIVE 4C-1.
  - BASEMENT STAIRS CONNECTED WITH LOWER GROUND LEVEL LOBBY.
  - NEW STAIRS FROM LOWER GROUND LEVEL TO GROUND FLOOR LEVEL ADDED.
  - DEEP SOIL AREA AND LANDSCAPE AREA INCREASED.
  - LINE OF EASTERN EXISTING BUILDING FACADE SHOWN AS DASHED ON PROPOSED FLOOR PLANS.
  - BALCONY SIZES REDUCED, STEEL POSTS REMOVED & GLASS BALUSTRADE AREA REDUCED. REDUCTION IN CONTRAST ON EXTERNAL COLOURS.
  - BUILDING ENTRY ON GROUND FLOOR RECONFIGURED. STAIRS & STAIRS LIFT REPLACED WITH A 1-20 RAMP & SITTING AREA.
  - BASEMENT CAR PARK EXHAUST ADDED. CAR PARK EXHAUST TO DISCHARGE AT LOWER ROOF LEVEL.
  - LIFT OVERRUM RAISED BY 675mm TO ACCOMMODATE STANDARD LIFT.
  - PORTION OF THE ROOF ABOVE UNIT 103 RAISED BY 360mm TO ACHIEVE 2.4m CEILINGS ON UPPER LEVEL.
  - SOLID BALCONY AWNINGS REPLACED BY OPERABLE LOUVRES.
  - FLAT SOLAR PANELS & DECORATIVE PEBBLES ADDED TO THE ROOF.
  - PHOTOMONTAGE & DRAWINGS AMENDED AS PER THE UPDATED DESIGN AND MATERIAL CHANGES.

© This work is copyright. Apart from any use permitted under the copyright act 1968, no part may be reproduced by any process, nor may any other exclusive right be exercised, without the permission of Squillace Architects Pty Ltd, Australia.

The use of this drawing is conditional on your agreement to the Squillace Electronic Transfer Agreement as found on our website at [www.squillace.com.au/eta](http://www.squillace.com.au/eta)



STATUS  
**DEVELOPMENT APPLICATION**

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

SUN'S EYE VIEW LEGEND

■ INDICATES LIVING AREA GLAZING

ISS	DATE	PURPOSE OF ISSUE
B	28.03.2022	ISSUE FOR DA
A	01.12.2021	ISSUE FOR DA

CLIENT  
Highbury Warung Pty Ltd

**squillace**

ARCHITECTURE / INTERIORS

[www.squillace.com.au](http://www.squillace.com.au)

SYDNEY  
1/80 Albion Street, Surry Hills, NSW 2010  
Ph: +61 2 8354 1300  
ABN: 24 132 554 753

NOMINATED ARCHITECT  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1193 (NT)

PROJECT  
Warung Street Apartments

1 Warung Street, McMahons Point NSW

DRAWING NO.  
**DA-432** **B**

JOB NO. SCALE DATE  
HIG2009 N.T.S. 28.03.2022

DRAWING TITLE  
SUN'S EYE VIEW - EQUINOXES

DRAWN BY CHECKED BY  
FO SC