



**NSLPP MEETING HELD ON 01/06/2022
SECTION 4.55 APPLICATION REPORT**

Attachments:

1. Site Plan
2. Architectural Plans

ADDRESS/WARD: 30-34 Grosvenor Street, Neutral Bay

APPLICATION No: DA 237/2020/3

PROPOSAL: Section 4.55(2) modification application to modify development consent DA237/2020 relating to an approved four (4) storey residential flat building including internal layout changes, building height increases, level 3 extension and a reduced communal terrace.

PLANS REF:

Plan Nos.	Rev	Description of works	Prepared by	Dated
A0097	C	Basement 02 Floor Plan	Team 2 Architects	13 December 2021
A0098	E	Basement 01 Floor Plan	Team 2 Architects	13 December 2021
A0099	E	Lower Ground Floor Plan	Team 2 Architects	13 December 2021
A0100	E	Ground Floor Plan	Team 2 Architects	13 December 2021
A0101	E	Level 01 Floor Plan	Team 2 Architects	13 December 2021
A0102	E	Level 02 Floor Plan	Team 2 Architects	13 December 2021
A0103	E	Level 03 Floor Plan	Team 2 Architects	13 December 2021
A0104	E	Roof Plan	Team 2 Architects	13 December 2021
A0200	D	Elevations 01	Team 2 Architects	13 December 2021
A0201	D	Elevations 02	Team 2 Architects	13 December 2021
A0300	D	Section 01	Team 2 Architects	13 December 2021

OWNER: Abadeen Grosvenor Pty Ltd

APPLICANT: Platform Project Services Pty Ltd

AUTHOR: Robin Tse, Senior Assessment Officer

DATE OF REPORT: 23 May 2022

DATE LODGED: 16 February 2022

RECOMMENDATION: Approval (in part)

EXECUTIVE SUMMARY

This application under Section 4.55 of the Environmental Planning and Assessment Act 1979 seeks to modify Development Consent (D237/20) for redevelopment of the subject properties to construct a new four (4) storey residential flat building including internal layout changes, building height increases, level 3 extension and a reduced communal terrace.

The application is reported to NSLPP for determination because the proposed modifications involve a further departure from the maximum height of buildings development standard in Clause 4.3 in NSLEP 2012 in accordance with the Local Planning Panels Direction made by the Minister for Planning on 30 Jun 2020.

Council's notification of the proposal has attracted no submissions.

The application has been assessed against the North Sydney LEP 2013 and North Sydney DCP 2013 and SEPP 65 – Design Quality of Residential Flat Building and generally found to be satisfactory.

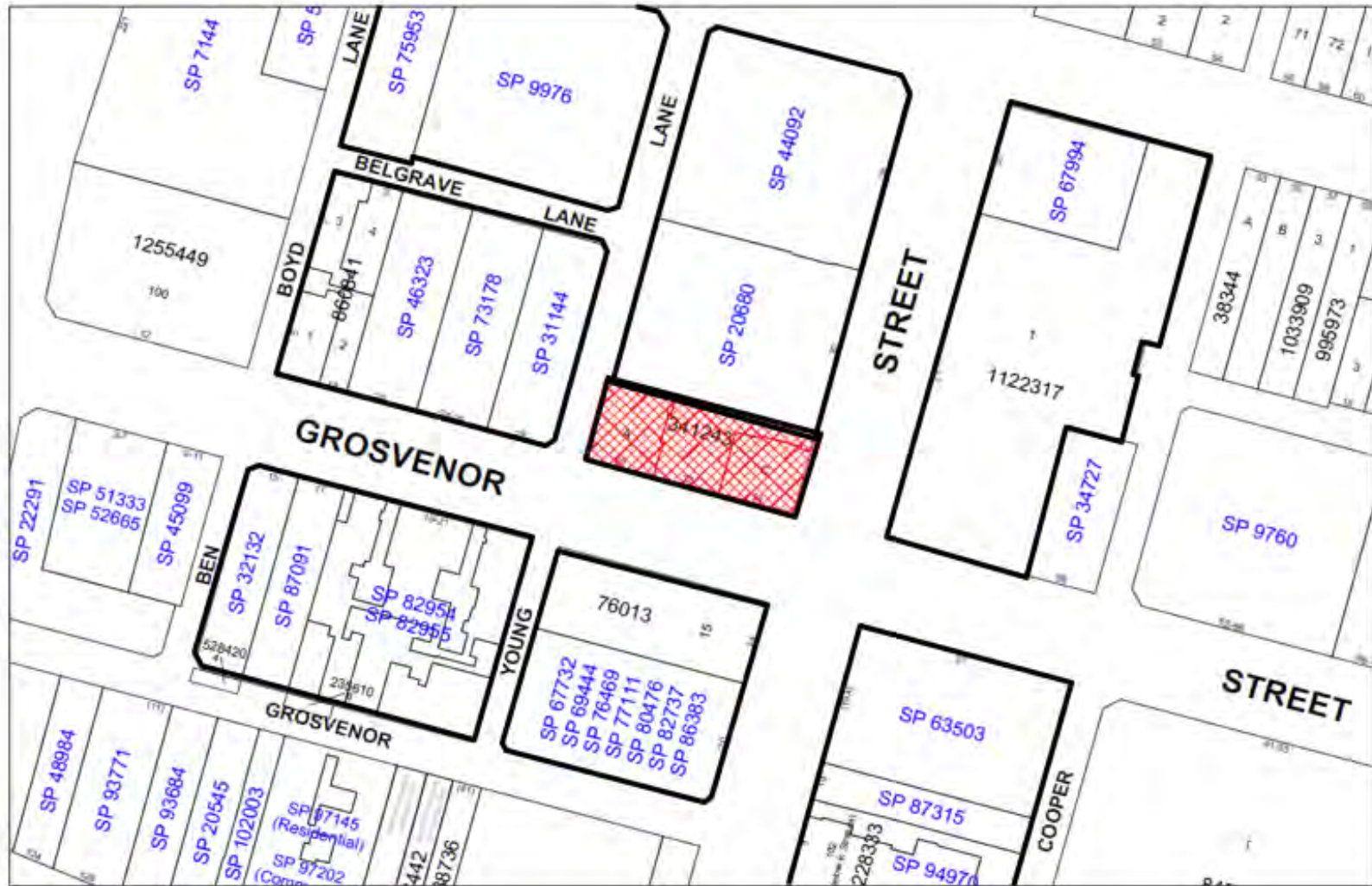
The proposed modifications, as amend by conditions of consent, would result in a development which is substantially the same development as originally approved as the proposal would not materially change the building height, setbacks, and the visual mass of the development as approved under the original development consent.



The proposed modifications to the building elements above the LEP maximum building height limit would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality but add yield above the 12m building height limit which previously provided a planning benefit in communal space. The recommended design amendments requiring the deletion of the proposed level 3 extension and the retention of the communal terrace as originally approved is in line with the reasoning behind the granting of the height variation in the original DA approval. The required design amendments would also maintain the approved four (4) storey stepped built form.

The proposed modifications, as amended by conditions of consent, would not cause any material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy. The amenity for the future residents of the development would be maintained with the retention of the communal facilities as originally approved.

The proposal was found to be acceptable in the site circumstances and is recommended that the subject section 4.55(2) application be **approved** with modifications to existing conditions of consent and the addition of new conditions.

LOCATION MAP



 Property/Applicant ● Submitters - Properties Notified 

DESCRIPTION OF PROPOSAL

The subject s4.55 application involves modifications to Development Consent (**D237/2020**) for the redevelopment of the properties at Nos. 30-34 Grosvenor Street, Neutral Bay to provide a four (4) storey residential flat building.

The proposed modifications are summarised as follows:

(a) Basement Levels 1 & 2:

- Modifications to the northern basement piling walls to allow a fire egress door to be constructed on the lower ground level;

(b) Lower Ground Floor:

- Modifications to the design of the fire booster assembly and the temporary bin storage area along the Young Street (eastern) property boundary;
- Construction of a new retaining wall along the northern property boundary to the north of the basement car park entry;

(c) Ground Floor:

- Modifications to the main (Grosvenor Street) pedestrian entry with the addition of an awning and the deletion of the entry staircase with the retention of an accessible ramp;
- Addition of air intake grill above a plant room adjacent to the basement garage entry;

(d) Level 3:

- Partial conversion of the approved communal area to facilitate an extension of apartment No. 301 to provide an extended living area and a private outdoor terrace;
- Re-configuration of the internal layout of apartment No.301 to increase the number of bedrooms from three (3) to four (4);
- Enclosure of the lift lobby and a new glazed doorway to the proposed modified communal roof terrace;
- Increase the area of apartment No.301 from 159sqm to 188sqm; and
- Reduction in the area of the communal area on this level from 208sqm to 74sqm
- Extension of the roof by 5m over the modified communal terrace and apartment No.301.

(e) Roof Level:

- An increase in the maximum height of the lift overrun from RL92.85 to RL93.00;
- Installation of solar panels on the roof as per BASIX requirements;
- Addition of a plant enclosure for hot water plant and carpark exhaust adjacent to the lift overrun;

(f) External Works:

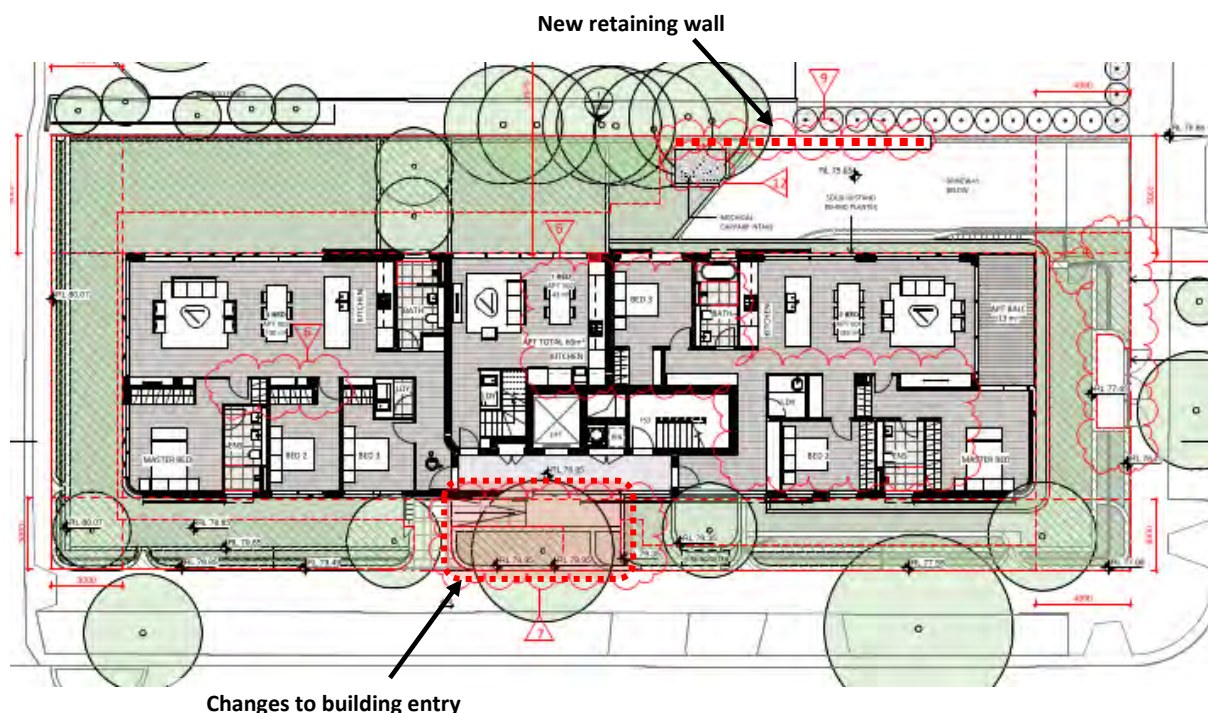
- Modifications to the locations of the external screens on all levels to suit the internal layout changes including the deletion of sliding screens to the northern living room windows of apartment Nos. 002 and 301;
- Modifications to the design of the balustrades to steel flat bar;

(g) Modifications to the floor levels on levels 3 and the roof, and the level at the top of the lift overrun:

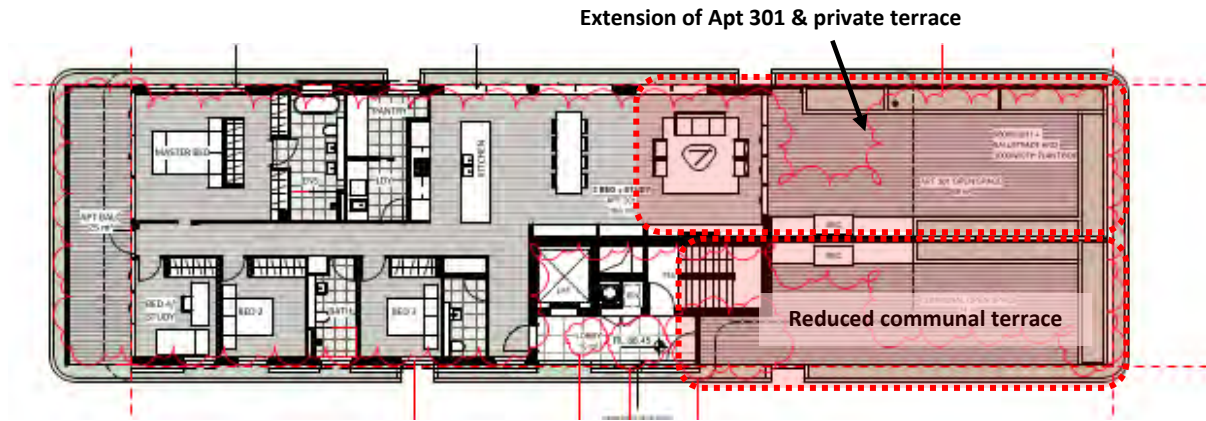
Level	Approved	Proposed
Basement 02	RL69.65	RL69.65
Basement 01	RL72.50	RL72.50
Lower Ground	RL75.65	RL75.65
Ground	RL78.85	RL78.85
Level 01	RL82.00	RL82.00
Level 02	RL85.15	RL85.15
Level 03	RL88.30	RL88.45
Roof	RL91.40	RL91.55
Top of Lift overrun	RL92.85	RL93.00

(h) Various internal layout adjustments to apartments (proposed unit areas as shown in the table below):

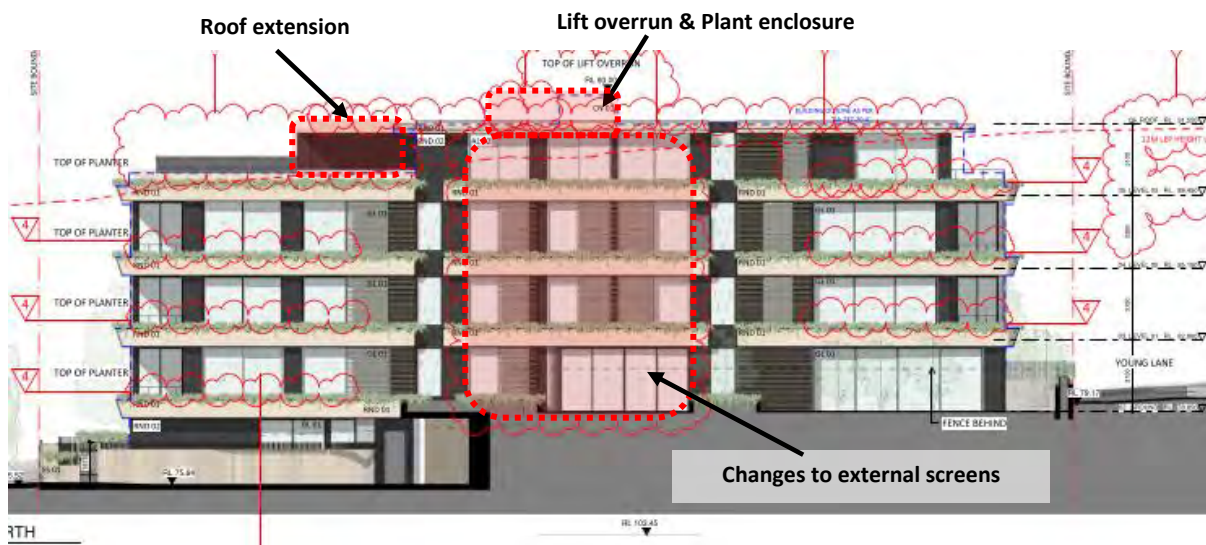
Level/ Nos. of Units & Type	Approved	Proposed
Lower Ground: 1 x 2B + Study	110sqm	110sqm
Ground: 1 x 1B 2 x 3B	66sqm 131sqm & 140sqm	66sqm 130sqm & 139sqm
Level 01: 2 x 3B	119sqm & 158sqm	119sqm & 158sqm
Level 02: 2 x 3B	146sqm & 158sqm	146sqm & 158sqm
Level 03: 1 x 4B	159sqm (3B)	188sqm (4B)
Level 03: Communal Terrace	208sqm	74sqm



Ground Floor – Floor Plan

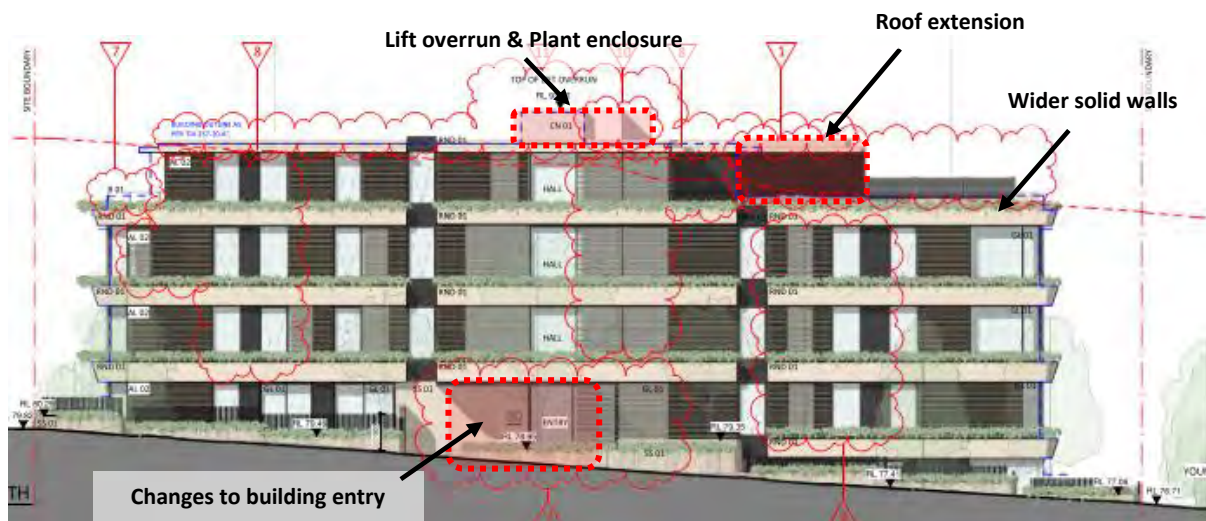


Lower Ground Level – Floor Plan



Northern Elevation

Lift Overrun



Southern (Grosvenor Street) Elevation

Figures 1 – 4: Proposed Modifications

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R4 High Density Residential)
- Item of Heritage - No
- In Vicinity of Item of Heritage - No
- Conservation Area - No
- FSBL – No

Environmental Planning & Assessment Act 1979 (As amended)

SEPP (Biodiversity and Conservation) 2021 – Chapters 2, 6 & 10

SEPP (Resilience and Hazards) 2021 – Chapter 4

SEPP 65 – Design Quality of Residential Apartment Development & ADG

SEPP (Building Sustainability Index: BASIX) 2004

Local Development

POLICY CONTROLS

North Sydney Development Control Plan 2013

Apartment Design Guidelines (ADG)

North Sydney Infrastructure Contribution Plan 2020

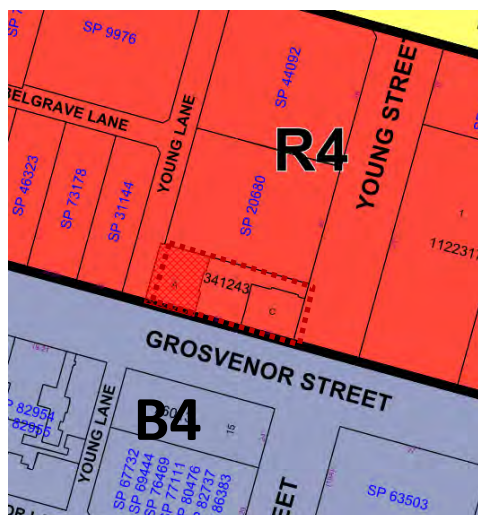


Figure 5: Zoning Map



Figure 6: Building Height Map

DESCRIPTION OF LOCALITY

The subject site is located on the northern side of Grosvenor Street. The subject site comprises three allotments at Nos. 30, 32 and 34 Grosvenor Street, legally known as Lots A, B and C of DP341243. The subject site has the main street frontage to Grosvenor Street with secondary frontages to Young Street to the east and Young Lane to the west. The site is rectangular in shape, with fall of 3.9m from Young Lane towards Young Street to the east, with a total area of 839.3sqm.

Currently, there are three existing buildings with each building being located on each allotment. The single storey building occupying No.30 Grosvenor Street is used as a counselling centre. The building at No.32 Grosvenor Street is a two storey dwelling house containing 4 bedrooms with a driveway along the northern common property boundary to Young Street. The single storey building occupying No.34 Grosvenor Street is used as a travel agency.

The subject site is located on the northern edge of the Neutral Bay Town Centre and is surrounded by developments with varying heights and building typologies. The subject site and properties on the northern side of Grosvenor Street are located on land zoned R4 (High Density Residential) with a maximum building height of 12m. However, there are existing apartment buildings built in the 1970's/80's with building heights well in excess of the current LEP building height limit. Land to the south of the subject site across Grosvenor Street is zoned B4 (Mixed Use) with a maximum height limit of 16m.

Immediately adjoining the subject site to the north is a seven storey residential flat building at No. 30 Young Street. A driveway and parking spaces are located on the southern side of this adjoining property adjacent to the common property boundary with the subject site.

A two storey townhouse development with attic dormers is located to the west of the subject site across Young Lane at No. 28 Grosvenor Street. To the east of the subject site across Young Street is a four storey residential flat building at No. 21 Young Street.

To the south across Grosvenor Street is a part two, part three storey commercial building at No. 24 Young Street. The southern side of Grosvenor Street is characterised by mixed used developments up to five storeys in height.



Figure 8: Subject Site and the Locality

RELEVANT HISTORY

Previous Applications:

- **2 June 2004** – Development consent (**D82/04**) was granted under delegated authority for the change of use of the premises from a veterinary clinic to a training institute/educational establishment for counselling professionals.
- **19 August 2004** – A formerly Section 96 application (**D82/04/2**) seeking modifications to an approved development to include the demolition of an external shed and the construction of a replacement building was approved under delegated authority.
- **August 2010** – Council records revealed that the property at No.32 Grosvenor Street was registered as a skin penetration premises. The property was registered with Council as a commercial premises but is now used as a dwelling containing 4 bedrooms.
- **3 March 2021** – A deferred commencement consent (**D237/20**) was granted by the NSLPP for the redevelopment of the subject site involving the demolition of the existing buildings and the construction of a four storey residential flat building with nine apartments and basement parking for fifteen cars.
- **24 May 2021** – An operative consent was issued following the approval of the plans, information and reports submitted to satisfy the requirements of all deferred commencement conditions.
- **2 February 2022** – A s4.55 application (**D237/20/2**) was approved by the NSLPP for various modifications to the approved apartment building including changes to floor levels, internal layout changes within the basement levels, an additional basement level and an increase in the height of the lift overrun by 300mm.

Current Application:

- **16 February 2022** – The subject s4.55 application (**D237/20/3**) seeking various modifications to the approved development was lodged with Council.
- **4 to 18 March 2022** - The application was notified to adjoining properties and the Brightmore Precinct. The notification attracted no submissions.
- **14 March 2022** – The applicant submitted additional information in relation to the scope of the proposed modifications.

REFERRALS

BUILDING

The works involve in the proposed modifications have not been assessed against the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a section 4.55 application would be necessary.

ENGINEERING

The subject s4.55 application was referred to Council's Senior Development Engineer who indicated that the engineering conditions imposed in the original DA consent would be adequate to address the proposed modifications.

TRAFFIC

The proposed modifications would not change the demand for car parking and traffic generation given that there would be no change to the number of apartments within the development.

LANDSCAPING

The proposed modifications would not result in significant changes to the landscape treatments as previously approved within the subject site.

DESIGN EXCELLENCE PANEL

A referral of the subject application to Council's Design Excellence Panel is not considered necessary because the proposed modifications would not significantly change the overall design, appearance and building height of the approved development. The proposal would not change the overall level of compliance with SEPP 65 and the Apartment Design Guide (ADG) as detailed later in this report.

Furthermore, referral is not required as the applicant has submitted a revised design verification statement from the same architect who designed, or directed the design, of the building that was subject to the original consent. The submitted statement is in accordance with the requirements in Section 115(3B) of the EP&A Regulations 2000 for s4.55(2) applications for apartment buildings and confirms that the proposed modifications have not diminished the design quality of the building. The EP&A Regulations 2000 continue to apply in accordance with the savings and transitional arrangements contained in Schedule 6(3) to the Environmental Planning and Assessment Regulation 2021 which commenced 1 March 2022, after the lodgement of the subject application.

However, the following comments from the DEP regarding the original design of the now approved building are considered relevant to the subject modification application:

Façade Treatments

- *The Panel was concerned about excessive unprotected glass on the façade, particularly on the northern elevation. Appropriate façade treatments such as adjustable louvres should be considered.*

Communal Facilities

- *The Panel strongly supports the communal facilities on level 03.*
- *Consideration should be given to the provision for providing more direct access between the lift lobby and the communal room as well as the enclosure of the communal room.*

Comment:

Façade Treatments:

In response to DEP's comment, the applicant amended the northern elevation to introduce sliding screens to reduce the amount of unprotected glazing on the building façade (**Figure 9**).



Figure 10: Proposed northern elevation

SUBMISSIONS

The owners of surrounding properties and the Brightmore Precinct were notified between 4 and 18 March 2022 in accordance with Council’s Community Engagement Protocol. The notification attracted no submissions.

CONSIDERATION

Council is required to assess the s4.55 application under the EPA Act 1979 (As amended) having regard to the following matters:

Section 4.55(2)

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
- (c) *it has notified the application in accordance with—*
 - (i) *the regulations, if the regulations so require, or*
 - (ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent,**and*
- (d) *it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

Comments are provided on the above matters in section 4.55 (2) as follows:

- (a) ***it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and***

The application involves the extension of an apartment on level 3, floor level changes and modifications to the approved façade treatments. The proposed modifications, subject to recommended conditions, would not significantly change the overall height of the building or the use as a residential flat building. In addition, conditions are recommended to ensure that the approved design for level 3 is retained to ensure that there is adequate provision of communal open space, and that the integrity of the approved stepped built form is maintained. Consequently, the proposal, as amended by condition of consent, is considered to be “substantially the same”.

- (b) ***it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and***

The proposal did not require any referral to another public authority.

- (c) ***Whether the application has been notified and, if so, were there any submissions***

The owners of surrounding properties and the Brightmore Precinct were notified between 4 and 18 March 2022. The notification attracted no submissions.

Pursuant to section 4.55(3) in the EP&A ACT 1979 (as amended) Council must also consider the matters that need to be addressed under section 4.15 (Evaluation) and the reasons for the original approval that are considered later in this report.

MATTERS FOR CONSIDERATION UNDER SECTION 4.15 (Evaluation)

On 1 March 2022, forty-five (45) State Environmental Planning Policies (SEPPs) were consolidated into one of the eleven (11) new SEPPs. These changes affect a number of SEPPs to be considered in this report.

It is noted that the consolidation primarily involves the transfer of the repealed SEPPs to form new chapters within the new SEPPs without significant amendments (i.e. will only involve a change in clause numbers and consequential amendments such as removal of introductory/duplicated provisions). Consequently, there would be no material changes to the requirements between the repealed SEPPs and the new consolidated SEPPs.

- SEPP (Vegetation in Non-Rural Areas) 2017 - Chapter 2 in SEPP (Biodiversity and Conservation) 2021
- SEPP No 19—Bushland in Urban Areas - Chapter 6 in SEPP (Biodiversity and Conservation) 2021
- SREP (Sydney Harbour Catchment) 2005 - Chapter 10 in SEPP (Biodiversity and Conservation) 2021
- SEPP 55 (Remediation of Land) – Chapter 4 in SEPP (Resilience and Hazards) 2021

SEPP (Biodiversity and Conservation) 2021 - Chapter 2

SEPP (Vegetation in Non-Rural Area) 2017 has been consolidated into the new **SEPP (Biodiversity and Conservation) 2021** and the provisions of the former SREP are contained under Chapter 2 of the new SEPP.

This part of the new SEPP will ensure the biodiversity offset scheme (established under the Land Management and Biodiversity reforms) will apply to all clearing of native vegetation that exceeds the offset thresholds in urban areas and environmental conservation zones that does not require development consent. The proposal meets the objectives of the SEPP because there would be no clearing of native vegetation, or any material impacts on bushland (if any) in the vicinity of the subject site.

SEPP (Biodiversity and Conservation) 2021 - Chapter 6

SEPP 19 (Bushland in Urban Area) has been consolidated into the new **SEPP (Biodiversity and Conservation) 2021** and the provisions of the former SREP are contained under Chapter 6 of the new SEPP.

The proposed development is consistent with the relevant objectives and provisions of the new SEPP because the proposal does not involve removal of significant vegetation. Appropriate conditions have also been recommended by Council's Landscape Development Officer which were imposed in the original development consent to ensure the protection of existing trees and new/replacement plantings to maintain the landscape setting of the subject property.

SEPP (Biodiversity and Conservation) 2021 - Chapter 10

SREP (Sydney Harbour Catchment) 2005 has been consolidated into the new **SEPP (Biodiversity and Conservation) 2021** and the provisions of the former SREP are contained under Chapter 10 of the new SEPP.

Having regard to the relevant provisions of the SREP (Sydney Harbour Catchment) 2005, the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the subject site is not highly visible from the Harbour given the site is located far enough away from the foreshores of Sydney Harbour. As such, the development satisfies the provisions contained within the above SREP and Chapter 10 of the new SEPP.

SEPP (Resilience and Hazards) 2021 - Chapter 4

SEPP 55 (Remediation of Land) has been consolidated into the new **SEPP (Resilience and Hazards) 2021** and the provisions of the former SEPP are contained under Chapter 4 of the new SEPP.

The provisions of SEPP 55 require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has been used for residential or office purposes for a long period of time and as such is unlikely to contain any contamination; therefore, the requirements of the former SEPP 55 have been satisfactorily addressed.

SEPP (Building Sustainability Index: BASIX) 2004

The applicant has submitted a valid BASIX Certificate (1136420M_06) to demonstrate compliance with the relevant energy efficiency/building sustainability requirements.

SEPP 65 – Design Quality of Residential Apartment Development

State Environmental Planning Policy No. 65 aims to improve the design quality of residential flat buildings in New South Wales. The primary design principles in the SEPP are discussed as follows:

Principles 1 and 2: Context, Built Form and Scale

The subject site is located on land zoned R4 (High Density Residential) and the proposal for a residential flat building development would generally be suitable for the site context and be compatible with the desirable future character for development with the Neutral Bay Town Centre.

Generally, the proposed modifications would not change the approved four storey building form in terms of the overall design, form and appearance, subject to the recommended condition requiring the deletion of the proposed level 3 extension (**Condition A9**) to maintain the four (4) storey built form of the approved development. The proposal, as amended by conditions of consent, would be consistent with the residential flat development within the R4 (High Density Residential) zone with a height limit of 12m.

Principle 3: Density

The proposed modifications would not change the number of apartments or the unit mix within the approved development.

Principle 4: Sustainability

The proposed modifications would involve the removal of the external sliding screens located along the northern elevation on the ground level and level three. The recommended condition requiring the retention of the sliding screens on the northern façade of the ground level and level 3, similar to those on the northern elevation of levels 1 and 2, would reduce the extent of unprotected glazing on the northern façade of the building and would provide shading for the glazing of the affected apartments (**Condition A9(a)**).

Principle 5: Landscape

The proposed modifications do not involve changes to the approved landscaping treatments. The proposed works on the lower ground level would not have any material impact on the overall landscape setting and the quality of landscaping within the subject site.

Principle 6: Amenity

The proposed modifications would not affect the overall level of compliance with the ADG. However, the proposal to convert part of the level 3 communal area to provide an extension of an apartment is considered to have a detrimental impact on the amenity for the majority of the future residents of the development because this would result in the privatisation of part of the approved communal open space. Therefore, the recommended condition requiring the retention of the approved design for level 3 would maintain the amenity of the approved development **(Refer to Condition A10)**.

Principle 7: Safety

The proposed modifications would not affect the overall level of safety and security of the approved development.

Principle 8: Housing Diversity and Social Dimensions

The proposed modifications would not be inconsistent with this principle given that there would be no change to the number of apartments. The proposed changes to the apartment sizes are minor in nature and the overall amenity of these apartment would be consistent with the original development consent. The retention of the communal open space area on level 3 as required by recommended **Condition A10** would promote social interaction between residents by maintaining the size and functionality of this space.

Principle 9: Aesthetics

The recommendation to impose conditions requiring the retention of the sliding screens on the northern elevation and the deletion of the level 3 extension would maintain the overall aesthetic quality of the approved development **(Conditions A9 & A10)**.

It is concluded that the proposed modifications are found to be generally consistent with the key SEPP 65 design principles and therefore is supported subject to the imposition of Conditions A9 and A10.

APARTMENT DESIGN GUIDE (ADG)

The proposed modifications have also been assessed against the relevant provisions within the ADG as follows:

Amenity	Design Criteria	Comment	Compliance
2F - Building Separation	<i>Minimum separation distances for buildings are: Up to four storeys (approximately 12m):</i>	The proposed modifications would not affect the separation between the apartment building and the adjoining buildings because the proposed extension on level 3 maintains	Yes

	<ul style="list-style-type: none"> • 12m between habitable rooms/balconies (6m to boundary) • 9m between habitable and non-habitable rooms (4.5m to boundary) • 6m between non-habitable rooms (3m to boundary) 	building separation in excess of 12m between habitable rooms and/or balconies.	
3E – Deep Soil Zones	<p>Deep soil zones are to meet the following minimum requirements:</p> <ul style="list-style-type: none"> • 3m minimum width • Minimum 7% of the site area 	The proposed modifications would provide 214.8sqm (24.6%) of deep soil planting area which complies with the requirement.	Yes
3F - Visual privacy	<p>Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:</p> <p>6m (between habitable rooms and balconies to boundaries) 3m (between non-habitable rooms)</p>	<p>As mentioned above, the proposed modifications would not change the separation distance between the approved apartment building and the buildings located on adjoining properties.</p> <p>In addition, the recommended condition requiring the retention of the external sliding screens on the northern elevation of the ground level and level 3 would provide additional visual privacy protection for the affected apartments (Condition A10).</p>	Yes
3H – Vehicle Access	<p>Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes</p>	The approved vehicular driveway providing access to the basement parking off Young Street would be maintained.	No change
3J – Bicycle and Car parking	<p>The car parking needs for a development must be provided off street</p> <p>Parking and facilities are provided for other modes of transport</p>	The proposal maintains the approved number of car parking spaces (15), two motorcycle parking spaces and bicycle parking facilities within the basement parking area as previously approved.	Yes

<p>4A - Solar and daylight access 4B - Natural ventilation</p>	<p><i>Solare access - min. 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid-winter</i></p> <p><i>Natural Ventilation – min. 60% of apartments are naturally cross ventilated</i></p>	<p>The proposed modifications would not change the level of compliance with the ADG’s solar access and natural ventilation requirements.</p>	<p>No change</p>
<p>4C - Ceiling Heights</p>	<p><i>Ceiling height achieves sufficient natural ventilation and daylight access - Minimum 2.7m (habitable rooms), 2.4m for second floor where it does not exceed 50% of the apartment area.</i></p>	<p>The proposed changes would maintain a minimum floor to ceiling height of 2.7m for all habitable spaces within the building.</p>	<p>Yes</p>
<p>4D 1 - 3 - Apartment size and layout</p>	<p><i>Apartments are required to have the following minimum internal areas:</i> <i>50m² (1B),</i> <i>70m² (2B),</i> <i>90m² (3B)</i></p> <p>All bedrooms have a minimum area of 10 m²</p> <p>All secondary bedrooms have a minimum width of 3m</p> <p>Living rooms have a minimum width of 3.6m (S and 1B) and 4m (2B and 3B)</p> <p>The maximum habitable room depth is 8m from a window</p>	<p>1B: 66m² 2B: 110m² 3B: 119m² - 188m²</p> <p>All primary bedrooms are suitably sized in excess of 10 m²</p> <p>The secondary bedrooms comply with the minimum width requirement of 3m.</p> <p>1B – 6.5m (min) 2B/3B – 4.8m (min)</p> <p>All habitable areas would be within 8m of a window.</p>	<p>Yes Yes Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes Yes</p> <p>Yes</p>
<p>4E - Private open space and balconies</p>	<p><i>All apartments are required to have primary balconies as follows:</i></p> <p><i>Studio apartments - 4m²</i></p> <p><i>1 bedroom apartments - 8m², minimum depth 2m</i></p> <p><i>2 bedroom apartments 10m² minimum depth 2m</i></p> <p><i>3+ bedroom apartments 12m² minimum depth 2.4m</i></p>	<p>N/A</p> <p>1B - 32m² (on ground level)</p> <p>2B – 51m² (on ground level)</p> <p>3B – minimum 13m²</p> <p>The balconies are all in excess of 1m in depth.</p>	<p>N/A</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>

	<p><i>The minimum balcony depth to be counted as contributing to the balcony area is 1m</i></p> <p><i>For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15sqm and a minimum depth of 3m</i></p>	<p>Ground level terrace = minimum 32m²</p>	<p>Yes</p>
<p>4F - Common circulation and spaces</p>	<p><i>The maximum number of apartments off a circulation core on a single level is eight</i></p>	<p>A maximum of three apartments are served by each circulation core on all residential levels.</p> <p>In addition a condition is recommended for the retention of the communal terrace on level 3 as originally approved to ensure adequate provision of communal facilities (Condition A9).</p>	<p>Yes (via condition)</p>
<p>4G -Storage</p>	<p><i>Studio apartments- 4m3</i> <i>1 bedroom apartments- 6m3</i> <i>2 bedroom apartments- 8m3</i> <i>3+bedroom apartments- 10m3</i></p>	<p>Satisfactory storage areas are provided within the apartments given the generous size of each apartment significantly exceeds the minimum ADG requirements.</p> <p>Additional storage facilities have been proposed within the basement levels.</p>	<p>Yes</p>

The proposal is considered generally satisfactory having regard to the design criteria specified in the ADG.

NORTH SYDNEY LEP 2013

Permissibility

The development is located on land zoned R4 (High Density Residential) pursuant to the North Sydney LEP 2013, and the proposed development for the purpose of a residential flat building is permissible in the zone with the consent of Council.

Zone Objectives

The objectives of the R4 (High Density Residential) zone are expressed as follows:

- *To provide for the housing needs of the community within a high density residential environment.*
- *To provide a variety of housing types within a high density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

- To encourage the development of sites for high density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.
- To ensure that a reasonably high level of residential amenity is achieved and maintained.

The proposed modifications to the approved residential flat building are generally consistent with the above objectives of the R4 (High Density Residential) zone, subject to conditions as detailed throughout this report.

Principal Development Standards

Principal Development Standards – North Sydney Local Environmental Plan 2013				
Site Area – 839.3m ²	Approved	Proposed	Control	Complies
Clause 4.3 – Heights of Building	14.35m (in part)	14.50m (in part)	12m	NO

Building Heights

Clause 4.3(2) of the LEP 2013 and the LEP building height map specify a maximum building height of 12m for the subject site. The building elements in breach of the LEP building height limit primarily relate to the roof of level 3, the lift overrun, the plant enclosure and the level 3 extension of the proposed residential flat building.

The maximum building height breach would be 2.50m at the north-eastern corner of the lift overrun. The previously approved and the proposed non-complying building elements are shown above the 12m building height blanket in **Figures 11 and 12** below.

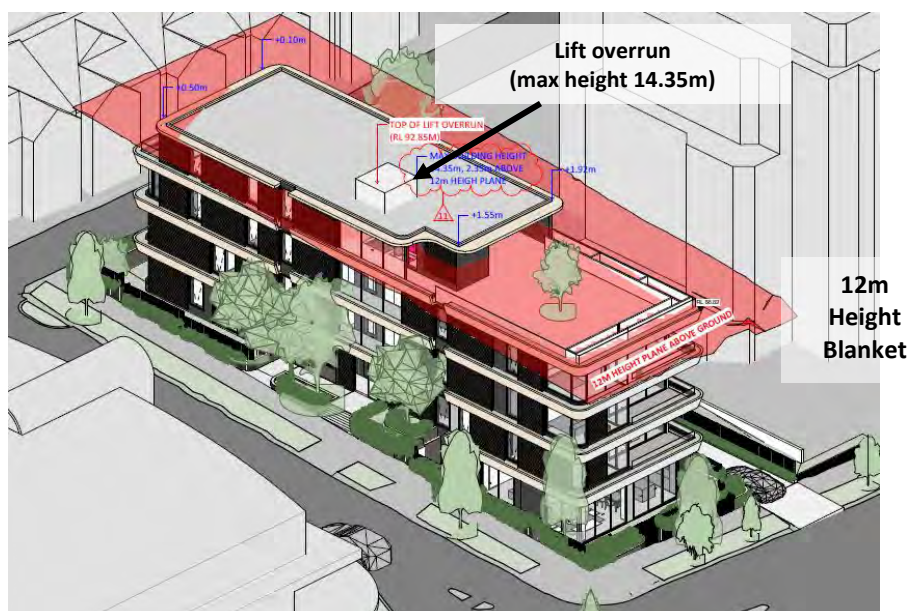


Figure 11: Approved Development and the LEP Maximum Building Height

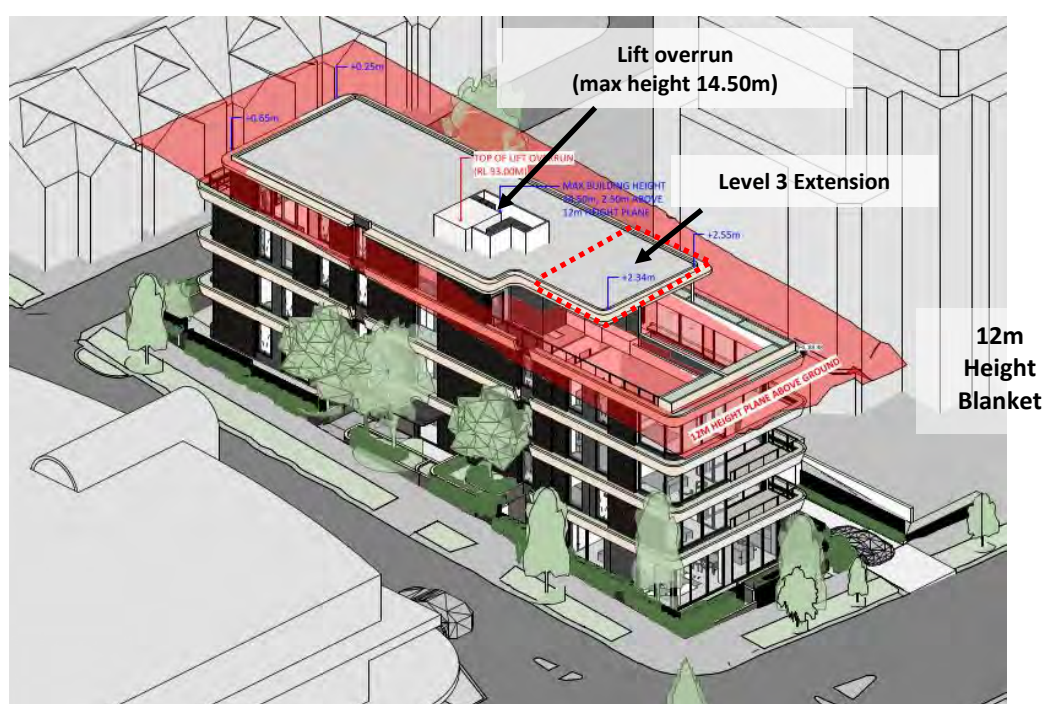


Figure 12: Proposed Development and the LEP Maximum Building Height

In accordance with the findings of Justice Lloyd in *Gann & Anor v Sutherland Shire Council [2008] NSWLEC 157*, the modification of a development consent pursuant to section 4.55 (formerly Section 96) which results in a new or modified variation to a development standard, does not require the submission of an objection pursuant to SEPP 1 or a request for variation to the development standard under Clause 4.6 of the LEP. In this regard, reference is made to the provisions of s4.55(4) of the Act which distinguishes between the modification of a development consent pursuant to s4.55 and the granting of development consent.

In addition, consideration has been given to the objectives of the LEP building height control and the environmental grounds justifying the proposed building height variation as a measure of the performance of the proposed modifications. These matters have been considered below:

(1)(a) To promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient – The proposed modifications would not change the overall landform within the subject site. However, the proposed level 3 extension would result in a built form that reduces its conformity to the landform and the slope of the land towards the eastern boundary (Young Street).

The recommendation of a condition requiring the deletion of the proposed level 3 extension would maintain the design integrity of the approved four (4) storey stepped built form that is considered to be an appropriate design response having regard to the LEP building height limit and the sloping landform of the subject site **(Condition A9)**.

(1)(b) To promote the retention and, if appropriate, sharing of existing views

(1)(c) To maintain solar access to existing dwellings, public reserves and streets, and to promote solar access to future development

It is considered that the proposed modifications would have no material impacts on significant views as seen from the public domain and the surrounding properties because the location of the modified structures are located at the eastern end of the building away from the significant views on the western side of the subject site as enjoyed from the adjoining residential properties to the south and west.

Furthermore, the modified structures would be located away from the adjoining properties to the south resulting in no material shadowing impacts.

(1)(d) To maintain privacy for residents of existing dwelling and to promote privacy for residents of new buildings – There would be no new openings on the non-complying building elements that would overlook adjoining properties, however, the retention of the sliding screen on the northern elevation of level 3 would ensure visual privacy for the adjoining properties (**Condition A10**). The plant enclosure on the roof level is unlikely to cause noise nuisance for the adjoining properties given the minimum separation of 17m between the proposed enclosure and the nearest building to the north.

(1)(e) To ensure compatibility between development, particularly at zone boundaries
(1)(f) To encourage an appropriate scale and density of development that is in accordance with, and promotes the character of the area

The proposed modifications would not materially change the design of the development as originally approved subject to the imposition of **Conditions A9 and A10** as mentioned earlier in this report.

The proposed level 3 extension would increase the bulk and scale of the approved apartment building and would compromise the design integrity of the approved stepped four storey built form by introducing a part fifth level on the eastern side of the building. Therefore, the proposed level 3 extension does not comply with the 12m LEP maximum building height limit and would be inconsistent with the intended four storey character for development within the R4 (High Density Residential) zone.

Furthermore, it is considered that the modified building elements above the LEP building height limit, subject to the imposition of conditions requiring the deletion of the proposed Level 3 extension, would have no material impacts on neighbouring properties and the locality in terms of the built forms within the locality and the amenity of the surrounding properties.

There are sufficient environmental planning grounds to justify the modifications, as amended by conditions of consent, to the variation to the building height control.

Earthworks

The proposed modifications involve some additional earthworks for a new retaining wall and changes to the northern piling walls. As indicated earlier in this report, Council's Development Engineer has no further requirement for additional engineering conditions.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development			
		<i>complies</i>	<i>Comments</i>
1.2 Social Amenity			
1.2.1 Population Mix		No change	The proposed modifications would not change the population mix or supply of housing within the locality.
1.2.2 Maintaining Residential Accommodation			
1.2.3 Affordable Housing			
1.2.4 Senior Housing			
1.3 Environmental Criteria			
1.3.1 Topography		Yes (via condition)	<p>The proposed modifications would not change the overall landform within the subject site. However, the proposed level 3 extension would result in a built form that reduces its conformity to the landform and the sloping of the land towards the eastern boundary (Young Street).</p> <p>The recommendation for the imposition of a condition requiring the deletion of the proposed level 3 extension would maintain the approved stepped built form that is considered to be an appropriate design response to the sloping landform of the subject site (Condition A9).</p>
1.3.6 Views		Yes	<p>As mentioned earlier in this report, the proposed modifications would have no material impacts on significant views as seen from the public domain and the surrounding properties because the location of the modified structures are located on the eastern end of the building from the significant views on the western side of the subject site as enjoyed from the adjoining residential properties to the south and west.</p> <p>Furthermore, the modified structures would be located away from the adjoining properties to the south resulting no material shadowing impacts.</p>
1.3.7 Solar Access			
1.3.8 Acoustic Privacy		Yes	<p>The proposed changes to the approved building, such as the internal layout changes, changes to floor levels and the height increase of the lift overrun, would have no significant impacts on the size and locations of openings and/or the approved structures as well as the overall relationship and building separation between the subject apartment development and the surrounding buildings.</p> <p>In addition, the proposed plant enclosure on the roof level is unlikely to cause noise nuisance for the adjoining properties given the minimum separation of 17m between the proposed enclosure and the nearest building to the north.</p> <p>Furthermore, the retention of the sliding screen on the northern elevation of level 3 would ensure visual privacy for the adjoining properties (Condition A10).</p>
1.3.10 Visual Privacy			

1.4 Quality built form		
1.4.1 Context	Yes	The proposed modifications, as amended by conditions as detailed in this report, would generally retain the four storey stepped built form of the apartment building as approved in the original development consent.
1.4.6 Setbacks	Yes	<p>Front (Grosvenor Street)</p> <p>The proposed level 3 extension would provide a 3m setback from the front (Grosvenor Street) boundary and is consistent with the front building setback of the approved development and the adjoining properties.</p> <p>Eastern (Young Street)</p> <p>It is noted that the proposed level 3 extension does not comply with the building height plane (BHP) for the eastern (Young Street) boundary. Therefore, the deletion of the level 3 extension would ensure greater compliance with the BHP control and a more desirable built form for the proposed development (Refer to Condition A9).</p>
1.4.7 Form Massing Scale 1.4.8 Built Form Character	Yes (via condition)	<p>The proposed increase to the floor levels of level 3 and the roof level by 150mm is unlikely to cause a material increase in the overall bulk and scale of the subject apartment building due to the minor numerical extent of the increase.</p> <p>The proposed plant enclosure would adjoin the lift overrun and would not be highly visible from the public domain and the surrounding properties. The height of the proposed plant enclosure also matches that of the lift overrun. The bulk and scale of the plant enclosure is therefore considered acceptable.</p> <p>As indicated earlier in this report, the proposed level 3 extension would result in a built form that reduces its conformity to the landform and the sloping of the land towards the eastern boundary (Young Street).</p> <p>The requirement for the deletion of the proposed level 3 extension would maintain the design integrity of the approved stepped built form for the approved development (Condition A9).</p>
1.4.12 Materials	No change	The proposed modifications do not involve further changes to the materials, colours and finishes as approved in the original development consent.
1.5 Quality Urban Environment		
1.5.1 High Quality Residential Accommodation	Yes	The proposal will provide a high level of residential amenity for the future occupants of the apartments as detailed in the ADG section earlier in this report.
1.5.3 Safety and Security	Yes	<p>The proposed modifications would not result in significant changes to safety and security of the approved development.</p> <p>The proposed changes to the building entry off Grosvenor Street would maintain the safety and accessibility via a pedestrian ramp. The proposed awning over the building entry would provide weather protection for residents and visitors.</p>

<p>1.5.4 Vehicle Access and Parking</p>	<p>Yes</p>	<p>Vehicular Access:</p> <p>The proposed modifications would not change the location of the driveway off Young Street as originally approved. Council's Development Engineer has indicated that no further changes are required for the engineering conditions already imposed in the original development consent.</p> <p>Car Parking:</p> <p>The proposal would not change the provision of parking for cars, motorcycles and bicycles within the basement parking area as previously approved.</p>																				
<p>1.5.5 Site Coverage 1.5.6 Landscape Area</p>	<p>No (acceptable on merit)</p>	<p>The proposed changes to the set back of the basement walls would result in additional unbuilt upon area as detailed in the compliance table below :</p> <table border="1" data-bbox="735 792 1423 1137"> <thead> <tr> <th>Site Area: 839.3m²</th> <th>Approved</th> <th>Proposed</th> <th>Control</th> <th>Complies</th> </tr> </thead> <tbody> <tr> <td>Site Coverage</td> <td>389.6 m² (46.4%)</td> <td>389.6 m² (46.4%)</td> <td>377.7 m² (45% Max.)</td> <td>No (No change)</td> </tr> <tr> <td>Unbuilt upon Area</td> <td>234.9 m² (28%)</td> <td>234.9 m² (28%)</td> <td>125.9 m² (15% max.)</td> <td>No (No change)</td> </tr> <tr> <td>Landscaped Area</td> <td>214.8 m² (25.6%)</td> <td>214.8 m² (25.6%)</td> <td>335.7 m² (40% min.)</td> <td>No (No change)</td> </tr> </tbody> </table> <p>The proposed modifications would not result in further changes to the level of compliance with the DCP site coverage, unbuilt upon area and landscaped area as previously approved.</p>	Site Area: 839.3m ²	Approved	Proposed	Control	Complies	Site Coverage	389.6 m ² (46.4%)	389.6 m ² (46.4%)	377.7 m ² (45% Max.)	No (No change)	Unbuilt upon Area	234.9 m ² (28%)	234.9 m ² (28%)	125.9 m ² (15% max.)	No (No change)	Landscaped Area	214.8 m ² (25.6%)	214.8 m ² (25.6%)	335.7 m ² (40% min.)	No (No change)
Site Area: 839.3m ²	Approved	Proposed	Control	Complies																		
Site Coverage	389.6 m ² (46.4%)	389.6 m ² (46.4%)	377.7 m ² (45% Max.)	No (No change)																		
Unbuilt upon Area	234.9 m ² (28%)	234.9 m ² (28%)	125.9 m ² (15% max.)	No (No change)																		
Landscaped Area	214.8 m ² (25.6%)	214.8 m ² (25.6%)	335.7 m ² (40% min.)	No (No change)																		
<p>1.5.7 Excavation</p>	<p>Yes</p>	<p>The proposed modifications involve some additional earthworks to construct a new retaining wall and changes to the northern pilling walls. As indicated earlier in this report, Council's Development Engineer has no further requirement for additional engineering conditions.</p>																				
<p>1.5.8 Landscaping</p>	<p>Yes</p>	<p>As mentioned earlier in this report, the proposed modifications would not result in significant changes to the landscape treatments as previously approved within the subject site.</p>																				
<p>1.5.10 Private and Communal Open Space</p>	<p>Yes</p>	<p>The modified proposal would not change the provision of private open space in the form of either courtyards or balconies for the apartments within the approved development with the exception of apartment 301 on level 3.</p> <p>The proposed modifications for the extension of apartment 301 on level 3 would result in a significant reduction in the size of the communal area from 208sqm to 74sqm.</p> <p>The proposal would have an adverse impact on the quality and amenity of the approved communal facilities on level 3. Whilst there is a communal room within the basement, the room would serve a different function such as indoor gathering and does not provide the same level of amenity as the approved communal open space.</p>																				

		Therefore, the proposed modifications to the communal area on level 3 are not supported and a condition is recommended for the deletion of the proposed level 3 extension, requiring the original design on this level to be retained (Condition A9).
1.5.13 Garbage Storage	Yes	The proposed modifications include minor design changes to the temporary bin holding area along the Young Street frontage. The proposed changes would have no significant impacts on waste storage and collection.
1.6 Efficient Use of Resources		
Energy Efficiency	Yes	The applicant has submitted a revised BASIX certificate to demonstrate compliance with the energy efficiency requirements. The proposal for the installation of solar panels on the roof is supported subject to a condition requiring the panels to be mounted flat on the roof plane (Condition C45).

CHARACTER STATEMENTS – PART C

North Cremorne Planning Area (Waters Neighbourhood) – Part C of NSDCP 2013

The proposed modifications would be generally consistent with Part C of North Sydney DCP 2013 in particular Section 5 of the Character Statement for North Cremorne Planning Area and Section 5.3 for the Waters Neighbourhood.

The proposed residential flat building would be compatible with the desired medium to high density development character for the neighbourhood in Section 5.3.2 of the DCP.

SECTION 7.11 CONTRIBUTIONS PLAN

A Section 7.11 contribution has been levied with respect to the original DA as a condition of consent (**Condition C38**). The subject application does not change the number or the mix of units, therefore a modification to the existing section 7.11 contribution is not required.

REASONS FOR THE ORIGINAL APPROVAL

Section 4.55 (3) requires the reasons given by the consent authority for the grant of the consent that is sought to be modified. In this case, the reasons for granting the original consent, which is sought through this application to be modified, are set out in the notice of determination of the original development application.

The reasons given in the assessment report to NSLPP for the original application are as follows:

- *The variation to the building height development standard is justifiable because the building elements above the LEP maximum building height are unlikely to have material impacts on the overall character of the locality and would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.*
- *The proposed four storey apartment building, as amended by the recommended deferred commencement conditions, is considered to be appropriate in terms of height and built form within a R4 (High Density Residential) zone.*
- *The proposal would not result in unacceptable impacts on the amenity of the adjoining properties subject to the imposition of appropriate conditions.*

The reasons given by the NSLPP for the deferred commencement approval of the original application including the additional requirements to increase the setbacks of the basement walls are as follows:

The Panel considers the development is satisfactory subject to the conditions.

It is considered that the proposed modifications would be consistent with the above reasons for approval as detailed below:

- The proposed modifications to the building elements above the LEP maximum building height limit, as amended by conditions of consent including the deletion of the proposed Level 3 extension, would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality; and
- The proposed modifications, as amended by conditions of consent, would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.

ENVIRONMENTAL APPRAISAL

CONSIDERED

1.	Statutory Controls	Yes
2.	Policy Controls	Yes
3.	Design in relation to existing building and natural environment	Yes
4.	Landscaping/Open Space Provision	Yes
5.	Traffic generation and Carparking provision	Yes
6.	Loading and Servicing facilities	N/A
7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	Yes
9.	All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes
10.	Section 89 LGA 93 including Clause 12 Consideration of Local Government (Approvals) Regulation 1993	Yes

PUBLIC INTEREST

The proposed modifications, as amended by conditions of consent, are considered to be in the public interest for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The proposal would be located on land zoned R4 (High Residential Density) where a residential flat building is a permissible form of development. Consequently, the proposed modifications are considered to be suitable for the site having regard to the merits of the proposal and the imposition of appropriate modified and new conditions requiring design modifications as discussed throughout the report.

COMMUNITY VIEWS

The owners of the surrounding properties and the Brightmore Precinct were notified between 4 and 18 March 2022. The notification attracted no submissions.

CONCLUSION & REASONS

The proposed modifications are considered to be generally consistent with the originally approved development application and s4.55 of the EP & A Act 1979.

The proposed modifications, as amend by conditions of consent, would result in a development which is substantially the same development as originally approved as the proposal would not materially change the building height, setbacks, and the visual mass of the development as approved in the original development application.

The proposed modifications to the building elements above the LEP maximum building height limit would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality but add yield above the 12m building height limit which previously provided a planning benefit in communal space. The recommended design amendments requiring the deletion of the proposed Level 3 extension and the retention of the communal terrace as originally approved is in line with the reasoning behind the granting of the height variation in the original DA approval. The required design amendments would also maintain the approved four (4) storey stepped built form.

The proposed modifications, as amended by conditions of consent, would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy. The amenity for the future residents of the development would be maintained subject to the retention of the communal facilities as originally approved.

The proposal was found to be acceptable in the site circumstances and is recommended that the subject section 4.55(2) application be approved with modifications to existing conditions of consent and the addition of new conditions.

RECOMMENDATION

PURSUANT TO SECTION 4.55 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Planning Panel exercising the functions of Council approve the modification of development consent **D273/20** dated 3 March 2021 in respect of a proposal to redevelopment the site for a four storey residential flat building with basement parking at Nos 30-34 Grosvenor Street, Neutral Bay under the provisions of section 4.55 of the Environmental Planning and Assessment Act only insofar as will provide for the following:

1. To modify the conditions of (D237/20) in particular conditions A1, C40 and G21 to read as follows:

Development in Accordance with Plans (S4.55 Amendments)

The development being carried out in accordance with the following drawings:

Drawing No.	Date	Drawn by	Received
A0011 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0098 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0099 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0100 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0101 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0102 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0103 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0104 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0200 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0201 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0300 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D237/20/2:

Plan Nos.	Description of works	Prepared by	Dated
A0097 Rev B	Basement 02 Floor Plan	Team 2 Architects	29 November 2021
A0098 Rev D	Basement 01 Floor Plan	Team 2 Architects	3 September 2021
A0099 Rev D	Lower Ground Floor Plan	Team 2 Architects	3 September 2021
A0100 Rev D	Ground Floor Plan	Team 2 Architects	3 September 2021
A0101 Rev D	Level 01 Floor Plan	Team 2 Architects	3 September 2021
A0102 Rev D	Level 02 Floor Plan	Team 2 Architects	3 September 2021
A0103 Rev D	Level 03 Floor Plan	Team 2 Architects	3 September 2021
A0104 Rev D	Level 04 Ground floor Plan	Team 2 Architects	3 September 2021
A0105 Rev D	Roof Plan	Team 2 Architects	3 September 2021
A0200 Rev D	Elevations 01	Team 2 Architects	3 September 2021
A0201 Rev D	Elevations 02	Team 2 Architects	3 September 2021
A0300 Rev D	Section 01	Team 2 Architects	3 September 2021

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D237/20/3:

Plan Nos.	Description of works	Prepared by	Dated
A0097 Rev C	Basement 02 Floor Plan	Team 2 Architects	13 December 2021
A0098 Rev E	Basement 01 Floor Plan	Team 2 Architects	13 December 2021
A0099 Rev E	Lower Ground Floor Plan	Team 2 Architects	13 December 2021
A0100 Rev E	Ground Floor Plan	Team 2 Architects	13 December 2021
A0101 Rev E	Level 01 Floor Plan	Team 2 Architects	13 December 2021
A0102 Rev E	Level 02 Floor Plan	Team 2 Architects	13 December 2021
A0103 Rev E	Level 03 Floor Plan	Team 2 Architects	13 December 2021
A0104 Rev E	Roof Plan	Team 2 Architects	13 December 2021
A0200 Rev D	Elevations 01	Team 2 Architects	13 December 2021
A0201 Rev D	Elevations 02	Team 2 Architects	13 December 2021
A0300 Rev D	Section 01	Team 2 Architects	13 December 2021

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

BASIX Certificate

C40. Under clause 97A(3) of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. 1136420M_06 for the development are fulfilled.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

Compliance with Certain conditions

G21. Prior to the issue of any Occupation Certificate, Conditions A8, A9, A10, C1, C2, C3, must be certified as having been implemented on site and complied with.

(Reason: To ensure the development is completed in accordance with the requirements of this consent)

2. To insert new conditions A8, A9, A10 and C45 to read as follows:

Terms of Consent (D273/20/3)

A8. Approval is granted for the following modifications only:

- (a) Basement Levels 1 & 2:
 - Modifications to the northern basement piling walls to allow a fire egress door on the lower ground level;
- (b) Lower Ground Floor:
 - Modifications to the design of the fire booster assembly and the temporary bin storage area along the Young Street (eastern) property boundary;
 - Construction of a new retaining wall along the northern property to the north of the basement car park entry;
- (c) Ground Floor:
 - Modifications to the main (Grosvenor Street) pedestrian entry with the addition of an awning and the deletion of the entry staircase with the retention of an accessible ramp;
 - Addition of air intake grill adjacent above a plant room adjacent to the basement garage entry;

- (d) Roof Level:
- An increase in the maximum height of the lift overrun from RL92.85 to RL93.00;
 - Installation of solar panels on the roof as per BASIX requirements;
 - Addition of a plant enclosure for hot water plant and carpark exhaust adjacent to the lift overrun;
- (e) External Works:
- Modifications to the locations of the external screens on all levels to suit the internal layout changes including the provision of sliding screens to the northern living room windows of apartment Nos 002 and 301 as per Condition A10;
 - Modifications to the design of the balustrades to steel flat bar;
- (f) Modifications to the floor levels on Levels 3, Roof and the level at the top of the lift overrun :

Level	Approved	Proposed
Basement 02	RL69.65	RL69.65
Basement 01	RL72.50	RL72.50
Lower Ground	RL75.65	RL75.65
Ground	RL78.85	RL78.85
Level 01	RL82.00	RL82.00
Level 02	RL85.15	RL85.15
Level 03	RL88.30	RL88.45
Roof	RL91.40	RL91.55
Top of Lift overrun	RL92.85	RL93.00

- (g) Various internal layout adjustments to apartments (Proposed unit areas as shown in the table below):

Level/ Nos. of Units & Type	Approved	Proposed
Lower Ground: 1 x 2B + Study	110sqm	110sqm
Ground: 1 x 1B 2 x 3B	66sqm 131sqm & 140sqm	66sqm 130sqm & 139sqm
Level 01: 2 x 3B	119sqm & 158sqm	119sqm & 158sqm
Level 02: 2 x 3B	146sqm & 158sqm	146sqm & 158sqm
Level 03: 1 x 4B	159sqm (3B)	159sqm (3B)
Level 03: Communal Terrace	208sqm	74sqm

No approval is given or implied in this consent for any other works, both internal and external, including the proposed level 3 extension and associated changes to apartment No. 301 and the communal terrace, within the subject property.

(Reason: To ensure the terms of the consent are clear)

No approval for works on Level 3

- A9. The following proposed works to modify level 3 of the subject building, and as marked in red on the stamped plans, are not approved and form no part of this consent:

- Partial conversion of the approved communal area to facilitate an extension of Apartment No. 301 to provide an extended living area and a private outdoor terrace;
- Re-configuration of the internal layout of apartment No.301 to increase the number of bedrooms from three (3) to four (4);
- Enclosure of the lift lobby and a new glazed doorway to the modified communal roof terrace;
- Increase the area of apartment No. 301 from 159sqm to 188sqm; and
- Reduction in the area of the communal area on this level from 208sqm to 74sqm
- Extension of the roof by 5m over the modified communal terrace and Apartment No.301.

The layout for level 3 as shown on drawing numbered A0103 Rev D, prepared by Team 2 Architects and dated 3 September 2021 shall be retained.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To retain the approved layout for level 03 and to ensure compliance)

External Sliding Screens for Apartments 002 and 301

- A10. External sliding screens shall be provided for the northern living room windows for Apartment No. 002 on the ground floor and Apartment 301 on level 3 to provide screening for unprotected glazing on the northern elevation of the subject building.

The design and locations of the sliding screens shall match those on same windows on the northern elevation of levels 1 and 2.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To provide sliding screens on north facing unprotected glazing on the Ground Level and Level 3)

Solar Panels

- C45. The solar panels must be mounted flat on the roof plane to minimise the visual bulk and impacts for the adjoining properties.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To minimise visual impacts)

Robin Tse
SENIOR ASSESSMENT OFFICER

Michael Stephens
A/TEAM LEADER ASSESSMENTS

STEPHEN BEATTIE
DEVELOPMENT SERVICES

30-34 GROSVENOR STREET

S4.55 B

NEUTRAL BAY, NSW 2089

ARCHITECTURAL DRAWING LIST

REV

A0000	COVER PAGE	C
A0001	PROJECT SUMMARY	E
A0013	SITE ANALYSIS	C
A0097	BASEMENT 02 FLOOR PLAN	C
A0098	BASEMENT 01 FLOOR PLAN	E
A0099	LOWER GROUND FLOOR PLAN	E
A0100	GROUND FLOOR PLAN	E
A0101	LEVEL 01 FLOOR PLAN	E
A0102	LEVEL 02 FLOOR PLAN	E
A0103	LEVEL 03 FLOOR PLAN	E
A0104	ROOF PLAN	E
A0200	ELEVATIONS 01	E
A0201	ELEVATIONS 02	E
A0300	SECTION 01	E
A0403	HEIGHT PLANE DIAGRAM	E
A0451	GFA DIAGRAMS	E
A0480	SHADOW DIAGRAMS 1	B
A0481	SHADOW DIAGRAMS 2	B
A0482	SHADOW DIAGRAMS 3	B
A0483	SHADOW DIAGRAMS 4	B
A0490	SUN EYE VIEW - SUMMER SOLSTICE	D
A0491	SUN EYE VIEW - WINTER SOLSTICE	D

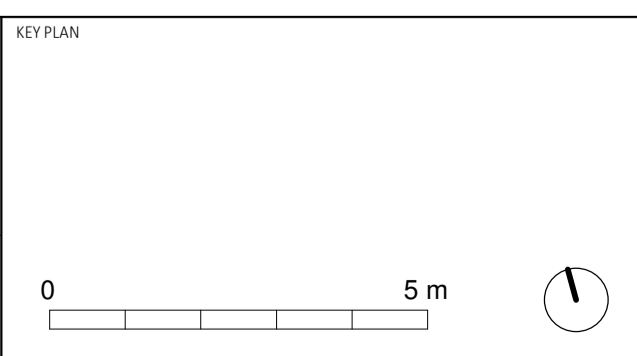




PARKING SUMMARY	
DESCRIPTION	PARKING COUNT
RESIDENT CAR BAY 5400 x 2400	11
RESIDENT DISABLED CAR BAY (AS2890-2009)	2
VISITOR CAR BAY 5400 x 2400 (V)	1
VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	S4.55 A ISSUE	SO	KD	08.09.21					
B	S4.55A ADDITIONAL INFORMATION	KD	RS	29.11.21					
C	S4.55 B ISSUE	SO	KD	13.12.21					

LEGEND
REVISION ON HOLD



CLIENT
 MOSMAN FINANCE No.13 PTY LTD
 3.01/95 PITT STREET, SYDNEY NSW 2000
 ABN: 95 619 934 146


ARCHITECT
TEAM2
 SYDNEY
 701/1 Chandos Street
 St Leonards NSW 2065
 T: + 61 2 9437 3166
 E: info@team2.com.au
 REG NSW: 9940
 MELBOURNE
 313/737 Burwood Road
 Hawthorn East VIC
 3123
 ABN: 72 104 833 507
 REG VIC: 19340

TEAM2
 ARCHITECTS

PROJECT
 30-34 GROSVENOR STREET
 NEUTRAL BAY, NSW 2089
 STATUS
 DEVELOPMENT APPLICATION
 DWG TITLE
 BASEMENT 02 FLOOR PLAN

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ NO.	1031	APPROVED	
DWG NO.	A0097	REVISION	C

NOTES:
 DO NOT SCALE FROM DRAWINGS.
 VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOGH TAKADA ARCHITECTS.



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

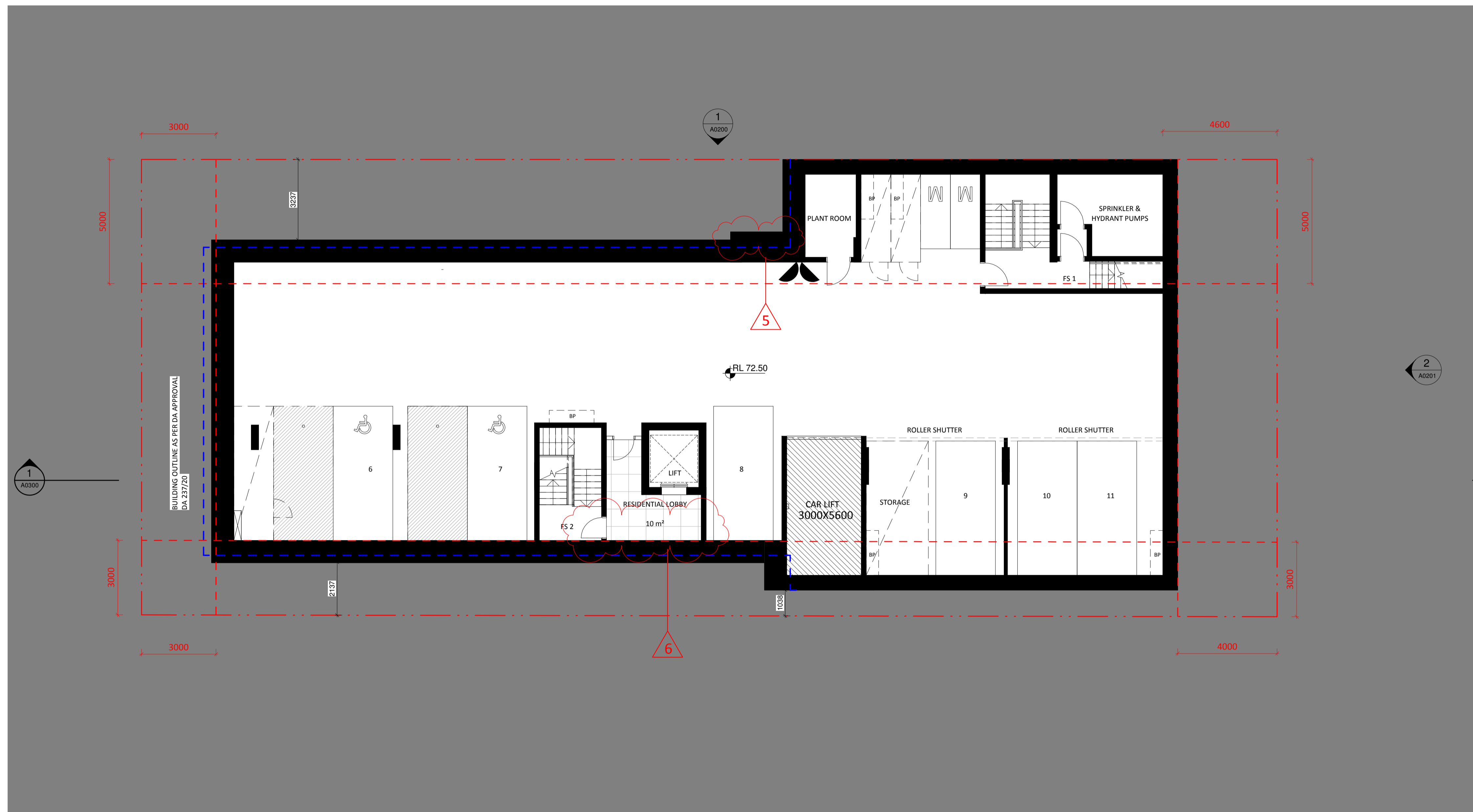
Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: **Guljit Bates**
Accreditation No.: **DMN/16/1751**

Address:
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089


<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>





PARKING SUMMARY	
DESCRIPTION	PARKING COUNT
RESIDENT CAR BAY 5400 x 2400	11
RESIDENT DISABLED CAR BAY (AS2890-2009)	2
VISITOR CAR BAY 5400 x 2400 (V)	1
VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DA ISSUE</td> <td>AG</td> <td>AC</td> <td>02/09/20</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>DA RE-SUBMISSION</td> <td>JP</td> <td>AC</td> <td>11/12/20</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>DEFERRAL RESPONSE</td> <td>SF</td> <td>AC</td> <td>24/03/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>D</td> <td>S455 A ISSUE</td> <td>SO</td> <td>KD</td> <td>03/09/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>E</td> <td>S455 B ISSUE</td> <td>SO</td> <td>KD</td> <td>13/12/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE	A	DA ISSUE	AG	AC	02/09/20						B	DA RE-SUBMISSION	JP	AC	11/12/20						C	DEFERRAL RESPONSE	SF	AC	24/03/21						D	S455 A ISSUE	SO	KD	03/09/21						E	S455 B ISSUE	SO	KD	13/12/21						<p>CLIENT MOSMAN FINANCE No.13 PTY LTD 3.01/95 PITT STREET, SYDNEY NSW 2000 ABN: 95 619 934 146</p>	<p>ARCHITECT TEAM ARCHITECTS 701/1 Chandos Street St Leonards NSW 2065 T: +61 2 9437 3166 E: info@team2.com.au REG NSW: 9940 MELBOURNE 313/737 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340</p>	<p>PROJECT 30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089</p> <p>STATUS DEVELOPMENT APPLICATION</p> <p>DWG TITLE BASEMENT 01 FLOOR PLAN</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>13.12.21</td> <td>DRAWN</td> <td>SO</td> </tr> <tr> <td>SCALE</td> <td>1:100@A1, 1:200@A3</td> <td>CHECKED</td> <td>KD</td> </tr> <tr> <td>PROJ NO.</td> <td>1031</td> <td>APPROVED</td> <td></td> </tr> <tr> <td>DWG NO.</td> <td>A0098</td> <td>REVISION</td> <td>E</td> </tr> </table> <p>NOTES: DO NOT SCALE FROM DRAWINGS. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KONGH TAKADA ARCHITECTS.</p>	DATE	13.12.21	DRAWN	SO	SCALE	1:100@A1, 1:200@A3	CHECKED	KD	PROJ NO.	1031	APPROVED		DWG NO.	A0098	REVISION	E
NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE																																																																							
A	DA ISSUE	AG	AC	02/09/20																																																																												
B	DA RE-SUBMISSION	JP	AC	11/12/20																																																																												
C	DEFERRAL RESPONSE	SF	AC	24/03/21																																																																												
D	S455 A ISSUE	SO	KD	03/09/21																																																																												
E	S455 B ISSUE	SO	KD	13/12/21																																																																												
DATE	13.12.21	DRAWN	SO																																																																													
SCALE	1:100@A1, 1:200@A3	CHECKED	KD																																																																													
PROJ NO.	1031	APPROVED																																																																														
DWG NO.	A0098	REVISION	E																																																																													



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

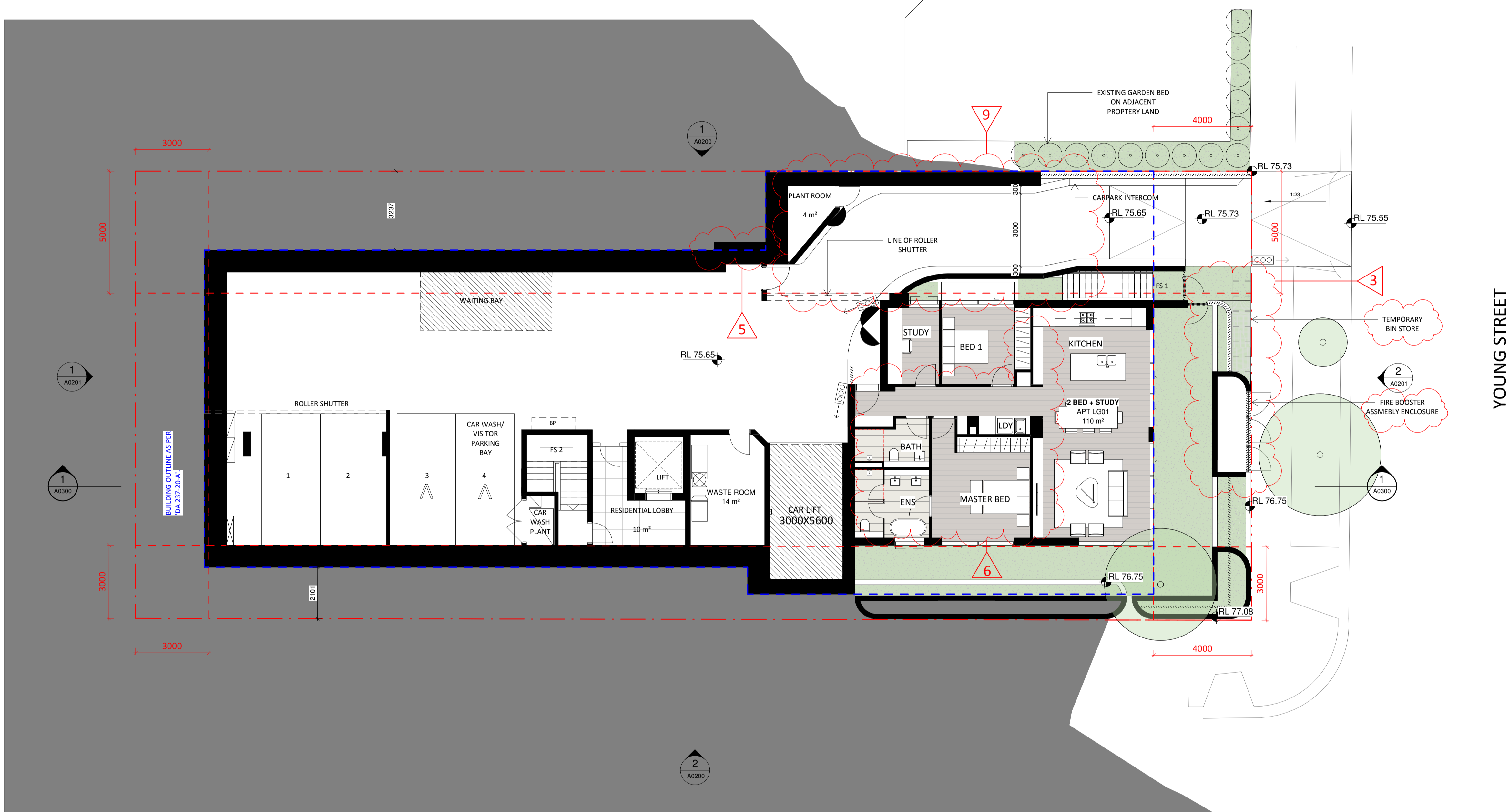
Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: **Guljit Bates**
Accreditation No.: **DMN/16/1751**

Address:
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>





PARKING SUMMARY	
DESCRIPTION	PARKING COUNT
RESIDENT CAR BAY 5400 x 2400	11
RESIDENT DISABLED CAR BAY (AS2890-2009)	2
VISITOR CAR BAY 5400 x 2400 (V)	1
VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S4 SS A ISSUE	SO	KD	03/09/21					
E	S4 SS B ISSUE	SO	KD	13/12/21					

LEGEND

REVISION (Red dashed line)

ON HOLD (Red dotted line)

KEY PLAN

0 5 m

CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
LOWER GROUND FLOOR PLAN

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ. NO.	1031	APPROVED	
DWG. NO.	A0099	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KONGI TAKADA ARCHITECTS.



5.6
Average star rating


NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

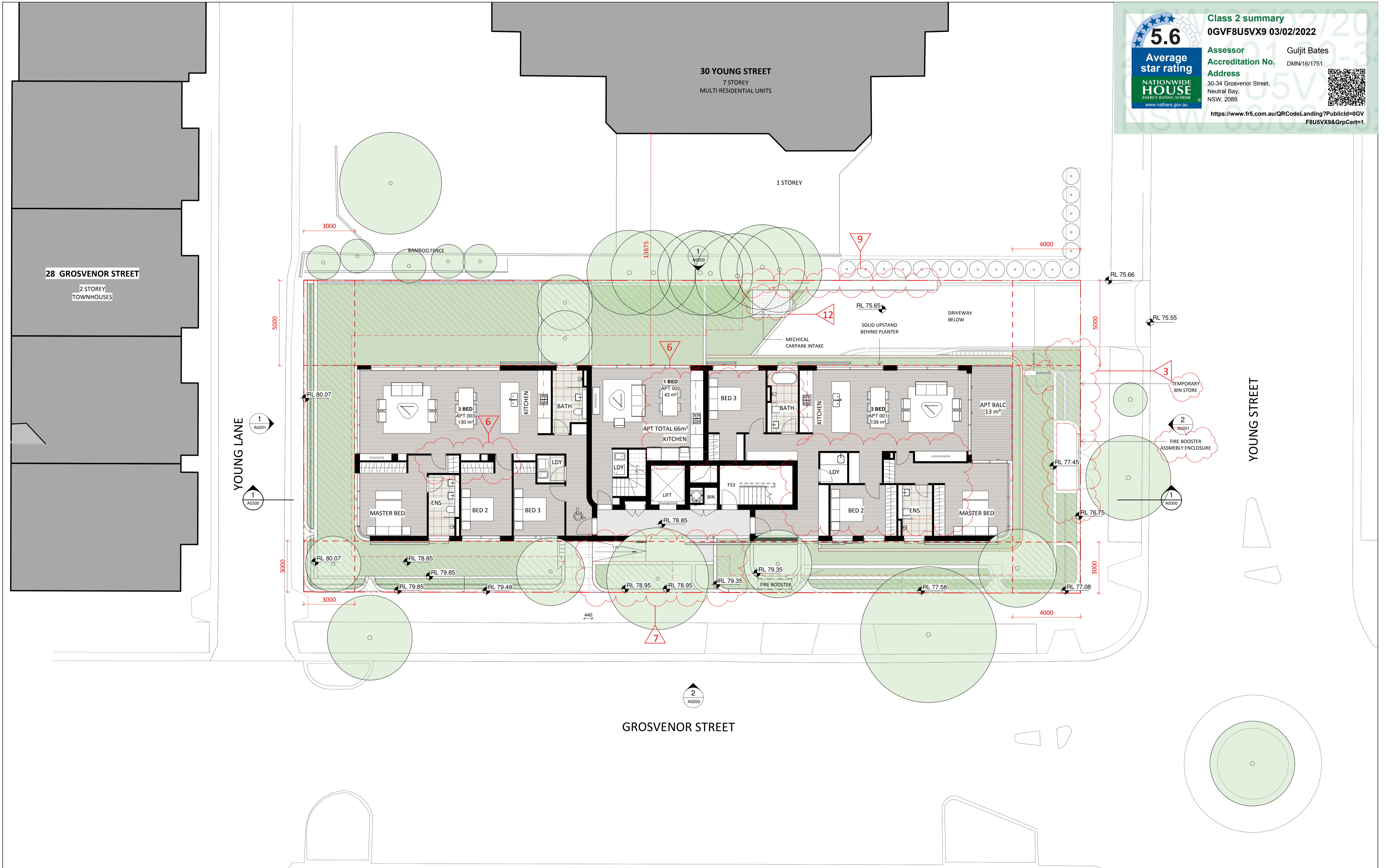
Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>






NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S455 A ISSUE	SO	KD	03/09/21					
E	S455 B ISSUE	SO	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE

<p>CLIENT MOSMAN FINANCE No.13 PTY LTD 3.01/95 PITT STREET, SYDNEY NSW 2000 ABN: 95 619 934 146</p>	<p>ARCHITECT SYDNEY 701/1 Chandos Street St Leonards NSW 2065 T: +61 2 9437 3166 E: info@team2.com.au REG NSW: 9940 MELBOURNE 313/737 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340</p>	<p>PROJECT 30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089</p> <p>STATUS DEVELOPMENT APPLICATION</p> <p>DWG TITLE GROUND FLOOR PLAN</p>
---	--	--

<p>DATE: 13.12.21</p> <p>SCALE: 1:100@A1, 1:200@A3</p> <p>PROJ NO: 1031</p> <p>DWG NO: A0100</p>	<p>DRAWN: SO</p> <p>CHECKED: KD</p> <p>APPROVED:</p> <p>REVISION: E</p>	<p>NOTES: DO NOT SCALE FROM DRAWINGS. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOGCHI TAKADA ARCHITECTS.</p>
--	---	--



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

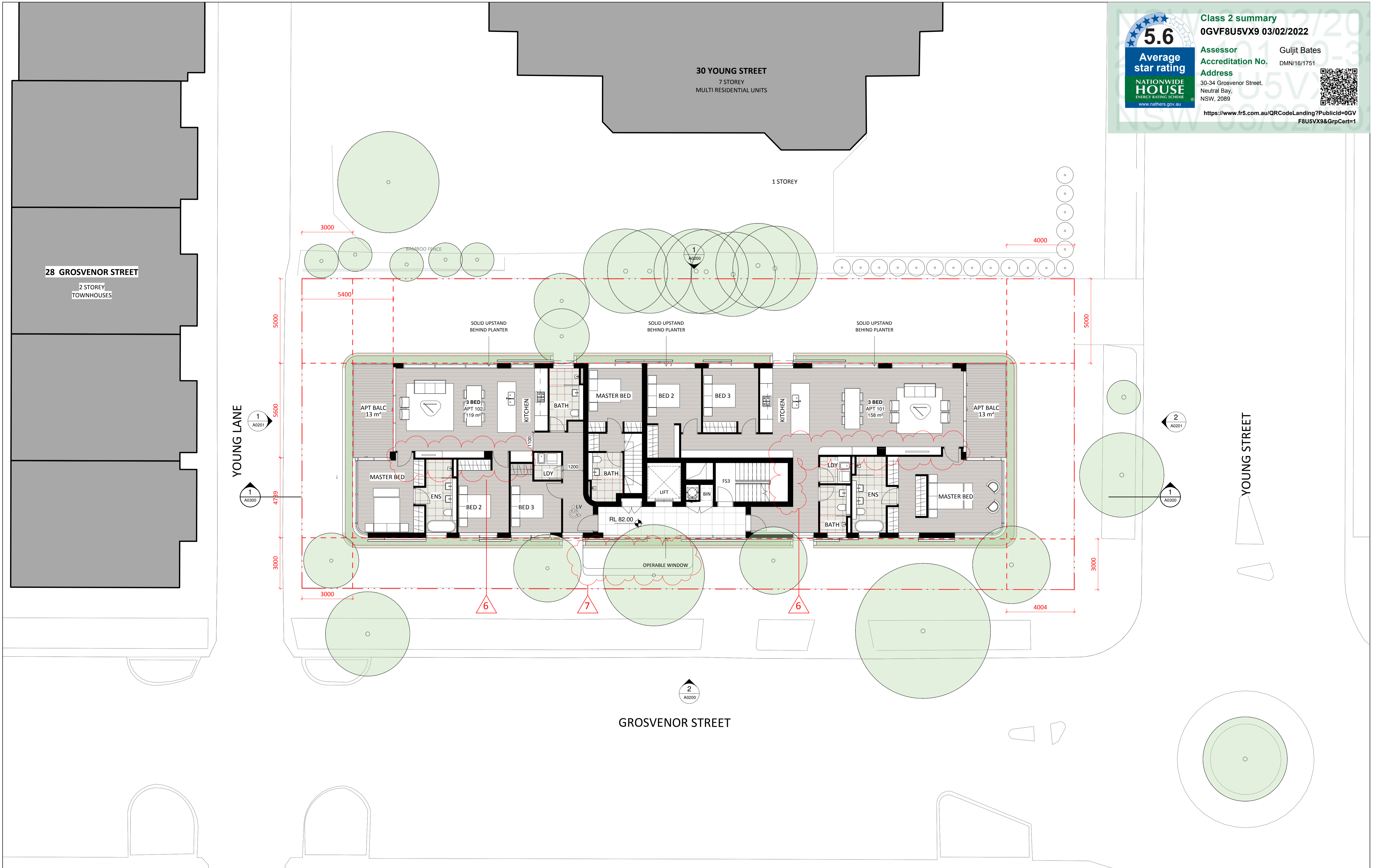
Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>






NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	SA 55 A ISSUE	SD	KD	03/09/21					
E	SA 55 B ISSUE	SD	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE

<p>CLIENT MOSMAN FINANCE No.13 PTY LTD 3.01/95 PITT STREET, SYDNEY NSW 2000 ABN: 95 619 934 146</p>	<p>ARCHITECT SYDNEY 701/1 Chandos Street St Leonards NSW 2065 T: +61 2 9437 3166 E: info@team2.com.au REG NSW: 9940 MELBOURNE 313/737 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340</p>	<p>PROJECT 30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089</p> <p>STATUS DEVELOPMENT APPLICATION</p> <p>DWG TITLE LEVEL 01 FLOOR PLAN</p>
---	--	--

<p>DATE: 13.12.21</p> <p>SCALE: 1:100@A1, 1:200@A3</p> <p>PROJ NO: 1031</p> <p>DWG NO: A0101</p>	<p>DRAWN: SO</p> <p>CHECKED: KD</p> <p>APPROVED:</p> <p>REVISION: E</p>	<p>NOTES: DO NOT SCALE FROM DRAWINGS. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOCHI TAKADA ARCHITECTS.</p>
--	---	---



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

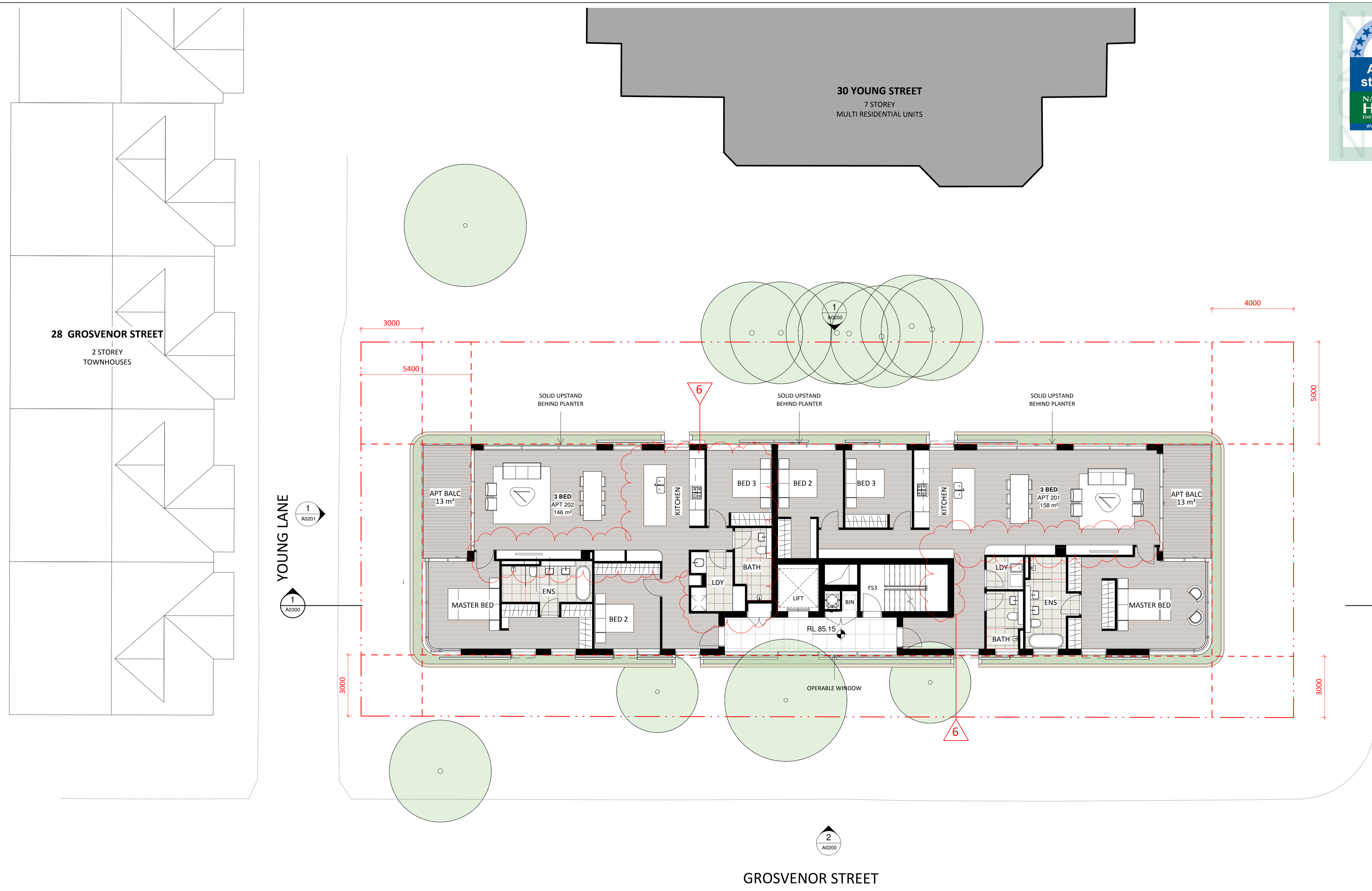
Class 2 summary
OGVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

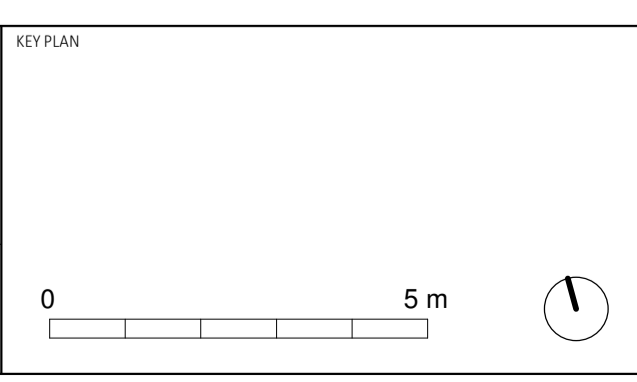
<https://www.fr5.com.au/QRCodeLanding?PublicId=OGVF8U5VX9&GrpCert=1>





NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S455 A ISSUE	SD	KD	03/09/21					
E	S455 B ISSUE	SD	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
LEVEL 02 FLOOR PLAN

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ. NO.	1031	APPROVED	
DWG. NO.	A0102	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOCHI TAKADA ARCHITECTS.



5.6
Average star rating


NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

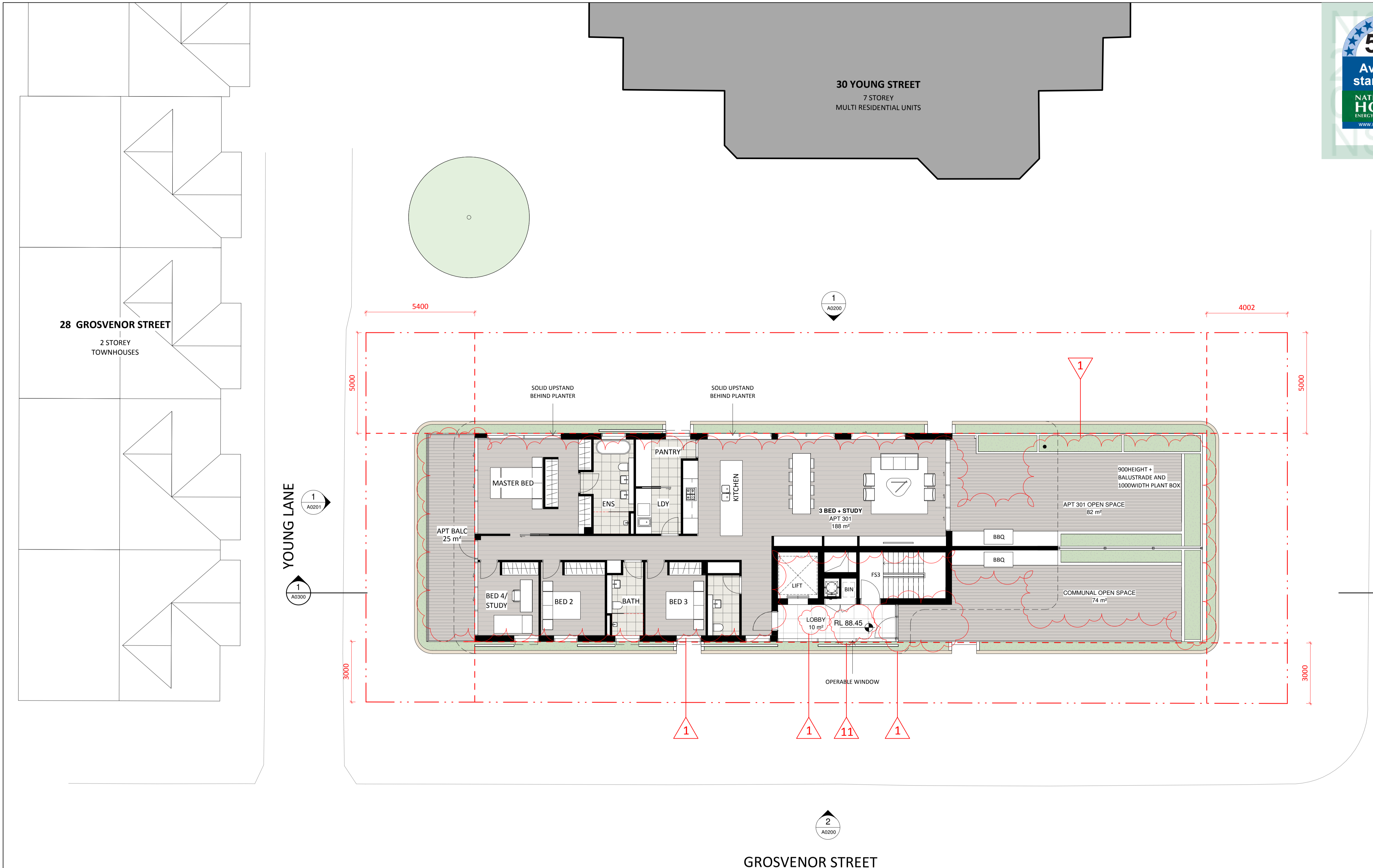
Class 2 summary
OGVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

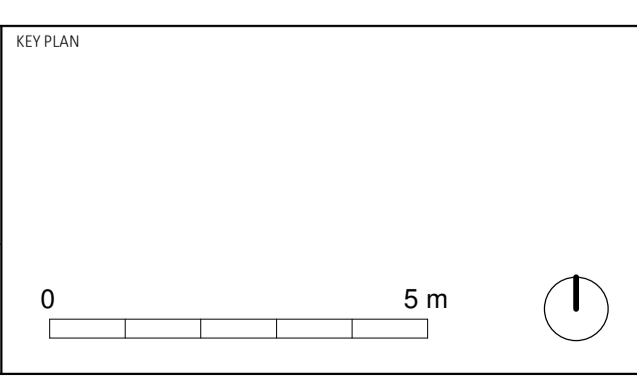
<https://www.fr5.com.au/QRCodeLanding?PublicId=OGVF8U5VX9&GrpCert=1>





NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S455 A ISSUE	SD	KD	03/09/21					
E	S455 B ISSUE	SD	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
LEVEL 03 FLOOR PLAN

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ. NO.	1031	APPROVED	
DWG. NO.	A0103	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KONGI TAKADA ARCHITECTS.



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

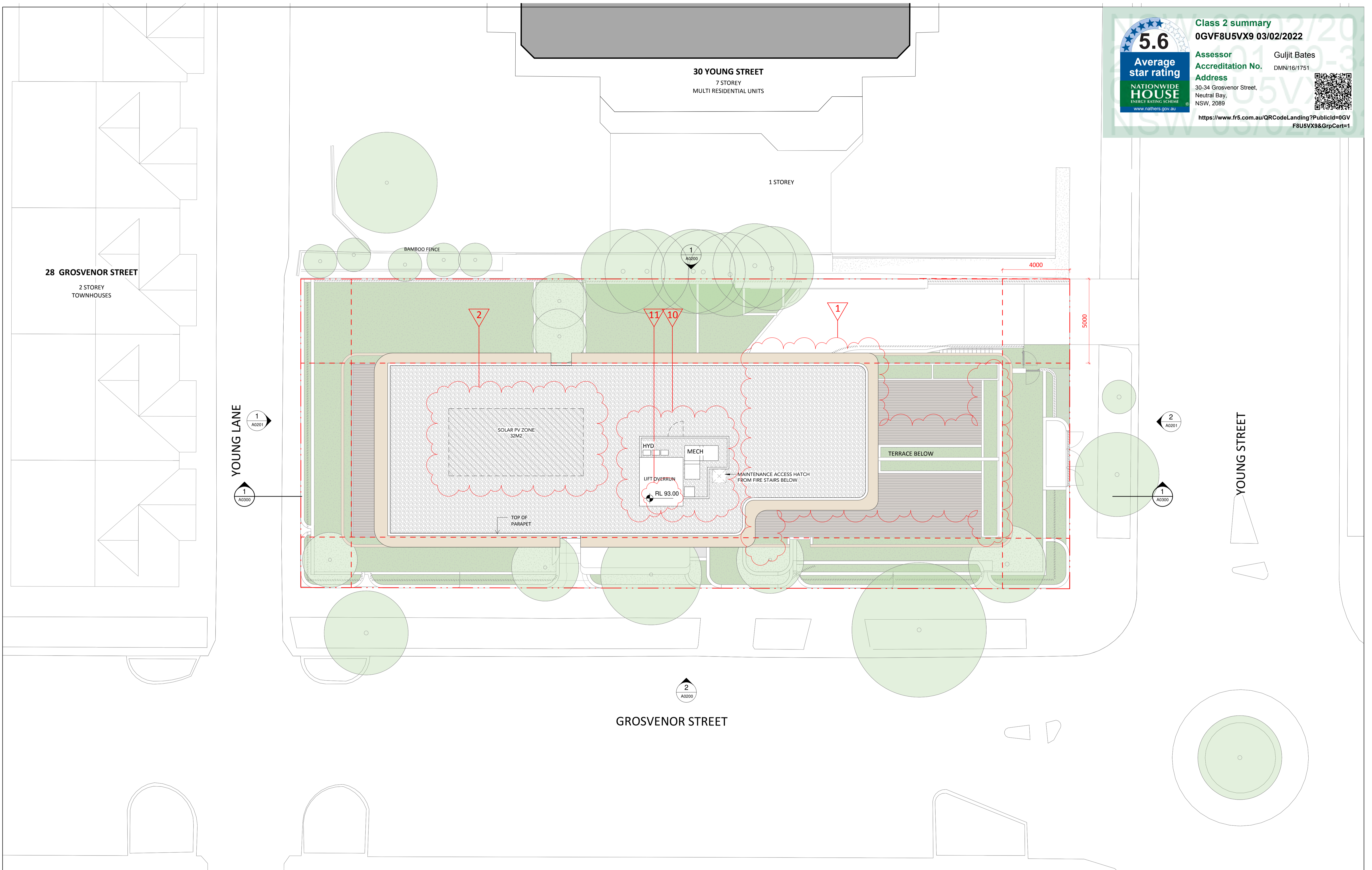
Class 2 summary
OGVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

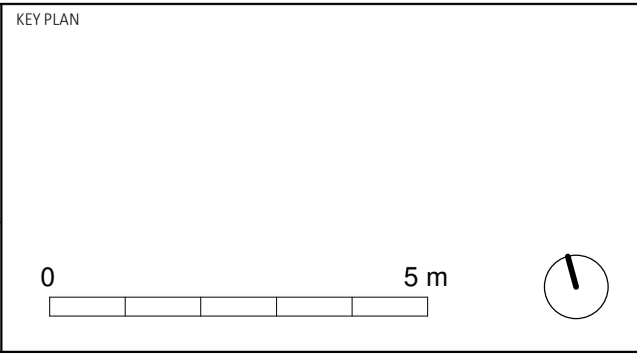
<https://www.fr5.com.au/QRCodeLanding?PublicId=OGVF8U5VX9&GrpCert=1>





NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S455 A ISSUE	SD	KD	08/09/21					
E	S455 B ISSUE	SD	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
ROOF PLAN

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ NO.	1031	APPROVED	
DWG NO.	A0104	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOGH TAKADA ARCHITECTS.



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

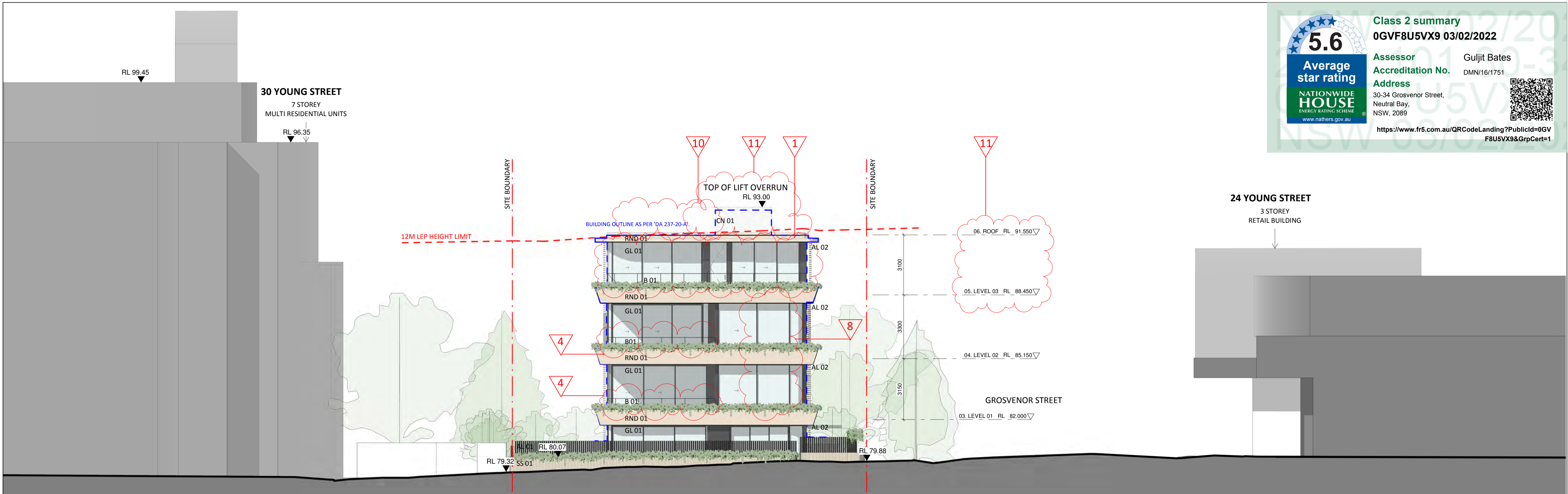
Class 2 summary
OGVF8U5VX9 03/02/2022

Assessor: **Guljit Bates**
Accreditation No.: **DMN/16/1751**

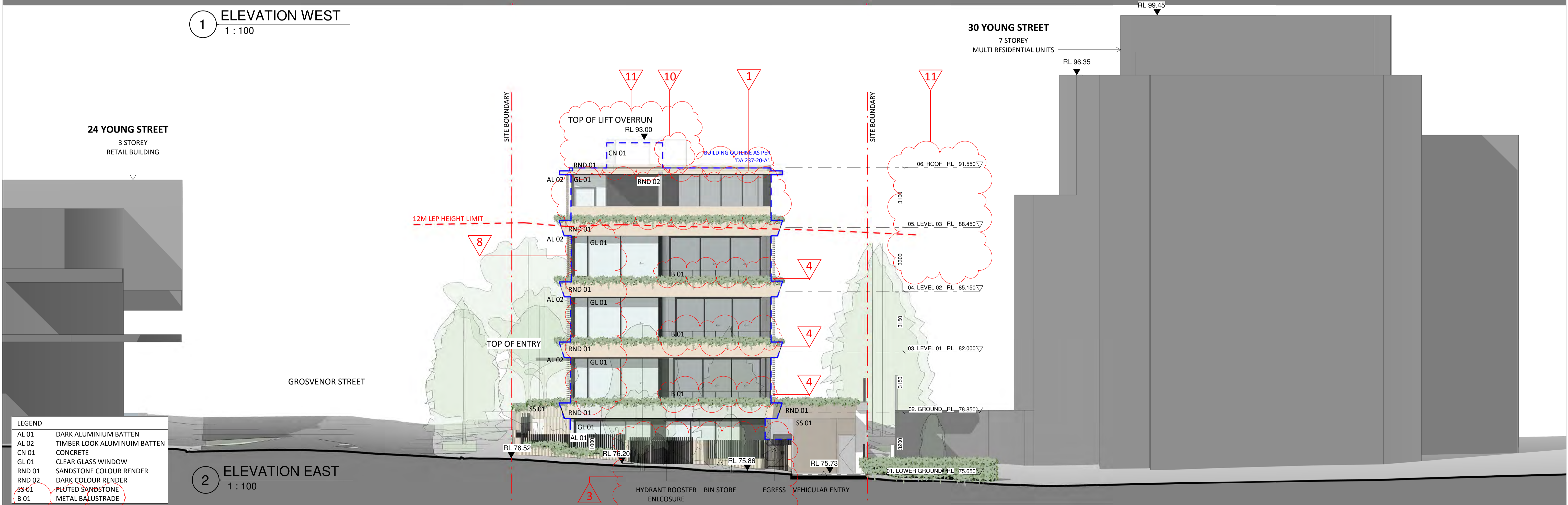
Address:
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=OGVF8U5VX9&GrpCert=1>





1 ELEVATION WEST
1 : 100



2 ELEVATION EAST
1 : 100

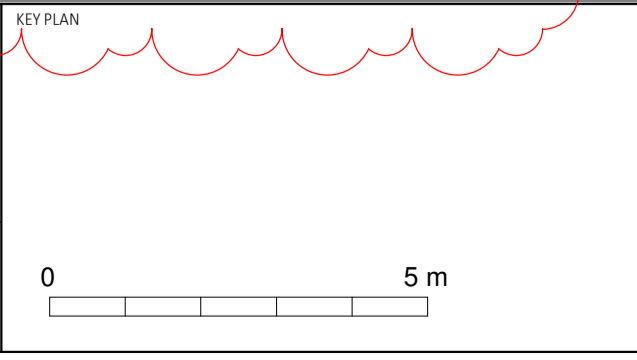
LEGEND

AL 01	DARK ALUMINIUM BATTEN
AL 02	TIMBER LOOK ALUMINIUM BATTEN
CN 01	CONCRETE
GL 01	CLEAR GLASS WINDOW
RND 01	SANDSTONE COLOUR RENDER
RND 02	DARK COLOUR RENDER
SS 01	FLUTED SANDSTONE
B 01	METAL BALUSTRADE

NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S4 S5 A ISSUE	SD	KD	03/09/21					
E	S4 S5 B ISSUE	SD	KD	13/12/21					

LEGEND

	REVISION
	ON HOLD



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940

MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
ELEVATIONS 02

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ NO.	1031	APPROVED	
DWG NO.	A0201	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOGCHI TAKADA ARCHITECTS.



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

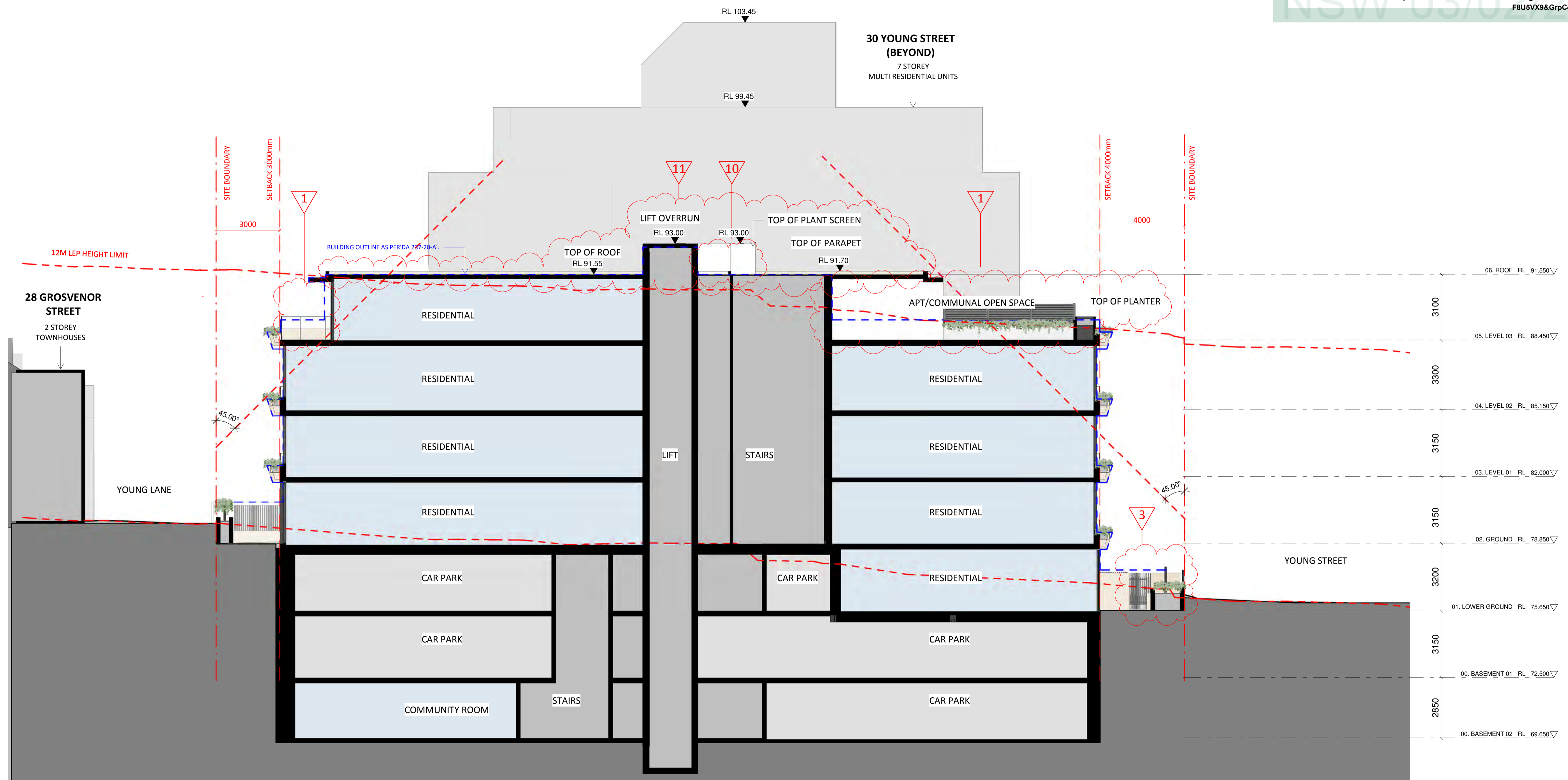
Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

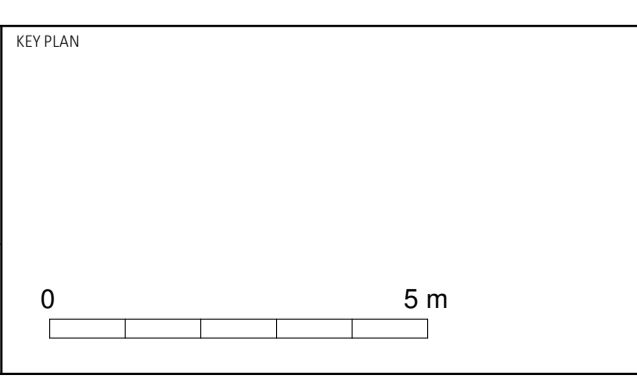
<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>





NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	S455 A ISSUE	SD	KD	03/09/21					
E	S455 B ISSUE	SD	KD	13/12/21					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: +61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340




PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
SECTION 01

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ. NO.	1031	APPROVED	
DWG. NO.	A0300	REVISION	E

NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOCHI TAKADA ARCHITECTS.



5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Class 2 summary
0GVF8U5VX9 03/02/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

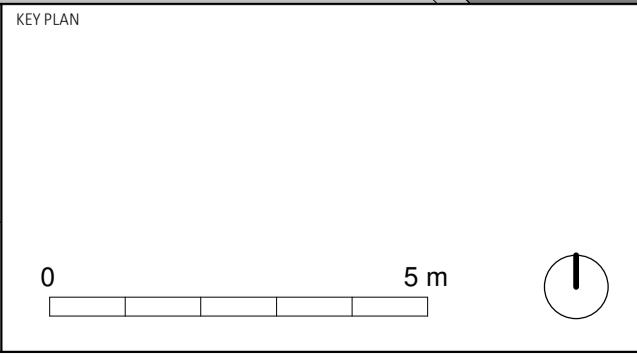
<https://www.fr5.com.au/QRCodeLanding?PublicId=0GVF8U5VX9&GrpCert=1>





NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	02/09/20					
B	DA RE-SUBMISSION	JP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	SA SSA ISSUE	MD	SD	28/11/21					
E	SA SS B ISSUE	SD	ND	13/12/21					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT
SYDNEY
701/1 Chandos Street
St Leonards NSW 2065
T: + 61 2 9437 3166
E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340



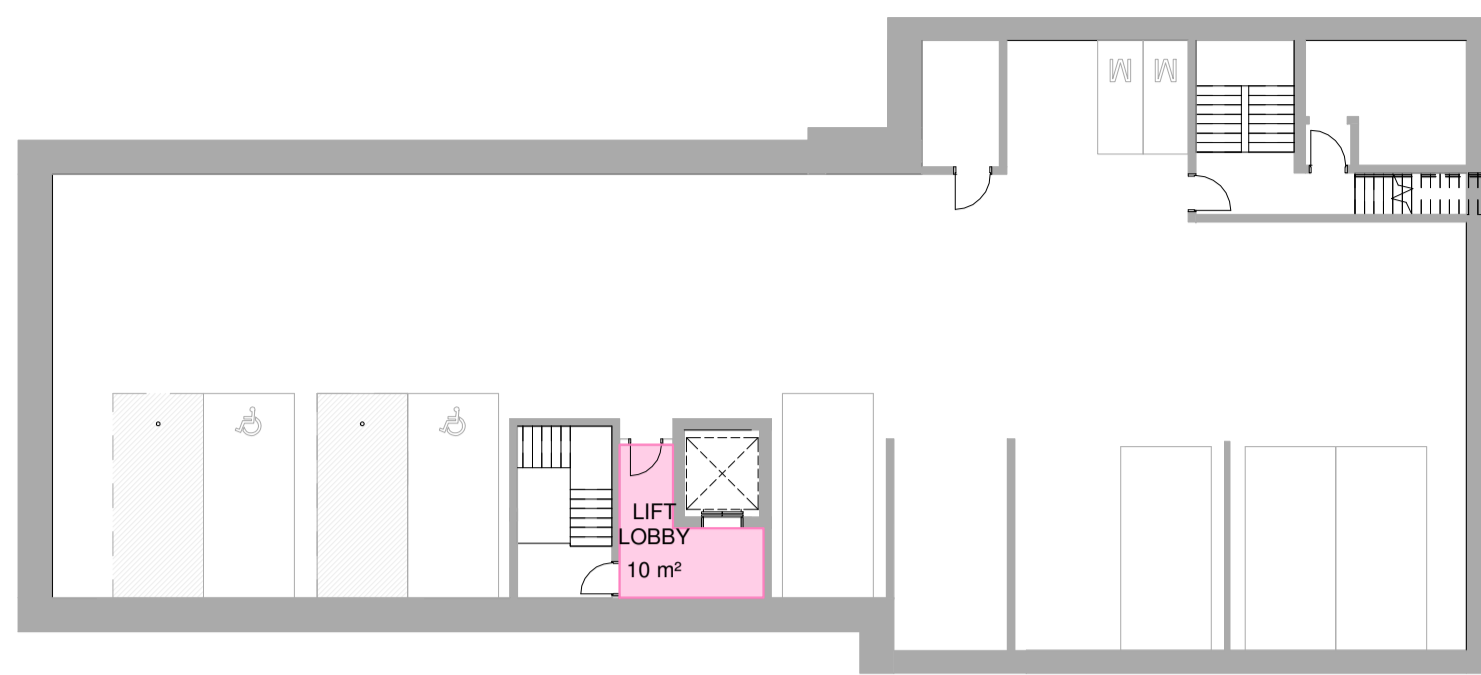
PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

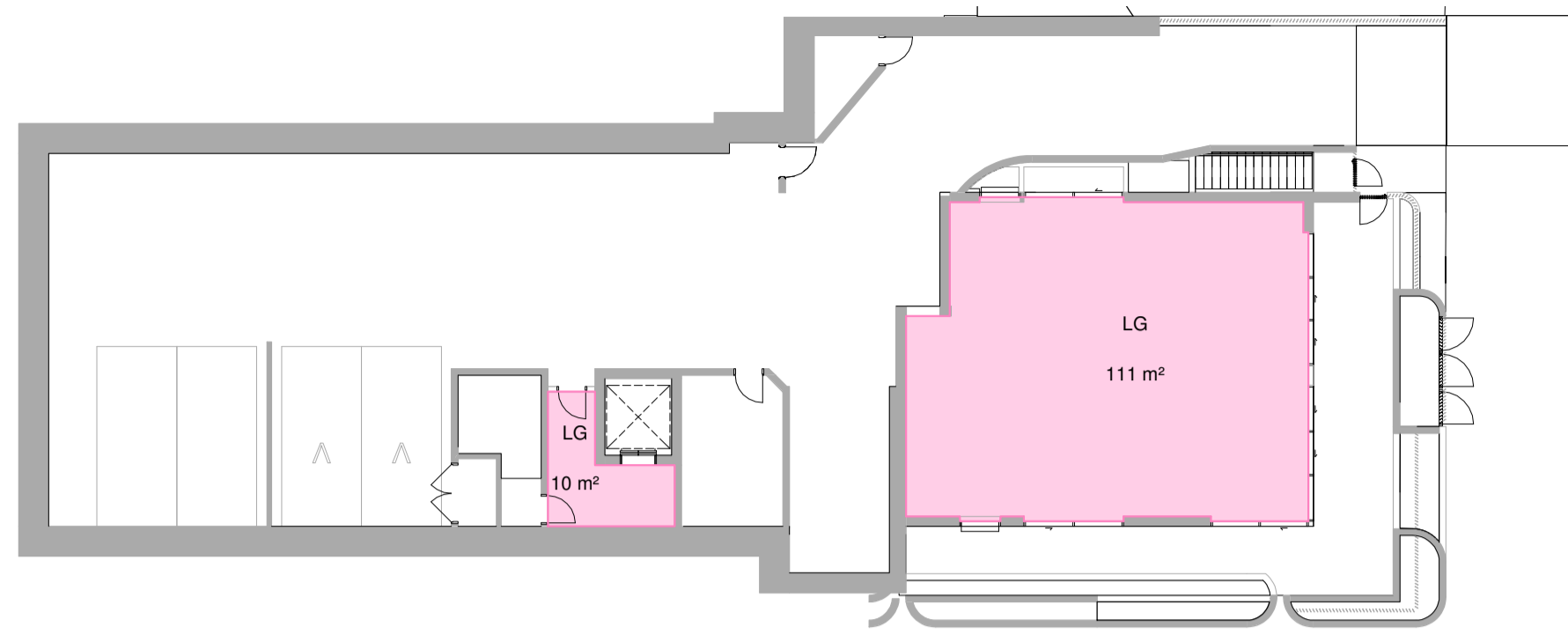
DWG TITLE
HEIGHT PLANE DIAGRAM

DATE	13.12.21	DRAWN	SO
SCALE	1:100@A1, 1:200@A3	CHECKED	KD
PROJ. NO.	1031	APPROVED	
DWG. NO.	A0403	REVISION	E

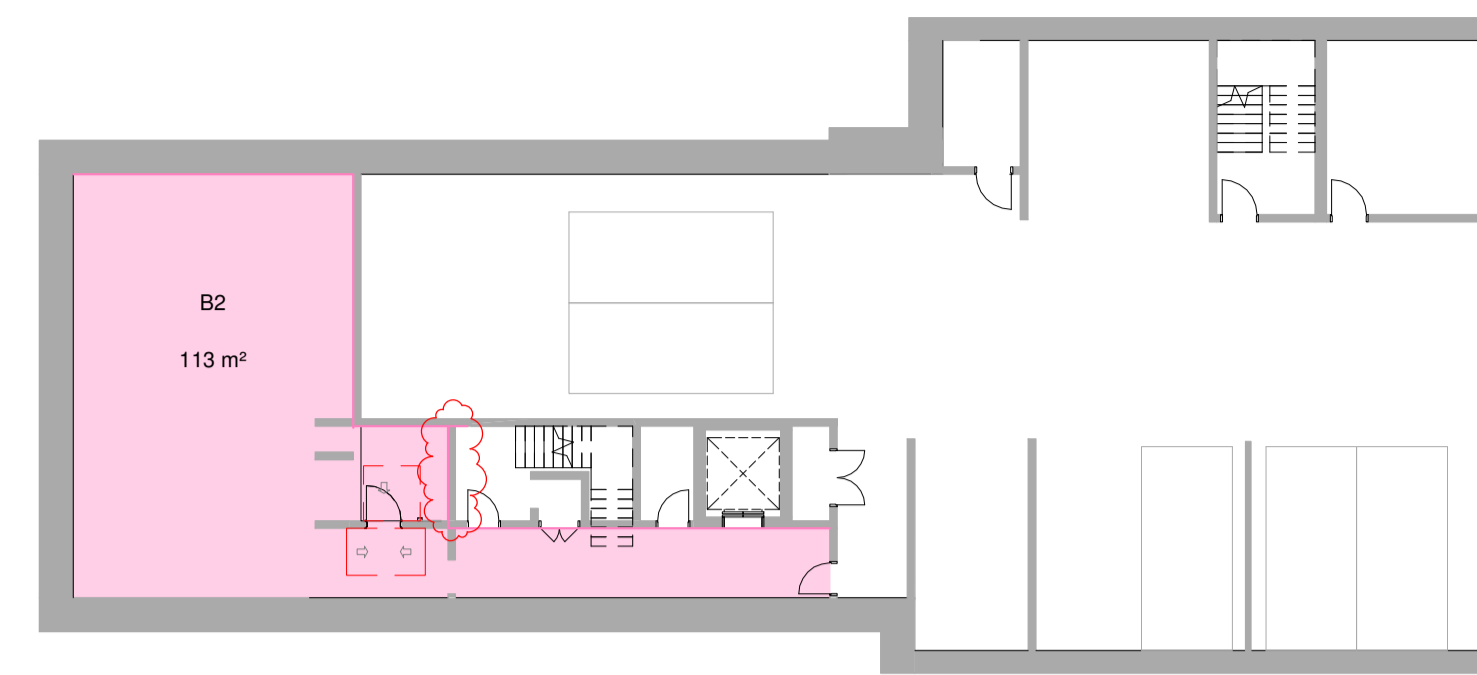
NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOGCHI TAKADA ARCHITECTS.



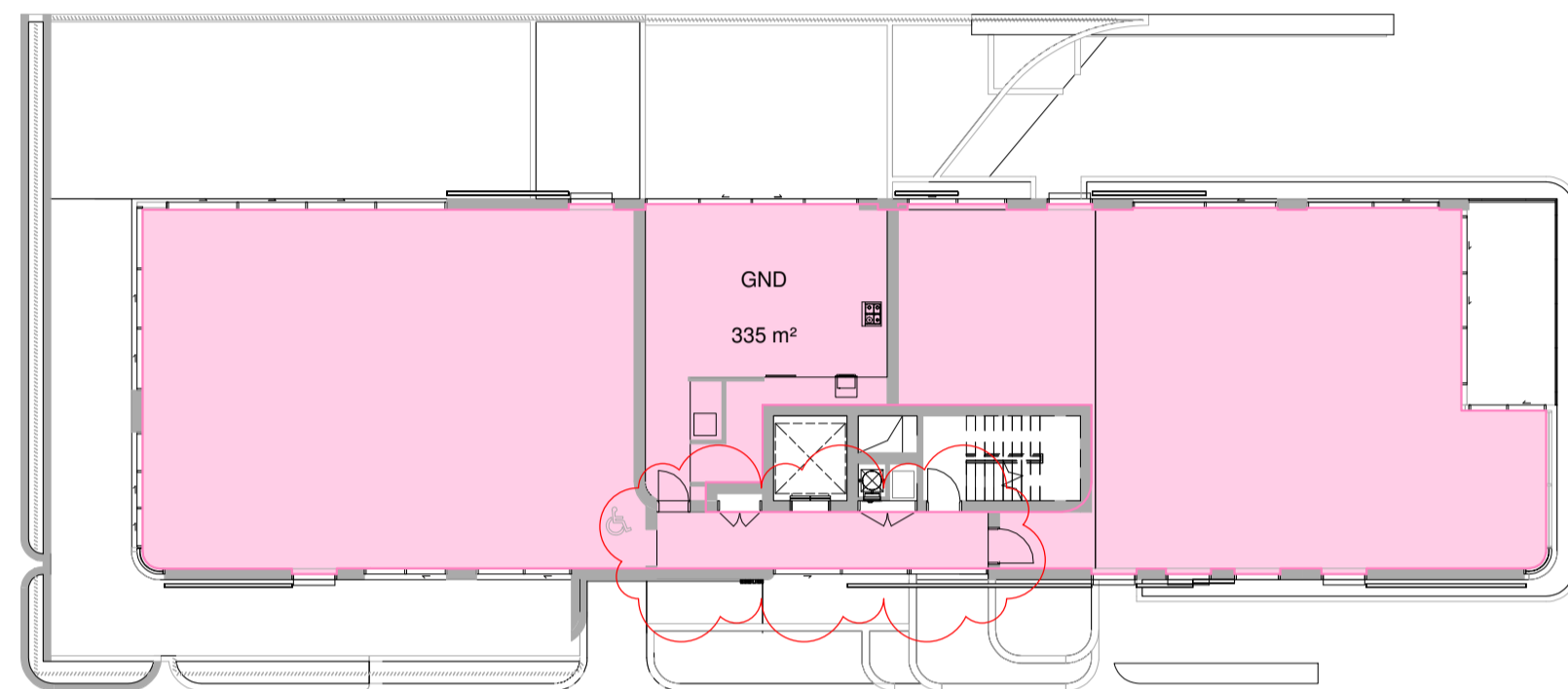
1 00. BASEMENT 01
1 : 200



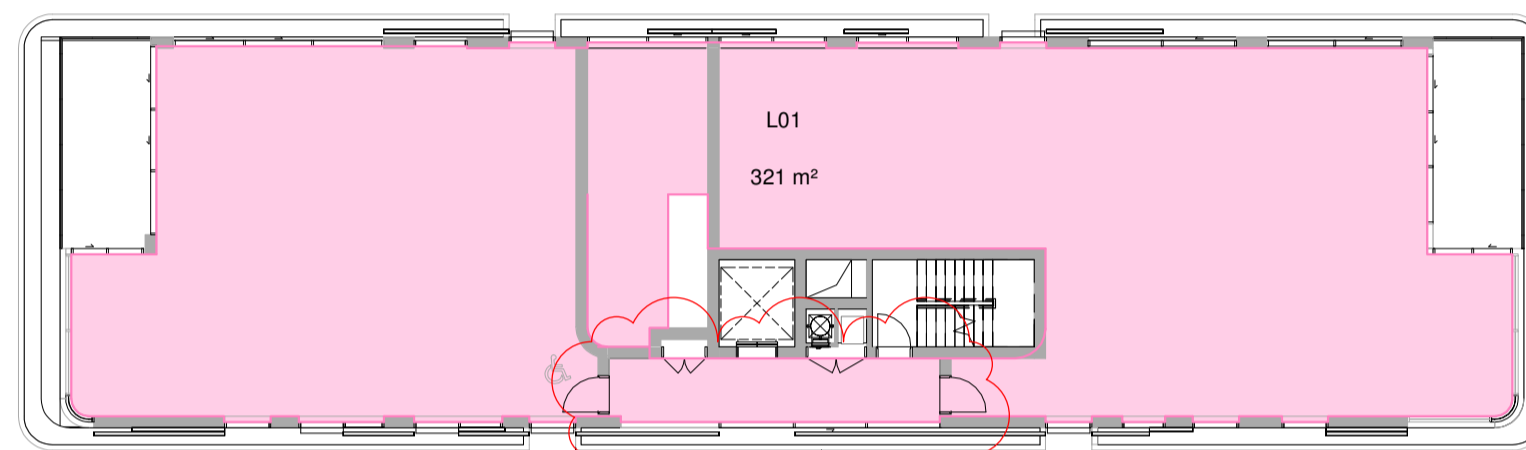
2 01. LOWER GROUND
1 : 200



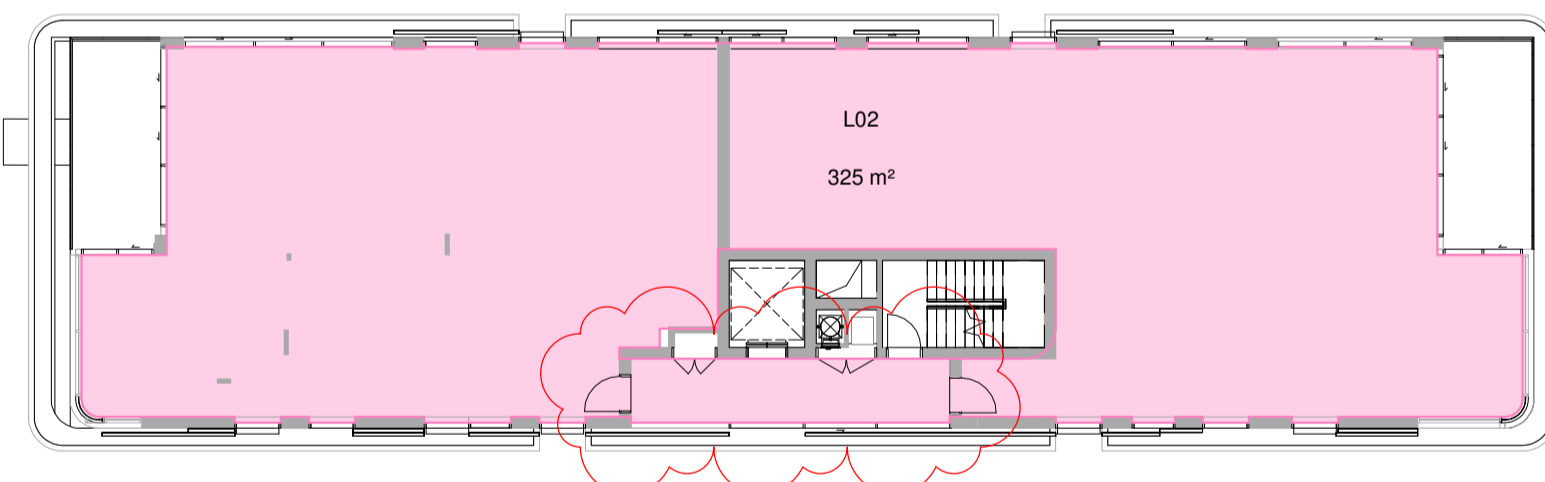
7 .00. BASEMENT 02
1 : 200



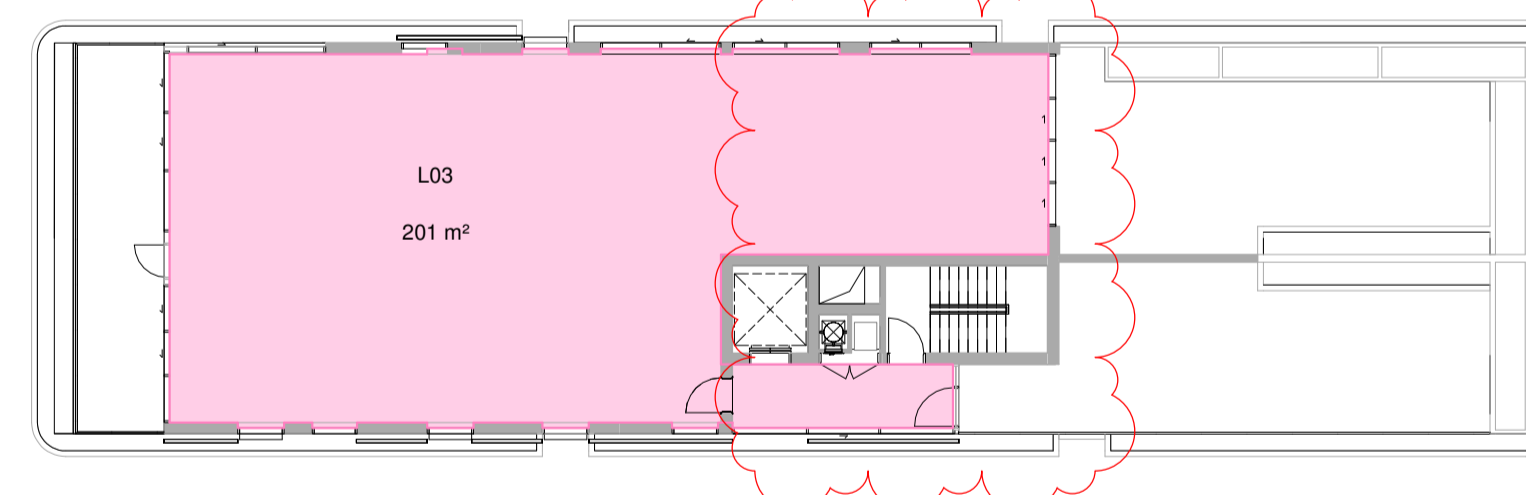
3 02. GROUND
1 : 200



4 03. LEVEL 01
1 : 200



5 04. LEVEL 02
1 : 200



6 05. LEVEL 03
1 : 200

.00. BASEMENT 02	S4.55B AREAS	S4.55A AREAS
B2	113 m ²	114m ²
00. BASEMENT 01		
LIFT LOBBY	10 m ²	10m ²
01. LOWER GROUND		
LG	121 m ²	121m ²
02. GROUND		
GND	335 m ²	319m ²
03. LEVEL 01		
L01	321 m ²	305m ²
04. LEVEL 02		
L02	325 m ²	309m ²
05. LEVEL 03		
L03	201 m ²	160m ²
TOTAL GFA	1425 m ²	1339m ²

S4.55 A GFA	1339m ²
GFA INCREASE	+88m ²
SITE AREA	839.3 m ²
FSR	1.7:1

<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DA ISSUE</td> <td>AG</td> <td>AC</td> <td>02/09/20</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>DA RE-SUBMISSION</td> <td>JP</td> <td>AC</td> <td>11/12/20</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>DEFERRAL RESPONSE</td> <td>SF</td> <td>AC</td> <td>24/03/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>D</td> <td>S4.55 A ISSUE</td> <td>SD</td> <td>KD</td> <td>03/09/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>E</td> <td>S4.55 B ISSUE</td> <td>SD</td> <td>KD</td> <td>13/12/21</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE	A	DA ISSUE	AG	AC	02/09/20						B	DA RE-SUBMISSION	JP	AC	11/12/20						C	DEFERRAL RESPONSE	SF	AC	24/03/21						D	S4.55 A ISSUE	SD	KD	03/09/21						E	S4.55 B ISSUE	SD	KD	13/12/21						<p>CLIENT</p> <p>MOSMAN FINANCE No.13 PTY LTD 3.01/95 PITT STREET, SYDNEY NSW 2000 ABN: 95 619 934 146</p>	<p>ARCHITECT</p> <p>TEAM ARCHITECTS 701/1 Chandos Street St Leonards NSW 2065 T: +61 2 9437 3166 E: info@team2.com.au REG NSW: 9940</p> <p>MELBOURNE 313/737 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340</p>	<p>PROJECT</p> <p>30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089</p> <p>STATUS</p> <p>DEVELOPMENT APPLICATION</p>	<p>DATE</p> <p>13.12.21</p> <p>SCALE</p> <p>1:100@A1, 1:200@A3</p> <p>PROJ NO.</p> <p>1031</p> <p>DWG NO.</p> <p>A0451</p>	<p>DATE</p> <p>13.12.21</p> <p>CHECKED</p> <p>KD</p> <p>APPROVED</p> <p>REVISION</p> <p>E</p>
NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE																																																								
A	DA ISSUE	AG	AC	02/09/20																																																													
B	DA RE-SUBMISSION	JP	AC	11/12/20																																																													
C	DEFERRAL RESPONSE	SF	AC	24/03/21																																																													
D	S4.55 A ISSUE	SD	KD	03/09/21																																																													
E	S4.55 B ISSUE	SD	KD	13/12/21																																																													

Class 2 summary
OGVF8U5VX9 03/02/2022

5.6
Average star rating

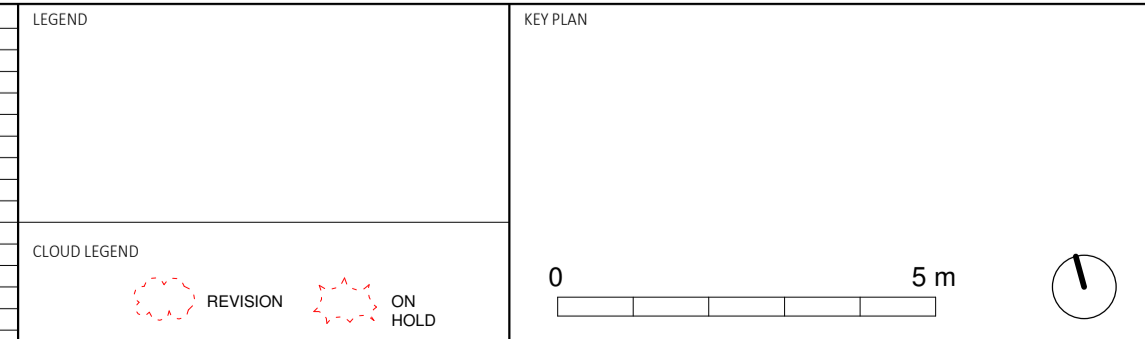
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nahers.gov.au

Assessor
Guljit Bates

Accreditation No.
DMN/16/1751

Address
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=OGVF8U5VX9&GrpCert=1>



NOTES:
DO NOT SCALE FROM DRAWINGS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF THE CLIENT & KOCHI TAKADA ARCHITECTS.