



**NSLPP MEETING HELD ON 02/02/22
SECTION 4.55 APPLICATION REPORT**

Attachments:

1. Site Plan
2. Architectural Plans, Elevations and photomontages
3. Comparison plan set

ADDRESS/WARD: 51 Alexander Street, Crows Nest (W)

APPLICATION No: DA 473/15/2

PROPOSAL: Section 4.55(2) Modification to DA 473/15 to modify mixed use development to provide for alterations to lift overrun, rooftop communal space, alteration to ground floor commercial, reduction to total residential apartments, deletion of lowest basement level and changes to materials and finishes.

PLANS REF:

Plan No.	Issue	Title	Dated	Drawn by	Received
DA100	A	Basement + Lower Ground	28/06/2021	GCCV PTY LTD	29/06/2021
DA101	A	Ground Level	28/06/2021	GCCV PTY LTD	29/06/2021
DA102	A	Residential Level 1	28/06/2021	GCCV PTY LTD	29/06/2021
DA103	B	Residential Level 2	10/11/2021	GCCV PTY LTD	22/11/2021
DA104	C	Roof Plan	12/11/2021	GCCV PTY LTD	22/11/2021
DA105	B	Top of building Plan (Lift Overrun)	10/11/2021	GCCV PTY LTD	22/11/2021
DA200	B	Elevations – Material Selection	12/11/2021	GCCV PTY LTD	22/11/2021
DA201	B	Elevations – Material Selection	12/11/2021	GCCV PTY LTD	22/11/2021
DA202	B	Elevation – east and west	12/11/2021	GCCV PTY LTD	22/11/2021
DA203	B	Elevation – north	12/11/2021	GCCV PTY LTD	22/11/2021
DA204	B	Elevation – south	12/11/2021	GCCV PTY LTD	22/11/2021
DA300	C	Section - AA	12/11/2021	GCCV PTY LTD	22/11/2021
DA301	B	Section – BB & CC	12/11/2021	GCCV PTY LTD	22/11/2021
15-3121 LO1	D	Landscape Plan	17/11/2021	Zenith Landscape Design	22/11/2021

OWNER: D & T Investments (NSW) Pty Ltd

APPLICANT: Mr Dimitrios Gongoldis

AUTHOR: Kim Rothe, Senior Assessment Officer

DATE OF REPORT: 20 January 2022

DATE LODGED: 7 July 2021

AMENDED: 22 November 2021

RECOMMENDATION Approval

EXECUTIVE SUMMARY

This subject 4.55(2) application seeks to modify consent DA473/15 with regard to the demolition of the existing building and construction of a 3 storey mixed use development comprising ground floor retail, 7 apartments and basement parking at 51 Alexander Street, Crows Nest.

The original application was approved by the North Sydney Independent Planning Panel at its meeting of 6 July 2016.

The application seeks approval for the following modifications to the approved development:

1. New fire isolated staircase and lift overrun structure and use of the roof top as communal terrace space comprising on-structure planting, recreation space, and platform landing space.
2. Redesign of the ground floor commercial tenancy, interior layout of residential apartments and circulation space.
3. Reduction of total residential apartments.
4. Reduction in commercial floorspace.
5. Deletion of Lower Basement Level.
6. Increase in bicycle parking spaces.
7. Proposed external materials and finishes.

The application is reported to the NSLPP Panel on the basis that the modification proposal will increase the previously approved building height breach pursuant to Clause 4.3 *Building Height* control of NSLEP 2013 and introduces a new non-compliance relating to Clause 4.4A Non-residential floor space ratios of NSLEP 2013.

Council's notifications of the proposal as modified attracted a total of **one (1) submission** raising concerns regarding development creep, solar access, overshadowing and privacy. The assessment has considered these concerns as well as the performance of the application against Council's planning requirements

The further variation to the building height development standard and new variation to the minimum non-residential floor space ratio is justifiable in the circumstances as the amended proposal would achieve the objectives of the development standard despite the non-compliance. The modified amenity impacts, revised unit layouts, privacy and solar access, are assessed as reasonable and acceptable.

Following this assessment, the Section 4.55 application is considered to be reasonable in the circumstances and is recommended for **approval** subject to amending conditions as detailed in the recommendation of this report.

LOCATION MAP



Property/Applicant ● Submitters - Properties Notified

DESCRIPTION OF MODIFIED PROPOSAL

Application has been made under the provisions of Section 4.55(2) to modify the following aspects of the approved development. The subject modification has been amended to respond to concerns raised by Council during the assessment period of the application.

New Roof Top Communal Area

- A new fire stair and lift overrun structure providing access to the proposed roof top communal open space for residents. Involves an increase in maximum building height from 12.66m (approved) to 13.31 m (0.65 metre increase).
- Redesign of the eastern roof top level to facilitate a new west-facing communal open space with planters surrounding a common terrace and steel awning structure, BBQ area.
- Redesign of the roof top services, fire stair, area for photovoltaic panels

Interior Alterations

- Rearrangement of interior layout of all levels.
- Deletion of Lower Basement Level.
- Reduction in commercial gross floor area from 183.83m² to 151m².
- Redesign of the residential lobby to provide mail and parcel storage, seating, bicycle parking, and the integration of services.
- Relocation of services previously located in basement to ground floor.
- Reconfiguration and rationalisation of proposed size and shape of lightwell.

Unit Mix and Size

- Reduction in total residential apartments from seven (7) to six (6).
- Amalgamation of two (2) studios into 1 x 2-bedroom unit.
- Minor adjustments to the size of apartments for Levels 1 and 2 including introduction of 3 bedroom unit to Level 1.

Bike Storage Allocation

- Increase in total bicycle parking spaces from the approved eight (8) to eleven (11).

Amended Plans – 22 November 2021

In response to design concerns for the originally submitted modified scheme, amended plans were submitted incorporating the following changes:

- Removal of the proposed roof top communal open space and the steel structure awning and have reduced the height of rooftop amenities. The maximum height of the building being amended to 13.31 metres (RL 110) equating to a height increase of only 0.65 metres over the approved plans. *“The revised height of the building from the approved plans is a consequence of design development and the lift manufacturers requirements”*. The lift is proposed to serve the communal rooftop of the upper eastern level only, allowing for a reduction from the original modification proposal.

- Removal of the proposed west facing rooftop communal open space. The revised plans now reserve the use of the west-facing rooftop for solar panels and a entry hatch for accessing service panels.
- Removal of fire stairs and platform for drone deliveries, these area being replaced with a void and AC units. Rooftop services and photovoltaic panels have been located in the non-accessible area of the roof for maintenance reasons and are serviced by the access hatch for qualified service personnel only. The rooftop services are setback and screened by the proposed landscaping scheme.
- The proposed western communal outdoor open space has been removed from the roof plan, and the internal open space and the small meeting room on Residential Level 2 has been converted to communal outdoor space. This communal outdoor space will relocate the AC units to the roof and will be surrounded by planters for most of its perimeter, with the BBQ remaining in its proposed position. This will reduce the proposed supply of communal outdoor space from 95m² to 54m², and will significantly reduce the height of the proposed development.
- The proposed internal communal open space has been replaced with outdoor communal open space in response to concerns regarding the rooftop outdoor open space. The only built form provided in the communal roof top area is a uni-sex accessible bathroom.
- The amended roof plans propose the removal of all drone related facilities.
- The enclosure of the lower roof terrace amended to provide for an enclosed lobby and accessible toilet, addressing Council's concerns.

CHECKING OF PLANS

The plans for the S4.55 application have been checked to ensure that the changes being sought under the current application are the only changes included in the submitted plans.



Figure 1 – Photomontage of the amended modification proposal when viewed from Alexander Street

STATUTORY CONTROLS

North Sydney Local Environmental Plan 2013

- Zoning – B4 (Mixed Use zone)
- Non Residential Floor Space Ratio - 0.5:1
- Building Height — 10 metres
- Item of Heritage – No
- In Vicinity of Item of Heritage – No (But Holtermann B Conservation Area located over the rear boundary and laneway)
- Conservation Area - No

Environmental Planning & Assessment Act 1979

SEPP No. 55 - Contaminated Lands

SEPP No.65 – Design Quality of Residential Flat Development and associated Apartment Design Code

SEPP (Building Sustainability Index: BASIX) 2004

SREP Sydney Harbour Catchment and DCP

Local Development

POLICY CONTROLS

North Sydney Development Control Plan 2013

- *Part B Section 2 Commercial and Mixed Use Development,*
- *Part B Section 10 Car parking and Transport,*
- *Part C Section 3.0 Area Character Statement –St Leonards / Crows Nest Planning Area and Section 3.2 Crows Nest Town Centre Area),*

DESCRIPTION OF LOCALITY

The subject site is located at 51 Alexander Street, Crows Nest and joins Alexander Lane at the rear boundary, The site is legally described as L of 7, Sec 16 in DP 1265.

The subject site is regular in shape with a frontage to Alexander Street and Alexander Lane of 11.28m and side boundaries to the adjoining commercial buildings of 36.575m, creating a site area of 412.5m². Situated on the property is a single storey flat roof commercial building currently occupied by a restaurant. The existing building is erected up to the street frontage of Alexander Street with a flat roof awning over the footpath. The building has a varied setback to Alexander Lane where some on site car parking and a servicing area is provided. Due to the site falling to the rear, the building has a part two storey appearance when viewed from the laneway.

The site is located to the east of the Pacific Highway and north of Falcon Street and is located within the suburb of Crows Nest. Existing development within the neighbourhood is predominantly mixed commercial and residential development with active frontages at street level. Development in the vicinity of the site consists of similar commercial and some recently constructed mixed use buildings constructed to nil boundaries. Building height range from single to 4 storeys.

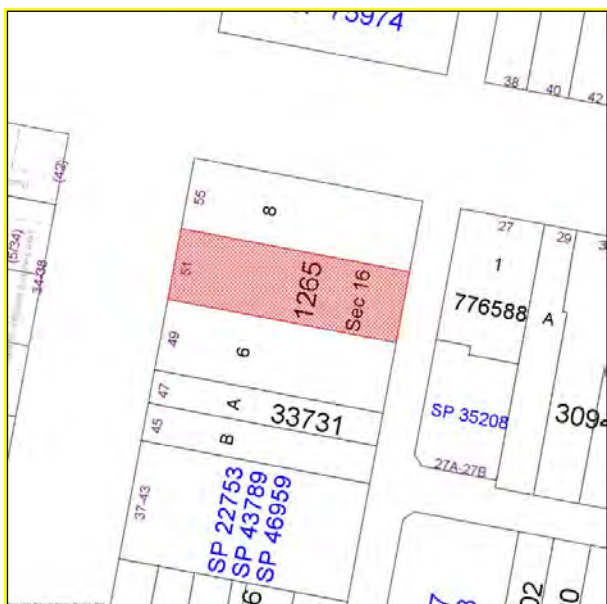


Figure 2 – GIS cadastral location diagram

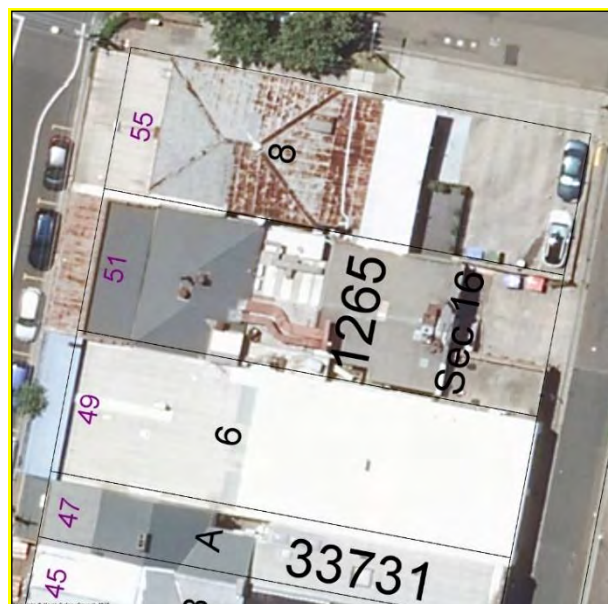


Figure 3 – Aerial of the site



Figure 4 – Existing restaurant

RELEVANT HISTORY

Site / Previous Applications History

There is no recent relevant history in Council regarding the construction of the original building or substantial building modifications. There are a number of minor fitout and use or signage applications consistent with the buildings commercial status. None of these applications have any bearing on the subject proposal.

Original Approval

Development application No. 473/15 for demolition of an existing single storey commercial building and construction of a 3 storey mixed use development comprising ground floor retail, 7 apartments and basement parking was considered and approved at the North Sydney Independent Planning Panel meeting of 6 July 2016.

The Independent Planning Panel was established between 22 July 2013 and 1 March 2018 and preceded the implementation of Local Planning Panels by the Minister which commenced 1 March 2018.

The application was referred to NSIPP for Determination on the basis that the proposal exceeded maximum permissible building height of 10 metres which applied to the land under NSLEP 2013 by more than 10%. The original proposal was supported by a Clause 4.6 written request for variation which supported a total overall height of 12.7 metres, representing a variation of 27% to the height standard.

At this meeting, the panel supported the variation to the height standard, owing to the compliant building parapet, the fall of land and due to stepped floor plan of the proposed building. The application was approved subject to deletion of recommended Condition C1 relating to privacy measures on the rear laneway balcony as there was deemed to be enough separation across the laneway to preserve privacy.

The reasons given by NSIPP for the approval of the application are as follows:

“(Panel Reason: The plans incorporate adequate privacy measures and the deletion would allow for balconies of a more usable dimension.”

Consent Extension

The approval was due to lapse on 11 July 2021 however, pursuant to directions issued by the Department of Planning relating to the Environmental Planning and Assessment Regulation 2000, for consents and deferred commencement consents granted *prior* to 25 March 2020 that had not already lapsed, the lapsing date has been extended by 2 years. Therefore, due to the direction, the consent is extended and remains active till 11 July 2023. Whilst there is no noted physical commencement on site, due to this direction, the consideration of this modification is still possible and the consent is currently not deemed to have lapsed.

Subject Application

The site was the subject of a pre-lodgement proposal meeting on 5 February 2021 based largely on the subject proposal but sought advice to increase the density of the residential component of the development. Advice provided by Council cautioned against significant increase in density to the development but outlined that some of the modifications could be supported.

The subject application relevant history is summarised as follows:

30 June 2021	The subject modification application was lodged.
16 July 2021 – 30 July 2021	Application notified to adjoining properties and Holtermann/Hayberry Precinct.

15 October 2021

Issues email sent to applicant requesting:

- These concerns relate to the new lift overrun and access and ancillary features (new pergola) to the upper roof will be significantly in excess of the height limit on site and concerns surrounding whether staff have the delegated authority to deal with such matter. Whilst this is a modification application, Council may still nominate to send matters in excess of 10% of the height control to the NSLPP Panel (proposals less than 10% can be dealt with under delegated authority) – note this is also a matter which requires consideration for the Non-residential FSR
- Formalization of drone related facilities would require approval from the Civil Aviation Safety Authority
- Enclosure of the lowered roof terrace is not support on the basis of the potential for it to be converted at a later stage of residential facilities and general additional solid bulk to the building

22 November 2021

Amended plans and information submitted by the applicant. Details of the amendments are included above, however the changes are largely regarded as a reduction in the overall lift overrun and reconfiguration of approved rooftop communal open spaces.

REFERRALS

Building

The application has not been assessed specifically by Council in terms of compliance with the National Construction Code Building Code of Australia (BCA). Council's standard condition relating to compliance with the BCA/NCC has been imposed and should further amendments be necessary to any approved plans to ensure compliance with the BCA, then a further Section 4.55 application to modify the consent may be required.

Engineering/Stormwater Drainage/Geotechnical

The application as modified was referred to Council's Engineers who advised that the proposal as amended remains acceptable with regard to as imposed conditions of development consent.

SUBMISSIONS

The owners of adjoining properties and the Holtermann/Hayberry Precinct were notified of the proposed development between 16 July – 30 July 2021. The notification resulted in one (1) submission raising issues with the proposal as follows:

The issues raised in the submissions are summarised below and addressed later in this report. The original submissions may be viewed by way of DA tracking on Council's website https://www.northsydney.nsw.gov.au/Building_Development/Current_DAs and are available for review by NSLPP members.

Basis of Submissions

- *Maintain previous concerns in relation to the application which included its height and bulk*
- *would have an adverse visual impact on a "village" neighbourhood and*
- *The development will block out westerly sunlight (and warmth) from the back yard of my property.*
- *It would also affect our privacy.*
- *Current application is an example of developer creep and proposes altered building height non-compliance and now No residential floor space ratio*

Amended Plans

Further notification of the amended plans was not required under the provisions of S3.4.2 of the North Sydney Community Participation Plan on the basis that the proposed amendments do not present and new or greater impact to adjoining properties and the proposed modification or amendment overall does not substantially change the originally approved development.

CONSIDERATION

The application has been submitted under the provisions of Section 4.55(2) of the Environmental Planning and Assessment Act 1979 under which the proposal is required to be assessed having regard to the following matters.

The proposal is required to be assessed having regard to Section 4.55(2) of the Environmental Planning and Assessment Act 1979. A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if: -

- (2) *Other modifications A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:*
- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
 - (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
 - (c) *it has notified the application in accordance with:*
 - (i) *the regulations, if the regulations so require, or*
 - (ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
 - (d) *it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

S.4.55(3) & S.4.15(1) CONSIDERATION

In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15 (1) as are of relevance to the development the subject of the application.

The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.

Therefore, Council's assessment of the application to modify the subject development consent must consider the following issues:

1. Is the proposed development as modified substantially the same development approved?

The modifications will maintain the overall character and appearance of the development and will constitute a development substantially the same as the development for which consent was originally granted and before that consent as originally granted was modified. Fundamentally, the proposal remains a mixed-use development.

The design amendments included in the amended plans have resulted in an improved building design and appearance, such that there is no adverse change to the overall bulk and scale of the building in comparison to the approved building design. The modifications are primarily concerned with improving the amenity for residents of the building, BCA/NCC compliance and construction requirements of the development.

Post development, it is considered there would be no significant adverse visual difference as a result of the proposed modifications to the overall resultant built form as already approved. The modifications are acceptable within the scope of this section 4.55 in the circumstances.

Accordingly, the modification is considered acceptable in regard to Section 4.55(2)(b) of the Environmental Planning and Assessment Act 1979.

2. Whether the application required the concurrence of the relevant Minister, public authority or approval body and any comments submitted by these bodies?

No concurrence with any other authority is required.

3. Whether any submissions were made concerning the proposed modification.

The application has been notified. *One (1)* submission raising any concern with the proposed modifications have been received during the course of the assessment of the modification application. The matters raised in the submission are addressed later in this assessment report.

4. **Any relevant considerations under Section 4.15 of the Environmental Planning and Assessment Act 1979.**

In determining a development application, a consent authority is to take into consideration the following matters relevant to the development application. The application has been assessed against the relevant numeric controls in NSLEP 2013 and DCP 2013 as indicated in the following compliance tables. More detailed comments with regard to the major issues are provided later in this report.

(a) **The provisions of any environmental planning instrument or draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority.**

Refer to detailed assessment below

5. **The reasons given by the consent authority for the grant of the consent**

The modifications do not result in any new adverse amenity impact to adjoining properties or the surrounding area. The proposed modifications are consistent with the reasons for the granted of development consent to the originally approved development and is considered to be acceptable.

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, are assessed under the following headings:

SEPP No.65 (Design Quality of Residential Flat Development)

The original application was assessed with regard for the Design Quality Principles set out in SEPP65. The modified development has been assessed against the principles as follows:-

- **Principle 1: Context and Neighbourhood Character:**

The development as modified remains in keeping with the desired future character and context of the locality.

- **Principle 2: Built Form and Scale**

The density of development, the amended mix of apartments, and general built form and scale will promote the intended desired future character of the area.

- **Principle 3: Density**

The development as modified generally meets the envelope and general density controls whilst providing a high level of amenity to the apartments in the circumstances, the development as modified remains to be of an appropriate density. The modifications do not adversely increase the as approved *Building Height* control.

- **Principle 4: Sustainability**

An amended BASIX Certificate has been provided with the application. Adequate cross ventilation and solar access has been provided to the amended apartment layouts. Water reuse is also able to be achieved on site for the rooftop plantings. A number of passive solar shading features are incorporated into the design.

- **Principle 5: Landscape**

Limited opportunity exists on the site for planting given the mixed use zone location. However, an amended landscaping scheme is proposed to be provided to the rooftop communal space.

- **Principle 6: Amenity**

More than 70% of the apartments are dual aspect due to lightwells and all apartments as amended exceed the minimum apartment sizes.

- **Principle 7 and 8: Safety, Housing Diversity and Social Interaction**

The building as modified will retain the separate residential entry foyer with secured access.

Social interaction has been maintained as per the original approval via the provision of indoor and outdoor communal space throughout the building.

The proposed development will have an acceptable streetscape appearance and will have a positive impact within the locality in this regard.

- **Principle 9: Aesthetics**

The design of the modified development maintains the general as approved modulation and articulations.

An amended Design Verification Statement has been prepared by a Qualified Designer and has been submitted with the application. The design as amended has also had regard for the Apartment Design Guide and is considered to be acceptable in this regard.

SEPP 55 and Contaminated Land Management Issues

The amendments do not alter any of the Council's previous conclusions in this regard.

SREP (Sydney Harbour Catchments) 2005

The site is located within the area covered to the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. However, no primary views to the site exist from the Harbour. It is considered that the development remains acceptable with regards to this Policy.

SEPP (Building Sustainability Index: BASIX) 2004

An amended BASIX Certificate has been submitted with the application. The upper roof contains a solar array for further sustainability performance.

NORTH SYDNEY LEP 2013

1. Permissibility / Zone Objectives within the zone:

There is no alteration to the permissibility or zone objectives adherence aspects of the development. The modification proposal, as amended maintains the developments suitability with regard to the B4 Mixed Use zone, where development for the purposes of construction of a "Commercial Premises" with "Shop top housing" over is permissible with consent of Council.

2. Principal Development Standards

Compliance Table – North Sydney Local Environmental Plan 2013				
Site Area – 412.5 m ²	Approved	Proposed	Control	Complies
Clause 4.3 – Heights of Building	12.7 metres (lift overrun) 12.1 metres (pergola over communal roof area)	13.31 metres (lift overrun)	10 metres (max)	NO*
Clause 4.4a – Non residential FSR	206.15 m ² or 0.5:1 (complies)	151 m ² or 0.37:1	0.5:1 (min)	NO*

* Refer discussion below

3. Height of Building

The proposed building height as approved at its maximal height (to the top of the lift overrun) above the sloping topography of the site was 12.7 metres and exceeded the building height limit of 10.0 metres as per NSLEP 2013 and represented a maximal variation of 27%.

The height of the has been amended to be 13.31 metres to the main amended lift overrun structure overrun and represents an amended maximum variation of 33%.

In accordance with the findings by Justice Lloyd in **Gann & Anor v Sutherland Shire Council [2008] NSWLEC 157**, the modification of a development consent pursuant to Section 4.55 which results in a new or modified variation to a development standard, does not require the submission of an objection Clause 4.6 *Request for Variation to a Development Standard* of NSELP 2013). In this regard, reference is made to the provisions of 4.55(3) of the Act which distinguishes between the modification of a development consent pursuant to 4.55 and the granting of development consent.

Notwithstanding, Council must still consider the proposed modifications and the new breaches to the building height development standard against the provisions of the development standard, under the requirements of S4.55(3) & S4.15 of the Act. Accordingly, the proposed modifications have been considered against the Building Height objectives and the provisions of building objectives in Clause 4.3(1) in NSLEP 2013:

The applicant has submitted a request for an exemption from this standard pursuant to Clause 4.6 LEP2013. The proposal is considered against the objectives of the controls as follows:-

- (a) ***To promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient.*** The proposed development adequately accounts for the site's topography with maximal breaches occurring at the plant and ancillary structures over the communal roof terrace and centre of the building (not at elevational points). The modification proposal has been amended to reduce the extent of the originally proposed amendments. No objection is raised to the proposal in this regard.
- (b) ***To promote the retention and, if appropriate, sharing of existing views.*** Those elements in breach of the building height control are not considered to result in the material loss of views. Adjoining buildings are not yet developed and building to the further west is the Woolworths car park. Therefore, no key outlooks are impacted as a result of the development.
- (c) ***To maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development.*** The shadow falls primarily over the adjoining existing single storey wholly commercial building on Alexander Street and Laneway. Beyond some additional late afternoon shadowing to the dwelling located over the laneway fronting Burlington Lane however it is submitted that there is no unacceptable shadow impact to adjoining dwellings and or public reserves.
- (d) ***To maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings.*** The development, by virtue of being the first building in this group of buildings to be re developed will not result in any unacceptable impacts to any adjoining dwellings in terms of privacy.

The rooftop terrace (as amended) is well set back from any edge to prevent overlooking. Internal privacy and separation is well resolved for the residents.

The development will not give rise to any adverse visual or acoustic privacy impacts by virtue of any breach of the height control and is acceptable in this regard.

- (e) ***To ensure compatibility between development, particularly at zone boundaries.*** The building form is considered to be compatible with surrounding development and is considered to be a generally expected outcome of development on the site. Adjoining sites to the north and south are also zoned B4 mixed use. The site to the east (rear) is zoned R2 Low Density Residential and the building as modified will not materially or adversely impact upon the existing dwellings to the east. Impacts associated with the increase in building height are further mitigated by the 11-metre setback to the boundary of residential development across Alexander Lane.

(f) To encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area. The amended building will be of a scale and density that is in accordance with and promotes the desired future character of the Crows Nest Town Centre. The front and rear facades of the building at the property boundaries with both Alexander Street and Alexander Lane are near compliant in height, and largely unchanged from the approved development. They will therefore present a scale of building consistent with the existing and desired future streetscape character, with the non-complying elements at the centre of the building footprint being of limited visibility. The proposal does not include any increase in habitable areas and involves a reduction of one unit. As such there is no adverse increase in the density of the development.

(g) Not applicable

The assessment demonstrates that the modified non compliant elements of the development will not give rise to any material or adverse impacts with regard to the objectives of Clause 4.3 Building Height of NSLEP 2013. It is considered that there are sufficient environmental planning grounds to justify contravention of the development standard. The objectives of the height control will be achieved despite the variation. On this basis the request for variation is well founded and it would be unreasonable to require compliance in the circumstances of the case.

4. Floor Space Ratio

Under the provisions of Clause 4.4A(2), the minimum non residential floor space ratio permitted on the subject site is 0.5 : 1. In the as approved development, the proposed commercial tenancy, inclusive of the lower (non basement store room and commercial garbage enclosure (also non basement) will resulted in a floor space ratio of exactly 0.5 : 1 in compliance with the control.

With the proposed amendments, including relocation of former plant areas located within the former basement area the practical area of the commercial tenancy on the ground floor is reduced to an effective area of 151 m² or Non residential FSR of 0.37 : 1 and represents a 26.7% variation. The variation is indicated in figures 5 & 6 below

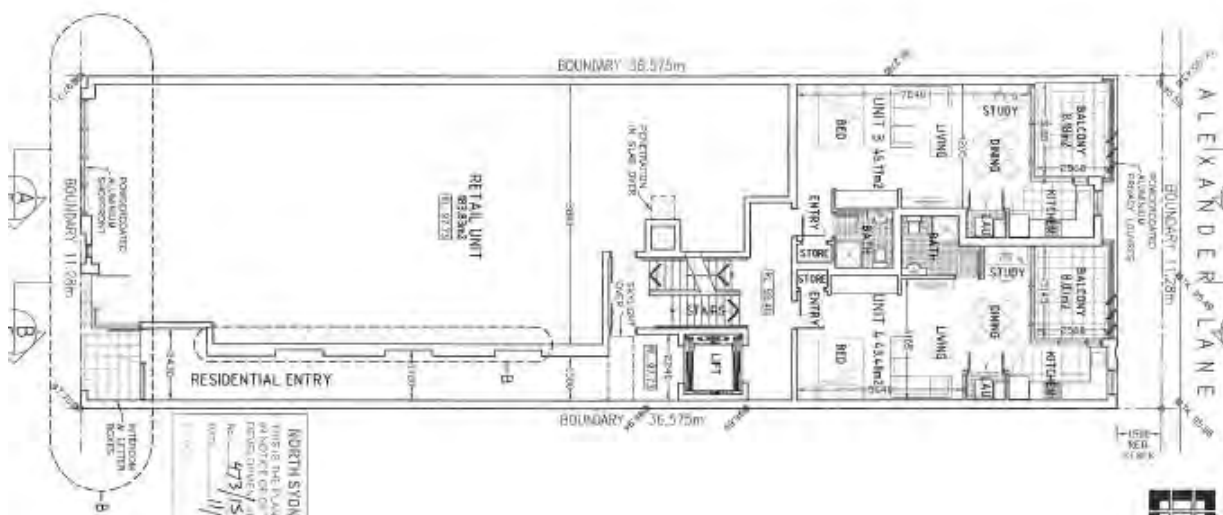


Figure 5: Approved ground floor plan detailing approved retail tenancy layout, lift lobby and residential plant rooms.

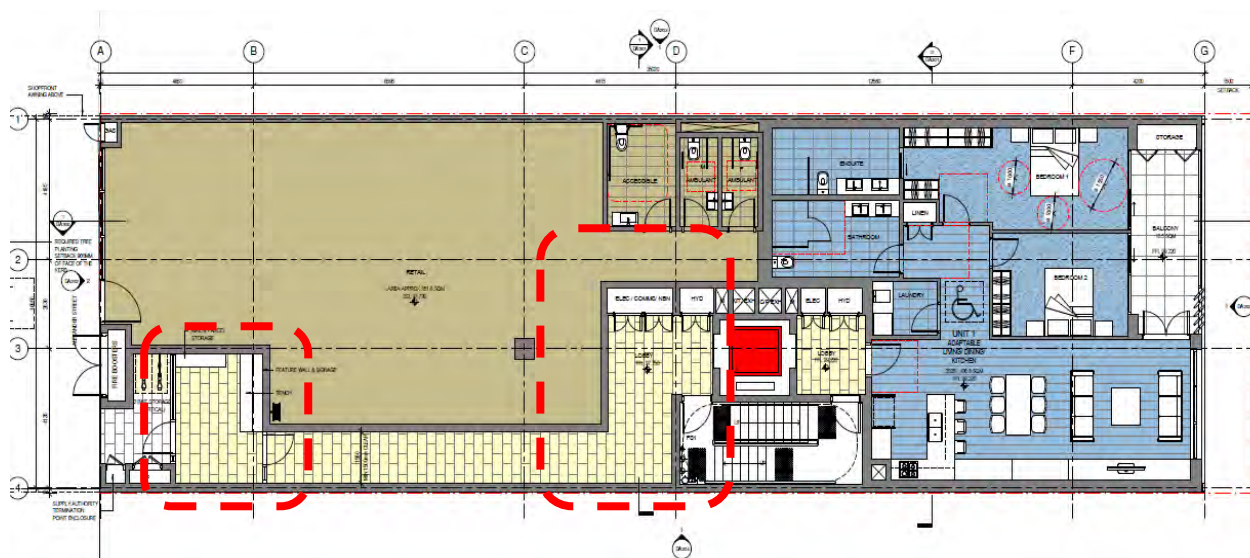


Figure 6: Proposed amended commercial floor space showing residential plant room and ground floor lift lobby areas not included in original approved ground floor plan.

The original application did not involve a non compliance with the minimum non-residential floor space requirement. Consequently, no written request for variation under Clause 4.6 was required.

In accordance with the findings by Justice Lloyd in *Gann & Anor v Sutherland Shire Council [2008] NSWLEC 157*, the modification of a development consent pursuant to Section 4.55 which results in a *new* or modified variation to a development standard, does not require the submission of an objection Clause 4.6 *Request for Variation to a Development Standard* of NSLEP 2013). In this regard, reference is made to the provisions of 4.55(3) of the Act which distinguishes between the modification of a development consent pursuant to 4.55 and the granting of development consent.

Notwithstanding, Council must still consider the proposed modifications and the new breaches to the building height development standard against the provisions of the development standard, under the requirements of S4.55(3) & S4.15 of the Act. Accordingly, the proposed modifications have been considered against the Non Residential Floor Space Ratio objectives and the provisions of building objectives in Clause 4.4A in NSLEP 2013:

- (a) **to provide for development with continuous and active street frontages on certain land in Zone B1 Neighbourhood Centre, Zone B4 Mixed Use and Zone SP2 Infrastructure:** The proposed development will continue to provide a continuous and active street frontage to Alexander Street comprising the opening to the retail tenancy, entrance to the residential lobby, and services. When compared to the approved development, the primary difference is the relocation of the entry door away from the entry to the residential lobby, and the inclusion of fire boosters, gas meters and telecommunications services. The proposed amendments will achieve the intent of Objective (a).
- (b) **to encourage an appropriate mix of residential and non-residential uses:** The proposed development provides for a ground floor commercial tenancy to Alexander Street, a residential apartment facing Alexander Lane, and residential apartments at upper levels, which is consistent with the desired future character for the locality. The proposed amendments are consistent with objective (b).

- (c) **to provide a level of flexibility in the mix of land uses to cater for market demands:** The depth and width of the commercial tenancy will remain of sufficient size for a functional commercial shop front, The tenancy layout responds to market demand and will therefore cater more appropriately to future occupants of the tenancy. The proposed amendments are consistent with Objective (c).
- (d) **to ensure that a suitable level of non-residential floor space is provided to promote employment and reflect the hierarchy of commercial centres.** The proposed retail tenancy layout will not affect employment generation of the shop or the role of the tenancy in the hierarchy of commercial centers in North Sydney.

The proposed commercial tenancy will provide a non-residential floor space ratio that, despite non-compliance with the applicable numerical controls, achieves the objectives of Clause 4.4A. Compliance is considered to be unreasonable in the circumstances Given that it also maintains consistency with the objectives of the zone, its approval will be in the public interest and is supported in this regard.

5. Earthworks

Clause 6.10 of NSLEP 2013 seeks to ensure that earthworks will not have any detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.

The existing building currently has no basement levels and the approval supported two levels of basement in which the lower level was only accessible by lift and supported the service areas of the building. The development as modified will result in less required excavation.

To achieve the revised basement levels, bulk excavation will extend to depths ranging to 3.0 metres or less. There is no effective opportunity for reuse on site for fill purposes. All of the excavated material will need to be disposed off site to an approved landfill site.

As per the provisions of Clause 6.10(3), the following matters are required to consider before consent can be issued.

- (3) **Before granting development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters:**
- a) **the likely disruption of, or any detrimental effect on:**
- i. **drainage patterns and soil stability in the locality of the development, and**
 - ii. **natural features of, and vegetation on, the site and adjoining land,**

The site as existing is entirely devoid of remnant vegetation or natural rock outcropping. Excavation in itself will not disrupt or divert natural subsurface drainage patterns but require measures in the basement to manage adjoining building support, infiltration and ground water flows. This has already been accounted for in the approved conditions of consent and will not be altered in the modification.

- b) **The effect of the development on the likely future use or redevelopment of the land,**

The proposal is in accordance with the intended future character of the site zoning and general locality.

c) the quality of the fill or the soil to be excavated, or both,

Given the extended commercial history of the site it is unlikely that the site has experienced any significant contaminating activities which would give rise for concern relating to the quality of material to be excavated off site. Where practicable, some of the excavated material will be re used on site however the majority of the excavated material will be removed off site for disposal to a suitable landfill.

d) the effect of the development on the existing and likely amenity of adjoining properties,

The foregoing analysis of this report generally concludes that the development will result in an acceptable level of impact to surrounding properties and the excavation in itself is not considered to result in any ongoing amenity impact to these properties or can be managed via conditions of consent already imposed upon the consent. The development and excavation is acceptable in this regard.

e) the source of any fill material and the destination of any excavated material,

Where practicable, some of the excavated material will be re used on site however the majority of the excavated material will be removed off site for disposal to a suitable landfill.

f) the likelihood of disturbing Aboriginal objects or relics,

The site has an extended history of commercial usage and the general locality is substantially built up and natural topography highly modified. The likelihood of encountering undisturbed relics is exceptionally low in the circumstances. Notwithstanding this, standard conditions can be imposed upon any consent that should any artefacts or relics be uncovered during works that works are to cease and the relevant Authorities contacted.

g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,

Appropriate sediment and erosion control measures have been incorporated into the consent to prevent sediment movement. The development remains acceptable in this regard.

Prior to demolition, dilapidation reports are as a condition of consent, on the adjoining properties located to the north and south of the site (51 and 55 Alexander Street, Crows Nest). A copy of these reports must be provided to the respective property owners and Council for record keeping. The dilapidation reports may then be used as a benchmark against which to assess possible future claims for damage resulting from the works. In this manner the reports protect the builder from unfounded claims relating to damage existing prior to the commencement of work. Council's Development Engineer has included appropriate conditions with regard to geotechnical reports, sedimentation control and structural support during works and these remain as imposed upon the consent.

In accordance with the provisions of Clause 6.10(3) this assessment has considered the impact of the excavation as modified on site and to surrounding properties and found the excavation to be acceptable or can be adequately controlled via the imposition of conditions of development consent. Accordingly, the development as modified remains acceptable in this regard.

DEVELOPMENT CONTROL PLAN 2013

The proposal as modified has been assessed against the following relevant sections of NSDCP 2013

- *Part B Section 2 Commercial and Mixed Use Development,*
- *Part B Section 10 Car parking and Transport,*
- *Part C Section 3.0 Area Character Statement –St Leonards / Crows Nest Planning Area and Section 3.2 Crows Nest Town Centre Area),*

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 2- Commercial and Mixed Use Development		
	Complies	Comments
2.2 Function		
Diversity of Activities	Yes	The development will retain a mix of uses. The application proposes commercial tenancies on the ground floor and residential use for all the remaining above ground space consistent with the provisions in Section 2.2.1 in NSDCP 2013. Outdoor communal facilities are maintained for the residents within the building and the proposal provides for an public domain at the ground level for further social interaction opportunities.
Maximise Use of Public Transport	Yes	The site is located in close proximity to St Leonards Train Station and other bus routes. Additionally, the site will be in close proximity to the new train station for Crows Nest.
Mixed Residential Population	Yes	The development remains acceptable with regard to promotion of a mixed residential population with examples of 1, 2 and 3 bedroom apartments within the amended scheme.
2.3 Environmental Criteria		
Clean Air	Yes	The development incorporates a suite of energy efficient measures as required by the associated (amended) BASIX certificate. Lightwells have been utilized to bring natural solar access and ventilation to the inner portion of the built area and lift shaft access to minimise energy consumption and local air pollution generation. Car parking provision will generally comply with Section 10 DCP2013. The provision of a ground floor commercial tenancy may permit future food and drink premises when implications arise for managing clear air via mechanical system, however such matters would be addressed under separate applications.
Noise	Yes (condition)	The development is conditioned to ensure plant and or air-conditioning units to not give rise to any unacceptable acoustic impact to any adjoining premises.

		<p>Additionally, use of the commercial tenancy will be subject to a future development application which can reconsider any potential noise impacts at that time.</p> <p>The rooftop terrace is setback from the rooftop edge and also uses masonry planters to provide for further noise attenuation. The development is acceptable in this regard.</p>
Reflectivity	Yes (condition)	<p>Generally, facades of this development are not dominated by glass materials or the glass is appropriately shaded or recessed to ensure low reflectivity.</p> <p>A condition of consent is imposed to ensure any reflectivity of building materials is minimized.</p>
Wind Speed	Yes	The development will not result in adverse pedestrian comfort when walking along Alexander Street. A wind report is not required for a building less than 33 metres in height.
Artificial Illumination	Yes (condition)	A condition is imposed upon the consent to restrict the use and lighting of the common terrace after 11pm.
Awnings	Yes	<p>The development as approved and amended includes an awning to Alexander Street. Awning exceeds 2 metres wide and the height of the awning at its minimum is 3.2 metres.</p> <p>Pursuant to control P3 to match awnings on adjoining sites, the adjoining buildings are not recently developed so this subject site will set the benchmark for new awnings for this side of Alexander Street in the immediate locality.</p>
Solar Access	Yes	<p>The adjoining building to the south is currently a single storey commercial building built over the entirety of the site. Beyond some late afternoon shadowing to dwellings across Alexander Lane in the late afternoon there is no other impact to any other residential premises. Generally, the affected dwelling will receive adequate solar access throughout the day.</p> <p>Internal solar access is considered to be well resolved with the majority of apartments being dual aspect to the roadway frontage and internal light wells. The development is acceptable in this regard.</p>
Views	Yes	<p>The development will not result in any unanticipated impact with regard to views. Views from adjoining undeveloped buildings are principally views to the sky or some possible views to the east or west.</p> <p>The adjoining buildings, once developed to the height potential will be afforded the same view line outlook opportunities. Accordingly, the development is acceptable in this regard.</p>
Acoustic Privacy	Yes	<p>The design and layout results in appropriate acoustic separation between dwellings and uses.</p> <p>Conditions are imposed to ensure noise levels from plant is designed and operates within acceptable levels as to not interfere with residential amenity.</p>

Visual Privacy	Yes	<p>Northern Elevation – the sites northern boundary shares a common wall with 55 Alexander Street, Crows Nest. Currently on site is a single storey commercial building however development prospects for this site are the same as the subject site and any new mixed use building will be required to orientate to the north east and west. Accordingly, there are no privacy concerns in this regard.</p> <p>Western Elevation – Separation across Alexander Street to is between 6-8 metres and directly orientated to the new Woolworths with associated car park development. This development has no residential component so the new units to Alexander Street will not raise concern with regard to Visual privacy.</p> <p>Southern Elevation – As per the northern elevation discussion the sites southern boundary shares a common boundary with 49 Alexander Street. The building is currently wholly commercial but has the same development prospects as the subject site. Any new development would be required to orientate to the east and west and accordingly will not give rise to privacy concerns.</p> <p>Eastern Elevation – Across Alexander Lane is R2 zoned land which accommodates medium density terraces or detached dwellings. There is potential for overlooking from the eastern orientated apartments however the design as modified has proposed tinted non see through balustrading to the balconies, angled privacy louvers (orientated north east) combined with the mandatory 1.2 metres (1.5 metres provided) laneway setback and separation across Alexander Laneway is considered to be adequate measures to preserve privacy in the circumstances.</p>
2.4 Quality built form		
Context	Yes	The proposed development is considered to be contextually appropriate based upon the controls applicable to the site and future desired character of the locality.
Site Consolidation	N/A	The site is a singular allotment. The subject site can be redeveloped appropriately in accordance with these controls without the need to further consolidate the site with any adjoining sites. Additionally, adjoining sites are of similar size and also capable of redevelopment in accordance with these controls and not subject to any site isolation issues.
Setbacks	Yes	<p>The western elevation (Alexander Street) is proposed to be nil setback in accordance with the controls (Part B Commercial and Mixed Use Development and Area Character Controls).</p> <p>The nil setback to the northern and southern side setback is proposed in accordance with the controls.</p>
Setback - Rear	Yes	A 1.5m Laneway setback to Alexander Lane is provided.
Podiums	N/A	The development has an insufficient height limit and hence number of storey's to allow for a podium.
Building Design	Yes	Floor to ceiling heights for the ground floor commercial component of the development are proposed 3.5 m and comply with the minimum required 3.3 metres.

		The building design <i>as amended</i> has been assessed as acceptable. A lighter materials colour palette has been proposed in response to the DEP concerns. Materials are generally of high quality and varied to provide additional articulation to the building. The balconies are generally incorporated into the design. The development is acceptable in this regard.
Skyline	Yes	The proposal will present an acceptable skyline appearance. The rooftop outdoor space is setback from the podium edges.
Balconies - Apartments	Yes	Each apartment is provided with a balcony which will provide adequate amenity to its occupants. Balconies meet the minimum requirements in terms of areas and depths.
Streetscape	Yes	The proposal is generally acceptable with regard to Streetscape presentation. The commercial component is built to the western boundary with the entrance door marginally setback (200 mm) to provide articulation. The residential entry lobby is recessed further to create privacy from the commercial for residents entering the premises from Alexander Street and provides for intercom and mailboxes.
Entrances and Exits	Yes	The residential entry is articulated as identifiable from Alexander Street. The ground floor tenancy is accessible at grade from the street and the development also benefits from having lift access.
2.5 Quality Urban Environment		
Accessibility	Yes	Lift and level access is provided to all dwellings and tenancies. A condition is imposed to require all relevant BCA provisions be complied with.
Safety and Security	Yes	The development is generally acceptable with regard to safety and security concerns. The main entries are separated or have controlled access.
Illumination	Yes (condition)	Under awning lighting should comply with all relevant controls and can be conditioned accordingly. No general building illumination is proposed.
High Quality Residential Accommodation	Yes	The design as amended provide revised apartment sizes in compliance with the ADGs and includes apartments with secondary terraces for further outdoor amenity and solar access. The revised apartment layouts are acceptable in the circumstances in reaching a balance of unit amenity and site constraints. Additionally, the building will benefit from having the revised communal rooftop outdoor space. All apartments have a balcony of at least 8 sqm. Lift access is proposed to each residential level and the rooftop communal area. Habitable rooms will each have a depth no greater than 10m from a window within any apartment. 83% of apartments will be provided with cross ventilation and complies with the minimum 60%. All apartments will have a minimum width of 4m.
Lightwells and Ventilation	Yes	All apartments within the scheme benefit from primary exposure from either of the two primary street elevations either Alexander Street or Laneway.

		Light wells within the centre of the built form enhance this exposure for the units to allow for improved cross ventilation and ambient solar access. No apartment is however, reliant on the lightwells to meet amenity performance criteria.
Private Open Space	Yes	Balcony provision has been discussed within this report however all apartment benefit from a balcony of at least 8 m ² and all of the 2 and three bedroom apartments have a minimum 10 m ² balcony. A common area is provided within the building and a further common space on the roof is considered to be valued communal asset for future occupants.
Vehicular Access	Yes	The revised vehicular access to Alexander Lane is considered to be acceptable. An at grade loading space is provided for a small rigid truck. This is considered suitable to service the singular commercial tenancy proposed in the building.
Car Parking B4 Mixed Use zone Flat or Shop top housing rates Studio/1br = 0.5 / dw 2br or more = 1 / dw Motorcycle = 1 space / 10 spaces Non resi = 1 space / 60 m²	Yes	Maximum parking is calculated as per Section 10 Car Parking and Transport DCP 2013 requirements as $(0.5 \times 2 + 1 \times 4 + 151 / 60) = 7.51$. The application seeks to retain the approved 5 car parking spaces in the modified basement with at grade space provided off the rear lane for the service vehicle for commercial parking and loading This total provision is considered to be adequate in the circumstances. The site enjoys good access to public transport with numerous bus services available, reasonable access to St Leonards Train station and ample parking available in the refurbished Alexander Street car parking in the new Woolworths development Bicycle parking complies with Council's controls. There are no specific motorcycle spaces designated on the plans however ample space exists around the designated car spaces for motorcycle spaces.
Garbage Storage	Yes	Adequate garbage facilities are provided including separate room for the residential component of the building and separate room for the commercial component.
Site Facilities	Yes	Adequate storage is provided for each apartment with ancillary storage available within the basement level.
2.6 Efficient Use of Resources		
Energy Efficiency	Yes	An amended BASIX Certificate has been provided in relation to the development and proposes a suite of energy efficient features such as, water saving fixtures, energy efficient lighting and centralized plant. The development is accordingly acceptable in this regard.
Stormwater Management	Yes	The as imposed conditions will be retained on the approval.

Green Roofs	Yes	<p>An amended communal space has been proposed for the roof with ancillary surrounding plantings to enhance the amenity of the space. Accordingly, the development provides some of the benefits of a green roof. Additionally:</p> <ul style="list-style-type: none"> • The design will increase biodiversity by the use of plant material and satisfy Objective O5. • The design will improve the aesthetics and amenity of the urban environment and satisfy Objective O2. • The design will provide an accessible roof space providing increased amenity for the occupants and visitors.
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Relevant Planning Area (Part C Section 3.0 St Leonards / Crows Nest Planning Area - Section 3.2 Crows Nest Town Centre)

The development as modified has been assessed against the relevant controls in the DCP2013 with regards to the St Leonards / Crows Nest Planning Area. All controls have been considered within this report as acceptable. The proposal is considered to be consistent with the future desired character of the area.

CONTRIBUTIONS

Conditions we imposed upon the original consent in this regard and an amount was calculated at the time of approval as \$72,328.70 in Section 94 Contribution payments was required via condition of consent. Due to the amendments and change from Section 94 contributions to the new Contribution Plan, the contributions amounts have been recalculated. The recalculated amount is based on 2 x 1 br, 3 x 2 br, 1 x 3 br apartments, 151 m² of commercial space and credit for the previously existing 352m² of commercial (retail) space.

A total cost of works value of \$4.4 million was provided for the new cost of works. Based on these figures the 7.11 Contribution amount was the higher required amount. The recalculated amount of contributions required is as follows:

S7.11 Contributions	
Open space and recreation facilities	\$54,088.73
Public domain	\$17,931.84
Active transport	\$1,023.65
Community facilities	\$10,863.93
Plan administration and management	\$1,250.83
TOTAL	\$85,158.99

The relevant conditions will be updated as per the recommended conditions of consent to reflect the revised contribution amount.

APPLICABLE REGULATIONS

Clause 92(1)(b) of the EPA Regulation 2000 require that council take into consideration *Australian Standard AS 2601-1991: The Demolition of Structures*, as in force at 1 July 1993. As demolition is proposed, standard precautionary conditions are included in the conditions of the consent.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	Yes
6. Loading and Servicing facilities	Yes
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	Yes
9. All relevant 4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

SUBMITTERS CONCERNS

The following are issues raised (*in italics*) in the submissions received:

- *Our property and those immediate adjoining are characterised by small blocks with small back yards which, because of their confined locations, rely on afternoon westerly sun for sunlight and warmth.*

Planning Comment: The development as modified will only impact upon this property generally in the late afternoon with regard to solar access. The modifications would not result in any material increase in overshadowing and the solar access to the submitter's property would remain unaffected from morning through to mid afternoon. The development is acceptable this regard.

- *Concerns relating to privacy to the rear yards of properties to the east.*

Planning Comment: The laneway facing apartments are proposed to be fitted with tinted balustrade and angled privacy louvers to maintain privacy. Additionally, the laneway provides for additional separation. The development is acceptable with regard to privacy impact.

- **Development Creep, Bulk, Scale and Character of the development not suitable for the site and locality.**

Planning comment: Refer to the assessment within the report on Bulk, Scale, Streetscape, Built Form Character. The development as modified is considered to be substantially the same development and remain acceptable in the locality and suitable with regard to the context and desired future character of the site and locality.

CONCLUSION

The modified proposal has been assessed as acceptable as it has been designed to respond to the site's topography, context, desired future character as well as to minimise amenity impacts on neighbouring properties (particularly with regard to overshadowing and privacy). The breach to the development standards for Clause 4.3 *Building Height* and Clause 4.4A *Non residential Floor space ratio* are considered to be acceptable and variation to these standards can be supported due to the lack of impact arising from the departures (as detailed within this report).

The proposal is considered to be acceptable and consistent with the planning controls applicable to the site pursuant to both North Sydney LEP 2013 and DCP 2013. It is the conclusion of this report that the development will continue to provide a reasonable and satisfactory level of amenity to the subject and surrounding sites, with the statutory breaches being assessed and deemed acceptable in accordance with the principles established by the Land and Environment Court.

Consequently, the Section 4.55 application is considered to be reasonable in the circumstances and it is recommended for **approval** subject to modification via condition

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Local Planning Panel, under the delegation of the General Manager as the consent authority, resolve to grant consent to Development Application No. 473/15/2 to modify DA473/15 for demolition of existing building and construction of a three storey mixed use building comprising commercial; 6 apartments and basement parking for 5 cars at 51 Alexander Street, Crows Nest to modification to the following conditions:-

1. **To insert Conditions A4, as follows:-**

Development in Accordance with Plans (S.4.55 Modifications)

- A1. The development being carried out in accordance with plans identified in Condition A1 of the consent and endorsed with Council's approval stamp, except as modified by the modifications shown in colour on:

Plan No.	Issue	Title	Dated	Drawn by	Received
DA100	A	Basement + Lower Ground	28/06/2021	GCCV PTY LTD	29/06/2021
DA101	A	Ground Level	28/06/2021	GCCV PTY LTD	29/06/2021
DA102	A	Residential Level 1	28/06/2021	GCCV PTY LTD	29/06/2021
DA103	B	Residential Level 2	10/11/2021	GCCV PTY LTD	22/11/2021
DA104	C	Roof Plan	12/11/2021	GCCV PTY LTD	22/11/2021
DA105	B	Top of building Plan (Lift Overrun)	10/11/2021	GCCV PTY LTD	22/11/2021
DA200	B	Elevations – Material Selection	12/11/2021	GCCV PTY LTD	22/11/2021
DA201	B	Elevations – Material Selection	12/11/2021	GCCV PTY LTD	22/11/2021
DA202	B	Elevation – east and west	12/11/2021	GCCV PTY LTD	22/11/2021
DA203	B	Elevation – north	12/11/2021	GCCV PTY LTD	22/11/2021
DA204	B	Elevation – south	12/11/2021	GCCV PTY LTD	22/11/2021
DA300	C	Section - AA	12/11/2021	GCCV PTY LTD	22/11/2021
DA301	B	Section – BB & CC	12/11/2021	GCCV PTY LTD	22/11/2021
15-3121 LO1	D	Landscape Plan	17/11/2021	Zenith Landscape Design	22/11/2021

except as amended by the following conditions and this consent.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

2. To modify Conditions C37, C40 as follows:-

Section 7.11 Development Contributions

C37 A monetary contribution pursuant to the provisions of Section 7.11 of the Environmental Planning and Assessment Act 1979, in accordance with the North Sydney Council's Contribution Plan for the public amenities/ services detailed in column A below and, for the amount detailed in column B below, must be paid to Council.

S7.11 Contributions

Open space and recreation facilities	\$54,088.73
Public domain	\$17,931.84
Active transport	\$1,023.65
Community facilities	\$10,863.93
Plan administration and management	\$1,250.83
TOTAL	\$85,158.99

Indexation

The monetary contribution required under this consent will be indexed at the time of payment in accordance with quarterly movements in the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Bureau of Statistics.

Timing of payment

The contribution must be paid to Council prior to issue of any Construction Certificate.

Deferred payments will not be accepted.

A copy of the North Sydney Contribution Plan can be viewed at North Sydney Council's Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council's website at www.northsydney.nsw.gov.au

(Reason: To provide for local infrastructure identified in the North Sydney Council Local Contributions Plan 2020)

BASIX Certificate

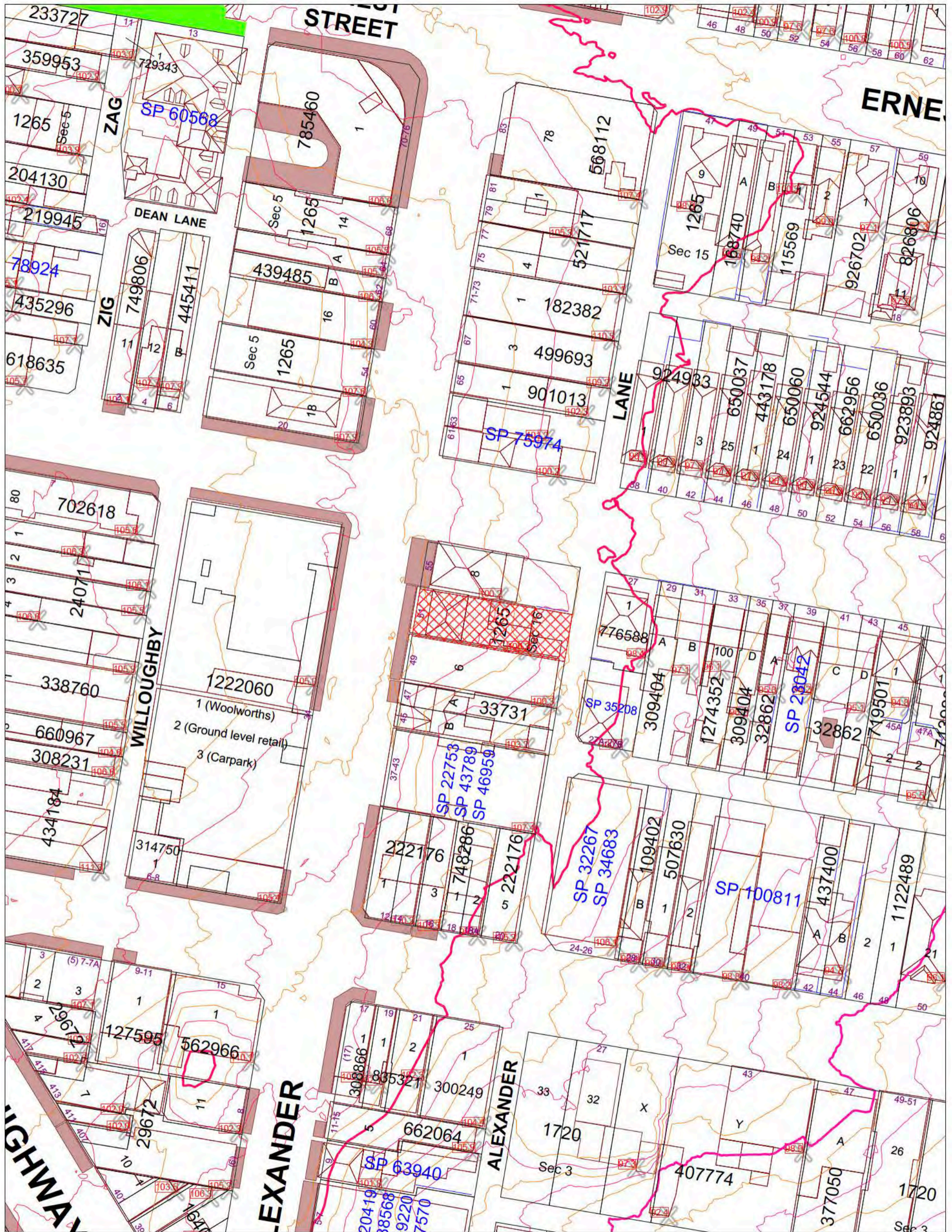
C40. Under clause 97A(3) of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. **(680696M_02)** for the development are fulfilled. Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

KIM ROTHE
SENIOR ASSESSMENT OFFICER

DAVID HOY
TEAM LEADER ASSESSMENTS

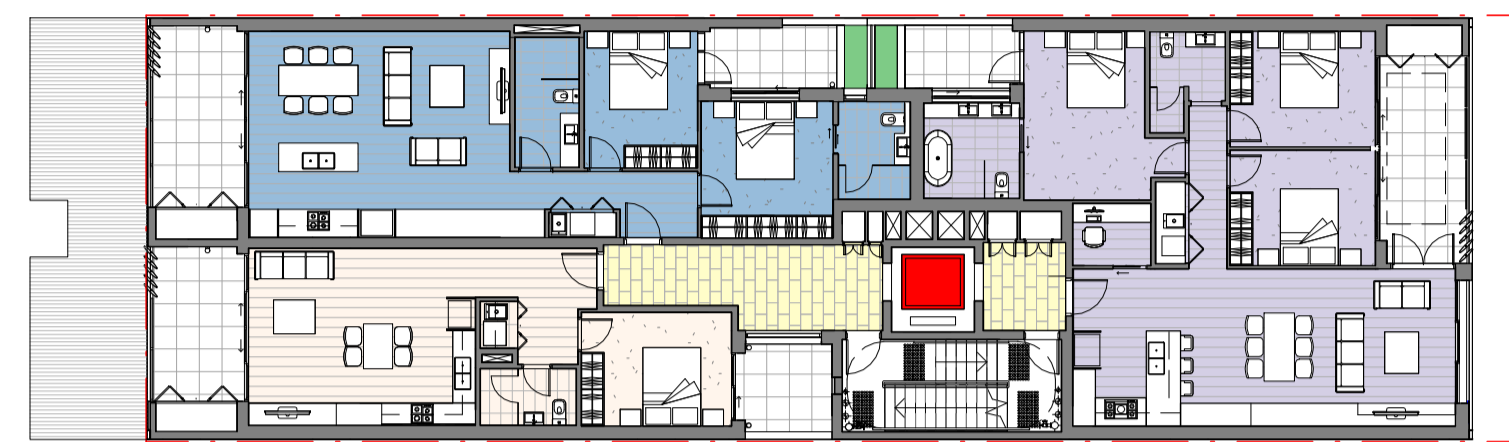
STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES



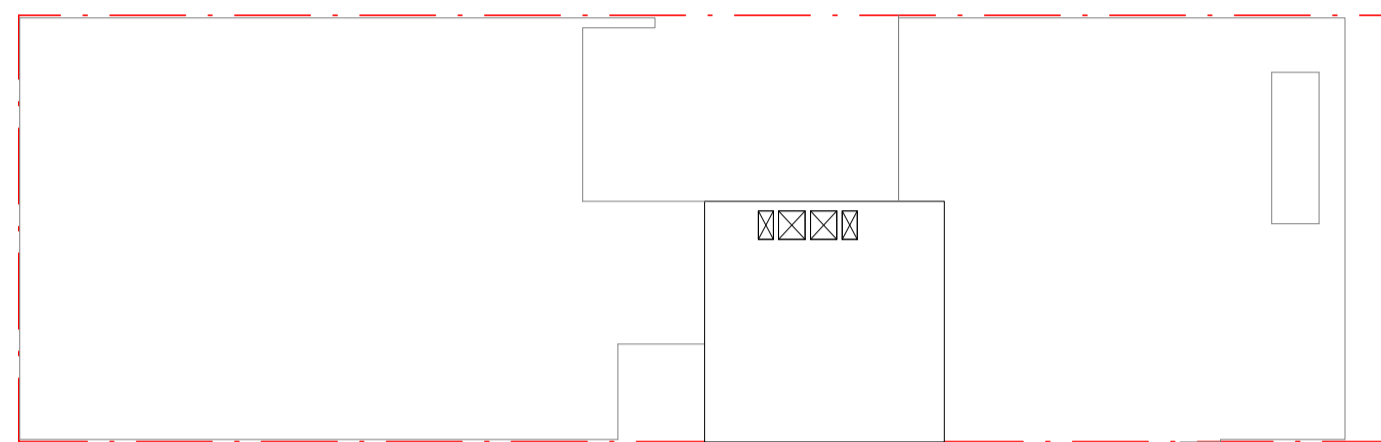
North Sydney Council

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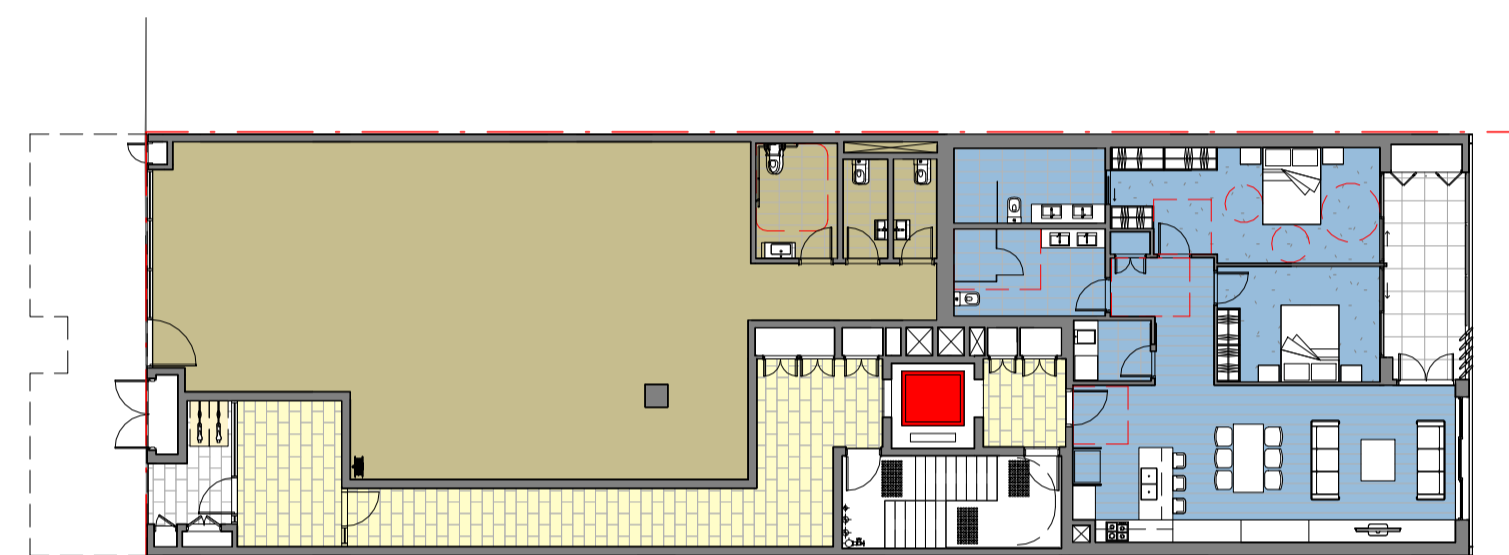
Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.



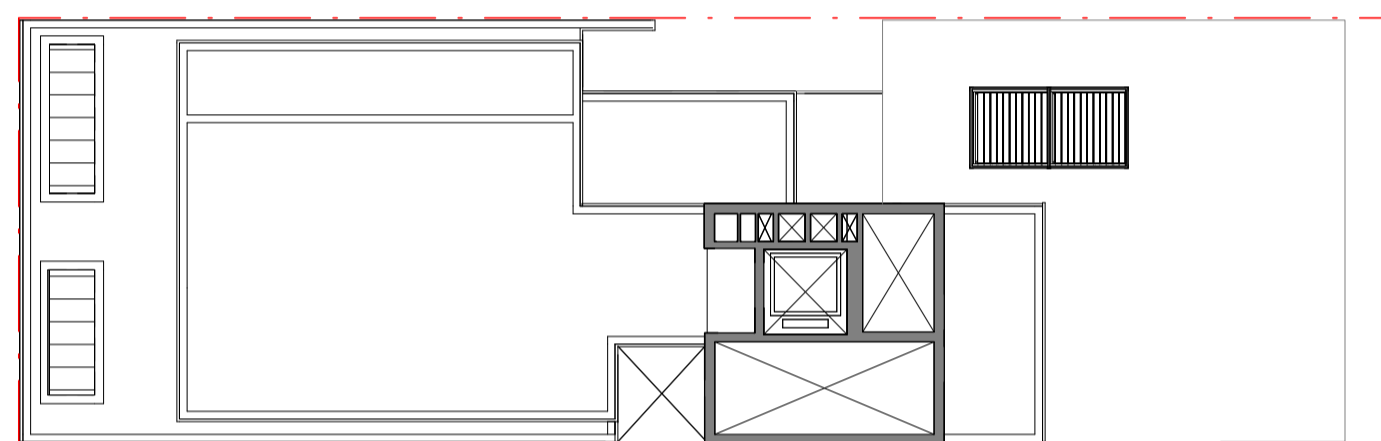
PROPOSED RESIDENTIAL LEVEL 1



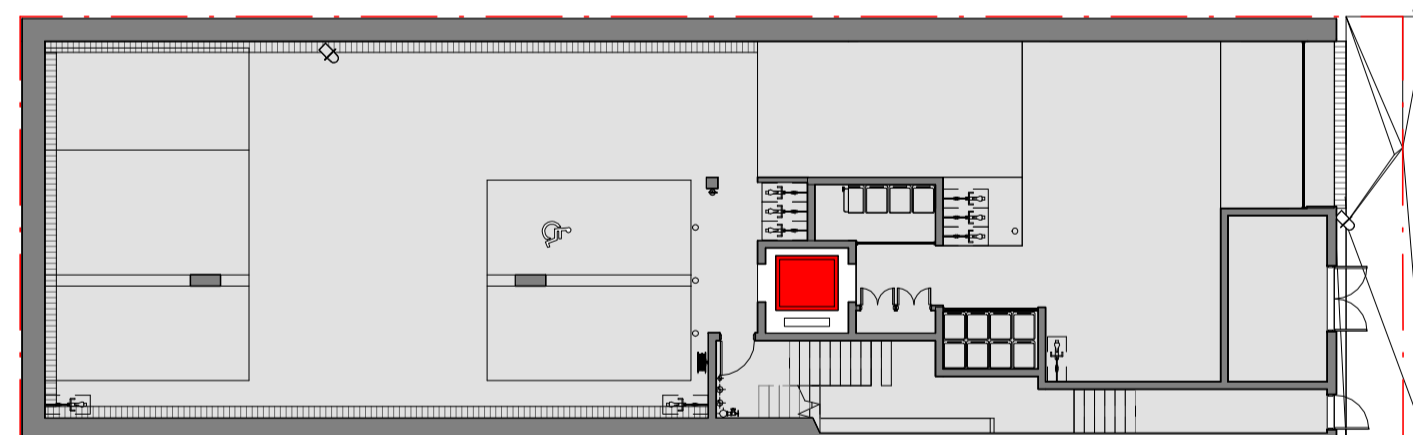
PROPOSED TOP OF BUILDING PLAN



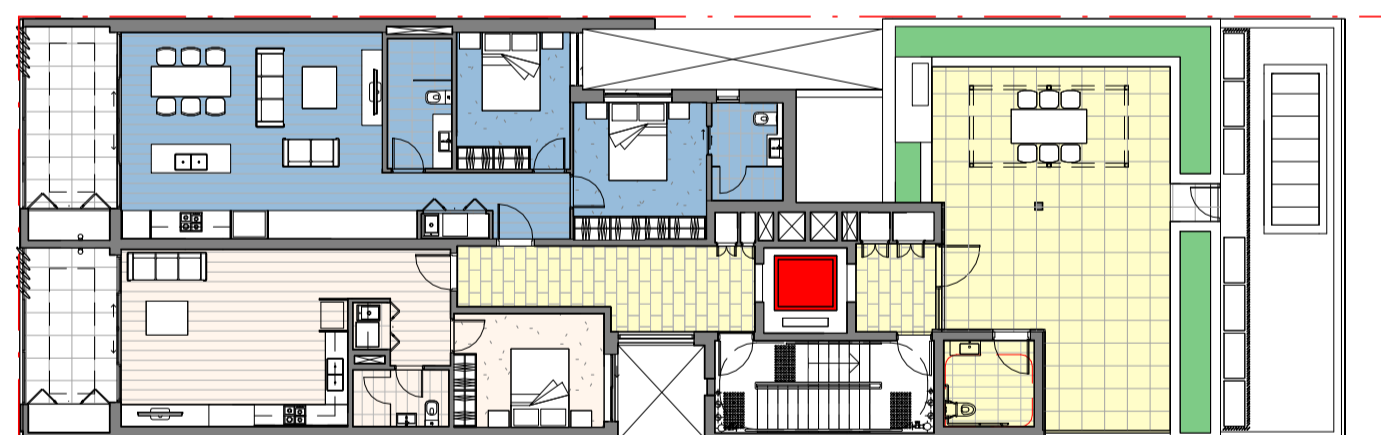
PROPOSED GROUND LEVEL



PROPOSED S4.55 ROOF



PROPOSED BASEMENT & LOWER GROUND



PROPOSED RESIDENTIAL LEVEL 2

PROJECT SUMMARY

ADDRESS	51 Alexander Street, Crows Nest, NSW 2065
SITE AREA	412.3sqm
PROPOSED ZONE	B4 Mixed Use
MAX. BUILDING HEIGHT	10m
APPROVED DA BUILDING HEIGHT	12.8m
APPROVED HEIGHT VARIANCE	2.8m
PROPOSED S4.55 BUILDING HEIGHT	13.45m
PROPOSED S4.55 HEIGHT VARIANCE	0.65m (Lift Overrun Only)
NON RESIDENTIAL FSR	0.5:1 (206.15m ²)
(NON RESIDENTIAL AREA) PROPOSED S4.55	151m ²

UNIT MIX + SIZE

LEVEL	UNIT TYPE	APPROVED DA UNIT NUMBER	PROPOSED S4.55 UNIT NUMBER	APPROVED DA AREA	PROPOSED S4.55 AREA
GROUND	2B2B	3 & 4	1	45.17m ² & 43.48m ²	106.8m ²
	2B2B	2	2	87.04m ²	82.9m ²
LEVEL 1	1B1B	1	3	50.16m ²	53.8m ²
	3B2B	7	4	95.58m ²	104.9m ²
	2B2B	6	5	87.04m ²	82.9m ²
LEVEL 2	2B2B	6	5	87.04m ²	82.9m ²
	1B1B	5	6	50.16m ²	53.8m ²
TOTAL				458.63m²	485.1m²

COMMUNAL AREA

	APPROVED DA	PROPOSED S4.55
EXTERNAL	64.02m ²	52m ²
INTERNAL	N/A	N/A
TOTAL	64.02m²	52m²
COMMUNAL % OF SITE	15.5%	12.6%

PARKING CALCULATION

UNIT TYPE	UNITS	PARKING RATE	APPROVED DA	PROPOSED S4.55
STUDIO	0	0.25 per unit	0	0
1 BED	2	0.25 per unit	2	1
2+ BEDS	4	0.5 per unit	3	4
LOADING BAY			1	1
TOTAL			6	6

BIKE STORAGE CALCULATION

TYPE	PARKING RATE	APPROVED DA	PROPOSED S4.55
Residential	1 per dwelling	7	6
Visitor	1 per 10 dwelling	0	2
Retail	2+1/100m ² over 100m ² GFA	1	3
TOTAL		8	11

DISCLAIMER
DO NOT SCALE FROM DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARB NSW 7884 | VIC: 19871 (OLD 6415) | SA 3546
LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongoldis Family Trust

PROJECT DEVELOPMENT MANAGER
WILLOW FRANK
SUITE 703, LEVEL 7, 161 WALKER STREET
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(T) 02 8319 2960

PLANNING
CITY PLAN
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(T) 02 8270 3500

STRUCTURAL / CIVIL / STORMWATER
JSBC CONSULTING
75 JUSTIN STREET, LILYFIELD NSW 2040
(T) 02 9743 0220

MECHANICAL / HYDRAULIC / ELECTRICAL / FIRE SERVICES / VERTICAL TRANSPORT
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

BUILDING CERTIFIER / BCA
CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
(T) 02 1300 057 046

DDA
ABS ACCESSIBLE BUILDING SOLUTIONS
124 UPPER WASHINGTON DRIVE, BONNET BAY, NSW 2226
(M) 0415 255 163

LANDSCAPE
ZENITH LANDSCAPE DESIGNS
19 ARLAUEN PLACE, SUTHERLAND NSW 2232
(T) 02 9545 5200

SURVEYOR
COOPER & RICHARDS
45 CURBAR AVENUE, KIRRAWEE NSW 2232
(T) 02 9521 5622

ACOUSTIC
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

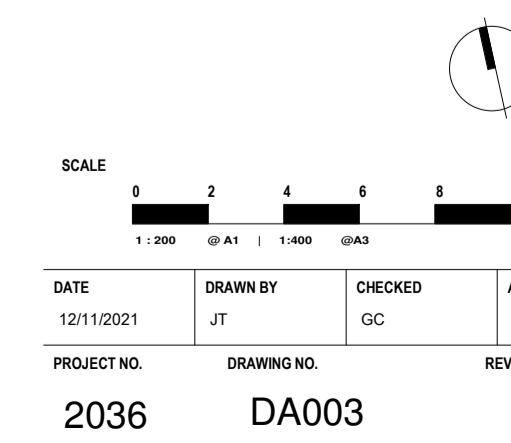
PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
DEVELOPMENT DATA SUMMARY

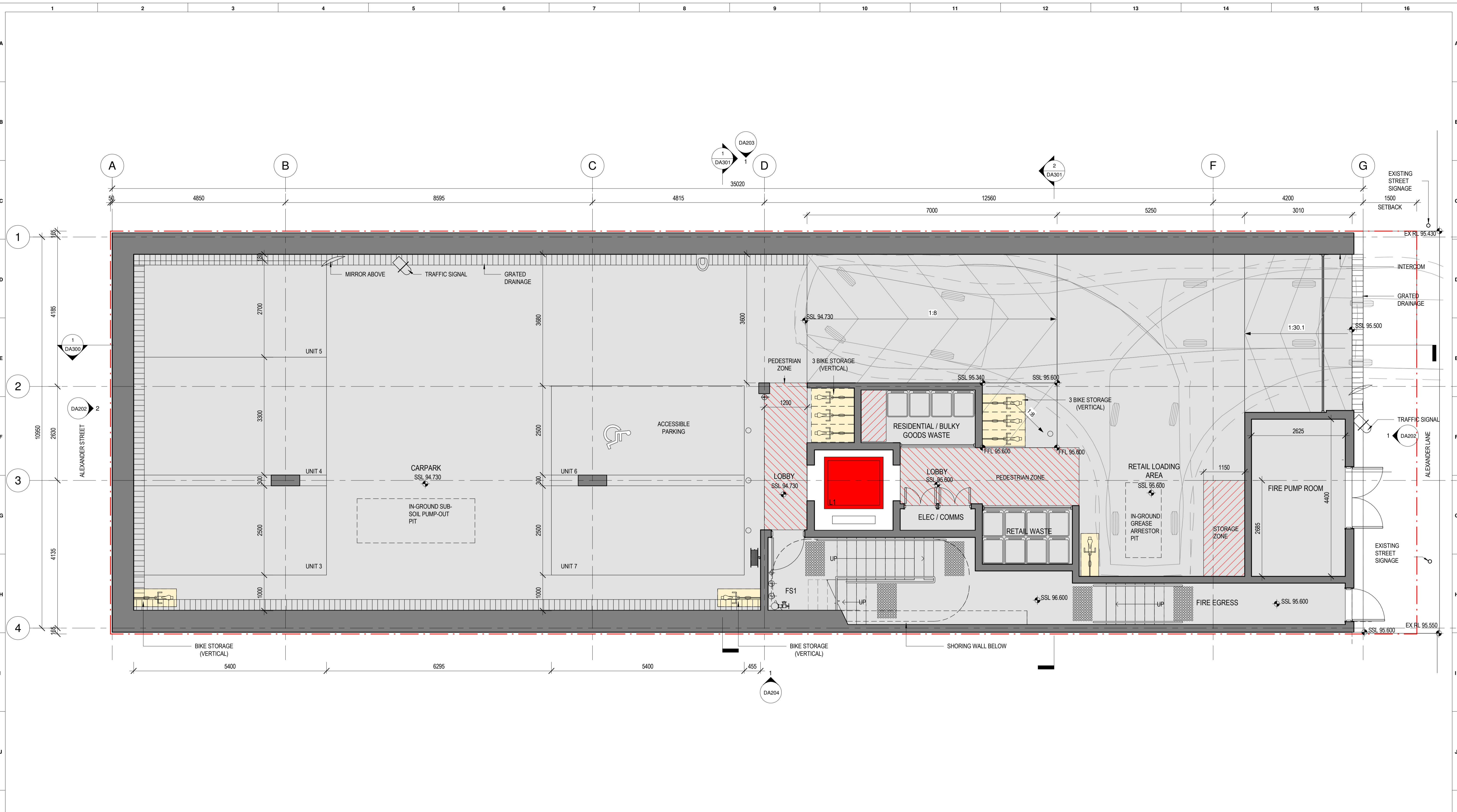
STATUS
S4.55 SUBMISSION

DATE 12/11/2021
DRAWN BY JT
CHECKED GC
APPROVED

PROJECT NO. 2036
DRAWING NO. DA003
REVISION B



PROJECT NAME: 181/203/2020 - Alexander Street Crows Nest 21110 - Alexander Street Crows Nest 181



1 BASEMENT + LOWER GROUND
1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARBN NSW 7884 | VIC: 19871 | QLD: 6415 | SA: 3546
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CLIENT
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ATF The Gongoldis Family Trust

PROJECT DEVELOPMENT MANAGER
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PLANNING
CITY PLAN
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(T) 02 8270 3500

STRUCTURAL (CIVIL), STORMWATER
JSBC CONSULTING
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(T) 02 9743 0220

MECHANICAL | HYDRAULIC | ELECTRICAL | FIRE SERVICES | VERTICAL TRANSPORT
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

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PO BOX 2035, TAREN POINT NSW, AUSTRALIA
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(T) 02 8203 5447

TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

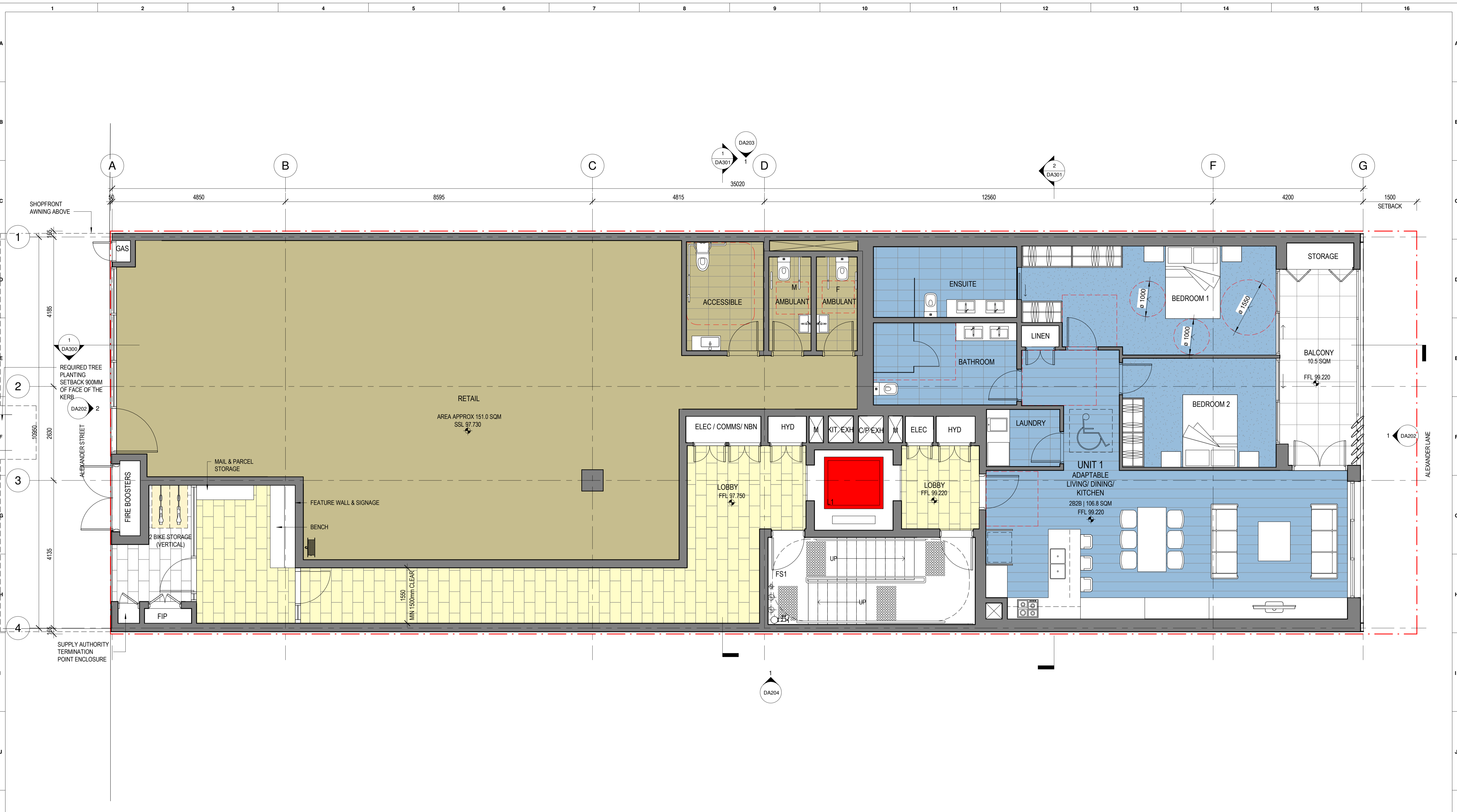
DRAWING TITLE
BASEMENT + LOWER GROUND

STATUS
S4.55 SUBMISSION

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DATE	DRAWN BY	CHECKED	APPROVED
28/06/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA100	A



GROUND LEVEL
1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
AR/NSW 7884 | VIC: 19871 | QLD: 6415 | SA: 3546
LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
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ATF The Gongoldis Family Trust

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CONCISE CERTIFICATION
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ADP CONSULTING
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TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

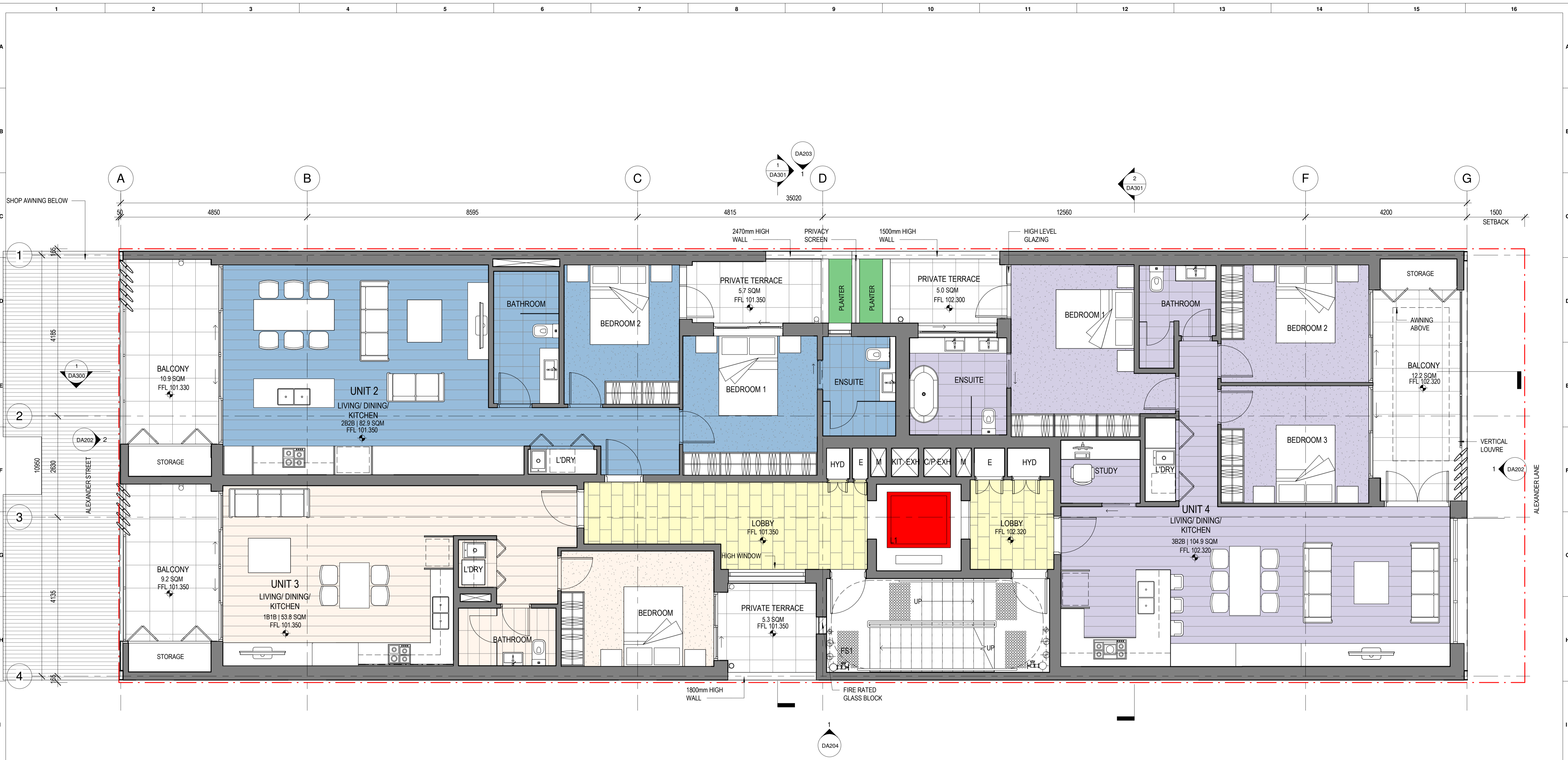
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GROUND LEVEL

STATUS
S4.55 SUBMISSION

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DATE 28/06/2021 **DRAWN BY** JT **CHECKED** GC **APPROVED**

PROJECT NO. 2036 **DRAWING NO.** DA101 **REVISION** A



1 RESIDENTIAL LEVEL 1
1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARND NSW 7084 | VIC 1987 | QLD 5415 | SA 3546
LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
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ATF The Gongoldis Family Trust

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CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
(T) 02 1300 057 046

DDA
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VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
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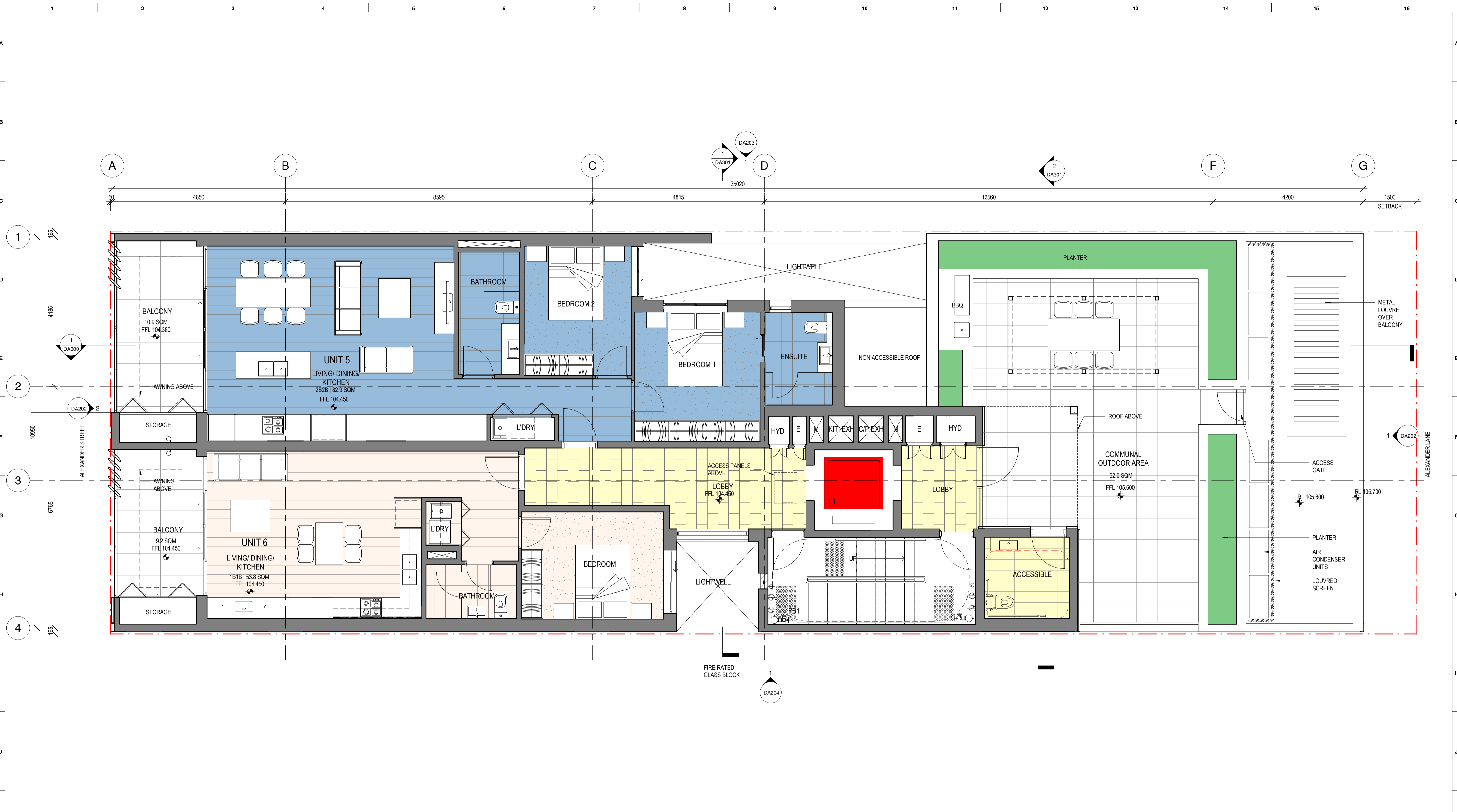
PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
RESIDENTIAL LEVEL 1

STATUS
S4.55 SUBMISSION

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DATE 28/06/2021	DRAWN BY JT	CHECKED GC	APPROVED
PROJECT NO. 2036	DRAWING NO. DA102	REVISION	A



RESIDENTIAL LEVEL 2
1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A	JT	ISSUED FOR S4.55	28/06/2021
B	JT	ISSUED FOR S4.55 DRAFT	10/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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CLIENT
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ATF The Gongolis Family Trust

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CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
(T) 02 1300 057 046

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ZENITH LANDSCAPE DESIGNS
19 ARAUJEN PLACE, SUTHERLAND NSW 2232
(T) 02 9545 5200

SURVEYOR
COOPER & RICHARDS
43 CURBARAVENUE, KIRRAWEE NSW 2232
(T) 02 9521 5622

ACOUSTIC
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

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VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

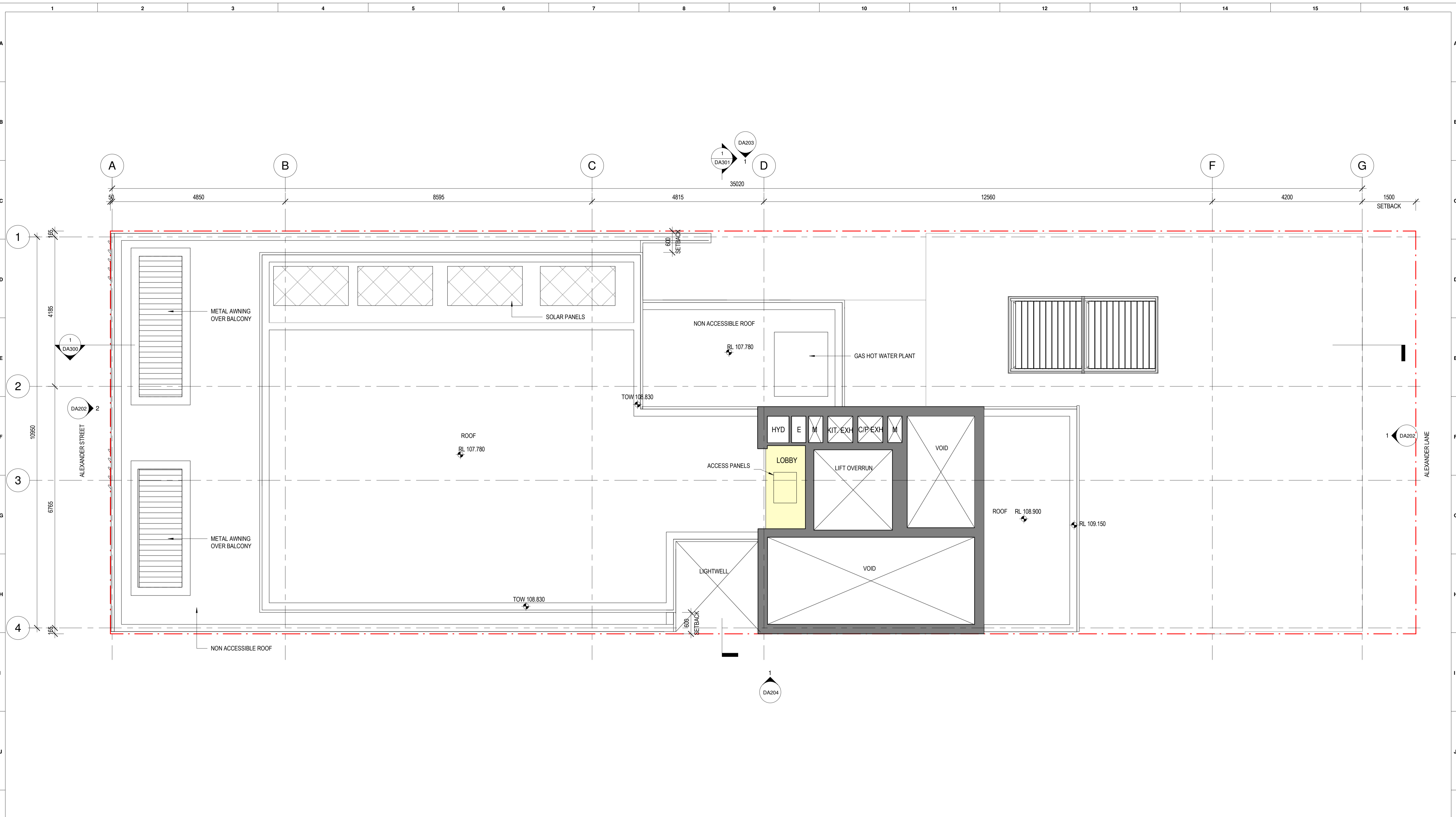
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RESIDENTIAL LEVEL 2

STATUS
S4.55 SUBMISSION

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DATE	DRAWN BY	CHECKED	APPROVED
10/11/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA103	B



1 ROOF PLAN
1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021
B	JT	ISSUED FOR S4.55 DRAFT	10/11/2021
C		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARB NSW 7884 | VIC 19871 | QLD 6415 | SA 3546
LEVEL 1, 202 PRY STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongoldis Family Trust

PROJECT DEVELOPMENT MANAGER
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PLANNING
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JSBC CONSULTING
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(T) 02 8203 5447

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(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
ROOF PLAN

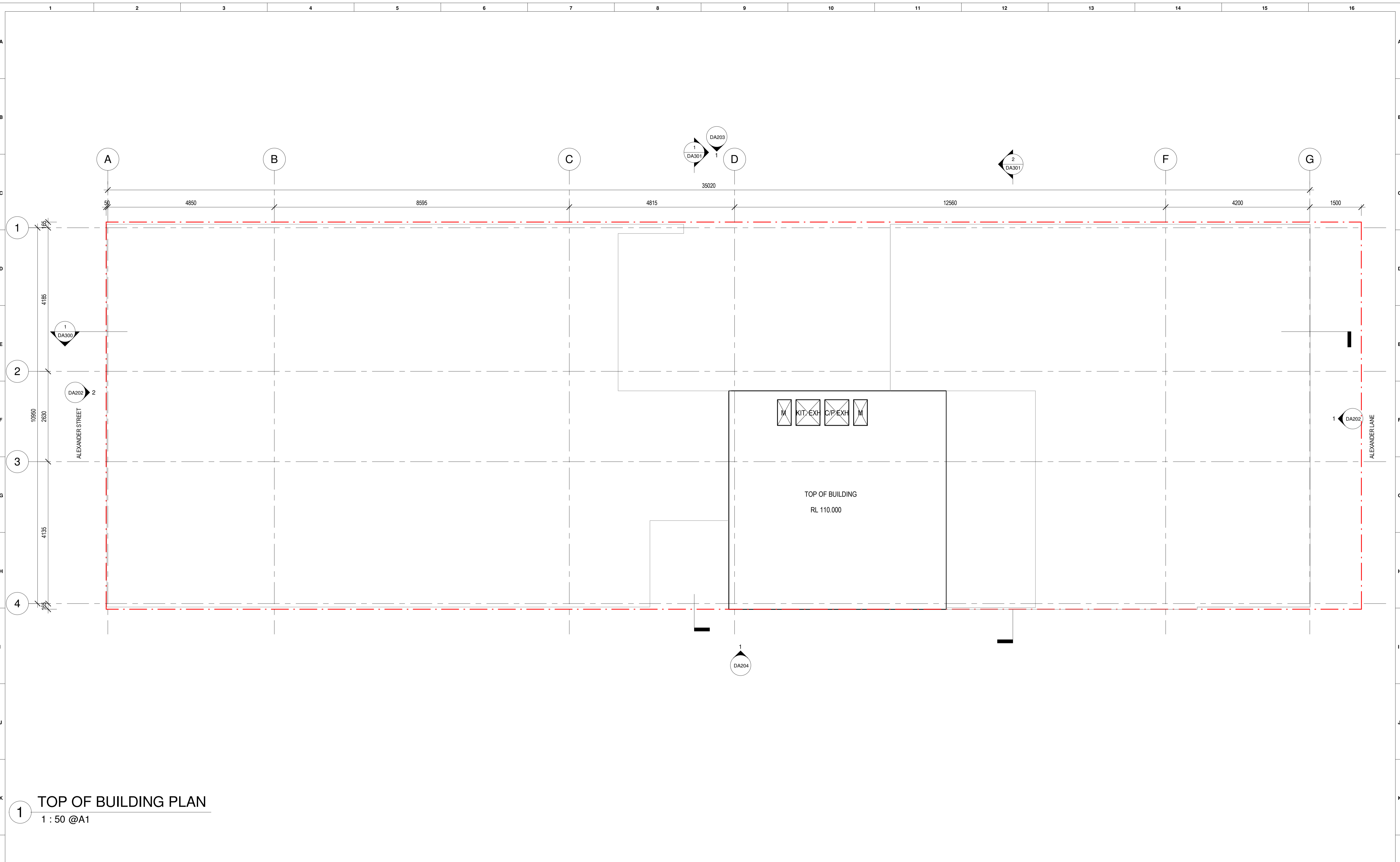
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S4.55 SUBMISSION

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1:50 @A1 1:1000 GMS

DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO. 2036
DRAWING NO. DA104
REVISION C

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1 TOP OF BUILDING PLAN
1 : 50 @A1

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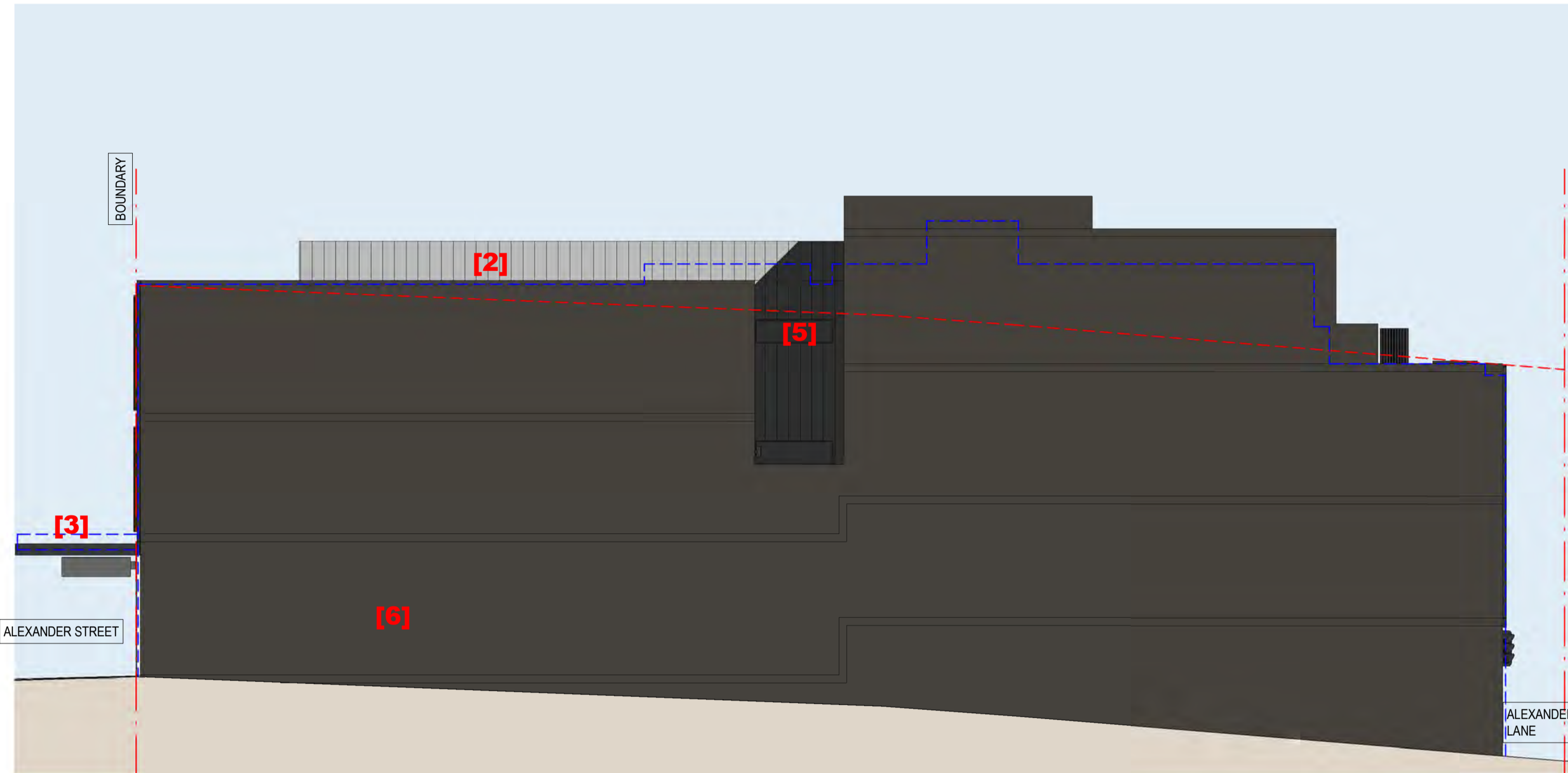
REV	BY	DESCRIPTION	DATE
A	JT	ISSUED FOR S4.55	28/06/2021
B	JT	ISSUED FOR S4.55 DRAFT	10/11/2021

<p>ARCHITECT GC CV GCCV PTY LTD ABN: 75 625 081 147 NOMINATED ARCHITECT: GRAND CHENG ARB NSW 7884 VIC 1987 QLD 5415 SA 3546 LEVEL 1, 262 PRY STREET, SYDNEY NSW 2000 (w) WWW.GCCV.COM.AU</p> <p>CLIENT D&T Investments (NSW) PTY LTD ATF The Gongoldis Family Trust</p> <p>PROJECT DEVELOPMENT MANAGER WILLOW FRANK SUITE 703, LEVEL 7, 161 WALKER STREET NORTH SYDNEY NSW 2060 (T) 02 8319 2960</p>	<p>PLANNING CITY PLAN Level 6, 120 Sussex St, Sydney NSW 2000 (T) 02 9270 3500</p> <p>STRUCTURAL (CIVIL), STORMWATER JSBC CONSULTING 75 JUSTIN STREET, LILYFIELD NSW 2040 (T) 02 9743 0220</p> <p>MECHANICAL (HYDRAULIC) ELECTRICAL FIRE SERVICES VERTICAL TRANSPORT ADP CONSULTING 3/8 SPRING STREET, SYDNEY NSW 2000 (T) 02 6203 5447</p>	<p>BUILDING CERTIFIER (BCA) CONCISE CERTIFICATION PO BOX 2035, TAREN POINT NSW, AUSTRALIA (T) 02 1300 057 046</p> <p>DDA ABS ACCESSIBLE BUILDING SOLUTIONS 124 UPPER WASHINGTON DRIVE, BONNET BAY, NSW 2226 (M) 0415 255 163</p> <p>LANDSCAPE ZENITH LANDSCAPE DESIGNS 19 ARALUEN PLACE, SUTHERLAND NSW 2232 (T) 02 9545 5200</p>	<p>SURVEYOR COOPER & RICHARDS 43 CURBARI AVENUE, KIRRAWEE NSW 2232 (T) 02 9521 5622</p> <p>ACOUSTIC ADP CONSULTING 3/8 SPRING STREET, SYDNEY NSW 2000 (T) 02 6203 5447</p> <p>TRAFFIC VARGA TRAFFIC PLANNING SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000 (T) 02 9683 6601</p>	<p>PROJECT Proposed Multi-Residential Development</p> <p>DRAWING TITLE TOP OF BUILDING PLAN</p> <p>STATUS S4.55 SUBMISSION</p>	<p>SCALE 0 0.5 1.0 1.5 2.0 2.5 1:50 @A1 1:1000 1:500</p> <table border="1"> <tr> <td>DATE 10/11/2021</td> <td>DRAWN BY JT</td> <td>CHECKED GC</td> <td>APPROVED</td> </tr> <tr> <td>PROJECT NO. 2036</td> <td>DRAWING NO. DA105</td> <td colspan="2">REVISION B</td> </tr> </table>	DATE 10/11/2021	DRAWN BY JT	CHECKED GC	APPROVED	PROJECT NO. 2036	DRAWING NO. DA105	REVISION B	
DATE 10/11/2021	DRAWN BY JT	CHECKED GC	APPROVED										
PROJECT NO. 2036	DRAWING NO. DA105	REVISION B											

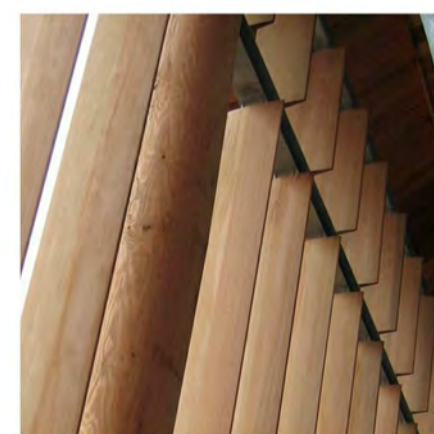
3881888454196 - B44/350/2020 - Alexander Street Corner Hill Street 115 - Alexander Street Cover/Deck V18.dwg



1 WEST(ALEXANDER STREET)
1 : 100 @ A1



2 SOUTH ELEVATION
1 : 100 @ A1



[1] TYPE: LOUVRE
MATERIAL: ALUMINIUM
COLOUR: TIMBER



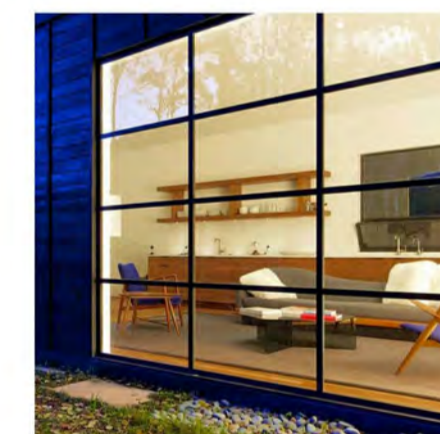
[2] TYPE: CLADDING
MATERIAL: STEEL
COLOUR: BASALT



[3] TYPE: WINDOW/ DOOR
FRAME & AWNING
MATERIAL: ALUMINIUM
COLOUR: BLACK



[4] TYPE: CLADDING
MATERIAL: BRICK
COLOUR: BROWN



[5] TYPE: GLAZING & BALUSTRADE
MATERIAL: GLASS
COLOUR: CLEAR



[6] TYPE: WALL FINISH
MATERIAL: RENDER
COLOUR: DARK BROWN

MATERIAL SELECTION

REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

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ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARB NSW 7984 | VIC 1987 | QLD 6415 | SA 3546
LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
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ATF THE GONGOLIDIS FAMILY TRUST

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STRUCTURAL | CIVIL | STORMWATER
JSBC CONSULTING
75 JUSTIN STREET, LILYFIELD NSW 2040
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MECHANICAL | HYDRAULIC | ELECTRICAL | FIRE SERVICES | VERTICAL TRANSPORT
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3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

BUILDING CERTIFIER | BCA
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PO BOX 2035, TAREN POINT NSW, AUSTRALIA
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(M) 0415 255 163

LANDSCAPE
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(T) 02 9545 5200

SURVEYOR
COOPER & RICHARDS
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(T) 02 9521 5622

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TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

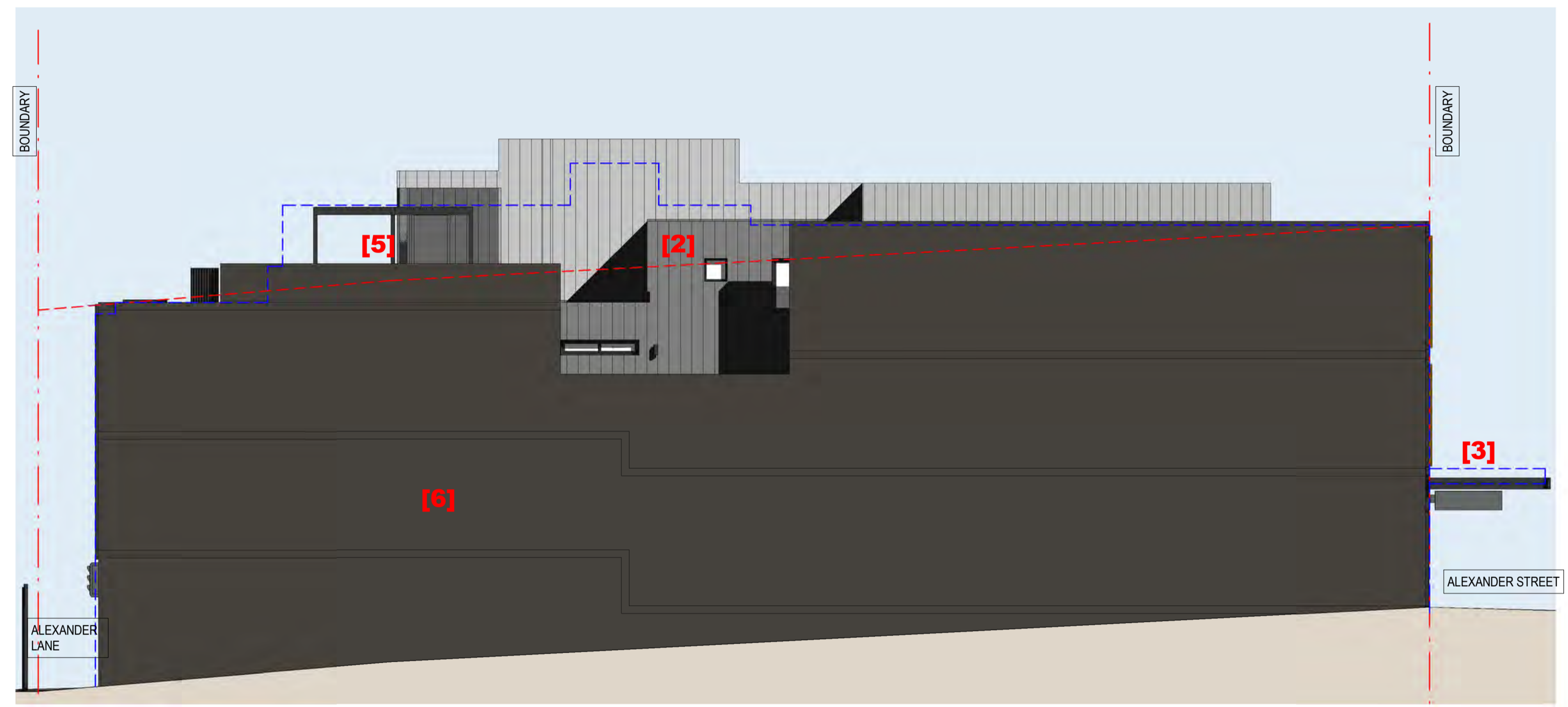
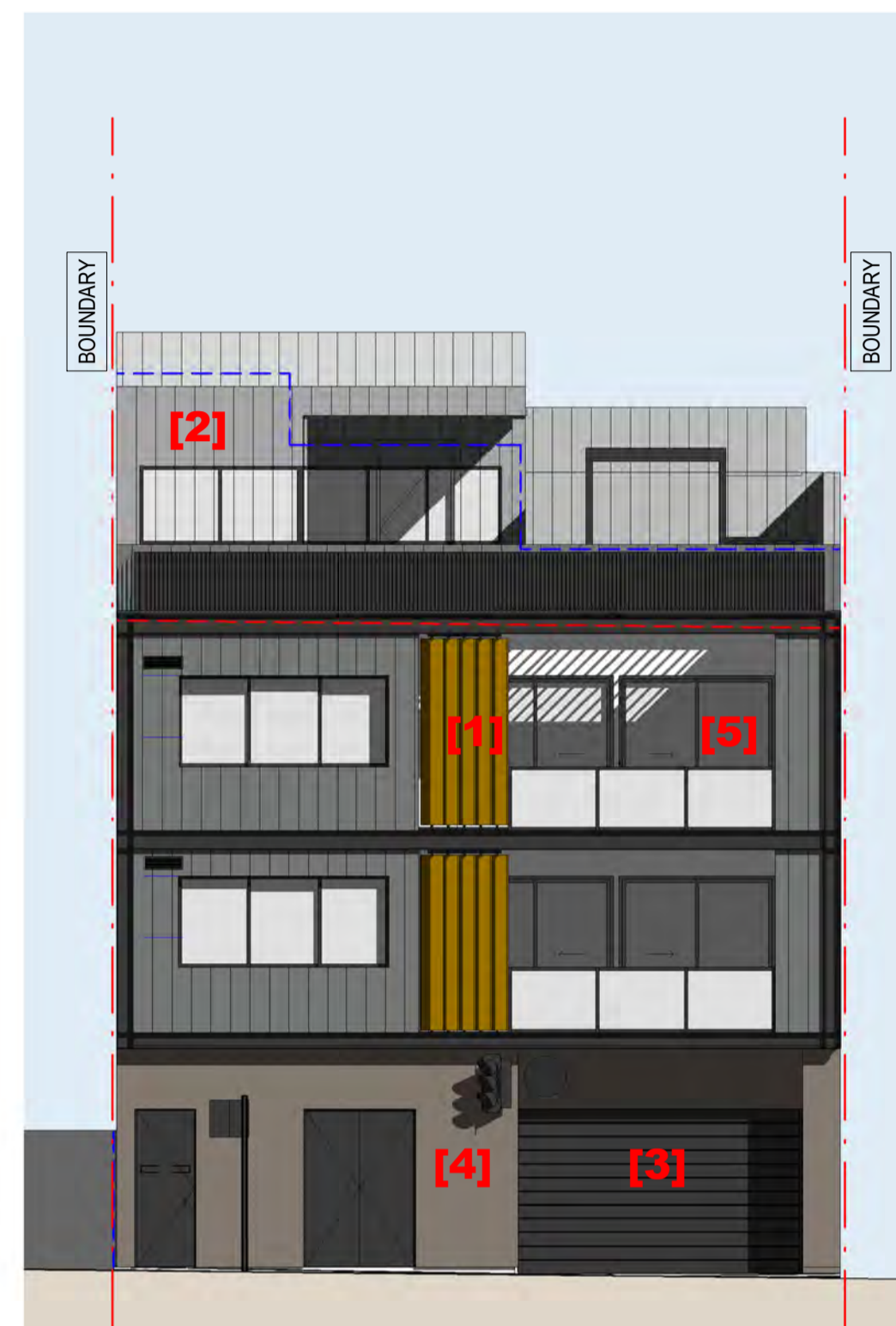
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ELEVATIONS - MATERIAL SELECTION

STATUS
S4.55 SUBMISSION

SCALE
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1 : 100 @ A1 | 1 : 5000 @ A3

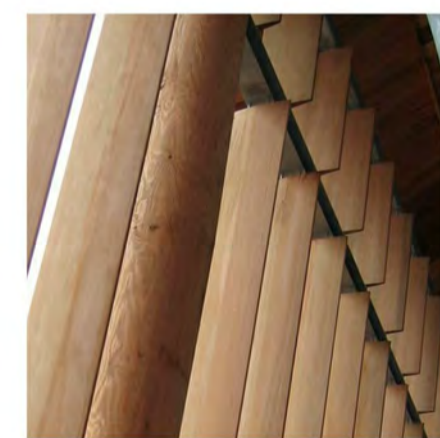
DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA200	B

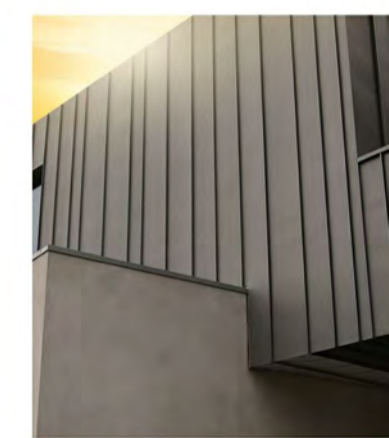


1 EAST (ALEXANDER LANE)
1 : 100 @ A1

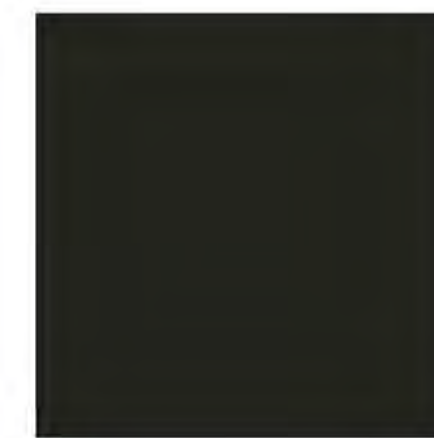
2 NORTH ELEVATION
1 : 100 @ A1



[1]
TYPE: LOUVRE
MATERIAL: ALUMINIUM
COLOUR: TIMBER



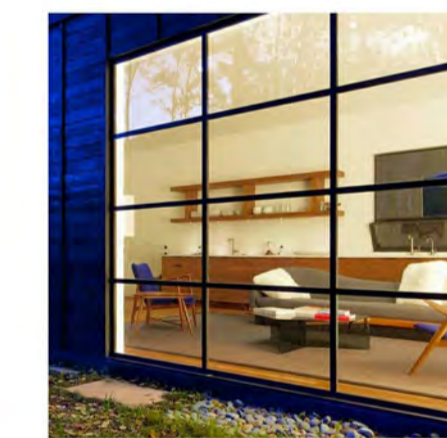
[2]
TYPE: CLADDING
MATERIAL: STEEL
COLOUR: BASALT



[3]
TYPE: WINDOW/ DOOR
FRAME & AWNING
MATERIAL: ALUMINIUM
COLOUR: BLACK



[4]
TYPE: CLADDING
MATERIAL: BRICK
COLOUR: BROWN



[5]
TYPE: GLAZING & BALUSTRADE
MATERIAL: GLASS
COLOUR: CLEAR



[6]
TYPE: WALL FINISH
MATERIAL: RENDER
COLOUR: DARK BROWN

MATERIAL SELECTION

DISCLAIMER
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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	29/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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(w) WWW.GCCV.COM.AU

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COOPER & RICHARDS
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(T) 02 9521 5622

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TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 8601

PROJECT
Proposed Multi-Residential Development

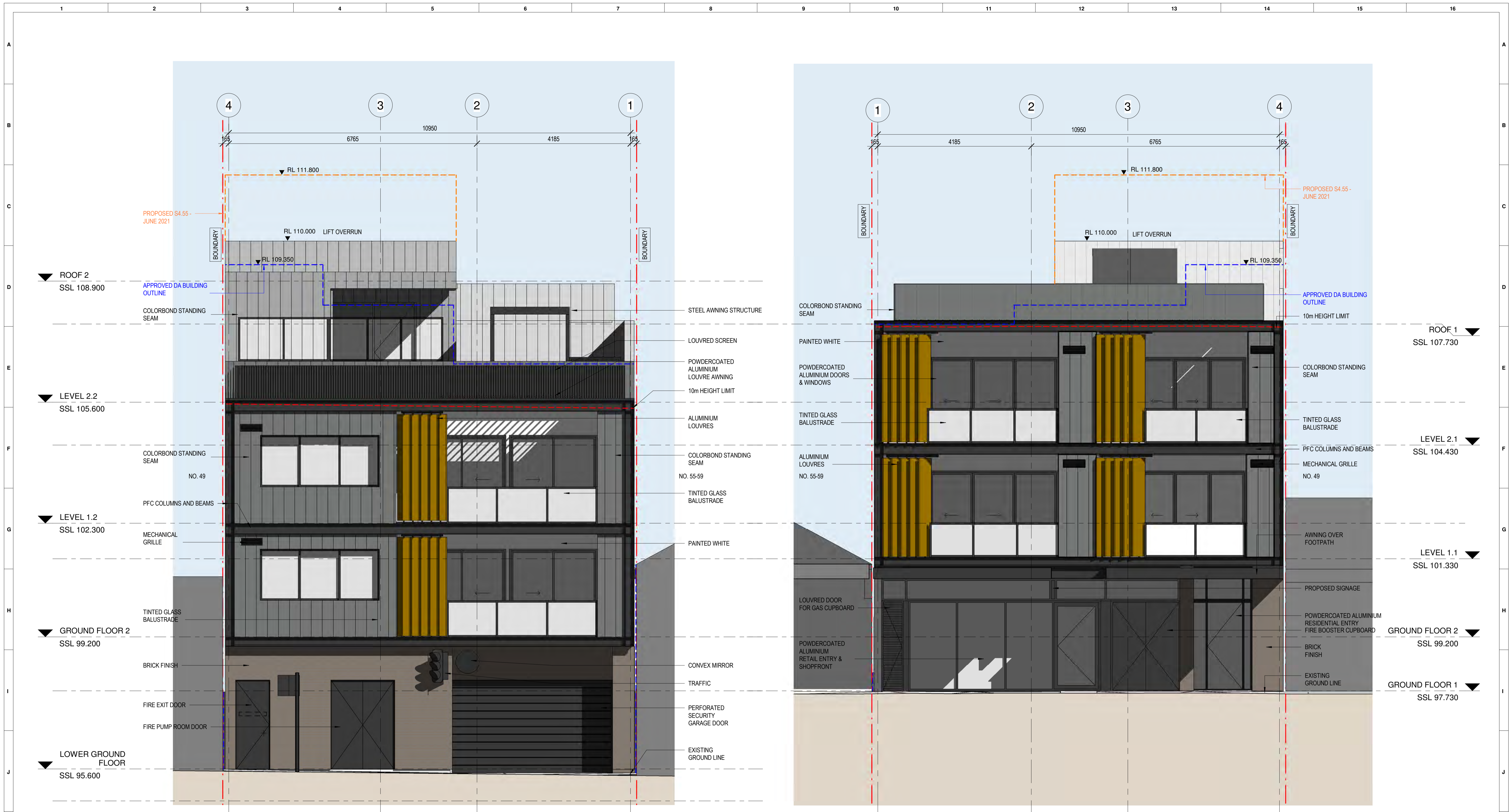
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ELEVATIONS - MATERIAL SELECTION

STATUS
S4.55 SUBMISSION

SCALE
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1:100 HP @ A1 | 1:5000 G/A3

DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA201	B



1 EAST ELEVATION (ALEXANDER LANE)
1 : 50 @ A1

2 WEST ELEVATION (ALEXANDER STREET)
1 : 50 @ A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	29/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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CLIENT
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ATF The Gongoldis Family Trust

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VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

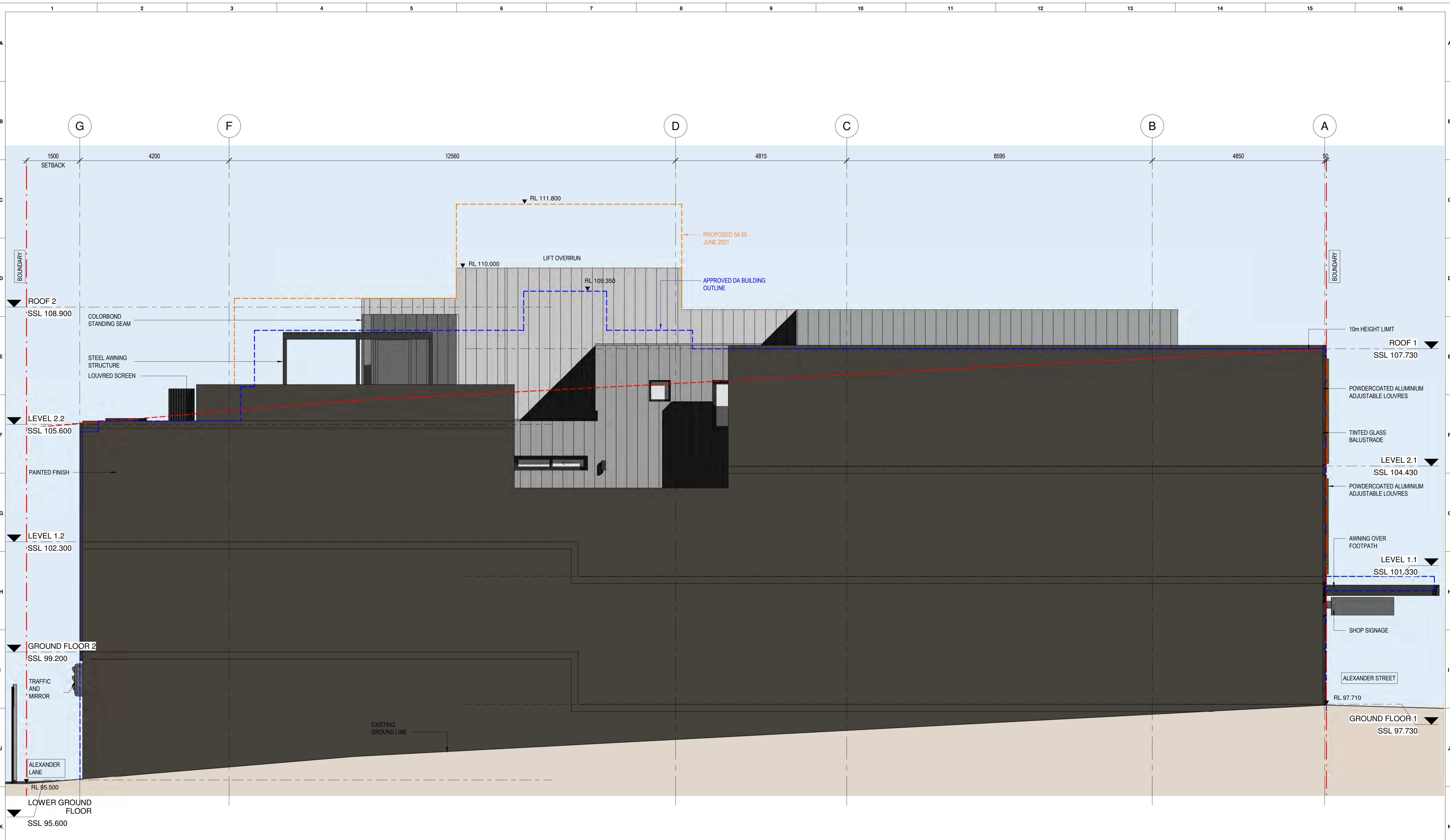
DRAWING TITLE
ELEVATION - EAST & WEST

STATUS
S4.55 SUBMISSION

SCALE
1:50 @ A1

DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO. 2036
DRAWING NO. DA202
REVISION B



1 NORTH ELEVATION
1 : 50 @ A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongolidis Family Trust

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VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

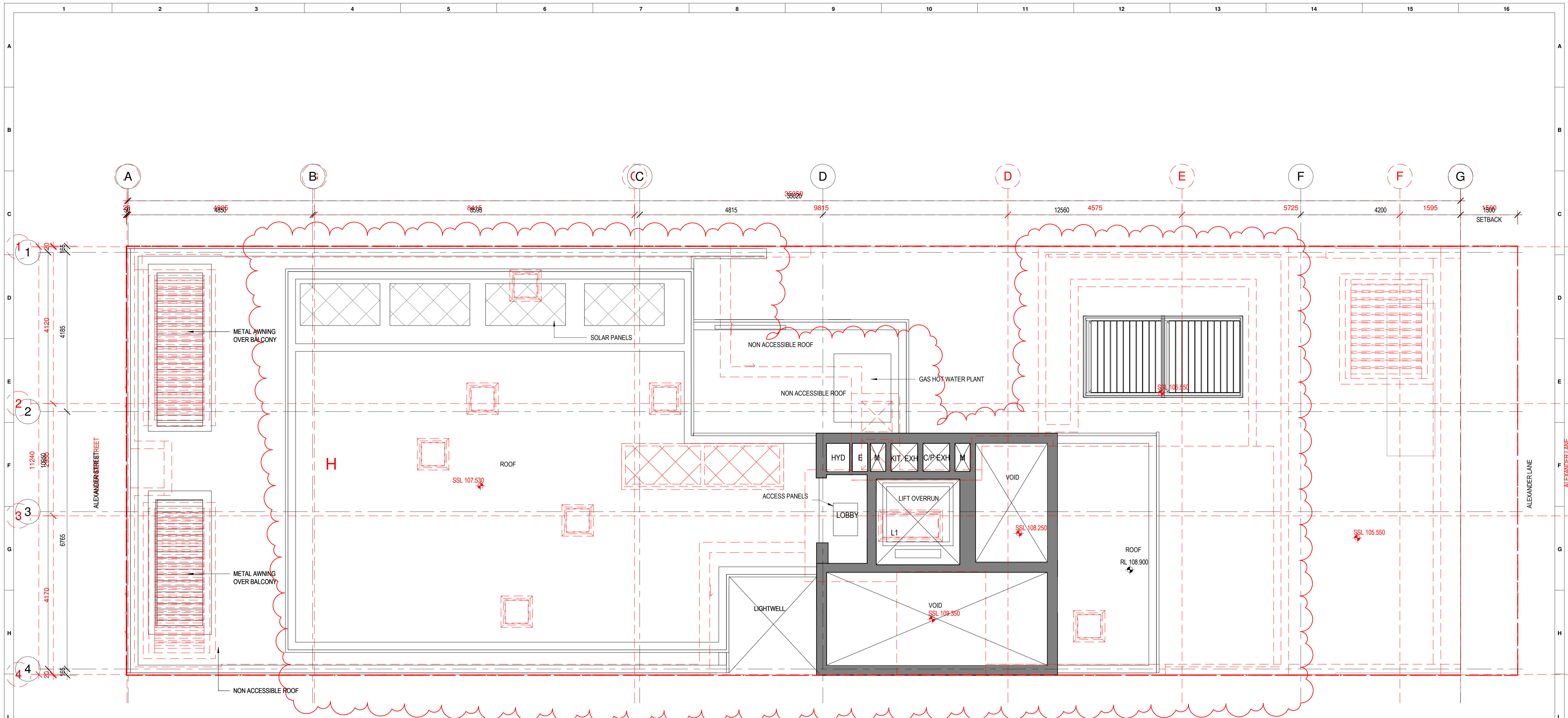
DRAWING TITLE
ELEVATION - NORTH

STATUS
S4.55 SUBMISSION

SCALE
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1:50 @ A1 | 1:1000 @ A4

DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	Approver

PROJECT NO.	DRAWING NO.	REVISION
2036	DA203	B



DENOTES LINEWORK OF APPROVED DA CONCEPT. ORIGINALLY PROPOSED BY CORNERSTONE DESIGN

1 APPROVED DA - ROOF PLAN

1 : 50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	28/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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(w) WWW.GCCV.COM.AU

CLIENT
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ATF The Gongolidis Family Trust

PROJECT DEVELOPMENT MANAGER
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NORTH SYDNEY NSW 2060
(T) 02 8319 2960

ORIGINAL DESIGN ARCHITECT (DA)
CORNERSTONE DESIGN
8/148 RAILWAY PARADE, KOGARAH NSW 2217
(T) 02 9553 9911

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(T) 02 9743 0220

MECHANICAL (HYDRAULIC) ELECTRICAL | FIRE SERVICES | VERTICAL TRANSPORT
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(T) 02 8203 5447

BUILDING CERTIFIER (BCA)
CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
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124 UPPER WASHINGTON DRIVE, BONNET BAY, NSW 2226
(M) 0415 255 163

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ZENITH LANDSCAPE DESIGNS
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(T) 02 9545 5200

SURVEYOR
COOPER & RICHARDS
43 CURBAR AVENUE, KIRRAWEE NSW 2232
(T) 02 9521 5622

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ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
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(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
DA COMPARISON PLANS - ROOF PLAN

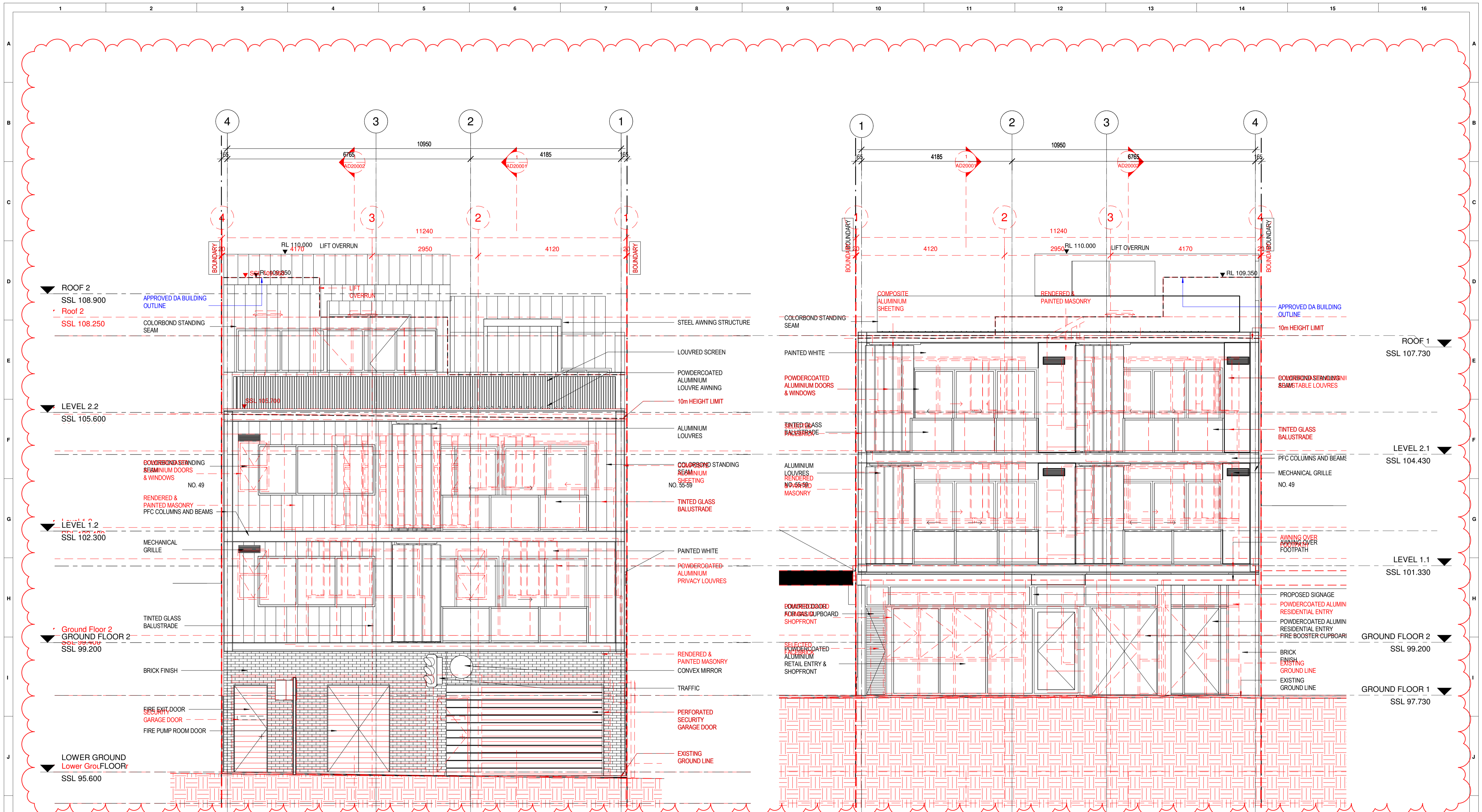
STATUS
S4.55 SUBMISSION

SCALE
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1:50 @A1 | 1:100 @A2

DATE 12/11/2021
DRAWN BY JT
CHECKED GC
APPROVED

PROJECT NO. 2036
DRAWING NO. DA405
REVISION B

PLOT NAME: 2898888-0000000 - 8/148/2022 - Approved Street Cover Plan 221110 - Alexander Street Cover Plan V08.dwg



1 APPROVED DA - EAST (ALEXANDER LANE)
1:50 @A1

2 APPROVED DA - WEST (ALEXANDER STREET)
1:50 @A1

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR \$4.55	28/06/2021
B		ISSUED FOR \$4.55 DRAFT	12/11/2021

ARCHITECT
GCVC PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
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(w) WWW.GCVC.COM.AU

CLIENT
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ATF The Gongolis Family Trust

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CONCISE CERTIFICATION
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(T) 02 1300 057 046

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(T) 02 9521 5622

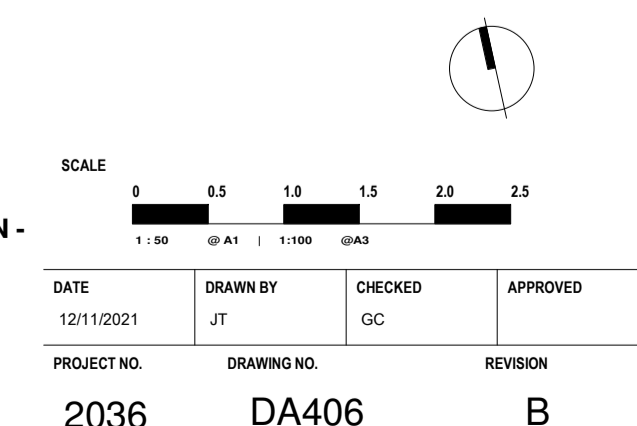
ACOUSTIC
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

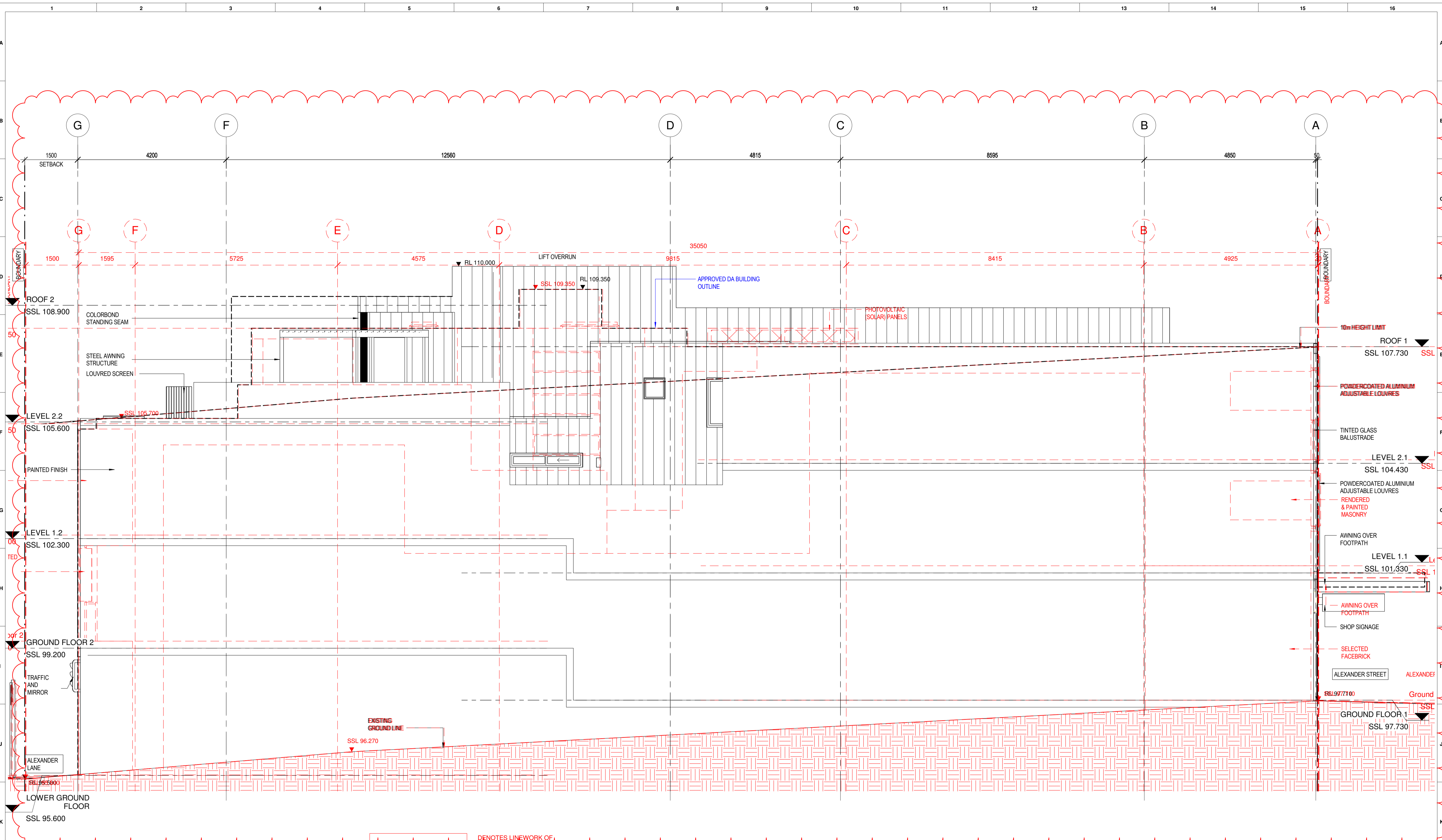
TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
DA COMPARISON PLANS - ELEVATION - EAST & WEST

STATUS
S4.55 SUBMISSION





1 DENOTES LINEWORK OF APPROVED DA CONCEPT ORIGINALLY PROPOSED BY CORNERSTONE DESIGN

1 APPROVED DA - NORTH ELEVATION
1 : 50 @A1

DISCLAIMER
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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR \$4.55	28/06/2021
B		ISSUED FOR \$4.55 DRAFT	12/11/2021

ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARND NSW 7884 | VIC 19871 | QLD 5415 | SA 3546
LEVEL 1, 282 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T INVESTMENTS (NSW) PTY LTD
ATF THE GONGOLDIS FAMILY TRUST

PROJECT DEVELOPMENT MANAGER
WILLOW FRANK
SUITE 703, LEVEL 7, 161 WALKER STREET
NORTH SYDNEY NSW 2060
(T) 02 8319 2960

PLANNING
CITY PLAN
Level 6, 120 Sussex St, Sydney NSW 2000
(T) 02 8270 3500

STRUCTURAL / CIVIL / STORMWATER
JSBC CONSULTING
75 JUSTIN STREET, LILYFIELD NSW 2040
(T) 02 9743 0220

MECHANICAL / HYDRAULIC / ELECTRICAL / FIRE SERVICES / VERTICAL TRANSPORT
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

BUILDING CERTIFIER / BCA
CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
(T) 02 1300 057 046

DDA
ABS ACCESSIBLE BUILDING SOLUTIONS
124 UPPER WASHINGTON DRIVE, BONNET BAY, NSW 2226
(M) 0415 255 163

LANDSCAPE
ZENITH LANDSCAPE DESIGNS
19 ARAUEN PLACE, SUTHERLAND NSW 2232
(T) 02 9545 5200

SURVEYOR
COOPER & RICHARDS
45 CURBAR AVENUE, KIRRAWEE NSW 2232
(T) 02 9521 5622

ACOUSTIC
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

DRAWING TITLE
DA COMPARISON PLANS - ELEVATION - NORTH

STATUS
S4.55 SUBMISSION

SCALE
0 1 2 3 4 5
1:50 @A1 1:100 @A2

DATE
12/11/2021

DRAWN BY
JT

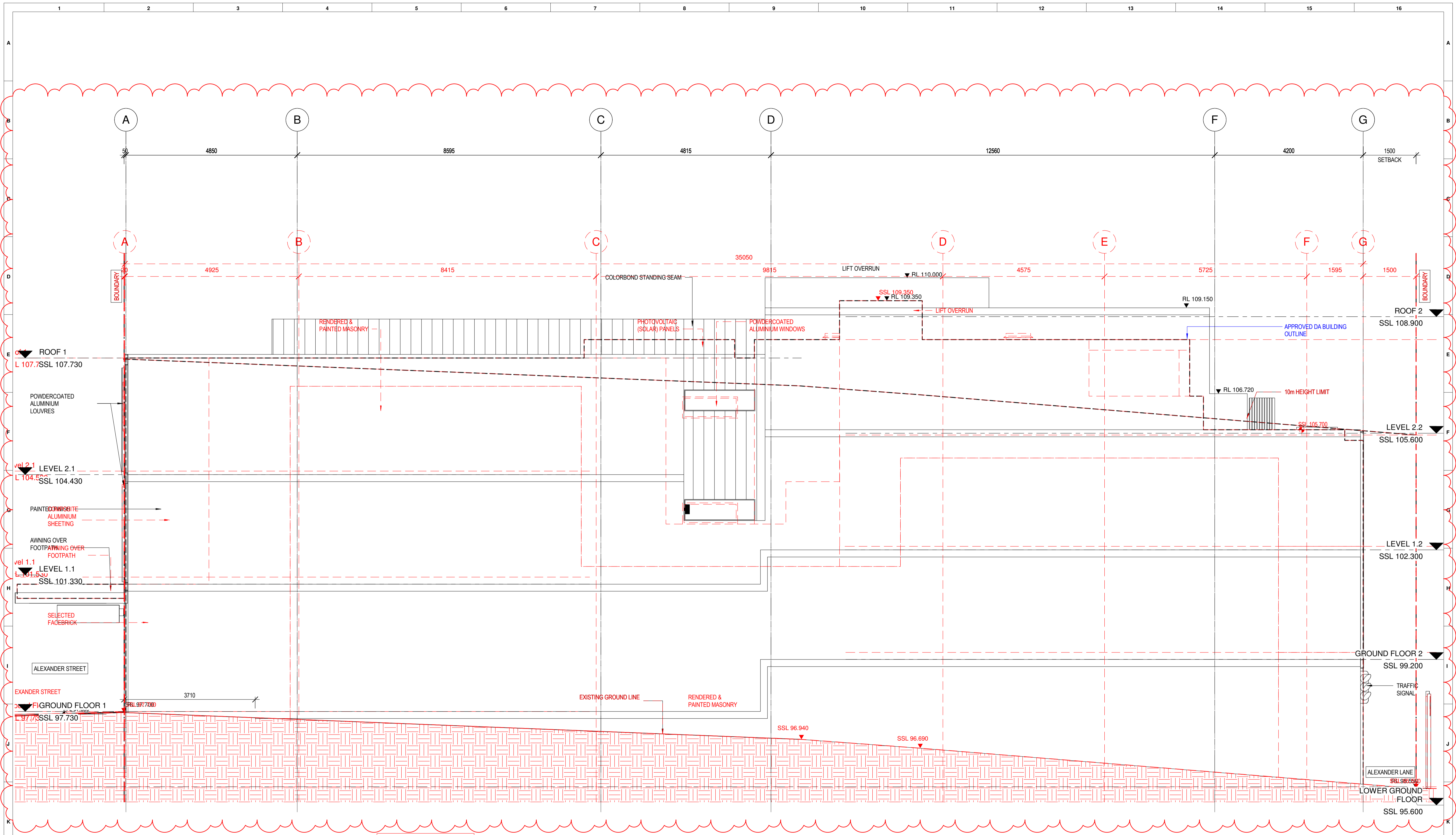
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GC

APPROVED
[Signature]

PROJECT NO.
2036

DRAWING NO.
DA407

REVISION
B



DENOTES LINEWORK OF APPROVED DA CONCEPT, ORIGINALLY PROPOSED BY CORNERSTONE DESIGN

1 APPROVED DA - SOUTH ELEVATION
1 : 50

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REV	BY	DESCRIPTION	DATE
A		ISSUED FOR S4.55	29/06/2021
B		ISSUED FOR S4.55 DRAFT	12/11/2021

ARCHITECT
GC CV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
AR/NW 7084 | VIC: 1987 | QLD: 5415 | SA: 3546
LEVEL 1, 282 PRYT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongoldis Family Trust

PROJECT DEVELOPMENT MANAGER
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(T) 02 8203 5447

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(T) 02 1300 057 046

DDA
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(M) 0415 255 163

LANDSCAPE
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(T) 02 9545 5200

SURVEYOR
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45 CURBAR AVENUE, KIRRAWEE NSW 2232
(T) 02 9521 5622

ACOUSTIC
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

TRAFFIC
VARGA TRAFFIC PLANNING
SUITE 5.02, LEVEL 5, 1 CASTLEREAGH STREET, SYDNEY NSW 2000
(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

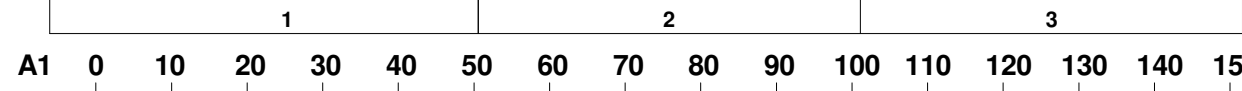
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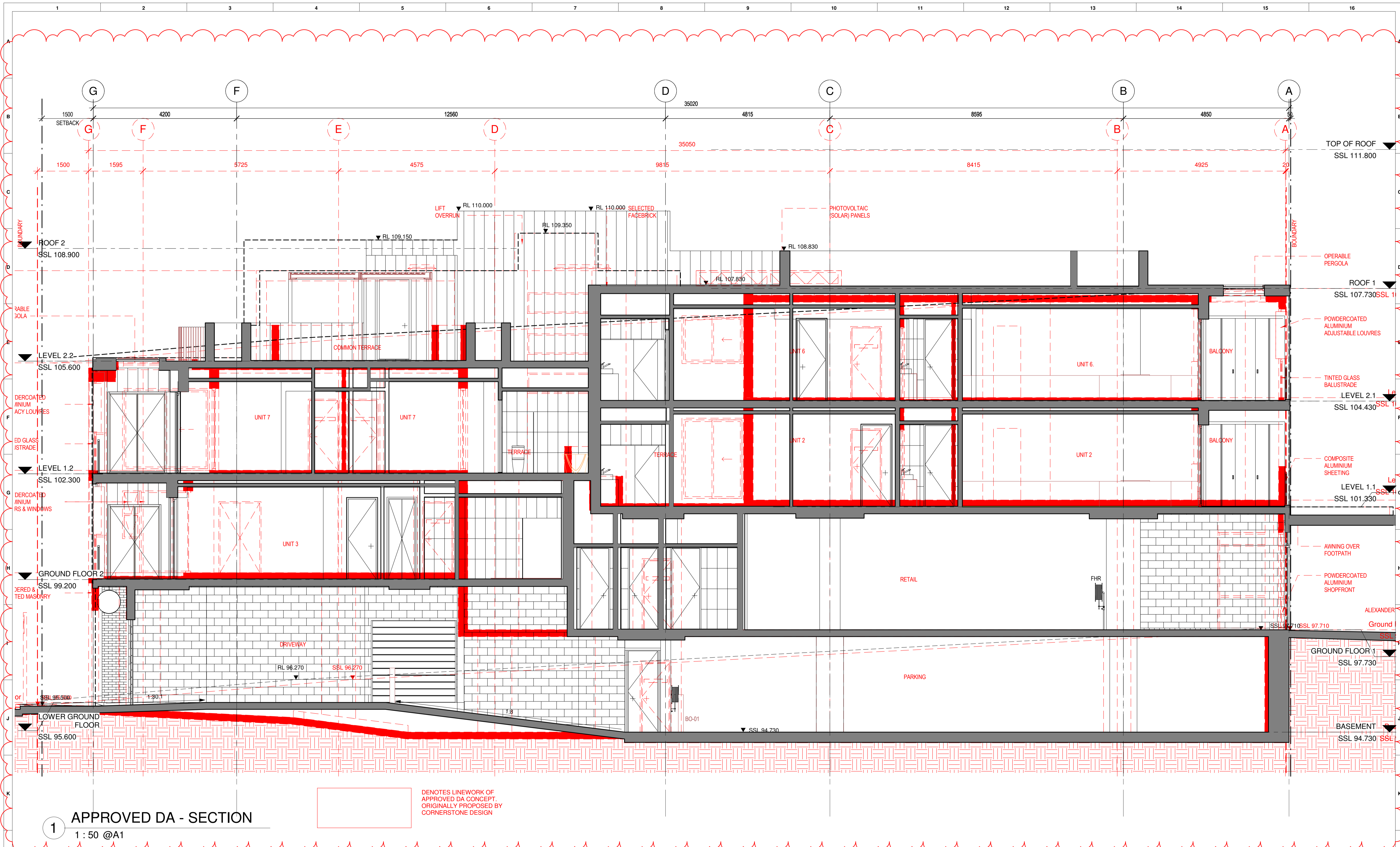
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S4.55 SUBMISSION

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DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA408	B





1 APPROVED DA - SECTION
1 : 50 @A1

REDACTED LINEWORK DENOTES LINEWORK OF APPROVED DA CONCEPT, ORIGINALLY PROPOSED BY CORNERSTONE DESIGN

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ARCHITECT
GC CV
GCCV PTY LTD
ABN: 75 625 081 147
NOMINATED ARCHITECT: GRAND CHENG
ARB NSW 7984 | VIC 19871 (OLD 6415) | SA 3546
LEVEL 1, 262 PITT STREET, SYDNEY NSW 2000
(w) WWW.GCCV.COM.AU

CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongollis Family Trust

PROJECT DEVELOPMENT MANAGER
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ORIGINAL DESIGN ARCHITECT (ODA)
CORNERSTONE DESIGN
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75 JUSTIN STREET, LILYFIELD NSW 2040
(T) 02 9743 0220

MECHANICAL (HYDRAULIC) | ELECTRICAL | FIRE SERVICES | VERTICAL TRANSPORT
ADP CONSULTING
3/8 SPRING STREET, SYDNEY NSW 2000
(T) 02 8203 5447

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CONCISE CERTIFICATION
PO BOX 2035, TAREN POINT NSW, AUSTRALIA
(T) 02 1300 057 046

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ZENITH LANDSCAPE DESIGNS
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(T) 02 9083 6601

PROJECT
Proposed Multi-Residential Development

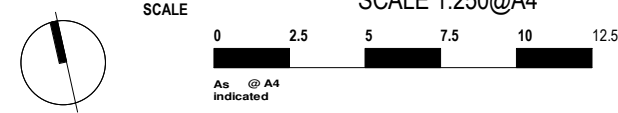
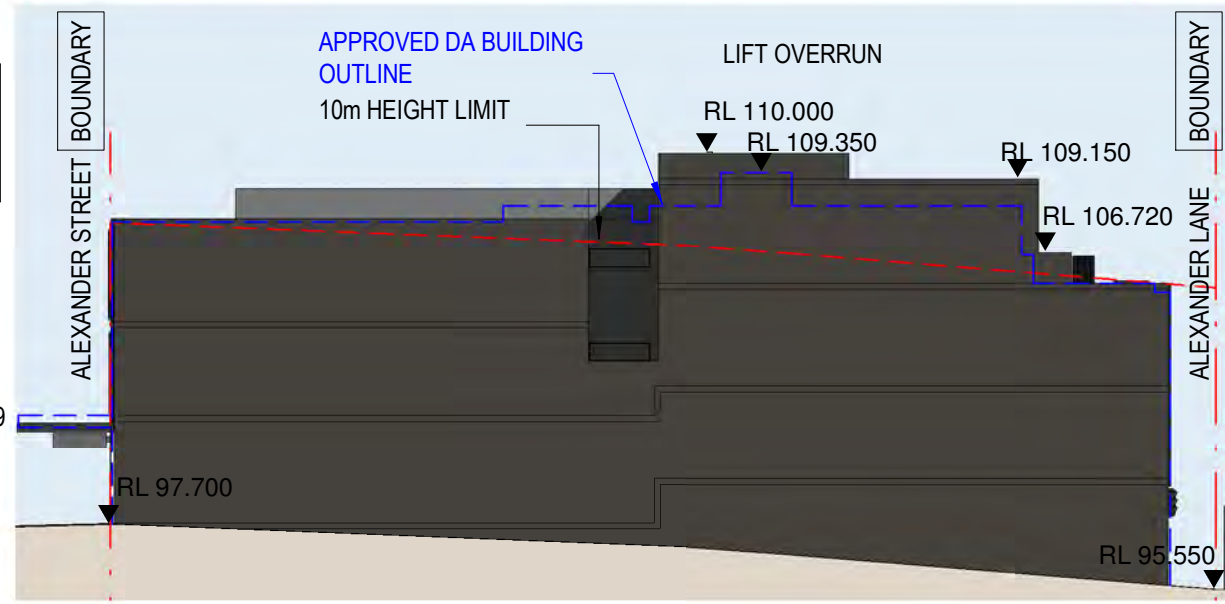
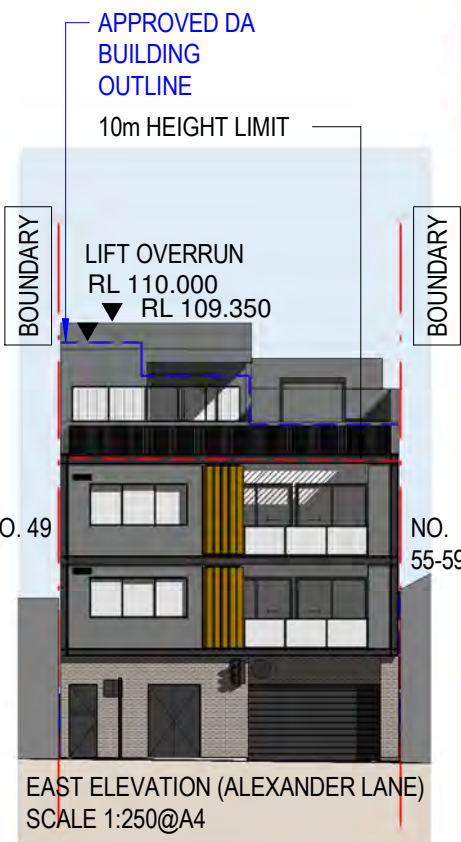
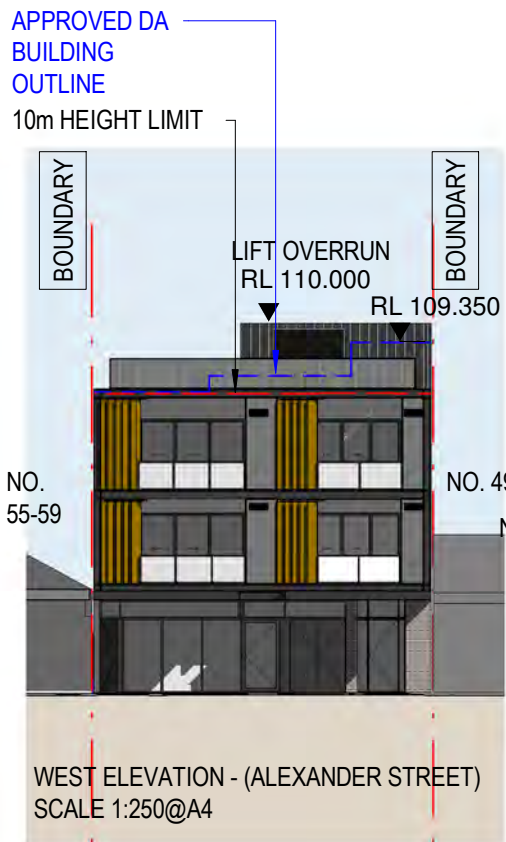
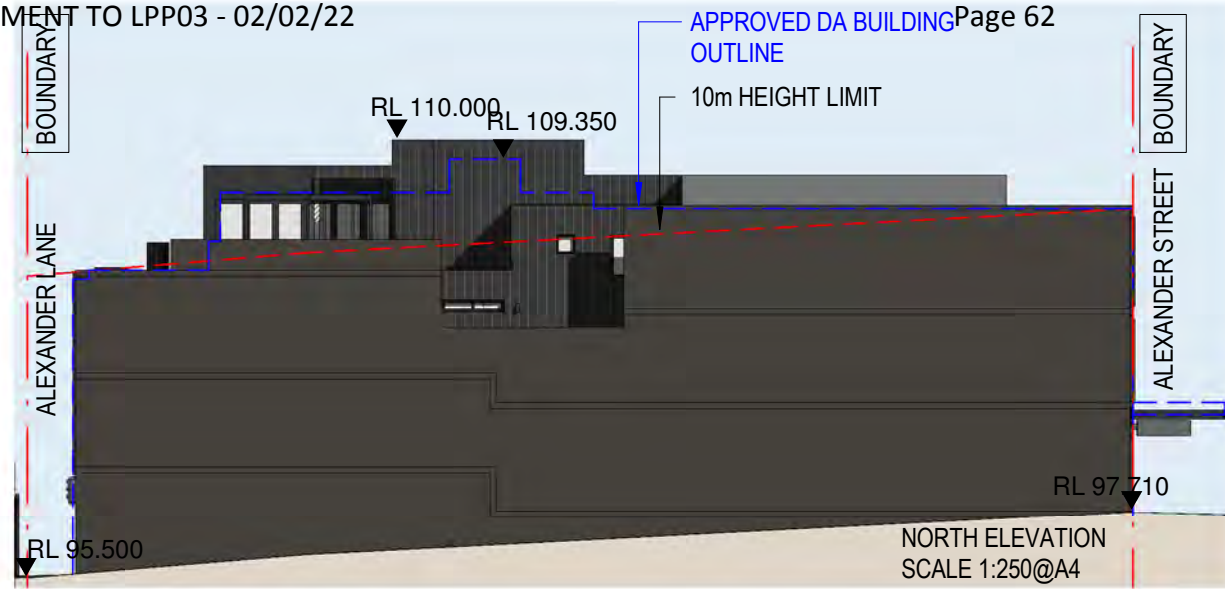
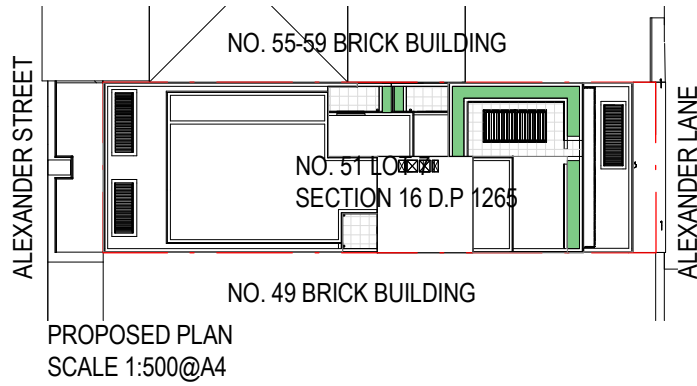
DRAWING TITLE
DA COMPARISON PLANS - SECTION

STATUS
S4.55 SUBMISSION

SCALE: 0 0.5 1.0 1.5 2.0 2.5
1:50 @A1 1:100 @A2

DATE	DRAWN BY	CHECKED	APPROVED
12/11/2021	JT	GC	

PROJECT NO.	DRAWING NO.	REVISION
2036	DA409	B



ARCHITECT
GC CV GCCV PTY LTD
 ABN: 75 625 081 147
 NOMINATED ARCHITECT: GRAND CHENG
 APB NSW 7884 | VIC 19871 | QLD 5415 | SA 3546
 LEVEL 1, 262 PITT STREET, SYDNEY NSW 2000
 (W) WWW.GCCV.COM.AU

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CLIENT
D&T Investments (NSW) PTY LTD
ATF The Gongolidis Family Trust
 PROJECT DEVELOPMENT MANAGER
WILLOW FRANK
 SUITE 703, LEVEL 7, 161 WALKER STREET
 NORTH SYDNEY NSW 2060
 (T) 02 8319 2960

PROJECT:
Proposed Multi-Residential Development
 ADDRESS:
51 ALEXANDER STREET, CROWS NEST 2065

DRAWING NO.
DA500
 DRAWING TITLE
NOTIFICATION PLAN
 DATE:
12/11/2021
 REVISION:
B



Gyde Consulting

19 November 2021

Kim Rothe
Senior Assessment Officer (Planning)
North Sydney Council
200 Miller Street
NORTH SYDNEY NSW 2060
Kim.Rothe@northsydney.nsw.gov.au

Dear Kim,

RESPONSE TO REQUEST FOR FURTHER INFORMATION- 51 ALEXANDER STREET, CROWS NEST S4.55 MODIFICATION – DA/472/15/2

We are pleased to provide the supplementary information and additional documents on behalf of the applicant, D&T Investments (NSW) Pty Ltd ATF The Gongolidis Family Trust.

Each of the items identified in Council's email correspondence dated 15 October 2021 and phone communications have been addressed in the table below, with the documents referenced attached as appendices. These documents include:

- Updated architectural plans from GCCV Pty Ltd dated 12 November 2021, including:
 - Updated Level 2 Residential floor plans,
 - Updated Roof plans
 - Updated sections, and
 - Updated Top of Building plans.
- Updated Landscape plans from Zenith Landscape Designs dated 17 November 2021.

The project team has given thorough consideration to the matters raised by Council and have responded accordingly. We trust that the amended plans, details and explanations provided in this package satisfactorily addresses the issues raised and we look forward to a favourable determination of the application. We would be grateful if you could provide feedback on the revised plans as soon as possible and provide confirmation as to whether this modification will be determined under delegated authority or will be required to be referred the Local Planning Panel.

Should you wish to discuss the contents of this submission, please do not hesitate to contact Lucy Langley via email at lucyl@gyde.com.au or by telephone on 02 9068 7500.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'David Ryan'.

David Ryan

Executive Director

20-329

Level 6, 120 Sussex St, Sydney NSW 2000
GYDE.COM.AU
ABN 58 133 501 774

RFI MATTERS TO ADDRESS	RESPONSE
<p>A new fire stair and lift overrun structure providing access to the proposed roof top communal open space for residents. Involves an increase in maximum building height from 12.66m (approved) to 15.37m (2.71 metre increase).</p>	<p>The amended architectural plans supplied by GCCV have removed the proposed roof top communal open space and the steel structure awning and have reduced the height of rooftop amenities. The maximum height of the building will be amended to 13.31 metres (RL 110) equating to a height increase of only 0.65 metres over the current approved plans. The revised height of the building from the approved plans is a consequence of design development and the lift manufacturers requirements. The lift will serve the communal rooftop of the upper eastern level only, hence allowing for a significant reduction from the original modification proposal.</p>
<p>Redesign of the roof top level to facilitate a new west-facing communal open space with planters surrounding a common terrace and steel awning structure, bbq area, and platform for drone deliveries.</p>	<p>The amended architectural plans have removed the proposed west-facing rooftop communal open space. The revised plans now reserve the use of the west-facing rooftop for solar panels and an entry hatch for accessing service panels.</p>
<p>Redesign of the roof top services, fire stair, area for photovoltaic panels, and platform for drone deliveries.</p>	<p>The amended roof plan has removed the fire stairs and the platform for drone deliveries, and replaced the spaces with a void and AC units accordingly. Rooftop services and photovoltaic panels have been located in the non-accessible area of the roof for maintenance reasons and are serviced by the access hatch for qualified service personnel only. The rooftop services are setback and screened by the proposed landscaping scheme.</p>
<p>Increase in external communal open space (+30.98m²) from the approved 64.02m² to 95m².</p>	<p>The proposed western communal outdoor open space has been removed from the roof plan, and the internal open space and the small meeting room on Residential Level 2 has been converted to communal outdoor space which is not dissimilar from the approved development. This communal outdoor space will relocate the AC units to the roof and will be surrounded by planters for most of its perimeter, with the BBQ remaining in its proposed position. This will reduce the proposed supply of communal outdoor space from 95m² to 54m², and will significantly reduce the height of the proposed development.</p>
<p>New internal 39m² communal open space.</p>	<p>The proposed internal communal open space has been replaced with outdoor communal open space in response to concerns regarding the rooftop outdoor open space. The only built form provided in the communal roof top area is a uni-sex accessible bathroom.</p>
<p>Formalization of drone related facilities would require approval from the Civil Aviation Safety Authority.</p>	<p>The amended roof plans propose the removal of all drone related facilities, so formalisation with the Civil Aviation Safety Authority will no longer be required for the project.</p>
<p>Enclosure of the lowered roof terrace is not support on the basis of the potential for it to be converted at a later stage of residential facilities and general additional solid bulk to the building.</p>	<p>The enclosure of the lower roof terrace has been revised, with only the provision of an enclosed lobby and accessible toilet, addressing Council's concerns.</p>



STREETSCAPE
SCALE 1:100



AERIAL VIEW
SCALE N.T.S.



PHOTO
ALEXANDER ST SOUTH



PHOTO
CNR ALEXANDER & BURLINGTON



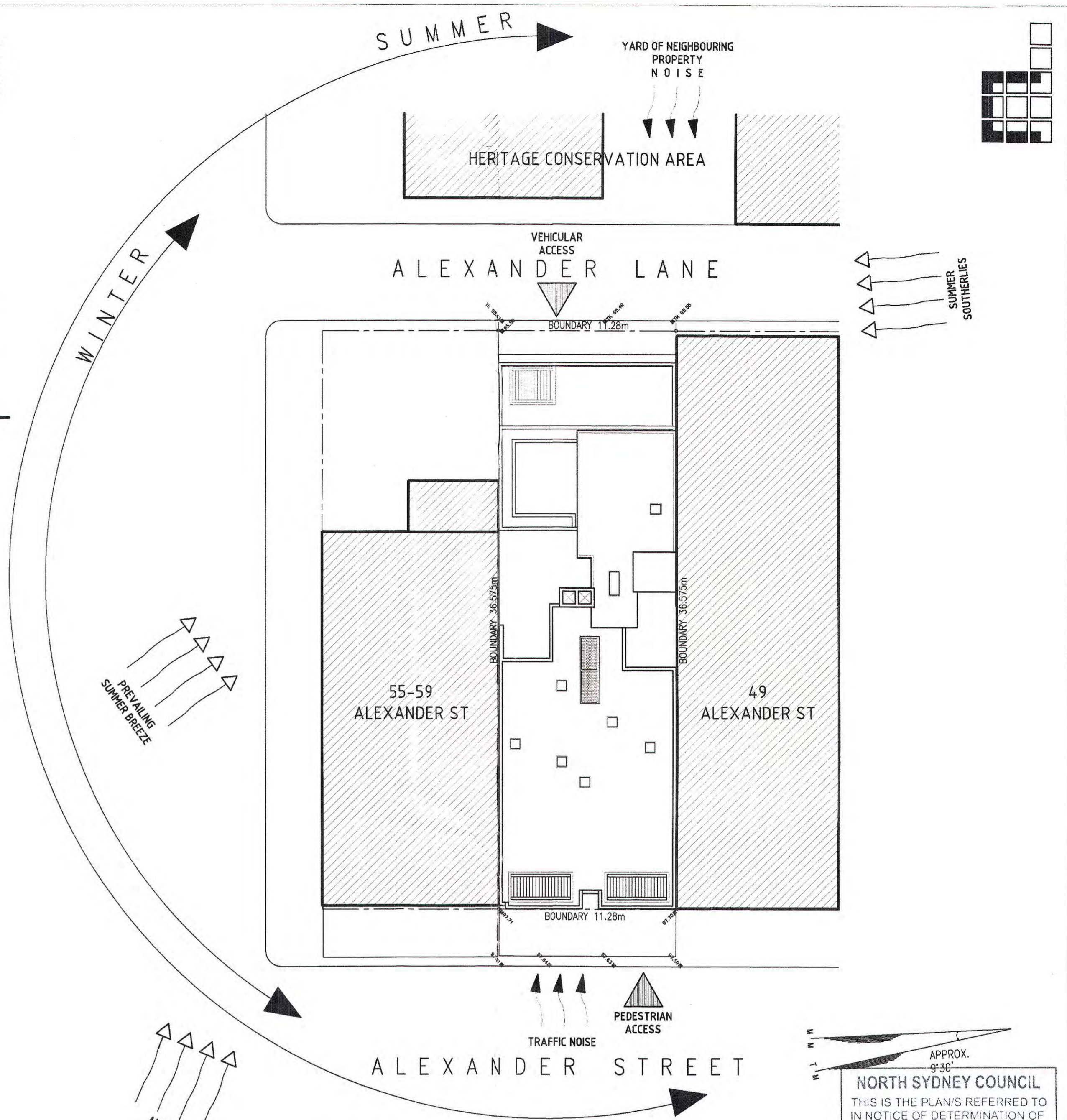
PHOTO
CNR ALEXANDER & BURLINGTON



PHOTO
DEVELOPMENT OPPOSITE



PHOTO
EXISTING DEVELOPMENT ALEXANDER ST



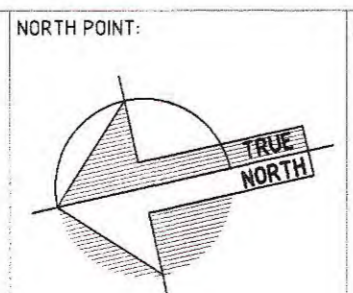
SITE ANALYSIS PLAN
SCALE 1:200

APPROX. 9°30'
NORTH SYDNEY COUNCIL
 THIS IS THE PLAN'S REFERRED TO IN NOTICE OF DETERMINATION OF DEVELOPMENT APPLICATION
 No. 473/15
 DATE 11/07/16
 SIGNED _____

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SHEET SCHEDULE:
 DA 01: SITE ANALYSIS PLAN
 DA 02: FLOOR PLANS
 DA 03: FLOOR PLANS
 DA 04: ELEVATIONS
 DA 05: SECTIONS
 DA 07: SHADOW DIAGRAMS - 22nd JUNE
 DA 08: SHADOW DIAGRAMS - 22nd MARCH/SEPTEMBER
 DA 09: SHADOW DIAGRAMS - 22nd DECEMBER

ISSUE:
 A: 01/12/15: DA LODGEMENT ISSUE.
 B: 01/05/16: STREETSCAPE ELEVATION & SITE ANALYSIS AMENDED TO REFLECT TO ADDITION OF A ROOFTOP TERRACE.



SITE ANALYSIS PLAN

DESIGNED BY:
CORNERSTONE DESIGN
 57/146 RAILWAY PDE KOGARAH
 NSW 2217 AUSTRALIA
 Tel: +61 2 9553 9911
 Mob: 042 111 8888

PROJECT:
PROPOSED MIXED USE DEVELOPMENT AT 51 ALEXANDER STREET CROWS NEST
 Lot 7 Sec 16 DP 1265
 CLIENT:
 MR & MRS D. GONGOLIDIS

DRAWING NUMBER:
DA 01
 PLAN NUMBER: CD 1386
 SCALES:
 1:100 & 1:200@A1
 DESIGN ARCHITECT: NICK LYCENKO, REGISTRATION NO. 3910

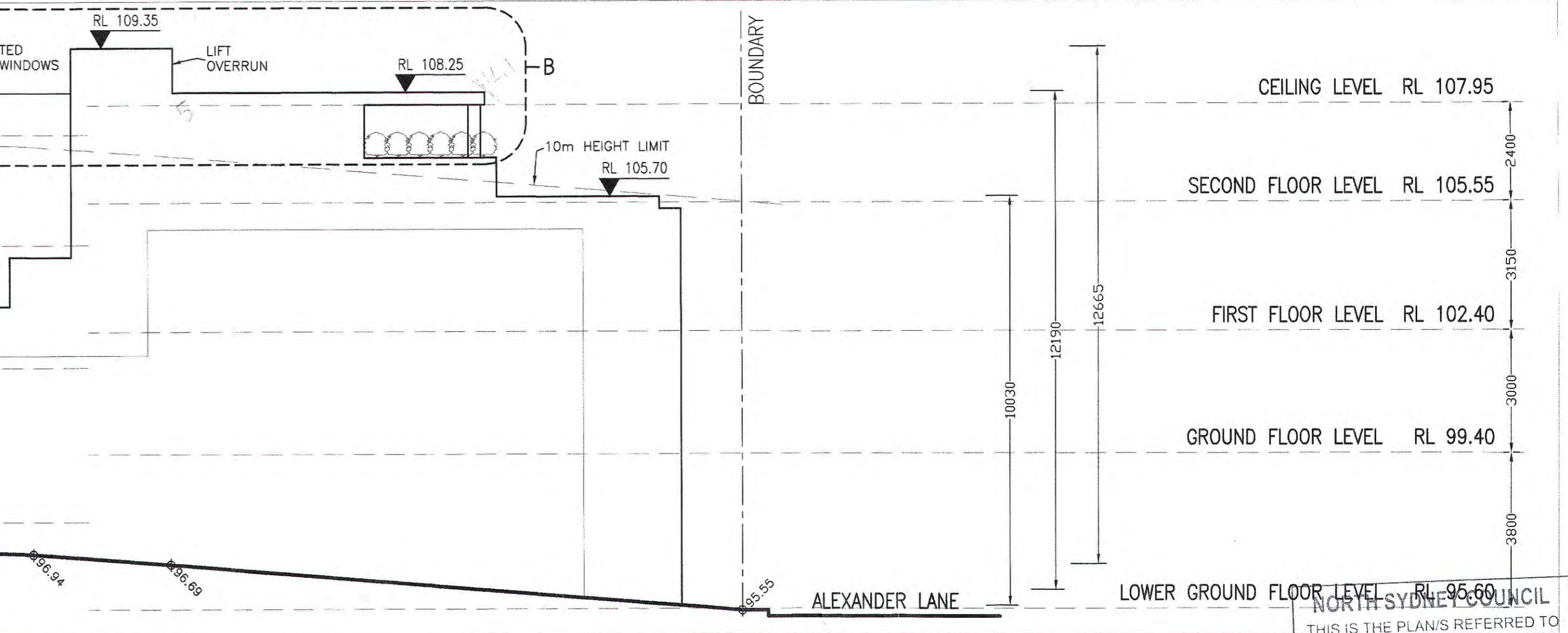
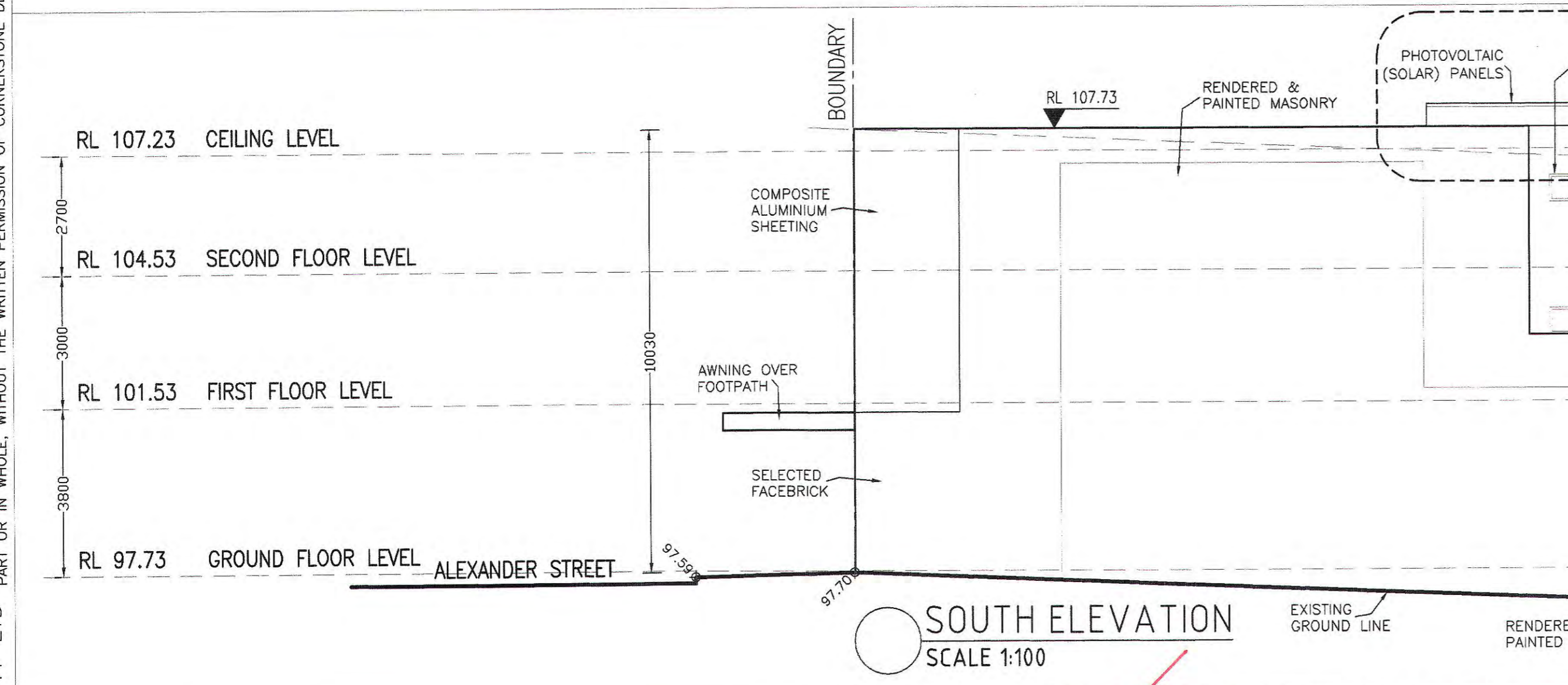
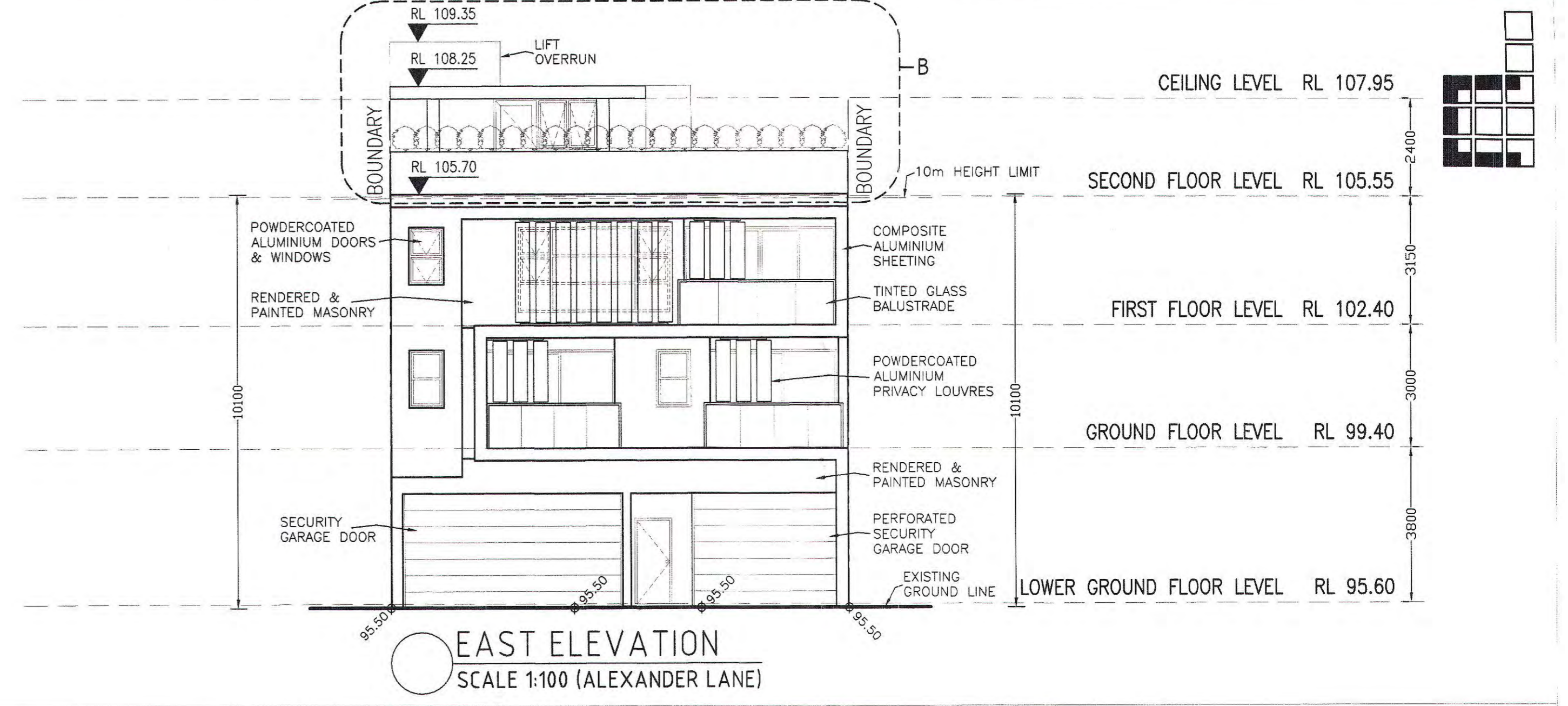
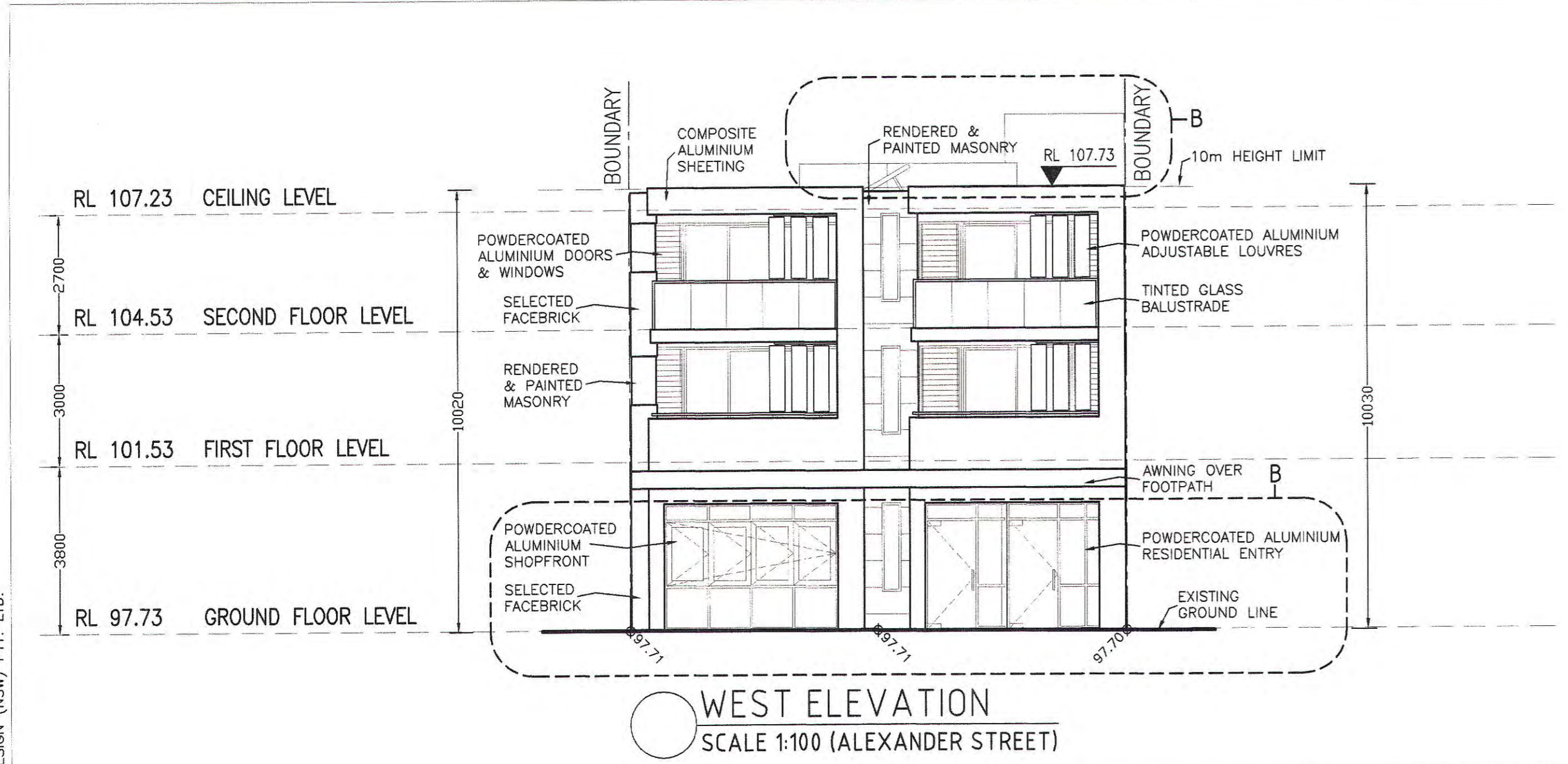


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300MM EN ORIGINAL

FILENAME

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No. 473/15
DATE 11/07/16
CEILING LEVEL RL 107.23

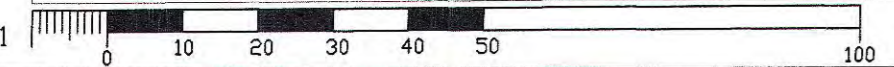
ISSUE:
A: 01/12/15: DA LODGEMENT ISSUE
B: 01/05/16: SOLAR PANELS ON ROOF RELOCATED. SHOPFRONT AMENDED. ROOFTOP ADDED. WINDOWS ADDED TO STAIRWAY.

ELEVATIONS

DESIGNED BY:
CORNERSTONE DESIGN
5/146 RAILWAY PDE KOGARAH
NSW 2217 AUSTRALIA
Tel: +61 2 9553 9911
Mob: 042 111 8888

PROJECT:
PROPOSED MIXED USE DEVELOPMENT AT 51 ALEXANDER STREET CROWS NEST
Lot 7 Sec 16 DP 1265
CLIENT:
MR & MRS D. GONGOLIDIS

DRAWING NUMBER: **DA 04**
ISSUE: **B**
PLAN NUMBER: CD 1386
SCALES: 1:100@A1
DESIGN ARCHITECT: NICK LYCENKO, REGISTRATION NO: 3010



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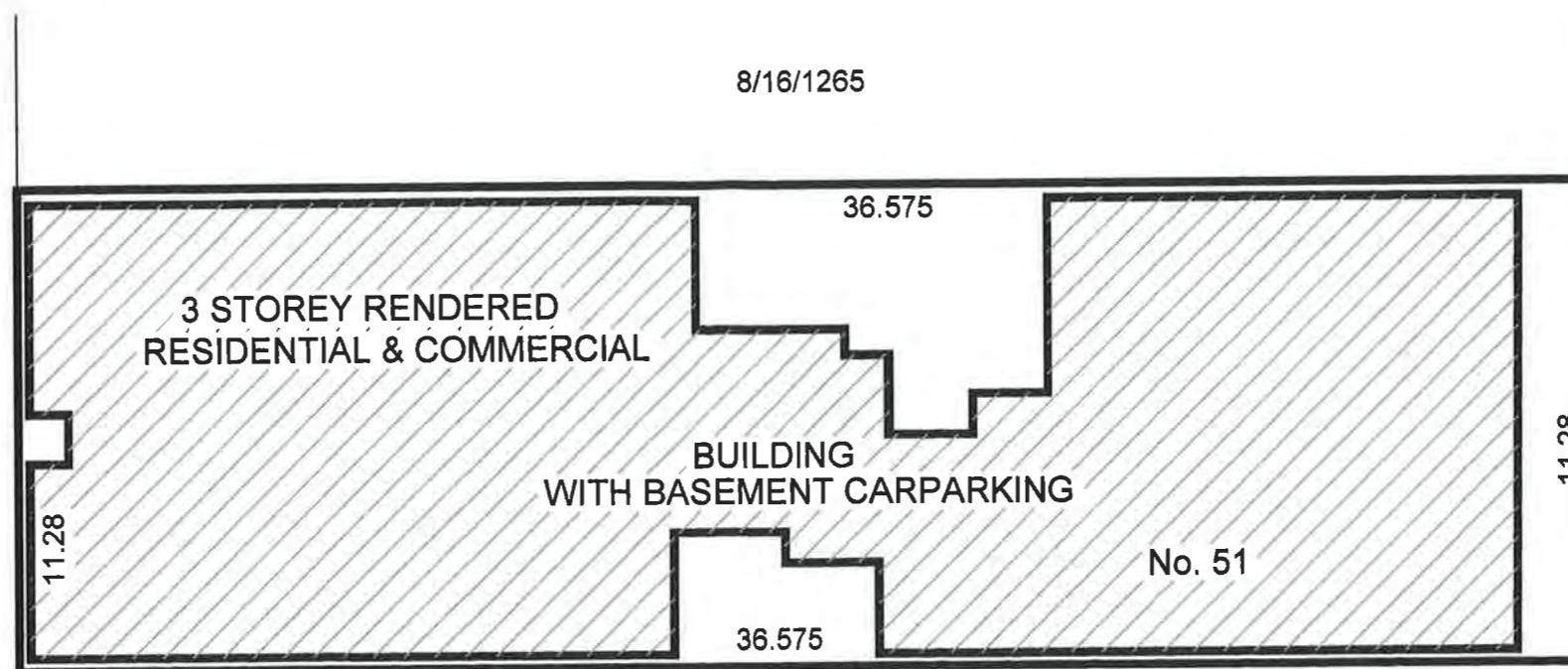
300MM EN ORIGINAL

FILENAME

STRATA PLAN FORM 2 (A3)

LOCATION PLAN

ALEXANDER STREET



ALEXANDER LANE

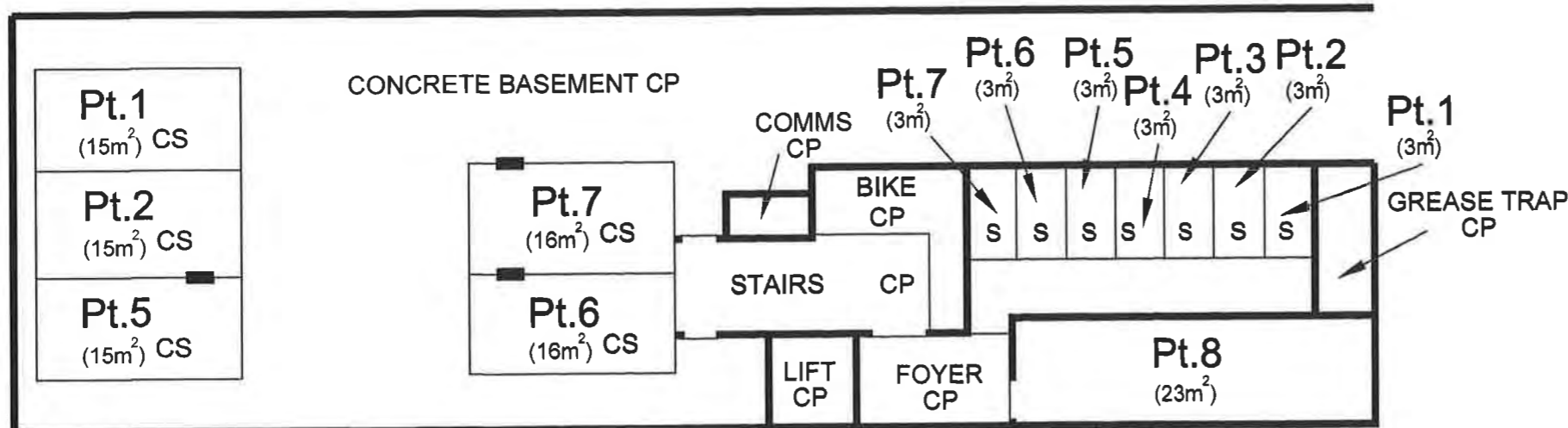


NORTH SYDNEY COUNCIL
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 No. 473/15
 DATE 11/07/16
 SIGNED _____

RECEIVED BY CS
 18 DEC 2015
 N.S.C.

BASEMENT FLOOR PLAN LEVEL 1

BIKE - DENOTES PUSHBIKE STORAGE AND IS COMMON PROPERTY
 S - DENOTES STORAGE
 CP - DENOTES COMMON PROPERTY



SYDNEY REGISTERED SURVEYORS
 Ph: 9822-2477 Fax 9822-2577
 Email: sydrs@bigpond.com
 57 Pine Rd, Casula 2170
 Mobile 0418268930, Mobile 0431919480

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NOTES

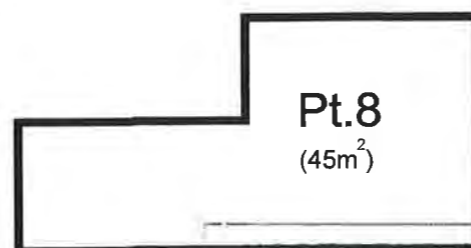
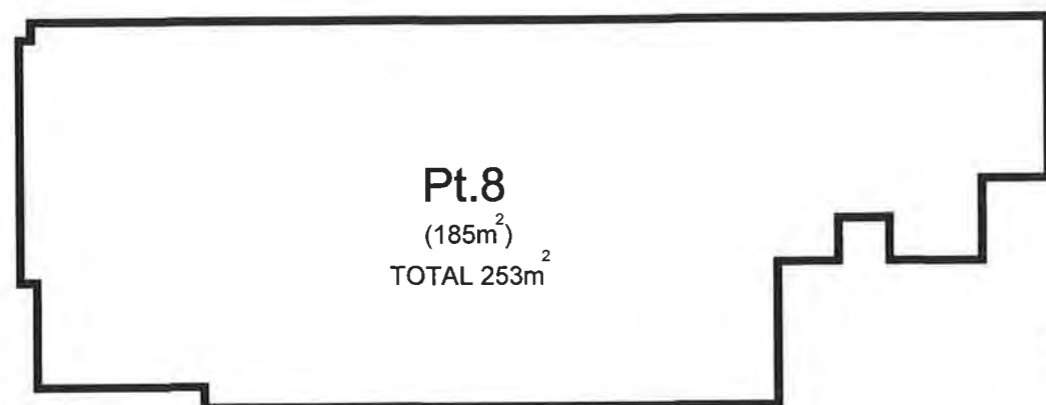
- 1) AREAS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR THE STRATA SCHEMES FREEHOLD DEVELOPMENT ACT 1973 ONLY & MAY DIFFER FROM AREAS CALCULATED FOR OTHER PURPOSES.
- 2) ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY.

Surveyor: Richard Wilkinson
 of Sydney Registered Surveyors
 Surveyor's Ref: 2965 DRAFT
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1:200

Registered



GROUND FLOOR PLAN LEVEL 2

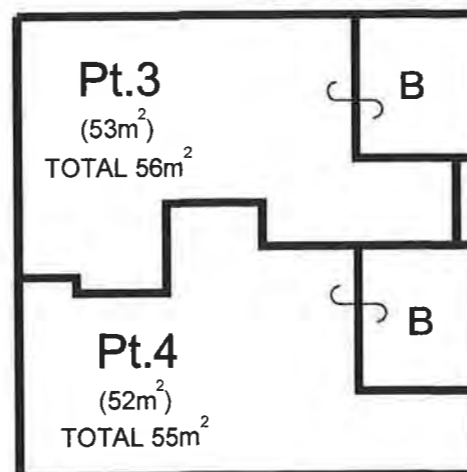
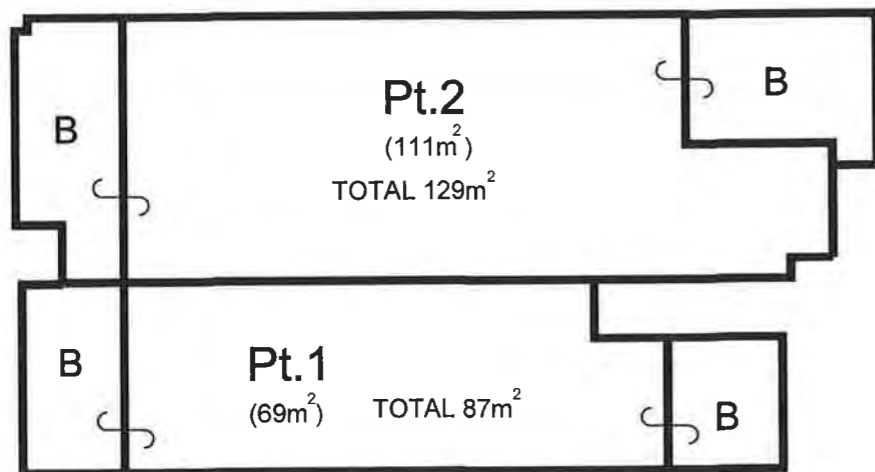


SYDNEY REGISTERED SURVEYORS
 Ph: 9822-2477 Fax 9822-2577
 Email: sydrs@bigpond.com
 57 Pine Rd, Casula 2170
 Mobile 0418268930, Mobile 0431919480

THIS PLAN IS PREPARED FROM FIELD MEASUREMENT & DRAWINGS ALL SUPPLIED BY OTHERS.
 NO BOUNDARY DETERMINATION HAS BEEN PERFORMED DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY.
 THIS PLAN IS A DRAFT ONLY AND IS NOT CHECKED OR REGISTERED BY THE LANDS TITLES OFFICE. ALTERATIONS MAY BE REQUIRED PRIOR TO ITS ACCEPTANCE AND REGISTRATION.

NORTH SYDNEY COUNCIL
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 No. 473/15
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1ST FLOOR PLAN LEVEL 3



NOTES

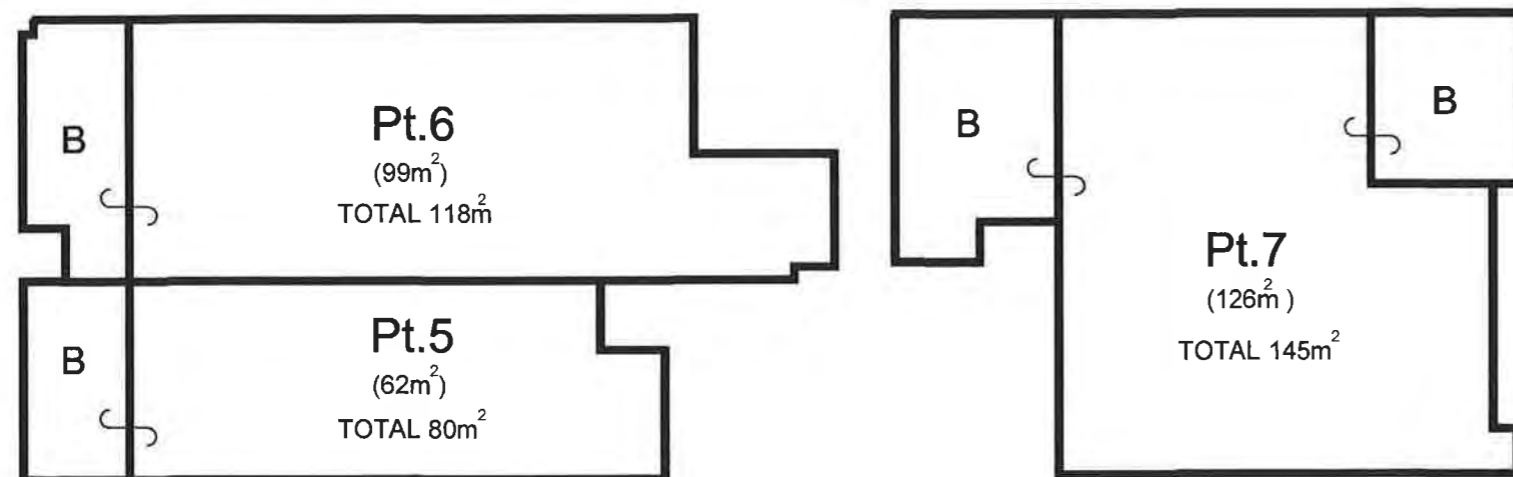
- 1) AREAS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR THE STRATA SCHEMES FREEHOLD DEVELOPMENT ACT 1973 ONLY & MAY DIFFER FROM AREAS CALCULATED FOR OTHER PURPOSES.
- 2) ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY.

B - DENOTES BALCONY

Surveyor: Richard Wilkinson
 of Sydney Registered Surveyors
 Surveyor's Ref: 2965 DRAFT
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1:200

Registered

2ND FLOOR PLAN LEVEL 4



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 THIS PLAN IS A DRAFT ONLY AND IS NOT CHECKED OR REGISTERED BY THE LANDS TITLES OFFICE. ALTERATIONS MAY BE REQUIRED PRIOR TO ITS ACCEPTANCE AND REGISTRATION.

NOTES

- 1) AREAS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR THE STRATA SCHEMES FREEHOLD DEVELOPMENT ACT 1973 ONLY & MAY DIFFER FROM AREAS CALCULATED FOR OTHER PURPOSES.
- 2) ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY.
- 3) THE UPPER STRATUM OF THE BALCONIES ARE LIMITED IN HEIGHT TO 2.2m ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE 2ND FLOOR SLAB, EXCEPT WHERE COVERED.

B - DENOTES BALCONY

NORTH SYDNEY COUNCIL
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 IN NOTICE OF DETERMINATION OF
 DEVELOPMENT APPLICATION
 No: 473/15
 DATE: 11/07/16
 SIGNED: [Signature]

Surveyor: Richard Wilkinson of Sydney Registered Surveyors Surveyor's Ref: 2965 DRAFT Subdivision No: Lengths are in metres. Reduction Ratio 1:200	<p>Registered</p>	
--	--------------------------	--

BASIS COMMITMENTS: CERTIFICATE NUMBER: 680696M

WATER FIXTURES:
 ALL SHOWER HEADS TO BE 3 STAR RATED (6.0 BUT $\leq 7.5L/min$). ALL TOILET FLUSHING SYSTEMS TO BE 4 STAR RATED. ALL KITCHEN TAPS & BATHROOM TAPS TO BE 5 STAR RATED.

WATER APPLIANCES:
 DISHWASHERS TO HAVE 4.5 STAR WATER RATING.

ENERGY:
 ALL HOT WATER SYSTEMS TO BE GAS INSTANTANEOUS 5.5 STAR RATED.
 BATHROOM, KITCHEN & LAUNDRY VENTILATION SYSTEM TO BE INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF WITH MANUAL SWITCH ON/OFF.
 ALL DWELLINGS TO HAVE 1-PHASE - EER 3.0-3.5 (2ZONED) AIR CONDITIONING FOR COOLING & HEATING.
 ARTIFICIAL LIGHTING: AS PER BASIS.
 NATURAL LIGHTING: AS PER BASIS.

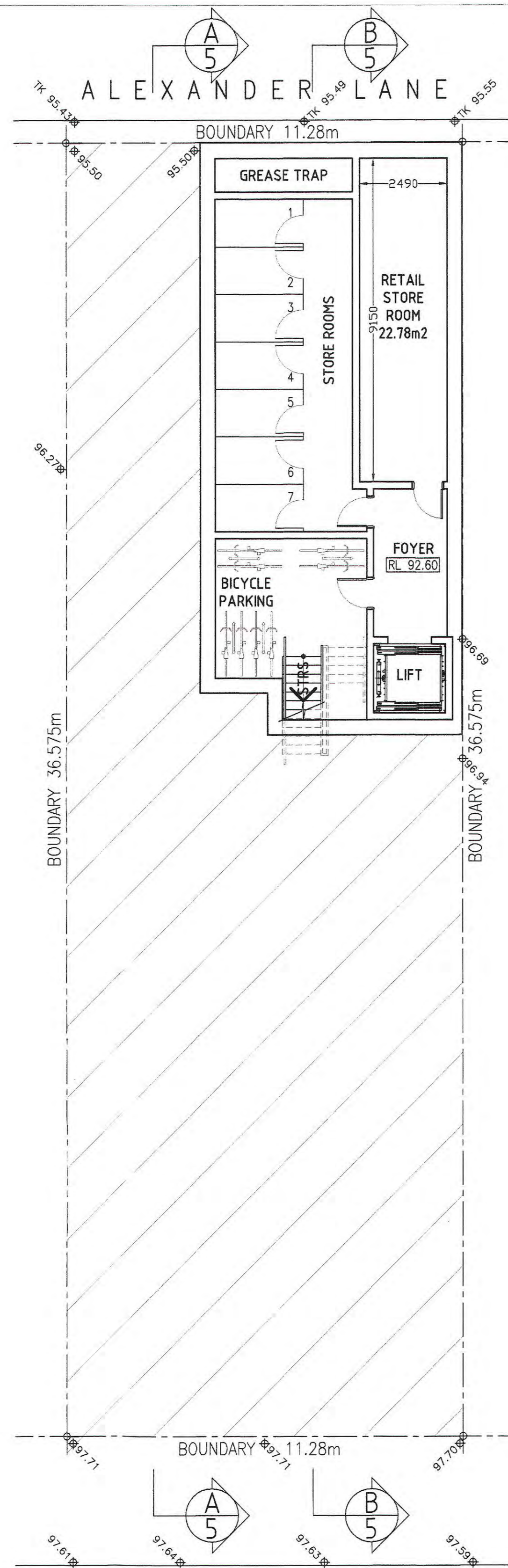
APPLIANCES:
 ALL DWELLINGS TO HAVE GAS COOKTOP AND ELECTRIC OVEN.
 DISHWASHERS TO HAVE 3.5 STAR ENERGY RATING.
 COMMON PHOTOVOLTAIC SYSTEM TO BE PROVIDED - RATED ELECTRICAL OUTPUT (MINIMUM) 3.5 PEAK kW.
 ALL COMMON LOBBIES TO HAVE NO MECHANICAL VENTILATION & COMPACT FLUORESCENT LIGHTING WITH MOTION SENSORS.
 LIFT TO BE GEARLESS TRACTION WITH V V V MOTOR SERVICING 4 LEVELS. LIGHTING TO BE COMPACT FLUORESCENT AND TO BE CONNECTED TO LIFT CALL BUTTON.
 COMMON CAR PARK AREA TO HAVE VENTILATION SUPPLY & EXHAUST WITH CARBON MONOXIDE MONITOR & VSD FAN. LIGHTING TO BE FLUORESCENT WITH MOTION SENSORS.
 GARAGE ROOM 1 & GARAGE ROOM 2 TO HAVE VENTILATION EXHAUST ONLY. LIGHTING TO BE FLUORESCENT WITH MOTION SENSORS.
 BICYCLE PARKING, RESIDENTIAL STORE ROOMS & RETAIL STORE ROOM TO HAVE NO MECHANICAL VENTILATION, FLUORESCENT LIGHTING & MOTION SENSORS.

THERMAL (NaHERS) REQUIREMENTS:

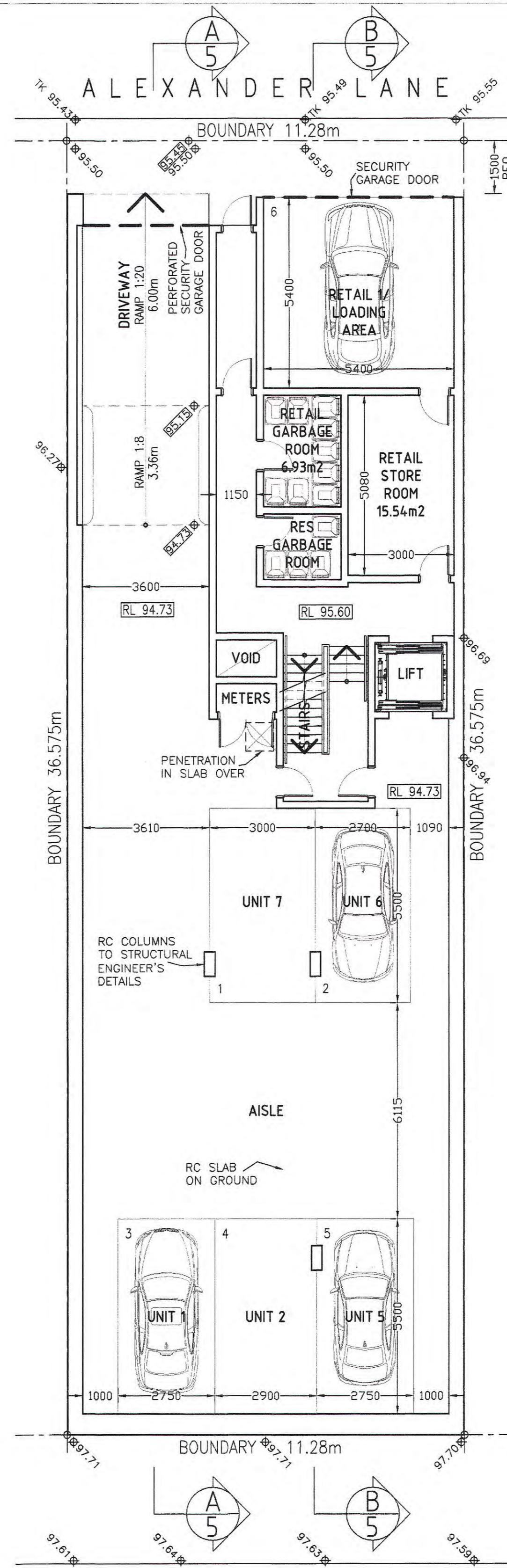
EXTERNAL WALLS - DOUBLE BRICK WITH INSULATION TO UNIT 4 SOUTHERN WALL ONLY. INSULATION TO BE FOIL SIDED BUBBLE WRAP (AIRCELL PERMACAV / POLYAIR PERFORMA 6 OR SIMILAR. TOTAL SYSTEM R VALUE Rf: 1.7)
 INTERNAL WALLS - WITHIN UNITS - SINGLE SKIN BRICK.
 COMMON WALLS BETWEEN UNITS - DOUBLE BRICK.
 COMMON WALLS BETWEEN UNITS & LOBBY - SINGLE SKIN BRICK.
 CEILINGS - PLASTERBOARD.
 ROOF - CONCRETE WITH R2.5 BULK INSULATION.
 FLOORS - CONCRETE.
 WINDOWS - ALUMINIUM FRAMED, SINGLE GLAZED CLEAR TO ALL UNITS EXCEPT UNITS 3 & 4 TO HAVE U VALUE 6.57 OR LESS & SHGC 0.74 +/- 10%.
 UNITS 3 & 4 ALUMINIUM FRAMED, LOW E CLEAR WITH U VALUE 4.70 OR LESS & SHGC 0.63 +/- 10%.
 SKYLIGHTS - DOUBLE GLAZED CLEAR.
 LIGHTING - UNITS CAN HAVE NON-VENTILATED LED / FLUORESCENT DOWNLIGHTS AS THERE IS NO LOSS OF INSULATION. INSULATION HAS BEEN PROVIDED TO THE CONCRETE ROOF.
 BATHROOM / EN-SUITE & LAUNDRY EXHAUST FANS TO HAVE SELF CLOSING DAMPERS INSTALLED.

CALCULATIONS:

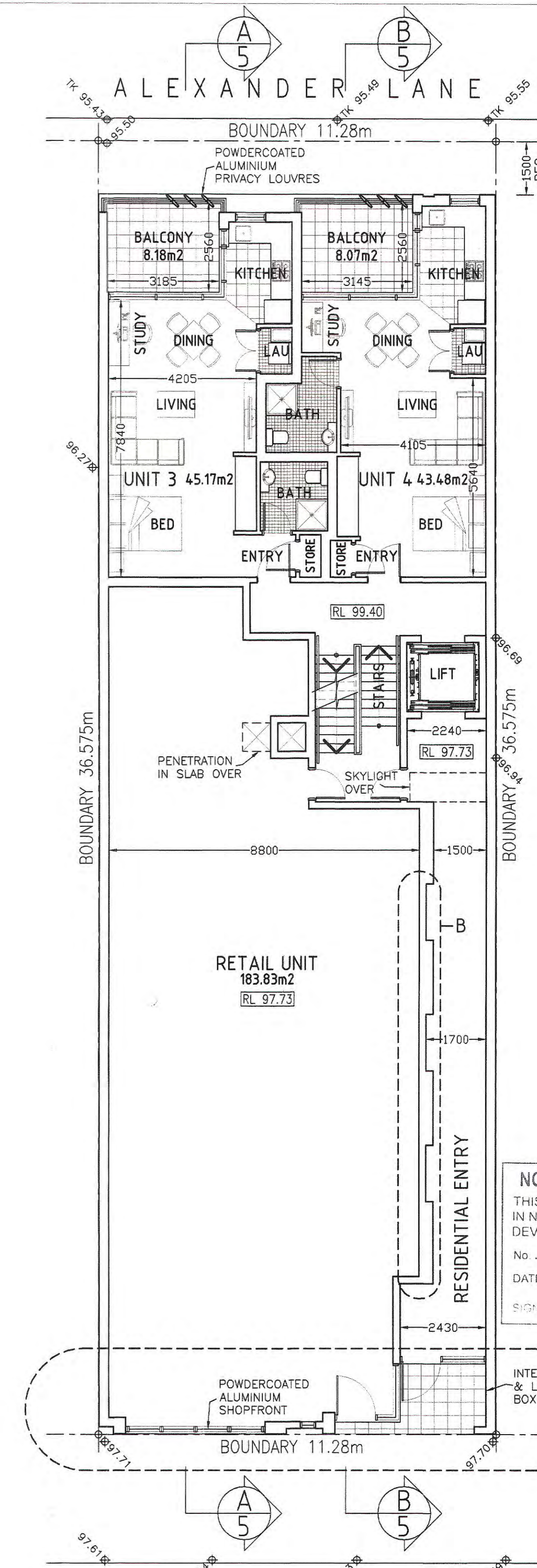
ZONE = B4 MIXED USE
 SITE AREA = 412.5m²
 FSR REQUIRED (NON-RESIDENTIAL) = 0.5:1 = 206.25m²
 FSR PROPOSED (NON-RESIDENTIAL) = 0.5:1 = 206.31m²
 MAX HEIGHT ALLOWED = 10.0m
 MAX HEIGHT PROPOSED = 10.99m MAX
 MAX NUMBER OF STOREYS ALLOWED = 3
 MAX NUMBER OF STOREYS PROPOSED = 3



LOWER BASEMENT PLAN
SCALE 1:100



BASEMENT & LOWER GROUND FL PLAN
SCALE 1:100

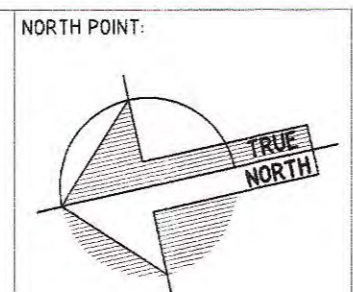


GROUND FLOOR PLAN
SCALE 1:100

NORTH SYDNEY COUNCIL
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 No. 473/15
 DATE 11/07/16
 SIGNED: [Signature]

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ISSUE:
 A: 01/12/15: DA LODGEMENT ISSUE.
 B: 01/05/16: RESIDENTIAL ENTRY & SHOPFRONT AMENDED.



FLOOR PLANS

DESIGNED BY:
CORNERSTONE DESIGN
 5/146 RAILWAY PDE KOGARAH
 NSW 2217 AUSTRALIA
 Tel: +61 2 9553 9911
 Mob: 042 111 8888

PROJECT:
PROPOSED MIXED USE DEVELOPMENT AT 51 ALEXANDER STREET CROWS NEST
 Lot 7 Sec 16 DP 1265
 CLIENT:
 MR & MRS D. GONGOLIDIS

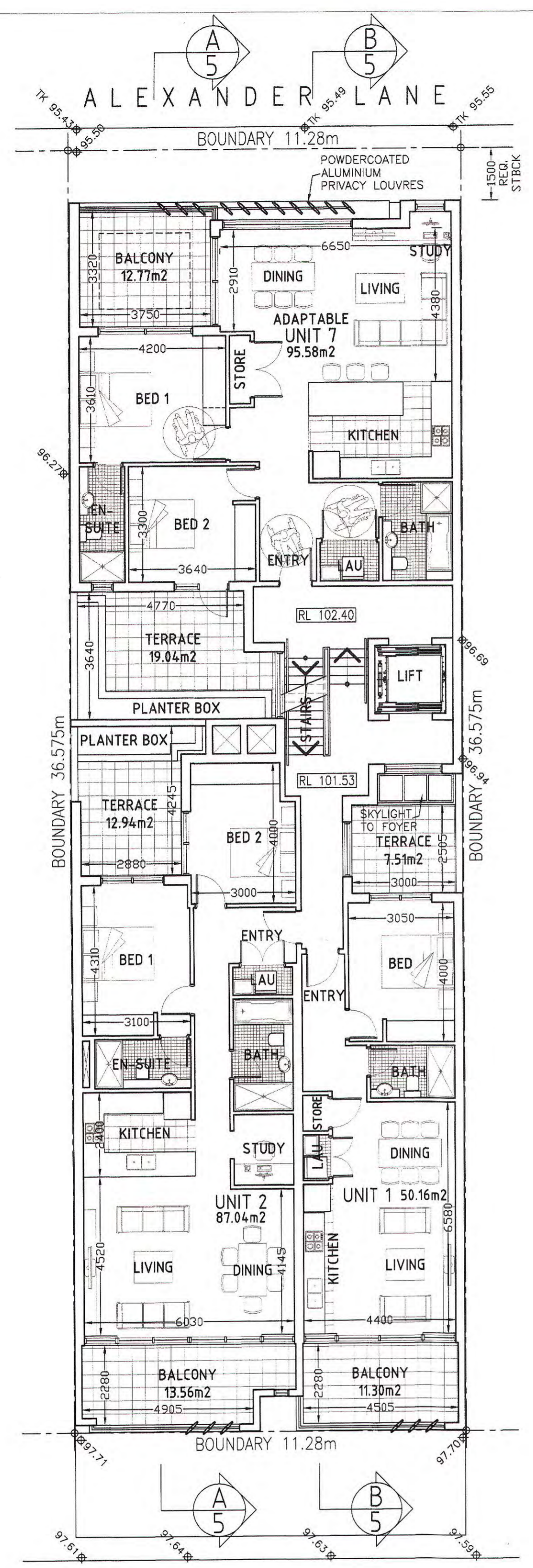
DRAWING NUMBER:
DA 02
 PLAN NUMBER:
 CD 1386
 SCALES:
 1:100@A1
 DESIGN ARCHITECT: NICK LYENKO, REGISTRATION NO: 3010



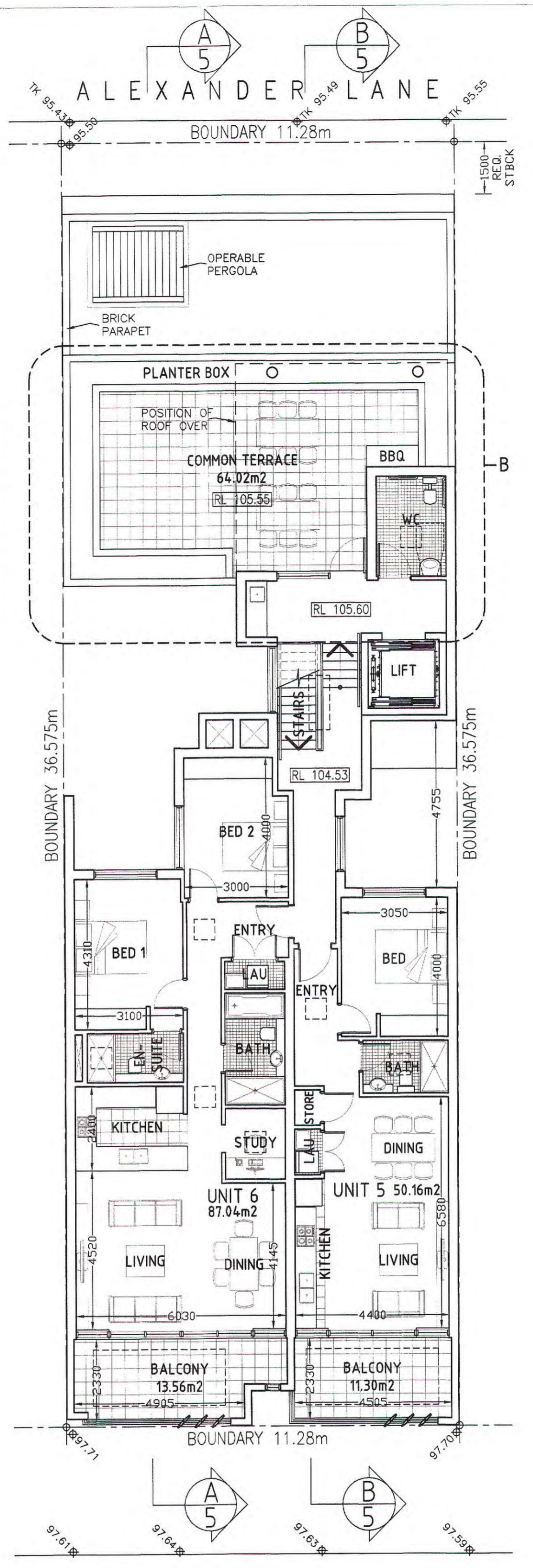
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33044 ORIGINAL

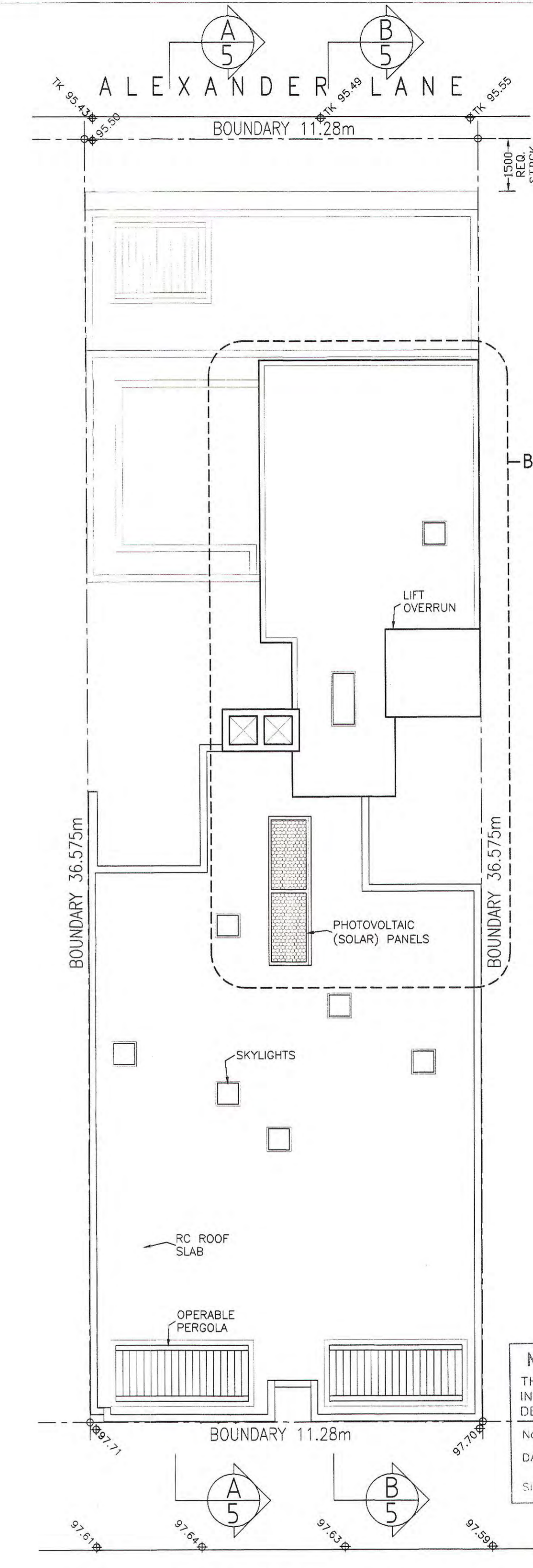
FILENAME:



FIRST FLOOR PLAN
SCALE 1:100



SECOND FLOOR PLAN
SCALE 1:100

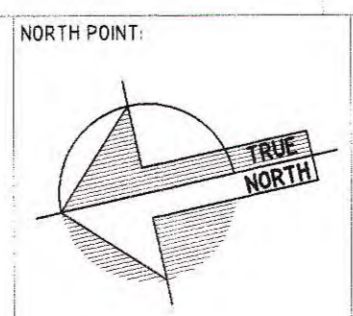


ROOF PLAN
SCALE 1:100

NORTH SYDNEY COUNCIL
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No. 473/15
DATE 11/07/16
SIGNED: [Signature]

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ISSUE:
A: 01/12/15: DA LODGEMENT ISSUE.
B: 01/05/16: ROOFTOP TERRACE ADDED. WINDOWS ADDED TO STAIRWAY.



FLOOR PLANS

DESIGNED BY:
CORNERSTONE DESIGN
5/146 RAILWAY PDE KOGARAH
NSW 2217 AUSTRALIA
Tel: +61 2 9553 9911
Mob: 042 111 8888

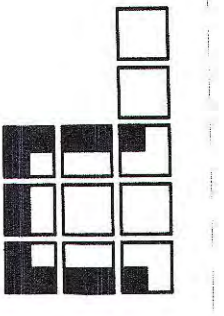
PROJECT:
**PROPOSED MIXED USE DEVELOPMENT AT
51 ALEXANDER STREET CROWS NEST**
Lot 7 Sec 16 DP 1265
CLIENT:
MR & MRS D. GONGOLIDIS

DRAWING NUMBER:
DA 03
ISSUE:
B
PLAN NUMBER: CD 1386
SCALES:
1:100@A1
DESIGN ARCHITECT: NICK LYENKO. REGISTRATION NO: 3010

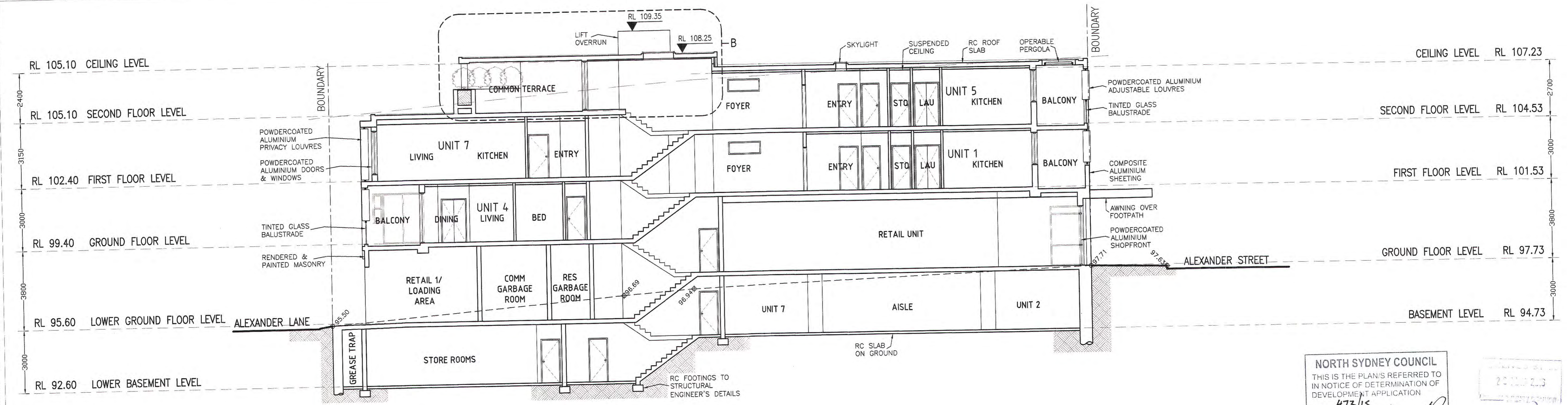
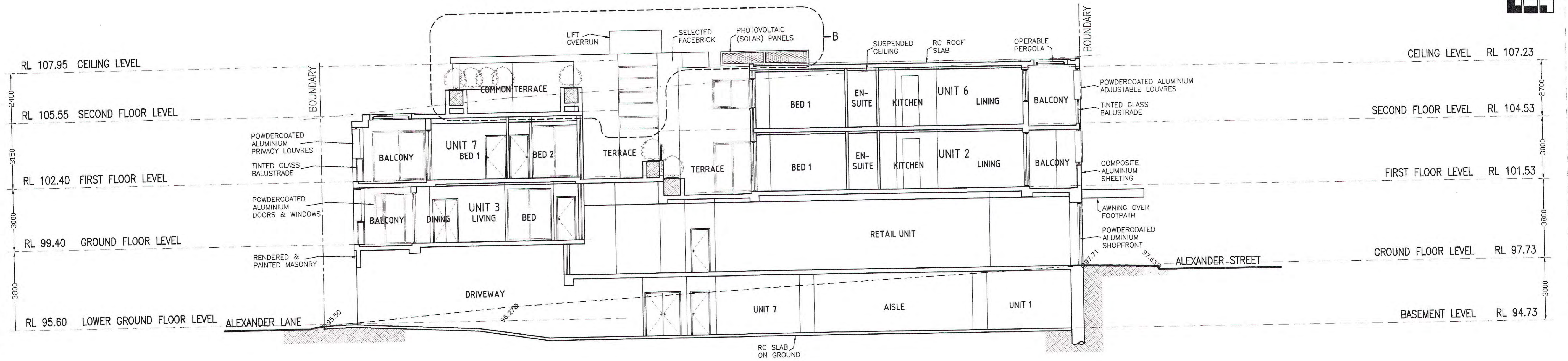


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300MM ON ORIGINAL



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 No. 473/15
 DATE 11/07/16
 SIGNED: [Signature]

ISSUE:
 A: 01/12/15: DA LODGEMENT ISSUE.
 B: 01/05/16: ROOFTOP TERRACE ADDED TO SECTIONS. WINDOWS ADDED TO STAIRWAY ON SECTION A-A.

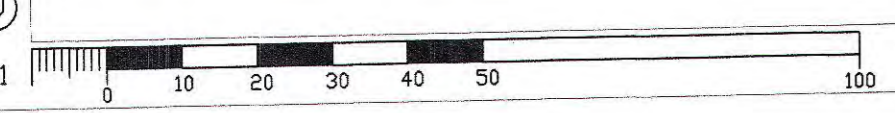
SECTIONS

DESIGNED BY:

CORNERSTONE DESIGN
 5/146 RAILWAY PDE KOGARAH
 NSW 2217 AUSTRALIA
 Tel: +61 2 9553 9911
 Mob: 042 111 8888

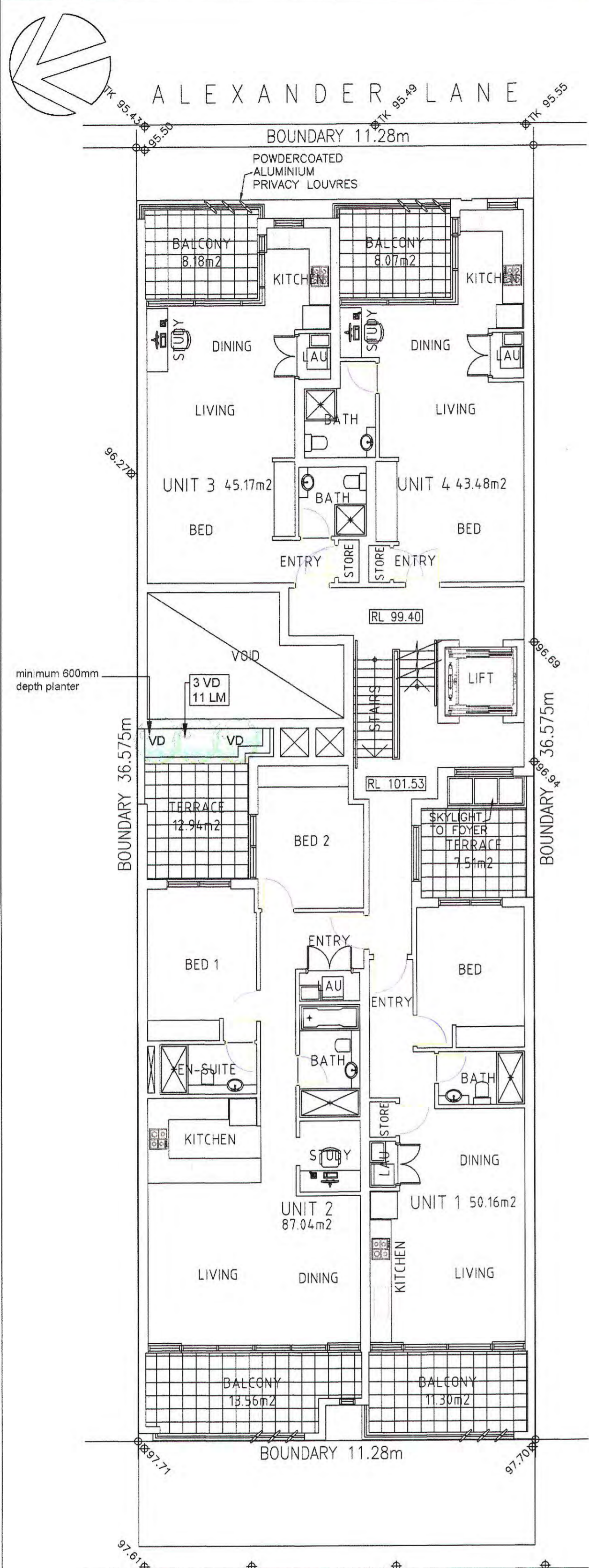
PROJECT:
PROPOSED MIXED USE DEVELOPMENT AT 51 ALEXANDER STREET CROWS NEST
 Lot 7 Sec 16 DP 1265
 CLIENT:
 MR & MRS D. GONGOLIDIS

DRAWING NUMBER:	ISSUE:
DA 05	B
PLAN NUMBER: CD 1386	
SCALE:	
1:100@A1	
DESIGN ARCHITECT: NICK LYCENKO. REGISTRATION NO: 3010	



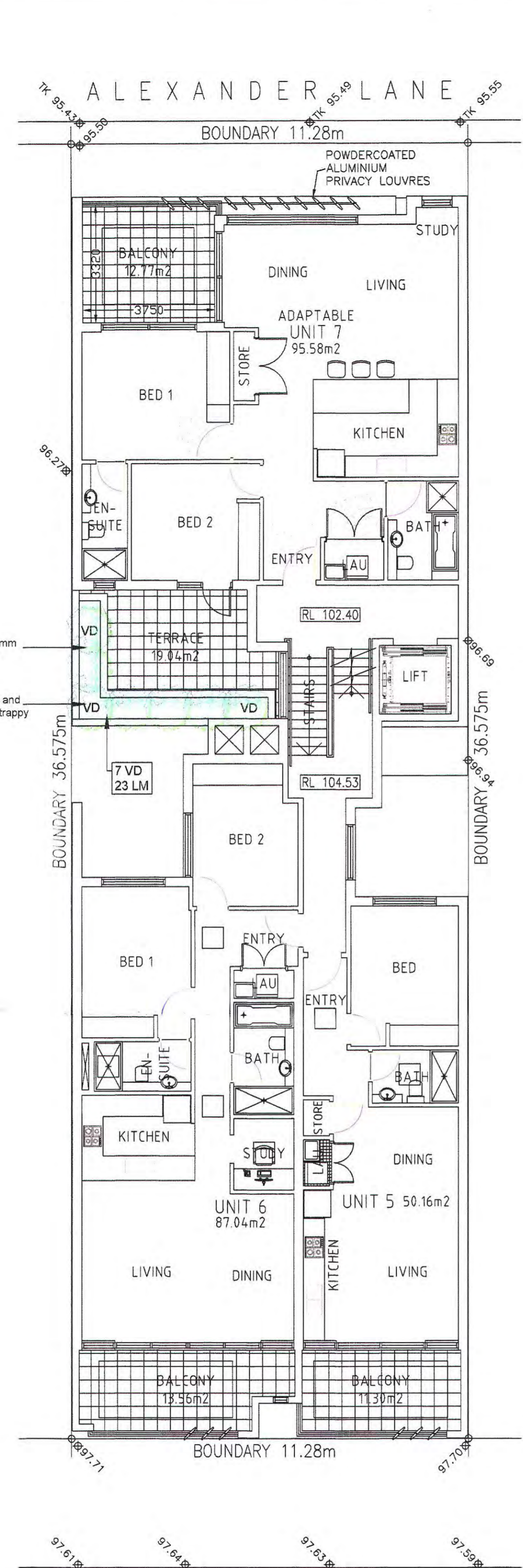
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300MM EN ORIGINAL



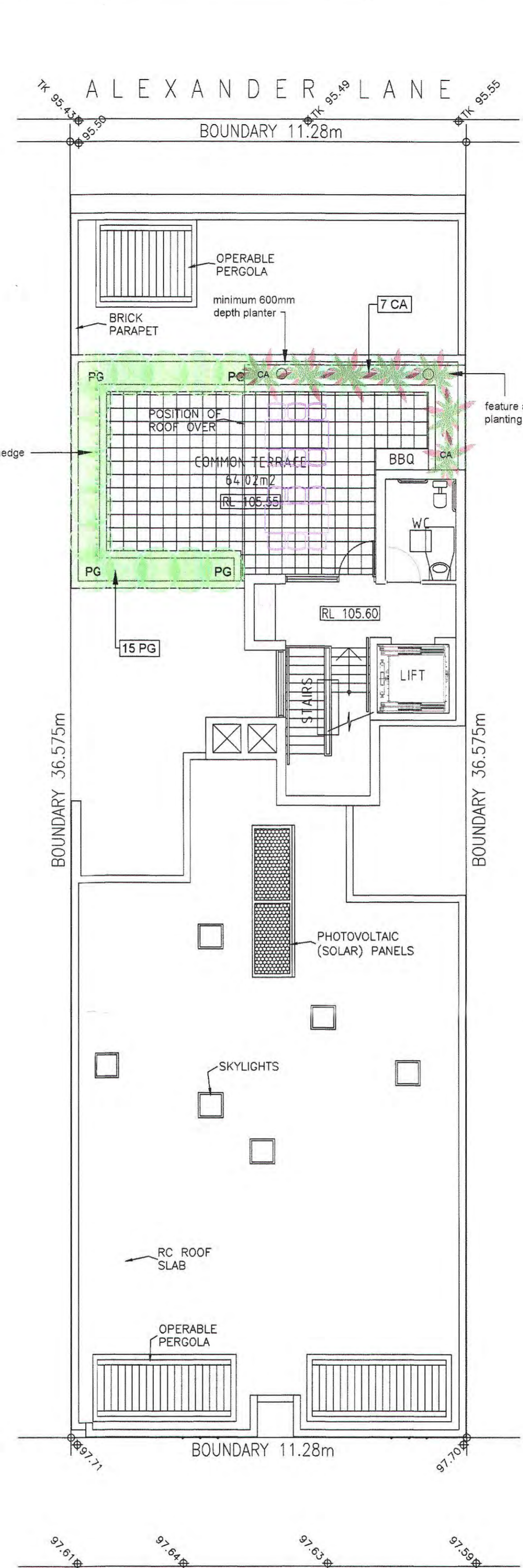
ALEXANDER STREET
FIRST FLOOR PLAN

PLANT SCHEDULE- FIRST FLOOR						
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
VD	Viburnum 'Dense Hedge' (hedged)	3	25ltr	2m	no	Viburnum
LM	Liriope muscari	11	150mm	0.3m	no	Turf Lily



ALEXANDER STREET
SECOND FLOOR PLAN

PLANT SCHEDULE- SECOND FLOOR						
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
VD	Viburnum 'Dense Hedge' (hedged)	7	25ltr	2m	no	Viburnum
LM	Liriope muscari	23	150mm	0.3m	no	Turf Lily



ALEXANDER STREET
ROOFTOP PLAN

PLANT SCHEDULE- ROOF						
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
PG	Photinia glabra 'Rubens' (hedged)	2	25ltr	2m	no	Red Photinia
CA	Cordyline australis	2	200mm	2m	no	Cordyline

- LANDSCAPE GUIDELINES**
- GENERAL**
 - The Contractor shall familiarise themselves with the site prior to tender.
 - The Contractor will be held responsible for any damage to utility services, pipes, building structures, paving surfaces, fencing, footways, kerbs, roads and existing plant material.
 - The site is to be left in a clean and tidy condition at the completion of works to the satisfaction of the Superintendent.
 - No work involving an extra shall be undertaken unless approval is first obtained from the Superintendent.
 - No substitute of material shall be made unless approval is given by the Superintendent.
 - The Contractor shall continuously maintain all areas of the Contract during progress of the works specified.
 - SITE PREPARATION**
 - Prepared sub-grade is to be free of stones larger than 100mm diameter, cement, rubbish and any other foreign matter that could hinder plant growth.
 - MASS PLANTED AREAS**
 - Once clear of weeds, grass and debris, sub-grade should be cultivated to a minimum depth of 150mm incorporating Dynamic Lifter or equivalent as recommended by the manufacturers.
 - Weeds shall be controlled by a combination of chemical and hand removal techniques.
 - PLANTING**
 - All plant material is to be hardened off, disease and insect free and true to species, type and variety. Plants are to be well grown but not root bound and shall comply with Natspec - "Guide to Purchasing Landscape Trees".
 - All plants are to be removed from their containers prior to planting with as little disturbance to the root system as possible.
 - Planting shall not be carried out in dry soil or extreme weather conditions.
 - Plants should be planted at the same depth as the plants were in the containers and allow for a shallow saucer of soil to be formed around the plant to aid the penetration of water.
 - All plant material should be watered thoroughly immediately after planting.
 - The Contractor shall be responsible for the failure of plants during construction, except for acts of vandalism.
 - Labels shall be removed entirely from the plants.
 - MULCH**
 - Mulch for all mass planted beds shall be 'Droughtmaster' mulch as supplied by A.N.L. or similar.
 - SOIL MIXES**
 - Soil mix for planter boxes and planting over slab shall be 'Planter Box Mix' as supplied by A.N.L. or equivalent.



Viburnum



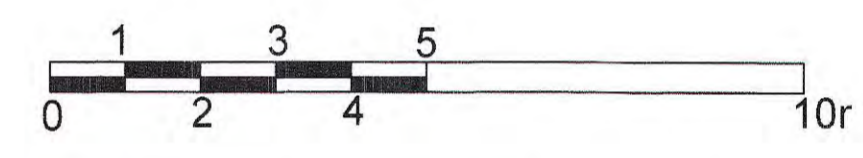
Liriope



Red Photinia



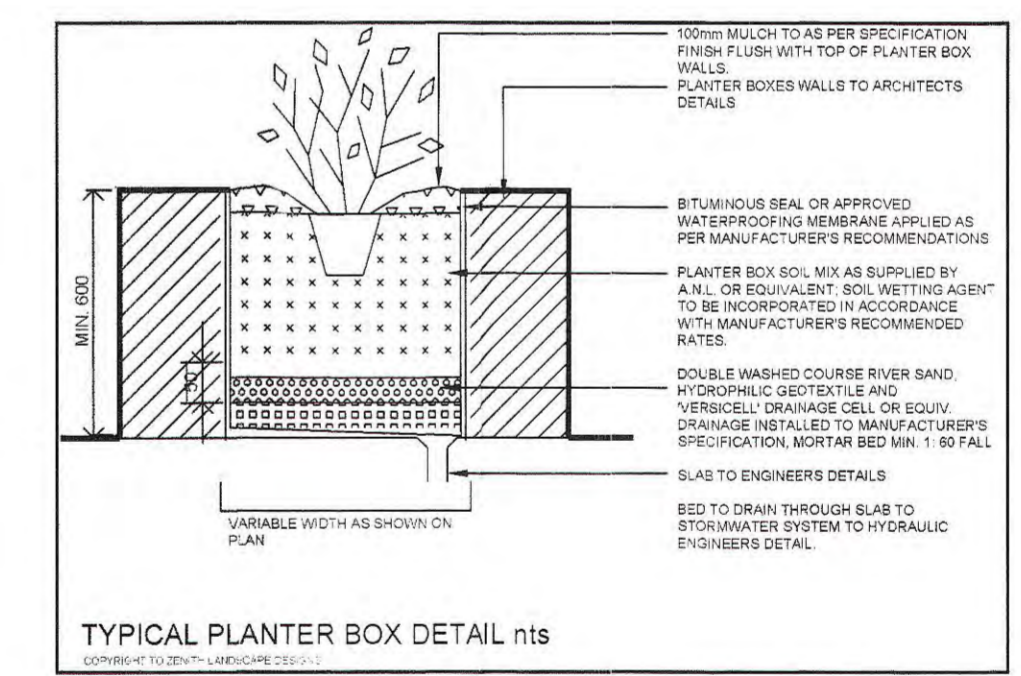
Cordyline



DISCLAIMER
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- NOTES**
- Vehicular pavement, fencing and built structure details shall be to Architect specification.
 - All surface and sub-surface drainage requirements shall be to Engineers or
 - Numeric dimensions should be taken in preference to scaling.
 - All dimensions should be checked on-site prior to commencing construction.
 - Contractors shall verify the location of all site features prior to commencing work.
 - Soil testing has not been undertaken as part of the preparation of this design. Contractors shall determine the need for soil testing prior to any planting work.
 - A search of underground services has not been undertaken as part of the preparation of this design. It is recommended that Contractors contact DIAL BEFORE YOU DIG ON 1100 prior to commencing any works.
 - This plan is to be read in conjunction with the architectural and engineering.
 - It is recommended that an approved root barrier be installed to manufacturer recommendations to all tree planting in the vicinity of structures, walls and pavement areas.
 - Common mass planted beds will require a fully automated irrigation system which is to be designed and installed by an irrigation consultant prior to plant



TYPICAL PLANTER BOX DETAIL nts

NORTH SYDNEY COUNCIL
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No. 473/15
DATE 11/07/16
SIGNED

A	REVISED ARCHITECTURAL DESIGN	11.5.16
Rev. no.	Description:	Date:
ARBORIST: GORAN MLADENOVSKI		
SURVEY: CORNERSTONE		
HYDRAULIC: CORNERSTONE		
ARCHITECT: CORNERSTONE		
CLIENT: MR & MRS GONGOLIDIS		

ZENITH Landscape Designs
19 Araluen Place Sutherland
Ph: 95455200 Fax: 95455300
E: info@zenithlandscapes.com.au

**51 ALEXANDER STREET
CROWS NEST**

TITLE:	LANDSCAPE PLAN
STATUS:	DA
SCALE:	1:100
DRAWN:	MAG
CHECKED:	MFG
DATE:	20.10.15
SHEET:	1 OF 1
DRAWING No.:	15-3121 LO1
REVISION:	A