



**NSLPP MEETING HELD ON 01/02/2023
SECTION 4.55 APPLICATION REPORT**

Attachments:
1. Site Plan
2. Architectural Plans

ADDRESS/WARD: 34 Grosvenor Street, Neutral Bay

APPLICATION No: DA 237/20/7

PROPOSAL: To modify an approved four (4) storey residential flat building including changes to the plant area on the roof level.

PLANS REF:

Plan Nos.	Rev	Description of works	Prepared by	Dated
A0103	G	Level 03 Floor Plan	Team 2 Architects	03 November 2022
A0104	G	Roof Plan	Team 2 Architects	03 November 2022
A0200	G	Elevations 01	Team 2 Architects	03 November 2022
A0201	G	Elevations 02	Team 2 Architects	03 November 2022
A0300	G	Section 01	Team 2 Architects	03 November 2022
A4302	1	Roof Privacy Screens	Team 2 Architects	07 November 2022

OWNER: Abadeen Grosvenor Pty Ltd

APPLICANT: Grosvenor Development Co Pty Ltd

AUTHOR: Robin Tse, Senior Assessment Officer

DATE OF REPORT: 23 January 2023

DATE LODGED: 15 November 2022

RECOMMENDATION: Approval

EXECUTIVE SUMMARY

This application under Section 4.55 of the Environmental Planning and Assessment Act 1979 seeks to modify Development Consent (D237/20) for redevelopment of the subject properties to provide a new four (4) storey residential flat building including a rooftop plant area extension and addition of ventilation louvers at No.34 Grosvenor Street, Neutral Bay.

The application is reported to NSLPP for determination because the proposed modifications involve a further departure from the maximum building height development standard in accordance with the direction from the Minister for Planning.

Council's notification of the proposal has attracted one (1) submission raising concerns about adverse acoustic impacts and visual impacts of the proposed rooftop plant area extension.

The application has been assessed against the North Sydney LEP 2013 and North Sydney DCP 2013 and SEPP 65 – Design Quality of Residential Flat Building and generally found to be satisfactory.

The proposed modifications are considered to be generally consistent with the originally approved development application and s.4.55 of the EP & A Act 1979.

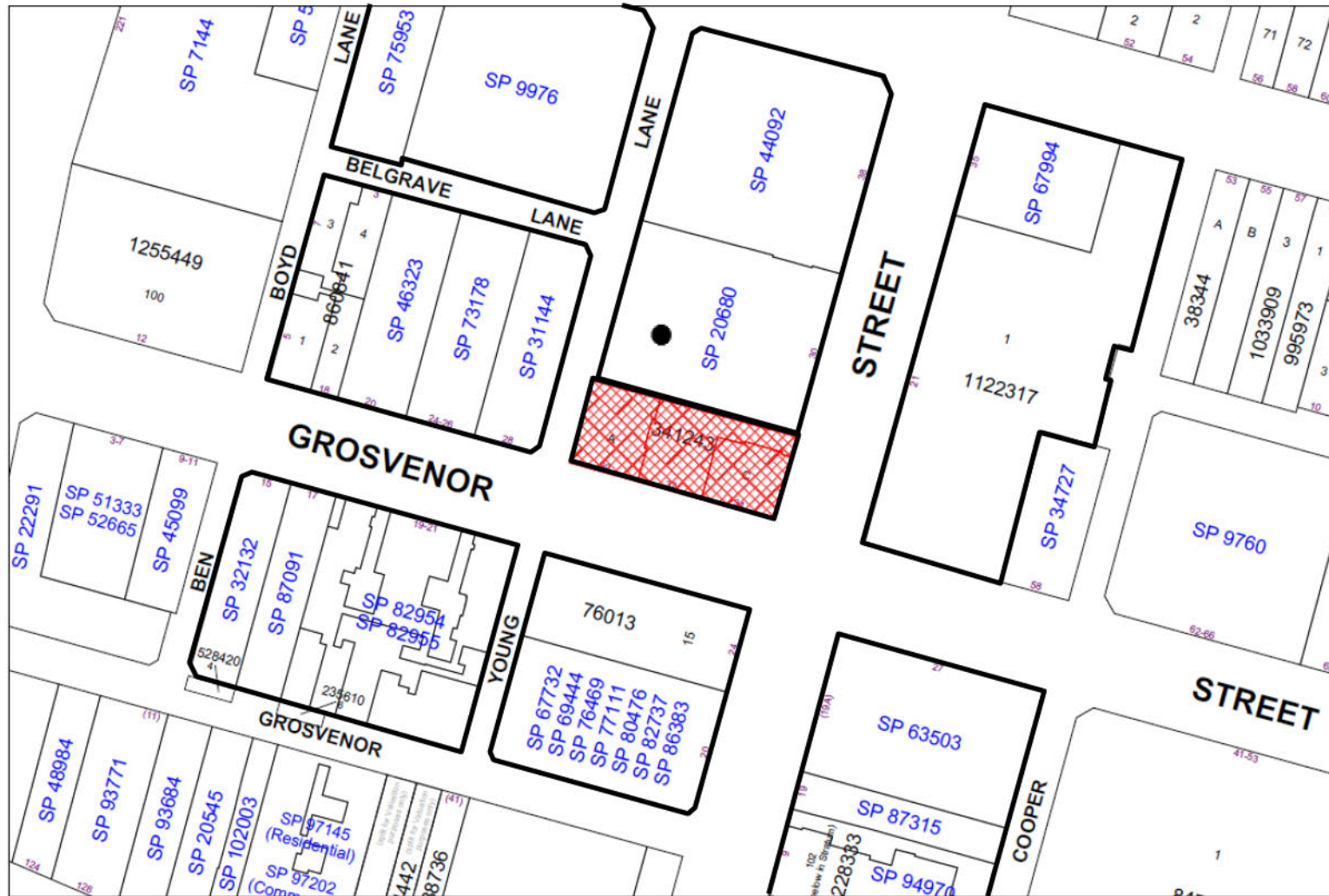
The proposed modifications, as amended by conditions of consent, would result in a development which is substantially the same development as originally approved as the proposal would not materially change the building height, setbacks, and the visual mass of the development as approved in the original DA.



The proposed modifications to the building elements above the LEP maximum building height limit would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality subject to the imposition of additional conditions requiring an acoustic review and design details for the plant area screens on the rooftop (**Conditions C46 and C47**).

The proposed modifications, as amended by conditions of consent, would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.

The proposal was found to be acceptable in the site circumstances and is recommended that the subject Section 4.55(2) application be **approved** with modifications to existing conditions of consent and addition of new conditions.

LOCATION MAP



 Property/Applicant ● Submitters - Properties Notified 

DESCRIPTION OF PROPOSAL

The subject S4.55 application involves modifications to Development Consent (D237/20) for the redevelopment of the properties at Nos. 34 Grosvenor Street, Neutral Bay to provide a four (4) storey residential flat building.

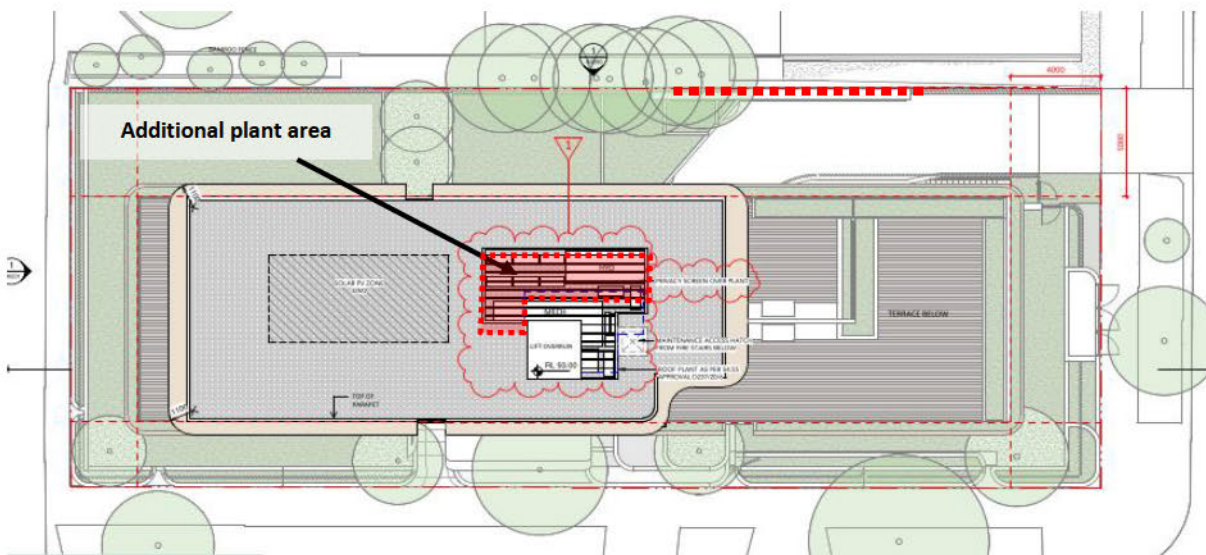
The proposed modifications are summarised as follows:

(a) Roof Level (RL91.55):

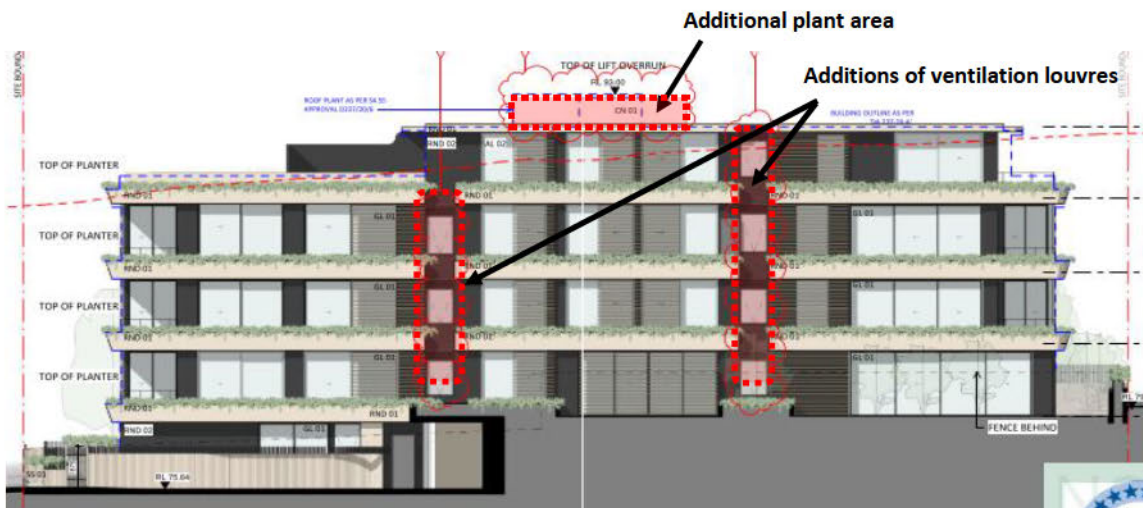
An extension of the rooftop plant area to accommodate air conditioning units and a compliant hot water plant storage tank.

(b) Ventilation Louvres

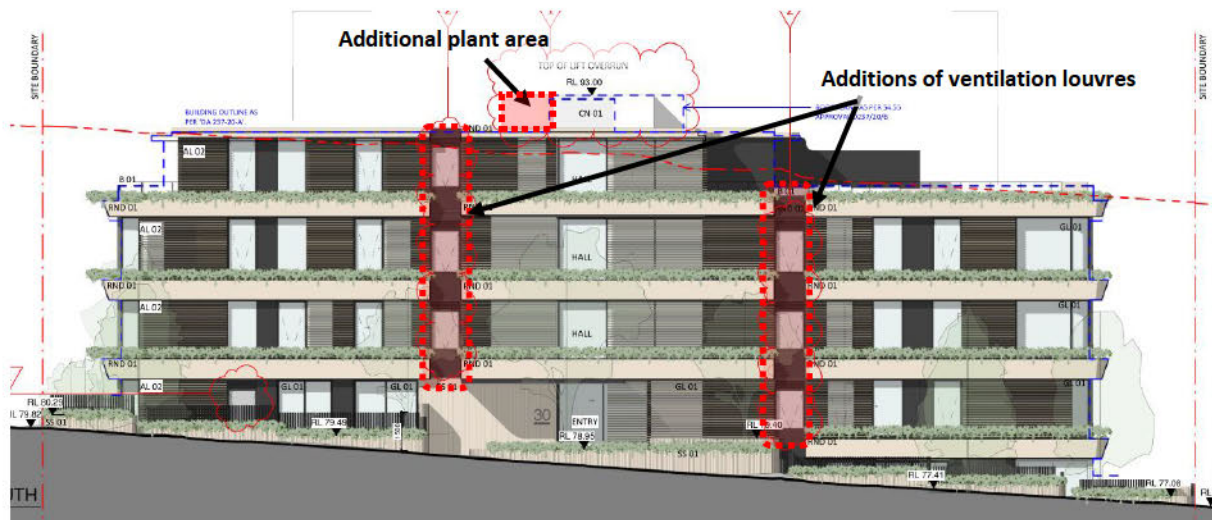
Modifications to kitchen and hallway windows on Ground Level, Levels 1 to 3 on the northern and southern elevations to incorporate ventilation louvres.



Roof Plan



Northern Elevation



Southern (Grosvenor Street) Elevation

Figures 1 – 3: Proposed Modifications

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R4 High Density Residential)
- Item of Heritage - No
- In Vicinity of Item of Heritage - No
- Conservation Area - No
- FSBL – No

North Sydney Infrastructure Contribution Plan 2020

Environmental Planning & Assessment Act 1979 (As amended)

SEPP (Biodiversity and Conservation) 2021 – Chapter 6

SEPP (Resilience and Hazards) 2021 – Chapter 4

SEPP 65 – Design Quality of Residential Apartment Development & ADG

SEPP (Building Sustainability Index: BASIX) 2004

Local Development

POLICY CONTROLS

DCP 2013

Apartment Design Guidelines (ADG)

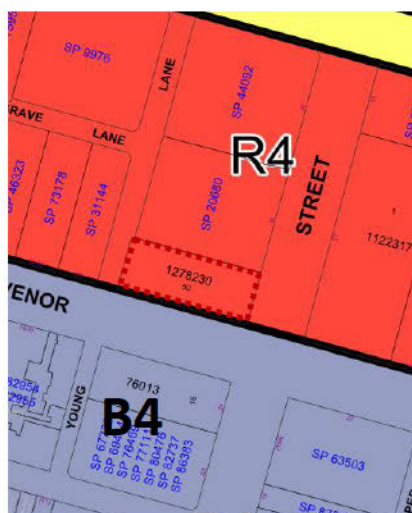


Figure 4: Zoning Map



Figure 5: Building Height Map

DESCRIPTION OF LOCALITY

The subject site is located on the northern side of Grosvenor Street. The subject site comprises an allotment at No. 34 Grosvenor Street, legally known as Lot 50 of DP1278230. The subject site has the main street frontages to Grosvenor Street with frontage to Young Street to the east and Young Lane to the west. The site is rectangular in shape with fall of 3.9m from Young Lane towards Young Street to the east with a total area of 839.3sqm.

The subject site is located on the northern edge of the Neutral Bay Town Centre and is surrounded by developments with varying heights and building typologies. The subject site and properties on the northern side of Grosvenor Street are located on land zoned R4 (High Density Residential) with a maximum building height of 12m. However, there are existing apartment buildings built in the 1970's/80's with building height well in excess of the current LEP building height limit. Land to the south of the subject site across Grosvenor Street is zoned B4 (Mixed Use) with a maximum height limit of 16m.

Immediately adjoining the subject site to the north is a seven (7) storey residential flat building at No.30 Young Street. A driveway and parking spaces are located on the southern side of this adjoining property adjacent to the common property boundary with the subject site.

A two (2) story townhouse development with attic dormers is located to the west of the subject site across Young Lane at No. 28 Grosvenor Street. To the east of the subject site across Young Street is a four (4) storey residential flat building at No. 21 Young Street.

To the south across Grosvenor Street is a part two/three storey commercial building at No. 24 Young Street. The southern side of Grosvenor Street is characterised by mixed used developments up to five storeys.



Figure 6: Subject Site and the Locality

RELEVANT HISTORY

Previous Applications:

- **3 March 2021** – A deferred commencement consent (**D237/20**) was granted by NSLPP for the redevelopment of the subject site involving the demolition of the existing buildings and the construction of a four (4) storey residential flat building with nine (9) apartments and basement parking for fifteen (15) cars.
- **24 May 2021** – An operative consent was issued following the approval of the plans, information and reports submitted to satisfy the requirements of all deferred commencement conditions.
- **2 February 2022** – A S4.55 (2) application (**D237/20/2**) was approved by NSLPP for various modifications to the approved apartment building including changes to floor levels, internal layout changes within the basement levels, an additional basement level and an increase in the height of the lift overrun by 300mm.
- **1 June 2022** – A S4.55 (2) application (**D237/20/3**) was approved by the NSLPP for various modifications including internal layout changes, building height increases, Level 3 extension and a reduced communal terrace.
- **4 August 2022** – A S4.55 (1A) application (**D237/20/4**) was approved under delegated authority for modifications to Condition C43 relating to Sydney Water requirements.
- **19 August 2022** - A S4.55(1A) application (**D237/20/5**) was approved under delegated authority for modifications to wording of Conditions A9 (Modifications to Level 3 layout), A10 (External Screens for Apartments 002 & 301) and C45 (Solar Panels) to facilitate the issue of construction certificate in stages.
- **19 August 2022** – A S4.55(1A) application (**D237/20/6**) was approved under delegated authority for modifications to Conditions C30 (Location of Plant) and C40 (BASIX Certificate) to facilitate the staging of construction certificate.

Current Application:

- **15 November 2022** – The subject S4.55 (2) application (**D237/20/7**) seeking modifications to the approved development including changes to the plant area on the roof level was lodged with Council.
- **30 November 2022** – The applicant submitted additional design details for the screens to be installed along the perimeter of the rooftop plant area.
- **2 to 16 December 2022** - The application was notified to adjoining properties and the Brightmore Precinct. The notification attracted one (1) submission.
- **18 January 2023** – The applicant submitted additional information in relation to the proposed changes relating to proposed ventilation louvres.

REFERRALS

BUILDING

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

ENVIRONMENTAL HEALTH

The application was referred to Council's Team Leader Environmental Health who raised no objection to the proposed modifications subject to the imposition of the following condition:

Acoustic Review

C46. A detailed acoustic review of all mechanical plants to be located on the roof shall be undertaken prior to the issue of a construction certificate for the plant areas on the roof level.

The review shall be undertaken by an appropriately qualified acoustical consultant eligible for membership of the Association of Acoustical Consultants and shall identify acoustic treatments required to control noise emissions to satisfactory levels as per the relevant noise criteria as contained in the Acoustic Assessment, dated 14/12/2020, prepared by Acoustic Logic and the requirements of Condition C31 (Noise from Plant and Equipment) of this Development Consent. The acoustic review and its recommendations for any acoustic treatments shall be submitted to Council for information.

The acoustic review must be submitted to the Certifying Authority for approval prior to the issue of a construction certificate for the plant areas on the roof level. The Certifying Authority must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition prior to the release of the Construction Certificate.

(Reason: To ensure the amenity of the adjoining properties.)

DESIGN EXCELLENCE PANEL

A referral of the subject application to Council's Design Excellence Panel is not considered necessary because the proposed modifications would not significantly change the overall design, appearance and building height of the approved development. Furthermore, the proposal would not change the overall level of compliance with SEPP 65 and the Apartment Design Guide (ADG) as detailed later in this report.

SUBMISSIONS

The owners of adjoining properties and the Brightmore Precinct were notified between 2 and 16 December 2022. The notification of the application has attracted one (1) submission raising concerns about the adverse noise impacts from the extended roof plant area and requested the submission of a further acoustic assessment. The submitter also raised concerns about the appearance of the roof plant area as seen from a high-rise apartment building to the north.

The issues raised in the submissions are to be addressed later in this report. The original submissions may be viewed by way of DA tracking on Council's website https://www.northsydney.nsw.gov.au/Building_Development/Current_DAs and are available for review by NSLPP members.

CONSIDERATION

Council is required to assess the s4.55 application under the EPA Act 1979 (As amended) having regard to the following matters:

Section 4.55 (2)

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
- (c) *it has notified the application in accordance with—*
 - (i) *the regulations, if the regulations so require, or*
 - (ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent,**and*
- (d) *it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

Comments are provided on the above matters in section 4.55 (2) as follows:

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*

The application involves an extension of the rooftop plant area and the addition of ventilation louvres on the northern and southern elevations. The proposed modifications would not significantly change the overall building height and the use of the approved development. Consequently, the proposal, as amended by condition of consent, is considered to be “substantially the same”.

- (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*

The proposal did not require any referral to another public authority.

- (c) *Whether the application has been notified and, if so, were there any submissions*

The owners of adjoining properties and the Brightmore Precinct were notified between 2 and 16 December 2022. The notification has attracted one (1) submission. The concerns raised in the submission will be addressed later in this report.

Pursuant to section 4.55 (3) in the EPA ACT 1979 (as amended) Council must also consider the matters that need to be addressed under section 4.15 (Evaluation) and the reasons for the original approval that are considered later in this report.

MATTERS FOR CONSIDERATION UNDER SECTION 4.15 (Evaluation)

SEPP (Biodiversity and Conservation) 2021

Chapter 6 - Water Catchment

Having regard to the SEPP (Biodiversity and Conservation) 2021 with respect to the Sydney Harbour Catchment and the Sydney Harbour Foreshores and Waterways Area DCP 2005, the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore.

The proposed modifications would have no adverse impacts on views from the waterway and the biodiversity of the foreshore/waterways. As such, the development is acceptable having regard to the provisions contained within the SEPP (Biodiversity and Conservation) 2021 and the Sydney Harbour Foreshores and Waterways DCP 2005.

SEPP (Resilience and Hazards) 2021

The provisions of SEPP (Resilience and Hazards) 2021 require Council to consider the likelihood that the site is contaminated and to address methods necessary to remediate the site. The subject site has previously been used for purposes that are unlikely to contain any contaminants. Therefore, the site is considered suitable for the continued residential use and the requirements of the SEPP have been satisfactorily addressed.

SEPP (Building Sustainability Index: BASIX) 2004

The applicant has submitted a revised BASIX Certificate (1136420M_07) to demonstrate compliance with the relevant energy efficiency/building sustainability requirements. It is recommended that **Condition C40** (BASIX Certificate) be modified to incorporate the reference to the revised BASIX Certificate.

SEPP 65 – Design Quality of Residential Apartment Development

State Environmental Planning Policy No. 65 aims to improve the design quality of residential flat buildings in New South Wales. The primary design principles in the SEPP are discussed as follows:

Principles 1 and 2: Context, Built Form and Scale

The subject site is located within a R4 (High Density Residential) zone and the proposal for a residential flat building development would generally be suitable for the site context and be compatible with the desirable future character for development with Neutral Bay Town Centre.

Generally, the proposed modifications would not change the approved four storey building in terms of overall design, form and appearance. The proposal would be generally consistent with the apartment development within the R4 (High Density Residential) zone with a height limit of 12m.

Principle 3: Density

The proposed modifications would not change the number of apartments and unit mix within the approved development.

Principle 4: Sustainability

The proposed modifications would involve an extension of the rooftop plant area and installation of ventilation louvres on the northern and southern elevations. The applicant has submitted an updated BASIX Certificate to demonstrate compliance with the relevant energy efficiency requirements.

Principle 5: Landscape

The proposed modifications do not involve changes to the landscaping treatments as originally approved.

Principle 6: Amenity

The proposed modifications would not affect the overall level of compliance with the ADG. As indicated earlier in this report, a condition is recommended requiring an acoustic review for the proposed rooftop plant area extension to ensure that compliance with the relevant noise requirements and to protect the amenity of the adjoining properties (**Condition C46**).

Principle 7: Safety

The proposed modifications would not affect the overall level of safety and security of the approved development.

Principle 8: Housing Diversity and Social Dimensions

The proposed modifications would not offend this principle given that there would be no change to the number and size of apartments and the overall amenity of these apartments as previously approved.

Principle 9: Aesthetics

The proposed modifications would not change the overall appearance and the aesthetic quality of the approved apartment development.

In addition, the applicant has provided design details for the proposed screens for the rooftop plant area. The 1.45m high aluminum screen would be installed along the perimeter of the rooftop plant area and would match the height of the adjacent lift overrun at RL93.00. The screens would have a powder coated finish with a light grey colour to match that on the lift overrun.

The proposal is considered acceptable subject to a condition specifying the design details for the rooftop plant area (**Condition C47**).

It is concluded that the proposed modifications are found to be generally consistent with the key SEPP 65 design principles and therefore is supported.

APARTMENT DESIGN GUIDE (ADG)

As indicated earlier in this report, the proposed modifications would not affect the overall level of compliance of the approved development with the ADG. There would be no material change to the overall design, bulk and scale, unit mix and the internal amenity of the approved residential flat building. The installation of ventilation louvres would ensure good internal amenity for the units within the approved apartment building.

The proposal is considered generally satisfactory having regard to the design criteria specified in the ADG.

NORTH SYDNEY LEP 2013

Permissibility

The land affected by the proposal is zoned R4 (High Density Residential) pursuant to the North Sydney LEP 2013, and development for the purpose of a residential flat building is permissible in the zone with the consent of Council.

Zone Objectives

The objectives of the R4 (High Density Residential) zone are expressed as follows:

- *To provide for the housing needs of the community within a high density residential environment.*
- *To provide a variety of housing types within a high density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for high density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To ensure that a reasonably high level of residential amenity is achieved and maintained.*

The proposed modifications to the approved apartment development is generally consistent with the above objectives of the R4(High Density Residential) zone subject to conditions as detailed throughout this report.

Principal Development Standards

Principal Development Standards – North Sydney Local Environmental Plan 2013				
Site Area – 839.3m ²	Approved	Proposed	Control	Complies
Clause 4.3 – Heights of Building	14.50m (in part)	14.50m (in part)	12m	NO

Building Heights

Clause 4.3(2) of the LEP 2013 and the LEP building height map specify a maximum building height of 12m for the subject site. The new building elements in breach of the LEP building height limit relate to the plant enclosure on the roof of the proposed residential flat building.

The maximum building height breach would be 2.50m for the top north-eastern corner of the lift overrun. The previously approved and the proposed non-complying building elements are shown above the 12m building height blanket in **Figure 7** below.

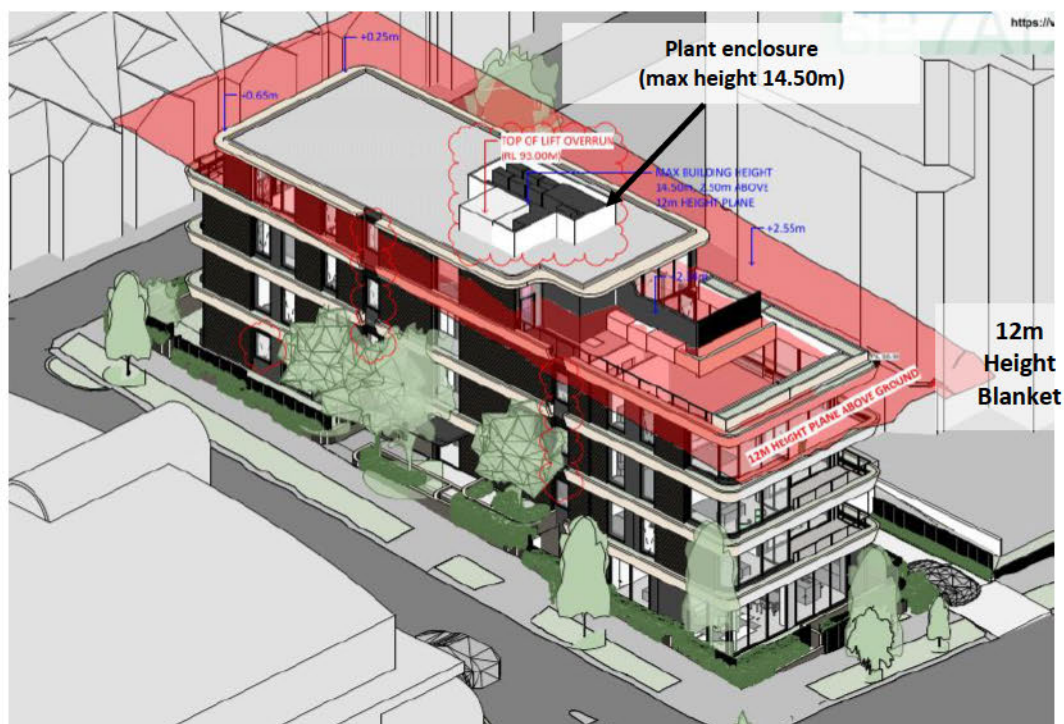


Figure 7: Proposed Development and the LEP Maximum Building Height

In accordance with the findings by Justice Lloyd in *Gann & Anor v Sutherland Shire Council [2008] NSWLEC 157*, the modification of a development consent pursuant to Section 4.55 (formerly Section 96) which results in a new or modified variation to a development standard, does not require the submission of an objection pursuant to SEPP 1 or a request for variation to the Development Standard under Clause 4.6 of the LEP. In this regard, reference is made to the provisions of S4.55(4) of the Act which distinguishes between the modification of a development consent pursuant to S4.55 and the granting of development consent.

Nevertheless, consideration has been given to the objectives of the LEP building height control and the environmental grounds justifying the proposed building height variation as a measure of the performance of the proposed modifications. These matters have been considered below:

(1)(a) To promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient – The proposed modifications would not change the overall landform within the subject site. The proposal would maintain the design integrity of the approved stepped built form following the sloping landform of the subject site.

(1)(b) To promote the retention and, if appropriate, sharing of existing views

(1)(c) To maintain solar access to existing dwellings, public reserves and streets, and to promote solar access to future development

It is considered that the proposed modifications would have no material impacts on significant views as seen from the public domain and the surrounding properties because the location of the modified structures would have an easterly location away from the significant views on the western side of the subject site as seen from the adjoining residential properties to the south and west.

Furthermore, the modified structures would be located away from the adjoining properties to the south resulting in no material shadowing impacts.

(1)(d) To maintain privacy for residents of existing dwelling and to promote privacy for residents of new buildings – The proposed rooftop plant area extension is unlikely to cause noise nuisance for the adjoining properties given the minimum separation of 17m between the proposed enclosure and the nearest building to the north. Furthermore, a condition is recommended requiring an acoustic review of the plant area to ensure the amenity of the surrounding properties (**Condition C46**).

(1)(e) To ensure compatibility between development, particularly at zone boundaries
(1)(f) To encourage an appropriate scale and density of development that is in accordance with, and promotes the character of the area

It is considered that the modified building elements above the LEP building height limit would have no material impacts on neighbouring properties and the locality in terms of the built forms within the locality and the amenity of the surrounding properties subject to the imposition of conditions requiring an acoustic review for the plant area to ensure the amenity of the surrounding properties (**Condition C46**).

There are sufficient environmental planning grounds to justify the modifications, as amended by conditions of consent, to the variation to the building height control.

Earthworks

The proposed modifications do not involve additional earthworks.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
1.2 Social Amenity		
1.2.1 Population Mix	No change	The proposed modifications would not change the population mix and the supply of housing within the locality.
1.2.2 Maintaining Residential Accommodation		
1.2.3 Affordable Housing		
1.2.4 Senior Housing		
1.3 Environmental Criteria		
1.3.1 Topography	Yes	The proposed modifications would not change the overall landform within the subject site. The approved stepped built form would be maintained.

<p>1.3.6 Views 1.3.7 Solar Access</p>	<p>Yes</p>	<p>As mentioned earlier in this report, the proposed modifications would have no material impacts on significant views as seen from the public domain and the surrounding properties because the location of the modified structures would have an easterly location away from the significant views on the western side of the subject site as seen from the adjoining residential properties to the south and west.</p> <p>Furthermore, the modified structures would be located away from the adjoining properties to the south resulting in no material shadowing impacts.</p>
<p>1.3.8 Acoustic Privacy 1.3.10 Visual Privacy</p>	<p>Yes</p>	<p>The proposed modifications to the roof plant area and the additions of ventilation louvres would have no significant impacts on the size and locations of openings and/or the approved structures as well as the overall relationship and building separation between the subject apartment development and the surrounding buildings.</p> <p>In addition, the proposed plant enclosure on the roof level is unlikely to cause noise nuisance for the adjoining properties given the minimum separation of 17m between the proposed enclosure and the nearest building to the north.</p> <p>Furthermore, a condition is recommended requiring an acoustic review for the plant area to ensure the amenity of the surrounding properties (Condition C46).</p>
<p>1.4 Quality built form</p>		
<p>1.4.1 Context</p>	<p>Yes</p>	<p>The proposed modifications, as amended by conditions as detailed in this report, would generally retain the four storey stepped built form of the apartment building as approved in the original DA.</p>
<p>1.4.6 Setbacks</p>	<p>Yes</p>	<p><u>Front Boundary (Grosvenor Street) :</u></p> <p>The proposed modifications to the roof top plant area would not change the overall building setback from the front (Grosvenor Street) boundary.</p> <p><u>Side Boundaries:</u></p> <p><i>Eastern (Young Street) & Western (Young Lane)</i></p> <p>The proposed modifications comply with DCP minimum side property boundary setback requirement and the building height plane (BHP) for the eastern (Young Street) and western (Young Lane) property boundaries.</p> <p><u>Rear Boundary (Northern):</u></p> <p>The proposed modifications comply with the building height plane (BHP) for the rear (northern) property boundary.</p>

<p>1.4.7 Form Massing Scale 1.4.8 Built Form Character</p>	<p>Yes</p>	<p>The proposed rooftop plant area extension would not be highly visible from the public domain and the surrounding properties. The height of the proposed plant enclosure also matches that of the lift overrun. The bulk and scale of the plant enclosure is therefore considered acceptable.</p> <p>The addition of ventilation louvres on the northern and southern elevations would have no material change to the built form character of the building nor its appearance in the streetscape due to the minor nature of this aspect of the proposal.</p>
<p>1.4.12 Materials</p>	<p>Yes (via condition)</p>	<p>The proposed modifications do not involve further changes to the materials, colours and finishes as approved in the original DA other than the proposed screening for the extended rooftop plant area.</p> <p>As indicated earlier in this report, the applicant has provided design details for the proposed screens for the rooftop plant area. The 1.45m high aluminum screen would be installed along the perimeter of the rooftop plant area and would match the height of the adjacent lift overrun at RL93.00. The screens would have a powder coated finish with a light grey colour to match that of the lift overrun.</p> <p>The proposal is considered acceptable subject to a condition specifying the design details for the rooftop plant area (Condition C47).</p>
<p>1.5 Quality Urban Environment</p>		
<p>1.5.1 High Quality Residential Accommodation</p>	<p>Yes</p>	<p>The proposal will provide a high level of residential amenity for the future occupants of the apartments as detailed in the ADG section earlier in this report.</p>
<p>1.5.4 Vehicle Access and Parking</p>	<p>No change</p>	<p>The proposed modifications would not change the location of the driveway off Young Street and the number of parking spaces within the basement as originally approved.</p>
<p>1.5.5 Site Coverage 1.5.6 Landscape Area</p>	<p>No change</p>	<p>The proposed modifications would be located entirely above the ground level, therefore there would be no further changes to the site coverage, unbuilt upon area and landscaped area of the development as previously approved.</p>
<p>1.5.8 Landscaping</p>	<p>Yes</p>	<p>As mentioned earlier in this report, the proposed modifications would not result in changes to the landscape treatments as previously approved within the subject site.</p>
<p>1.5.10 Private and Communal Open Space</p>	<p>No change</p>	<p>The modified proposal would not change the provision of private and communal open spaces within the development as previously approved.</p>
<p>1.6 Efficient Use of Resources</p>		
<p>Energy Efficiency</p>	<p>Yes</p>	<p>The applicant has submitted a revised BASIX certificate to demonstrate compliance with the energy efficiency requirements. Condition C40 will be revised accordingly.</p>

CHARACTER STATEMENTS – PART C

North Cremorne Planning Area (Waters Neighbourhood) – Part C of NSDCP 2013

The proposed modifications would be generally consistent with Part C of North Sydney DCP 2013 in particular Section 5 of the Character Statement for North Cremorne Planning Area and Section 5.3 for Waters Neighbourhood.

The proposed residential flat building would be compatible with the desired medium to high density development character for the neighbourhood in Section 5.3.2 of the DCP.

SECTION 7.11 CONTRIBUTIONS PLAN

A Section 7.11 contribution has been levied with respect to the original DA as a condition of consent (**Condition C38**). The subject application does not change the number and the mix of units, therefore a modification to the Section 7.11 contribution is not required.

REASONS FOR THE ORIGINAL APPROVAL

Section 4.55 (3) requires the reasons given by the consent authority for the granting of consent to the original application that is sought to be modified. In this case, the reasons for granting consent to the original application, are set out in the notice of determination as noted below.

- *The variation to the building height development standard is justifiable because the building elements above the LEP maximum building height are unlikely to have material impacts on the overall character of the locality and would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.*
- *The proposed four storey apartment building, as amended by the recommended deferred commencement conditions, is considered to be appropriate in terms of height and built form within a R4 (High Density Residential) zone.*
- *The proposal would not result in unacceptable impacts on the amenity of the adjoining properties subject to the imposition of appropriate conditions.*

It is considered that the proposed modifications would be consistent with the above reasons for approval as detailed below:

- The proposed modifications to the building elements above the LEP maximum building height limit would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality subject to the amendments as required by conditions of consent; and
- The proposed modifications, as amended by conditions of consent, would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	N/A
6. Loading and Servicing facilities	N/A
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	Yes
9. All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes
10. Section 89 LGA 93 including Clause 12 Consideration of Local Government (Approvals) Regulation 1993	Yes

PUBLIC INTEREST

The proposed modifications, as amended by conditions of consent, are considered to be in the public interest for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The proposal would be located in a R4 (High Residential Density) zone where a residential flat building is a permissible form of development. Consequently, the proposed modifications are considered to be suitable for the site having regard to the merits of the proposal and the imposition of appropriate modified and new conditions requiring an acoustic review to ensure the amenity of the adjoining properties.

SUBMISSIONS

The owners of adjoining properties and the Brightmore Precinct were notified between 9 and 16 December 2022. The notification has attracted one (1) submission. The concerns raised in the submission are addressed below:

- ***Noise impacts arising from the rooftop plant area extension***
- ***Request for a further acoustic assessment***

Comment:

The proposed rooftop plant area extension is unlikely to cause noise nuisance for the adjoining properties given the substantial separation (17m) between the proposed enclosure and the nearest building to the north.

Notwithstanding this, the application was referred to Council's Team Leader Environmental Health who recommended a condition requiring an acoustic review for the plant area to ensure the amenity of the surrounding properties (**Condition C46**).

- ***Concerns about the appearance of the roof plant area as seen from a high-rise apartment building to the north.***

Comment:

As indicated earlier in this report, the applicant has provided design details for the proposed screens for the rooftop plant area. The 1.45m high aluminum screen would be installed along the perimeter of the rooftop plant area and would match the height of the adjacent lift overrun at RL93.00. The screens would have a powder coated finish with a light grey colour to match the appearance of the lift overrun.

The proposal is considered acceptable subject to a condition specifying the design details of the rooftop plant area (**Condition C47**).

CONCLUSION & REASONS

The proposed modifications are considered to be generally consistent with the originally approved development application and s.4.55 of the EP & A Act 1979.

The proposed modifications, as amend by conditions of consent, would result in a development which is substantially the same development as originally approved as the proposal would not materially change the building height, setbacks, and the visual mass of the development as approved in the original DA.

The proposed modifications to the building elements above the LEP maximum building height limit would have no material impacts on the built form of the approved apartment building, its visual mass and the overall character of the locality subject to the imposition of additional conditions requiring an acoustic review and design details for the plant area screens on the rooftop (**Conditions C46 and C47**).

The proposed modifications, as amended by conditions of consent, would not cause material amenity impacts for the adjoining properties in terms of view loss, overshadowing and loss of privacy.

The proposal was found to be acceptable in the site circumstances and is recommended that the subject Section 4.55(2) application be approved with modifications to existing conditions of consent and addition of new conditions.

RECOMMENDATION

PURSUANT TO SECTION 4.55 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Planning Panel exercising the functions of Council approve the modification of development consent **D273/20** dated 3 March 2021 in respect of a proposal to the redevelopment of the site for a four storey apartment building development with basement parking at No. 34 Grosvenor Street, Neutral Bay under the provisions of Section 4.55 of the Environmental Planning and Assessment Act only insofar as will provide for the following:

- To modify the conditions of (D237/20) in particular conditions A1, C40 and G21 to read as follows:***

Development in Accordance with Plans (S4.55 Amendments)

- A1. The development being carried out in accordance with the following drawings:

Drawing No.	Date	Drawn by	Received
A0011 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0098 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0099 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0100 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0101 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0102 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0103 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0104 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0200 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0201 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021
A0300 Rev B	11/12/2020	Koichi Takada Architects	14 January 2021

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D237/20/2:

Plan Nos.	Description of works	Prepared by	Dated
A0097 Rev B	Basement 02 Floor Plan	Team 2 Architects	29 November 2021
A0098 Rev D	Basement 01 Floor Plan	Team 2 Architects	3 September 2021
A0099 Rev D	Lower Ground Floor Plan	Team 2 Architects	3 September 2021
A0100 Rev D	Ground Floor Plan	Team 2 Architects	3 September 2021
A0101 Rev D	Level 01 Floor Plan	Team 2 Architects	3 September 2021
A0102 Rev D	Level 02 Floor Plan	Team 2 Architects	3 September 2021
A0103 Rev D	Level 03 Floor Plan	Team 2 Architects	3 September 2021
A0104 Rev D	Level 04 Ground floor Plan	Team 2 Architects	3 September 2021
A0105 Rev D	Roof Plan	Team 2 Architects	3 September 2021
A0200 Rev D	Elevations 01	Team 2 Architects	3 September 2021
A0201 Rev D	Elevations 02	Team 2 Architects	3 September 2021
A0300 Rev D	Section 01	Team 2 Architects	3 September 2021

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D237/20/3:

Plan Nos.	Description of works	Prepared by	Dated
A0097 Rev B	Basement 02 Floor Plan	Team 2 Architects	29 November 2021
A0098 Rev E	Basement 01 Floor Plan	Team 2 Architects	13 December 2021
A0099 Rev E	Lower Ground Floor Plan	Team 2 Architects	13 December 2021
A0100 Rev E	Ground Floor Plan	Team 2 Architects	13 December 2021
A0101 Rev E	Level 01 Floor Plan	Team 2 Architects	13 December 2021
A0102 Rev E	Level 02 Floor Plan	Team 2 Architects	13 December 2021
A0103 Rev E	Level 03 Floor Plan	Team 2 Architects	13 December 2021
A0104 Rev E	Roof Plan	Team 2 Architects	13 December 2021
A0200 Rev D	Elevations 01	Team 2 Architects	13 December 2021
A0201 Rev D	Elevations 02	Team 2 Architects	13 December 2021
A0300 Rev D	Section 01	Team 2 Architects	13 December 2021

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D237/20/7:

Plan Nos.	Description of works	Prepared by	Dated
A0103 Rev G	Level 03 Floor Plan	Team 2 Architects	03 November 2022
A0104 Rev G	Roof Plan	Team 2 Architects	03 November 2022
A0200 Rev G	Elevations 01	Team 2 Architects	03 November 2022
A0201 Rev G	Elevations 02	Team 2 Architects	03 November 2022
A0300 Rev G	Section 01	Team 2 Architects	03 November 2022
A4302 Rev 1	Roof Privacy Screens	Team 2 Architects	07 November 2022

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

BASIX Certificate

- C40. Under clause 97A(3) of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. 1136420M_07 for the development are fulfilled.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

Compliance with Certain conditions

- G21. Prior to the issue of any Occupation Certificate, Conditions A8, A9, A10, C1, C2, C3, C46 and C47 must be certified as having been implemented on site and complied with.

(Reason: To ensure the development is completed in accordance with the requirements of this consent)

2. To insert new conditions A11, C46 and C47 to read as follows:

Terms of Consent (D273/20/7)

A11. Approval is granted for the following modifications only:

(c) Roof Level (RL91.55)

An extension of the rooftop plant area to accommodate air conditioning units and a compliant hot water plant storage tank.

(d) Ventilation Louvres

Modifications to kitchen and hallway windows on Ground Level, Levels 1 to 3 on the northern and southern elevations to incorporate ventilation louvres.

No other approval is given or implied in this consent for any other works, both internal and external, within the subject property.

(Reason: To ensure the terms of the consent are clear.)

Acoustic Review

C46. A detailed acoustic review of all mechanical plants to be located on the roof shall be undertaken prior to the issue of a construction certificate for the plant areas on the roof level.

The review shall be undertaken by an appropriately qualified acoustical consultant eligible for membership of the Association of Acoustical Consultants and shall identify acoustic treatments required to control noise emissions to satisfactory levels as per the relevant noise criteria as contained in the Acoustic Assessment, dated 14/12/2020, prepared by Acoustic Logic and the requirements of Condition C31 (Noise from Plant and Equipment) of this Development Consent. The acoustic review and its recommendations for any acoustic treatments shall be submitted to Council for information.

The acoustic review must be submitted to the Certifying Authority for approval prior to the issue of a construction certificate for the plant areas on the roof level. The Certifying Authority must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition prior to the release of the Construction Certificate.

(Reason: To ensure the amenity of the adjoining properties.)

Screens for Rooftop Plant Area

C47. The design details and materials for the screens to be installed along the perimeter of the rooftop plant area must be consistent with the details as contained in drawing numbered A4302 Rev 1, dated 7 November 2022 and prepared by Team 2 Architects. The colour of the screens shall match the light grey colour to be applied to the lift overrun adjacent to the rooftop plant area.

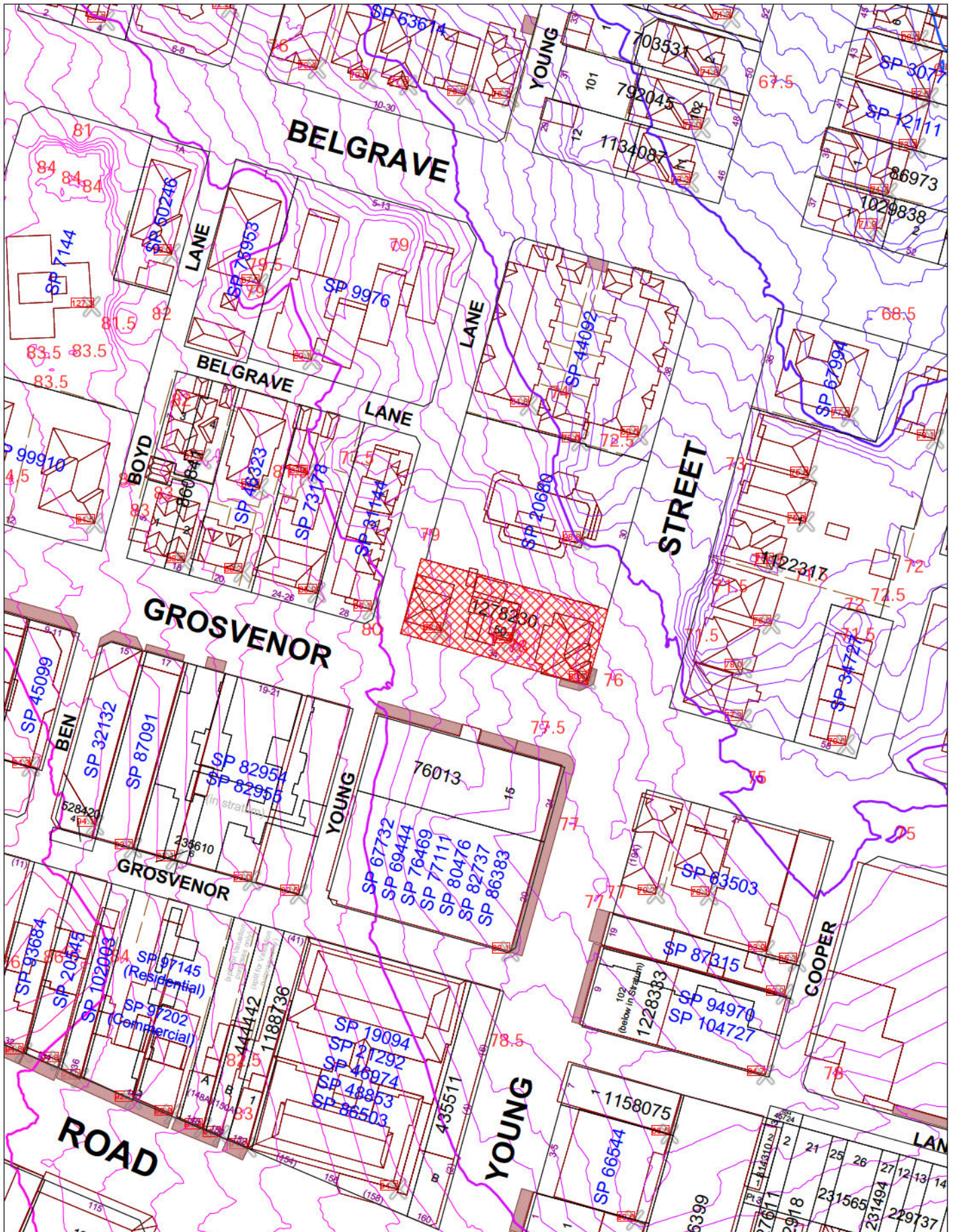
Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To minimise visual impacts.)

ROBIN TSE
SENIOR ASSESSMENT OFFICER

ROBYN PEARSON
TEAM LEADER ASSESSMENTS

STEPHEN BEATTIE
DEVELOPMENT SERVICES



North Sydney Council

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Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.

30-34 GROSVENOR STREET

S4.55 C

NEUTRAL BAY, NSW 2089

ARCHITECTURAL DRAWING LIST **REV**

A0000	COVER PAGE	E
A0001	PROJECT SUMMARY	F
A0013	SITE ANALYSIS	D
A0097	BASEMENT 02 FLOOR PLAN	D
A0098	BASEMENT 01 FLOOR PLAN	F
A0099	LOWER GROUND FLOOR PLAN	F
A0100	GROUND FLOOR PLAN	F
A0101	LEVEL 01 FLOOR PLAN	F
A0102	LEVEL 02 FLOOR PLAN	F
A0103	LEVEL 03 FLOOR PLAN	G
A0104	ROOF PLAN	G
A0200	ELEVATIONS 01	G
A0201	ELEVATIONS 02	G
A0300	SECTION 01	G
A0403	HEIGHT PLANE DIAGRAM	F
A0451	GFA DIAGRAMS	F
A0480	SHADOW DIAGRAMS 1	C
A0481	SHADOW DIAGRAMS 2	C
A0482	SHADOW DIAGRAMS 3	C
A0483	SHADOW DIAGRAMS 4	C
A0490	SUN EYE VIEW - SUMMER SOLSTICE	E
A0491	SUN EYE VIEW - WINTER SOLSTICE	E



5.6
Average star rating

Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751

Address: 30-34 Grosvenor Street, Neutral Bay, NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=6B7AIXLNVX&GrpCert=1>

NATIONWIDE HOUSE ENERGY RATING SCHEME
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- CHANGES**
1. EXPANSION OF ROOF PLANT AREA
 2. ADDITION OF MECHANICAL LOUVRES OVER WINDOWS

PROJECT SUMMARY

Address 30-34 GROSVENOR STREET
Site Area 839.3m²
Land Use R4 High Density Residential

PROPOSAL SUMMARY / COUNCIL DCP & LEP REQUIREMENTS

	PROPOSED	CONTROL
Building Height (m)	12.24m to 14.55m	12m
Setbacks	Grosvenor Street – 3m Young Lane – Ground Level to Level 02 - 3m Level 03 - 5.4m Young Street – 4m Rear – 5m	Front – Alignment of primary facades on adjoining properties (1.5m) Side – 1.5m AND must not exceed a building 3.5m at 45 degrees Rear – 1.5m AND must not exceed a building 3.5m at 45 degrees
Car Parking	1 or 2 Bed: 2 Carspace (2 x 1) 3 Bed: 11 Carspace (7 x 1.5) Visitor: 2 Carspace (9 x 0.25) Total: 15 Carspaces	1 or 2 Bed: 1 space/unit 3+Bed: 1.5 space/unit Visitor: 0.25 spaces/unit (min 1 space)
Site Coverage	400m ² = 47.6% (Excluding the raised planters 56.7m ² =6.8%)	Max 45% of site area (377.7m ²)
Deep Soil Landscaping	227m ² =27%	Min 30% of site area (251.8m ²)
Landscaping on Structure	54.6m ² = 6.5%	Min 10% of site area (83.9m ²)
Unbuilt Upon Area	101.6m ² = 12.1%	Max 15% of site area (125.9m ²)
Excavated Area	575.5m ² = 68.6%	Max 70% of site area (587.5m ²)
Adaptable Housing	9 apartments = 2 apartment to be adaptable (22.2%)	Min 15% of dwellings to be adaptable housing


ADG REQUIREMENTS

	COMPLIANCE	CONTROL
4A.1 Solar Access	88.8% (8/9 Apartments) 0% (No apartments without solar access)	Min. 70% of apartments between 9am and 3pm Max. 15% no solar access
4B.3 Natural Cross Ventilation	88.8% (8/9 Apartments)	At least 60%
3D.1 Deep Soil	225m ² =27%	7% of site area
3D.1 Communal & Public Open Space	Roof top terrace 14% (121m ²) Basement Common Room 11% (94m ²)	25% of site area (209.8m ²)

GFA BREAKDOWN	S4.55B	S4.55A
BASEMENT 02	114 m ²	114 m ²
BASEMENT 01	10 m ²	10 m ²
LOWER GROUND	121 m ²	121 m ²
GROUND FLOOR	335 m ²	319 m ²
LEVEL 01	321 m ²	305 m ²
LEVEL 02	325 m ²	309 m ²
LEVEL 03	201 m ²	160 m ²
TOTAL	1427 m ²	1339 m ²


UNIT BREAKDOWN

	1 BED	2 BED	3 BED	
LOWER GROUND	0	1	0	
GROUND FLOOR	1	0	2	
LEVEL 01	0	0	2	
LEVEL 02	0	0	2	
LEVEL 03	0	0	1	
TOTAL	1 (11%)	1 (11%)	7 (78%)	9 UNITS TOTAL



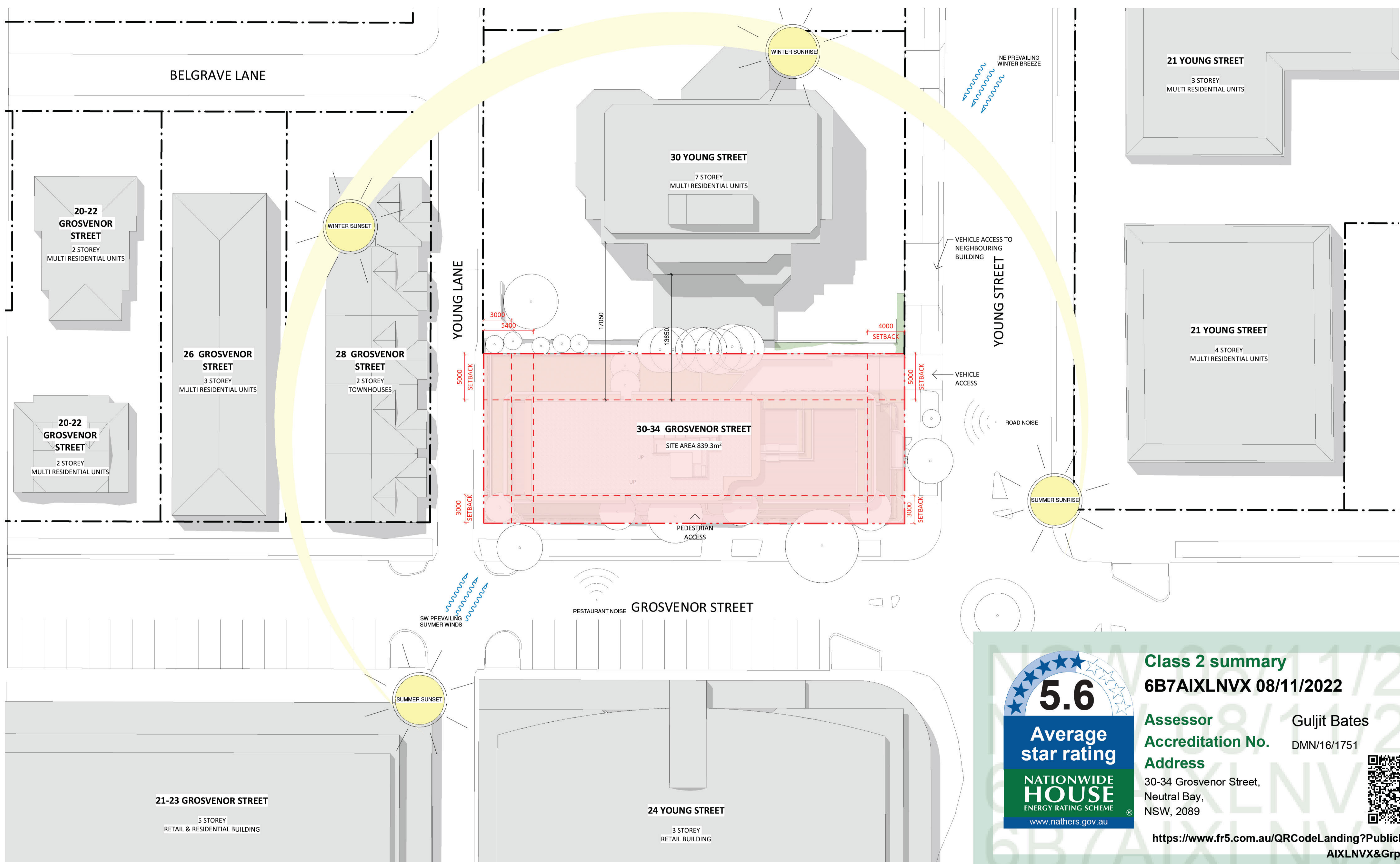
Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor Guljit Bates
Accreditation No. DMN/16/1751
Address 30-34 Grosvenor Street,
 Neutral Bay,
 NSW, 2089



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5.6
Average star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME
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Class 2 summary
6B7AIXLNVX 08/11/2022

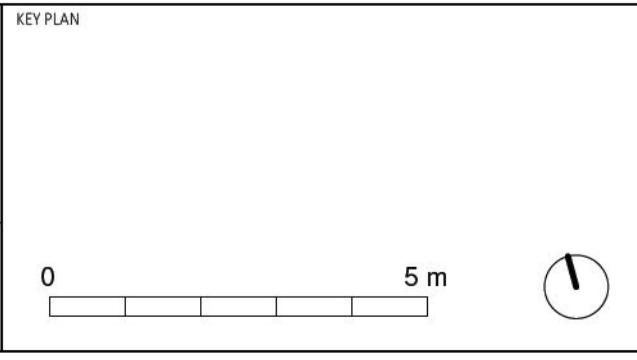
Assessor Guljit Bates
Accreditation No. DMN/16/1751
Address 30-34 Grosvenor Street,
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NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	JAG	AC	09/09/20					
B	DA RE SUBMISSION	JAG	AC	11/12/20					
C	\$4.55 B ISSUE	SD	ND	13.12.21					
D	\$4.55C ISSUE	LH	ZA	08.11.22					

NO.	REVISION	BY	CHK	DATE



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

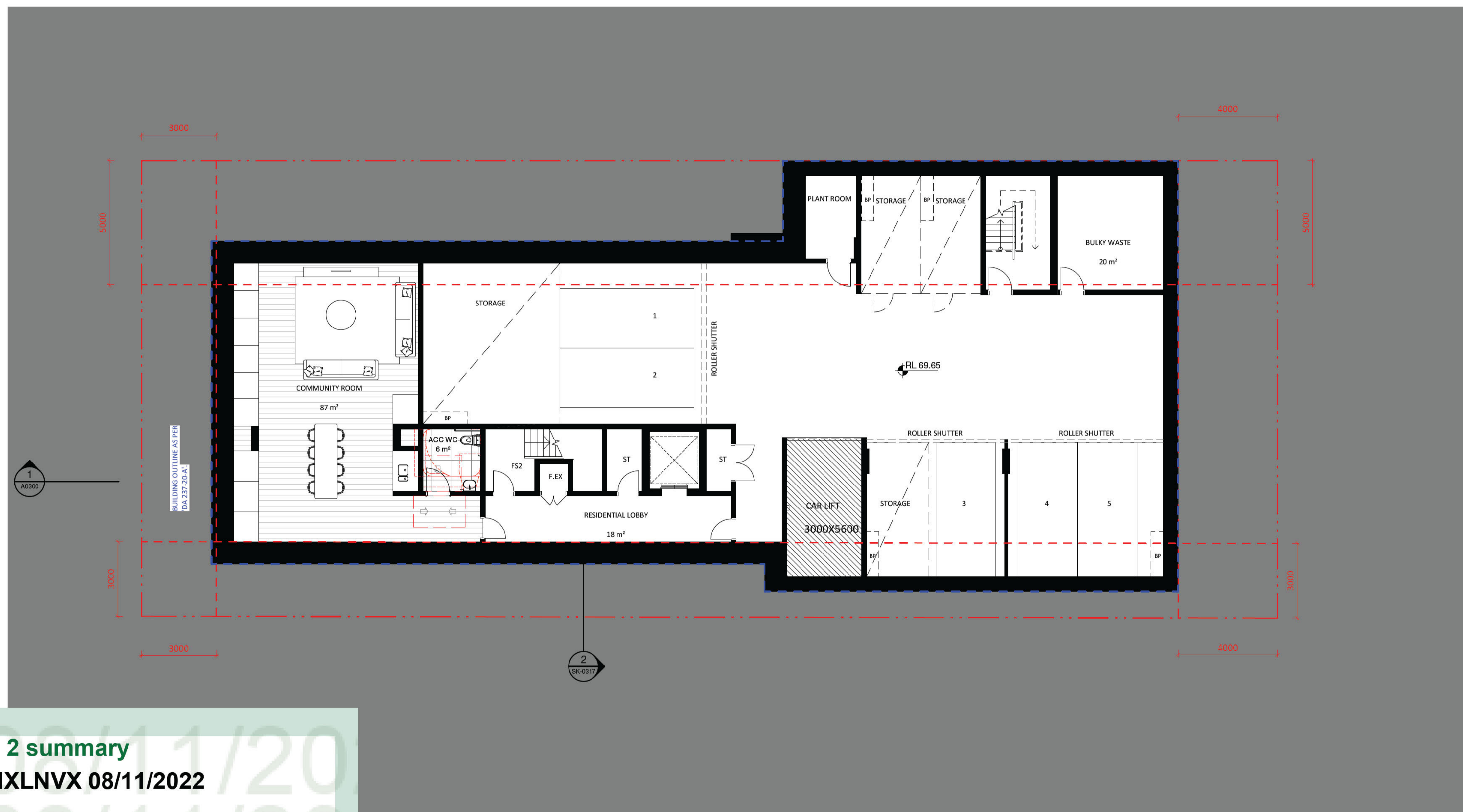
ARCHITECT
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E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340



PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089
STATUS
DEVELOPMENT APPLICATION
DRAWING TITLE
SITE ANALYSIS

DATE	03.11.22	DRAWN	LH
SCALE	1:100@A1, 1:200@A3	CHECKED	ZA
PROJ NO.	1031	APPROVED	
DWG NO.	A0013	REVISION	D

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ENERGY RATING SCHEME

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Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor Guljit Bates
Accreditation No. DMN/16/1751

Address
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089



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PARKING SUMMARY	
DESCRIPTION	PARKING COUNT
RESIDENT CAR BAY 5400 x 2400	11
RESIDENT DISABLED CAR BAY (AS2890-2009)	2
VISITOR CAR BAY 5400 x 2400 (V)	1
VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

NO.	REVISION	BY	CHK.	DATE	NO.	REVISION	BY	CHK.	DATE
A	\$4.65 A ISSUE	SD	ND	08.09.21					
B	\$4.65A ADDITIONAL INFORMATION	ND	PC	08.11.21					
C	\$4.65 B ISSUE	SD	ND	18.12.21					
D	\$4.65C ISSUE	LH	ZA	08.11.22					

LEGEND

REVISION ON HOLD

KEY PLAN

0 5 m

CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

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REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340



PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
BASEMENT 02 FLOOR PLAN

DATE	03.11.22	DRAWN	LH
SCALE	1:100@A1, 1:200@A3	CHECKED	ZA
PROJ NO.	1031	APPROVED	
DWG NO.	A0097	REVISION	D

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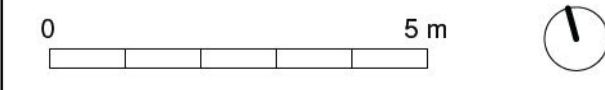

Class 2 summary
6B7AIXLNVX 08/11/2022

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Accreditation No. DMN/16/1751
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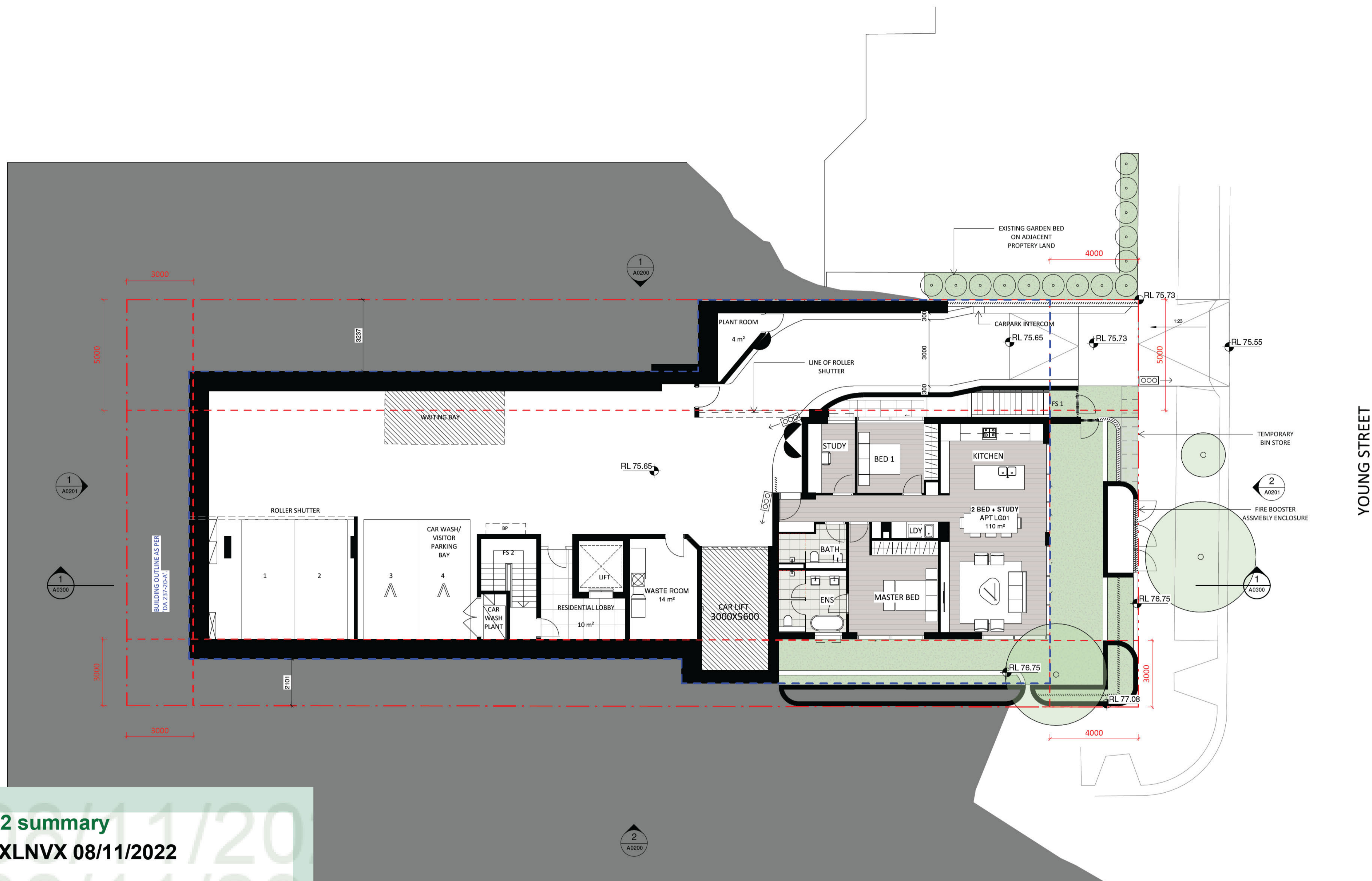


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VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

NO. REVISION A DA ISSUE B DA RE SUBMISSION C DEFERRAL RESPONSE D SA 55 A ISSUE E SA 55 B ISSUE F SA 55 C ISSUE	BY AG DP SF SO SO LH	CHK AC AC AC ND ND ZA	DATE 09/09/20 11/12/20 24/03/21 08/09/21 13/12/21 03/11/22	NO. REVISION BY CHK DATE	NO. REVISION BY CHK DATE	LEGEND CLOUD LEGEND 	KEY PLAN 	CLIENT MOSMAN FINANCE No.13 PTY LTD 3.01/95 PITT STREET, SYDNEY NSW 2000 ABN: 95 619 934 146	ARCHITECT SYDNEY 701/1 Chandos Street St Leonards NSW 2065 T: + 61 2 9437 3166 E: info@team2.com.au REG NSW: 9940 MELBOURNE 313/737 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340		PROJECT 30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089 STATUS DEVELOPMENT APPLICATION DWG TITLE BASEMENT 01 FLOOR PLAN	DATE 03.11.22 SCALE 1:100@A1, 1:200@A3 PROJ NO. 1031 DWG NO. A0098	DRAWN LH CHECKED ZA APPROVED REVISION F
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5.6
Average star rating

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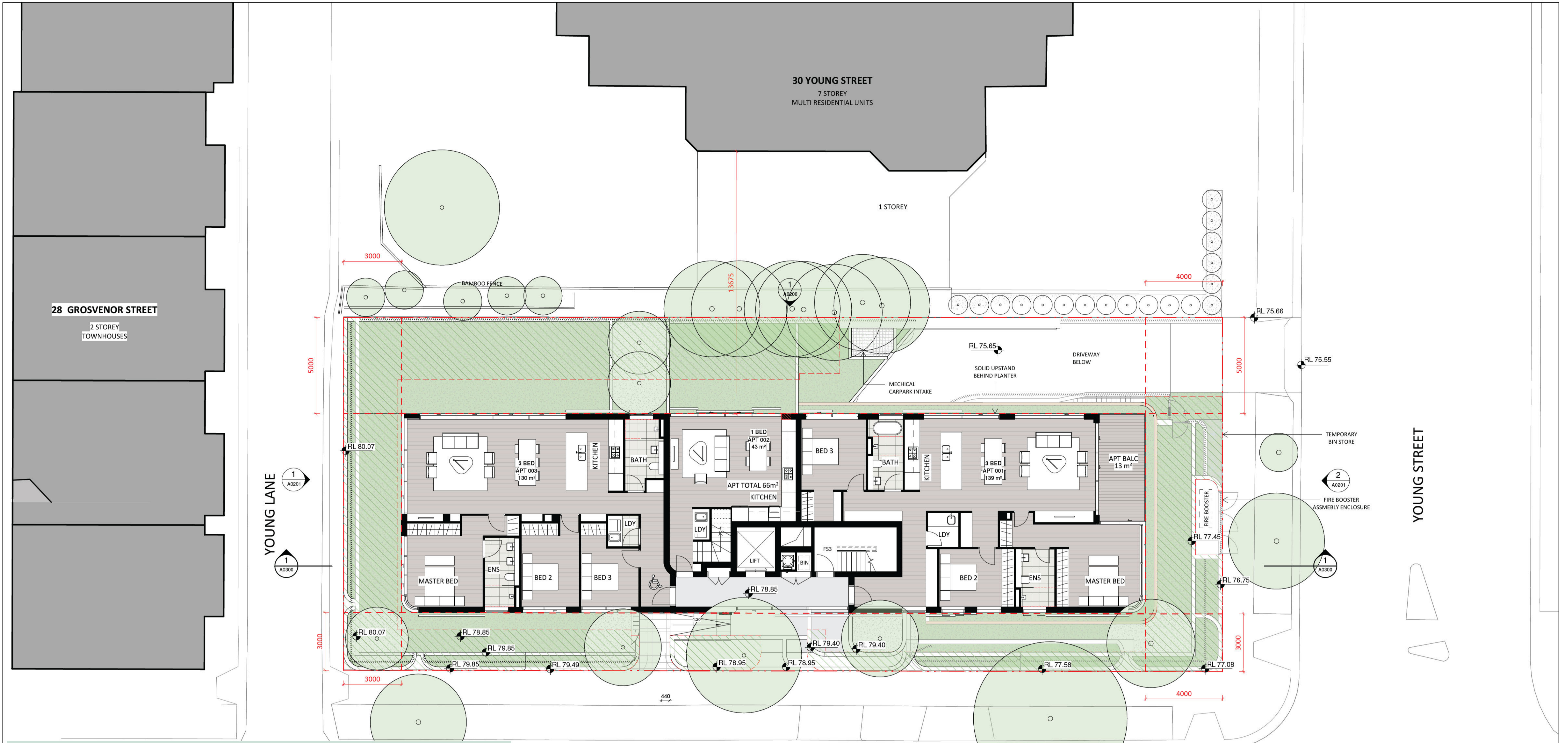
Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor Guljit Bates
Accreditation No. DMN/16/1751
Address 30-34 Grosvenor Street,
Neutral Bay, NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=6B7AIXLNVX&GrpCert=1>

PARKING SUMMARY	
DESCRIPTION	PARKING COUNT
RESIDENT CAR BAY 5400 x 2400	11
RESIDENT DISABLED CAR BAY (AS2890-2009)	2
VISITOR CAR BAY 5400 x 2400 (V)	1
VISITOR CAR BAY/WASH BAY (V)	1
MOTORBIKE	2

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NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE																																																																	
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5.6
Average
star rating

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

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Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor Guljit Bates
Accreditation No. DMN/16/1751
Address 30-34 Grosvenor Street,
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<https://www.fr5.com.au/QRCodeLanding?PublicId=6B7AIXLNVX&GrpCert=1>

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E	S4.55 B ISSUE	SC	ND	13/12/21					
F	S4.55C ISSUE	LH	ZA	03/11/22					

LEGEND

REVISION

ON HOLD

KEY PLAN

CLIENT

MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

ARCHITECT

TEAM ARCHITECTS

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REG NSW: 9940

MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340

PROJECT

30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
GROUND FLOOR PLAN

DATE

03.11.22

SCALE

1:100@A1, 1:200@A3

PROJ NO.

1031

DWG NO.

A0100

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DRAWN

LH

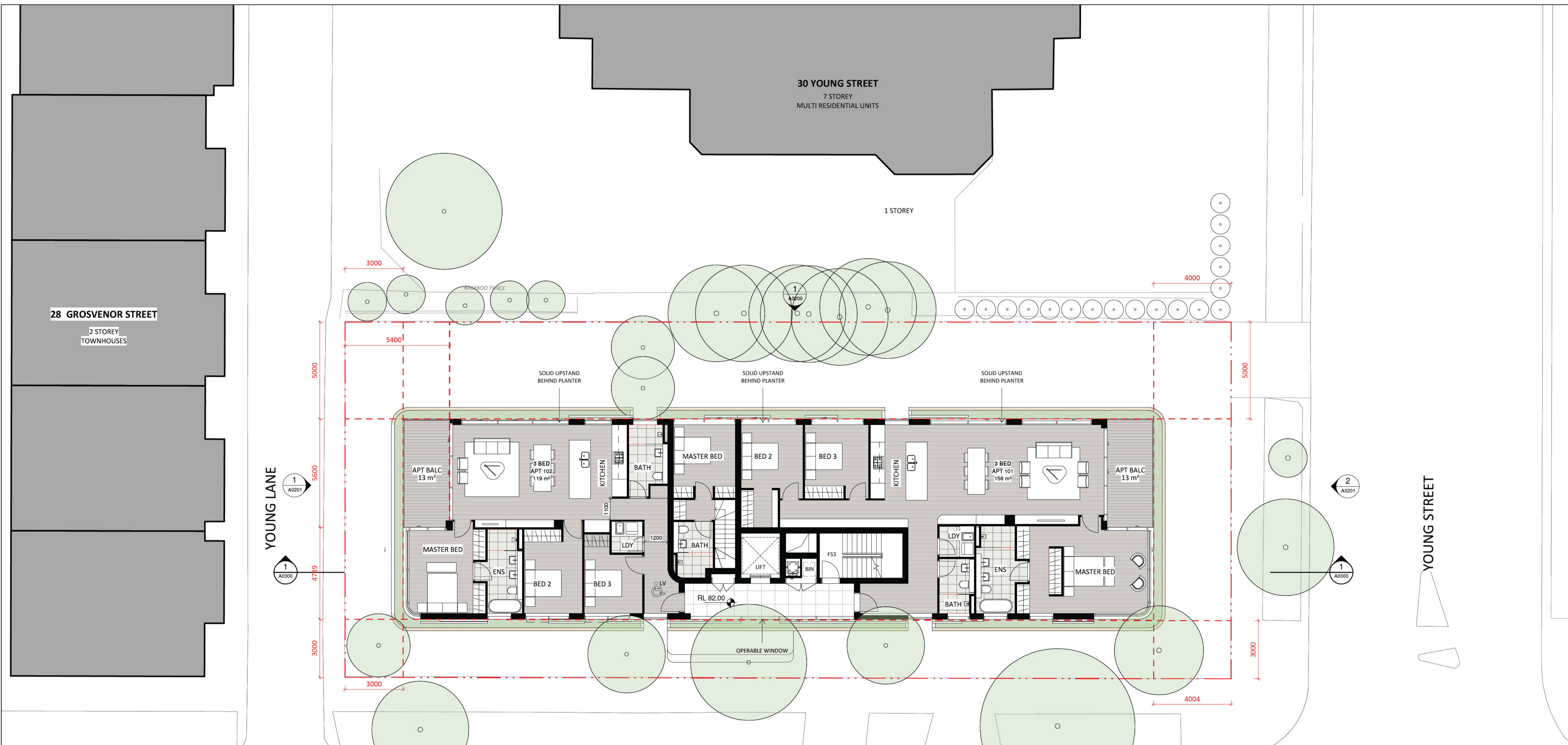
CHECKED

ZA

APPROVED

REVISION

F



Class 2 summary
6B7AIXLNVX 08/11/2022

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NO.	REVISION	BY	CHK	DATE

CLIENT
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 3.01/95 PITT STREET, SYDNEY NSW 2000
 ABN: 95 619 934 146

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 313/737 Burwood Road
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 REG VIC: 19340



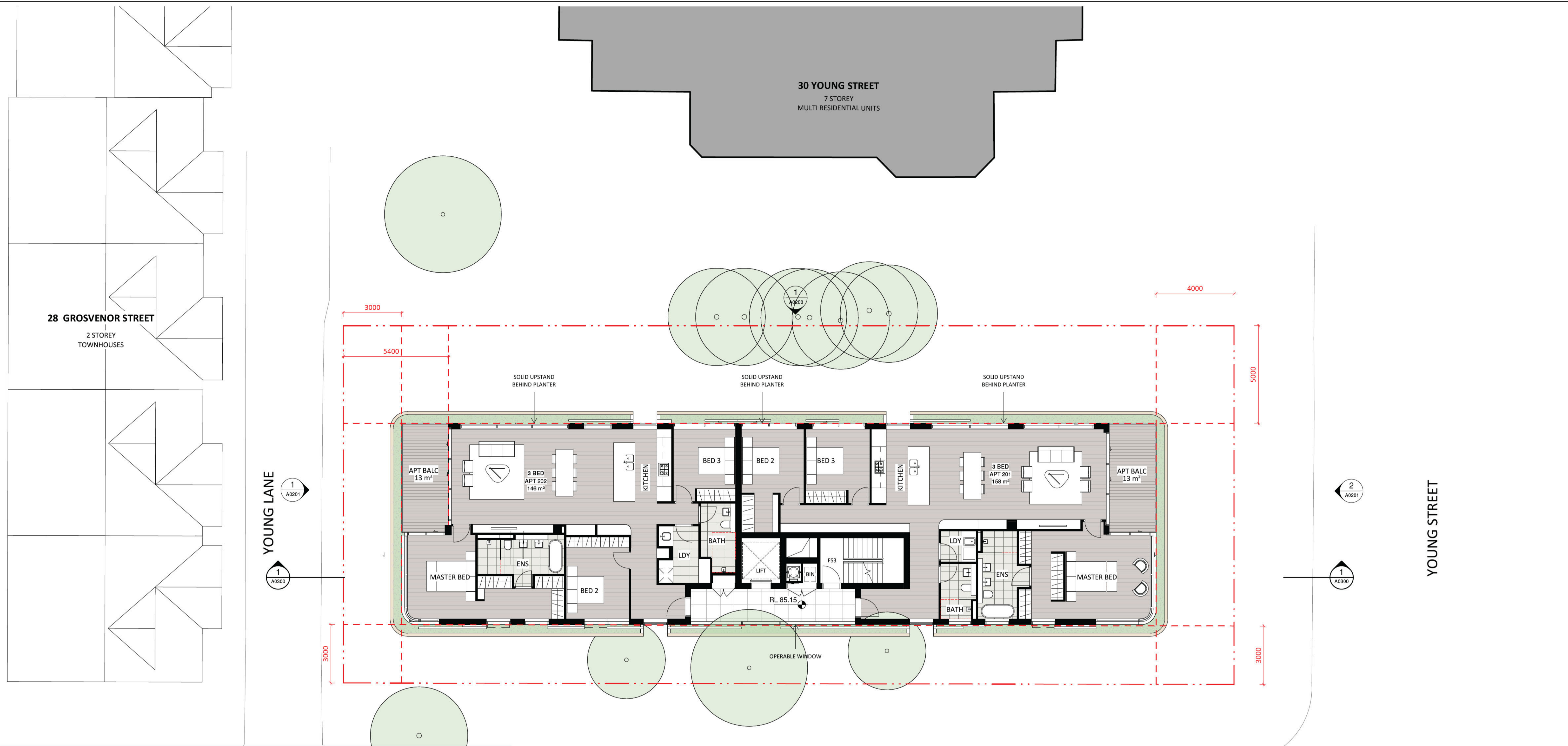
PROJECT
 30-34 GROSVENOR STREET
 NEUTRAL BAY, NSW 2089

STATUS
 DEVELOPMENT APPLICATION

DWG TITLE
 LEVEL 01 FLOOR PLAN

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PROJ NO.	1031	APPROVED	
DWG NO.	A0101	REVISION	F

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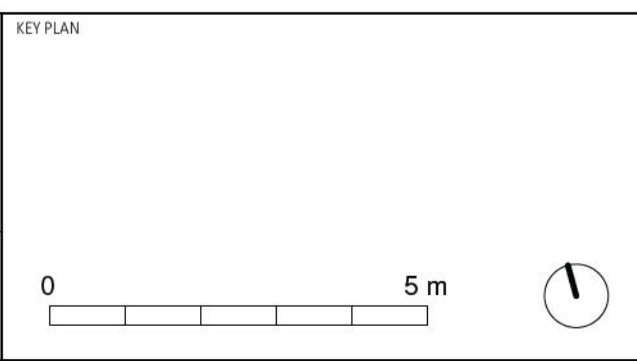
Assessor Guljit Bates
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F	S4.55C ISSUE	LH	ZA	03/11/22					

NO.	REVISION	BY	CHK	DATE



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 REG NSW: 9940
 MELBOURNE
 313/737 Burwood Road
 Hawthorn East VIC
 3123
 ABN: 72 104 833 507
 REG VIC: 19340



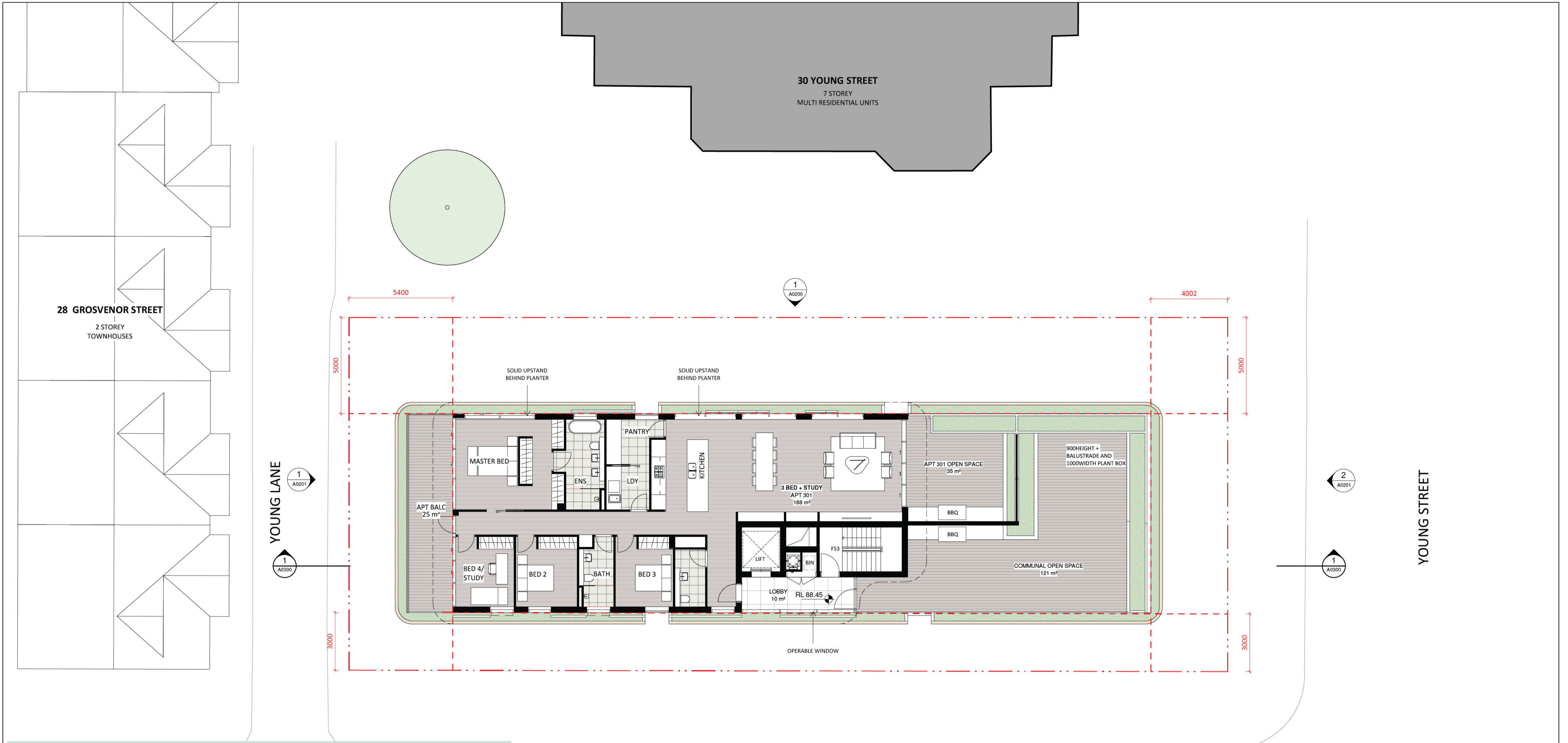
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 30-34 GROSVENOR STREET
 NEUTRAL BAY, NSW 2089

STATUS
 DEVELOPMENT APPLICATION

DWG TITLE
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PROJ NO.	1031	APPROVED	
DWG NO.	A0102	REVISION	F

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NO.	REVISION	BY	CHK	DATE

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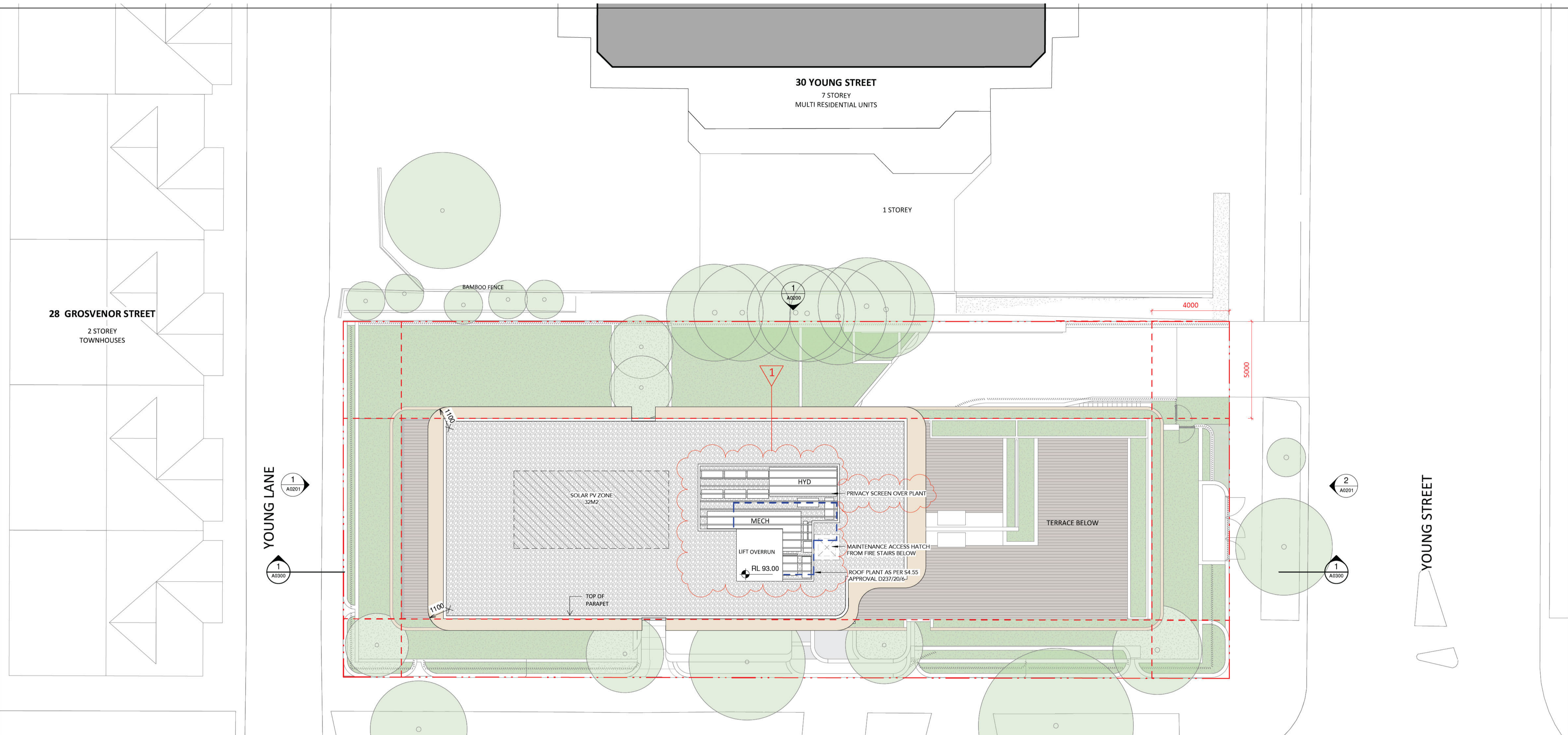
PROJECT
 30-34 GROSVENOR STREET
 NEUTRAL BAY, NSW 2089

STATUS
 DEVELOPMENT APPLICATION

DWG TITLE
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DWG NO.	A0103	REVISION	G

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Class 2 summary

6B7AIXLNVX 08/11/2022

Assessor Guljit Bates

Accreditation No. DMN/16/1751

Address

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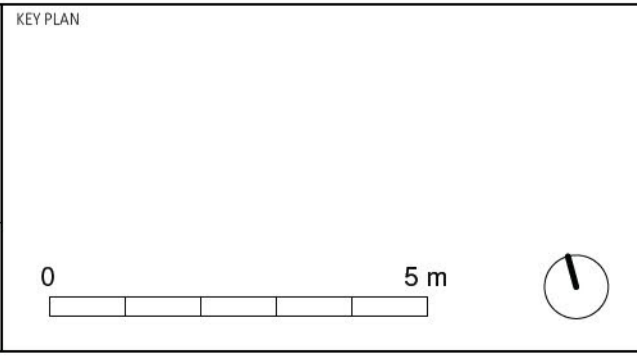
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5.6
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE

LEGEND
REVISION
ON HOLD



CLIENT
MOSMAN FINANCE No.13 PTY LTD
3.01/95 PITT STREET, SYDNEY NSW 2000
ABN: 95 619 934 146

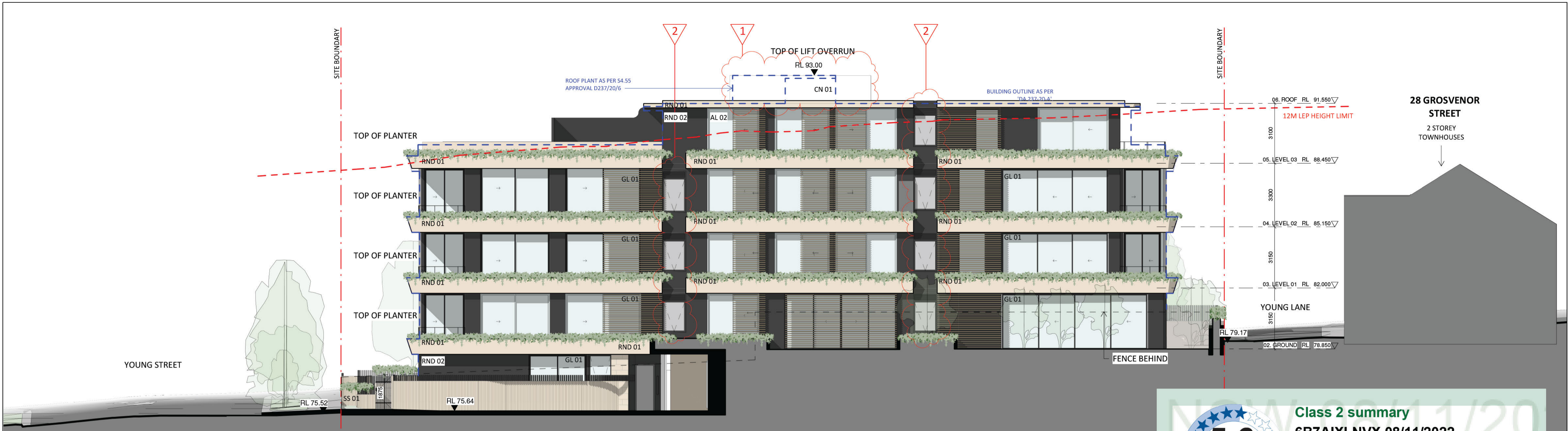
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E: info@team2.com.au
REG NSW: 9940
MELBOURNE
313/737 Burwood Road
Hawthorn East VIC
3123
ABN: 72 104 833 507
REG VIC: 19340



PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089
STATUS
DEVELOPMENT APPLICATION
DRAWING TITLE
ROOF PLAN

DATE	03.11.22	DRAWN	LH
SCALE	1:100@A1, 1:200@A3	CHECKED	ZA
PROJ NO.	1031	APPROVED	
DWG NO.	A0104	REVISION	G

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1 : 100

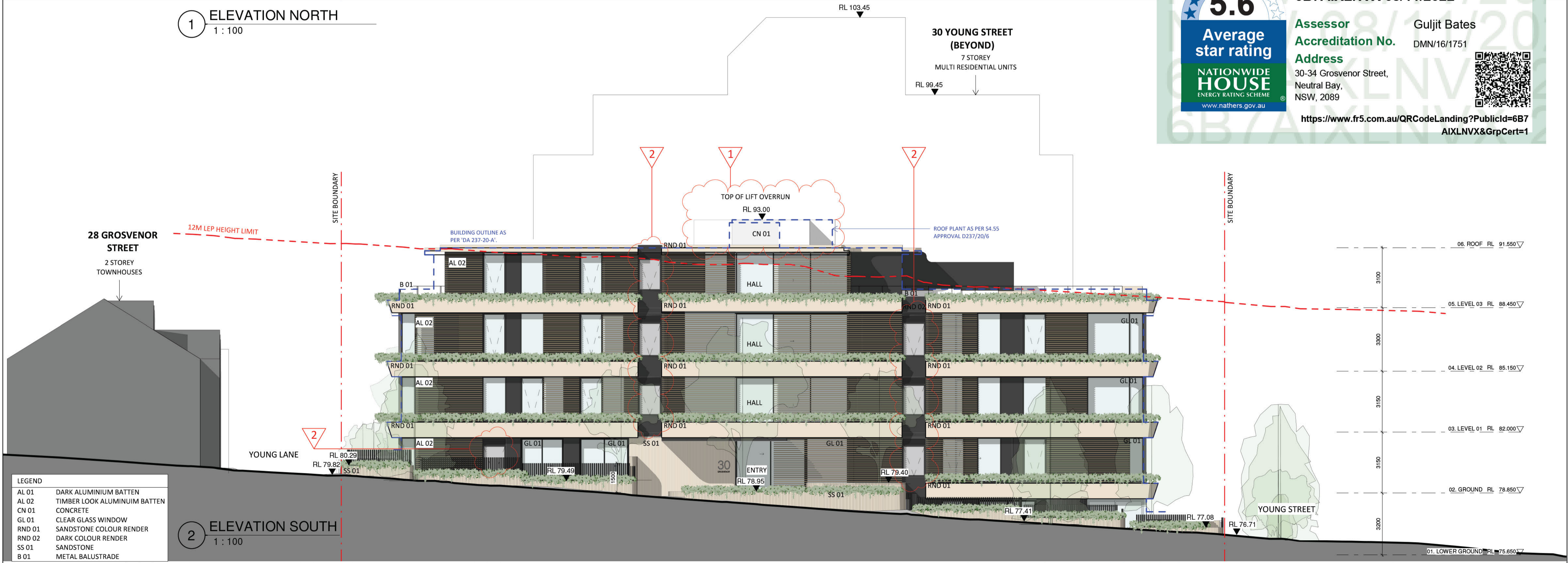
5.6
Average star rating

Class 2 summary
6B7AIXLNVX 08/11/2022

Assessor: Guljit Bates
Accreditation No.: DMN/16/1751
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NATIONWIDE HOUSE
ENERGY RATING SCHEME
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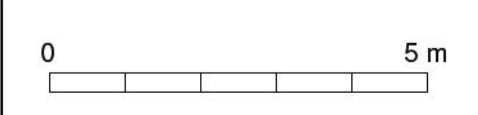


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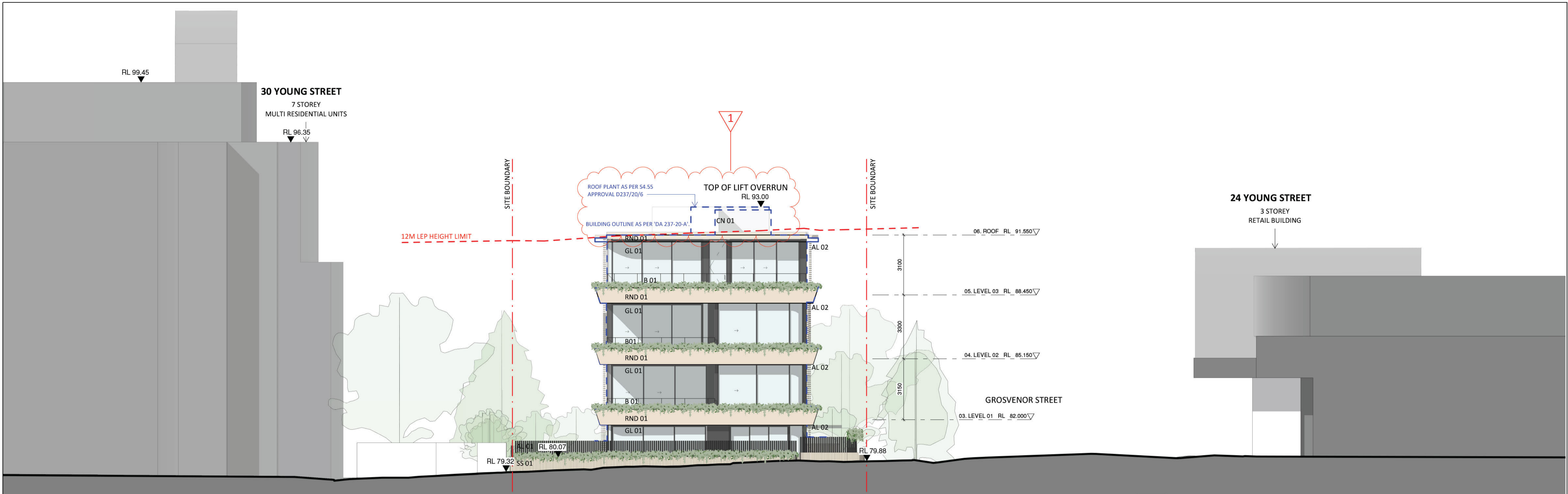
LEGEND

AL 01	DARK ALUMINIUM BATTEN
AL 02	TIMBER LOOK ALUMINIUM BATTEN
CN 01	CONCRETE
GL 01	CLEAR GLASS WINDOW
RND 01	SANDSTONE COLOUR RENDER
RND 02	DARK COLOUR RENDER
SS 01	SANDSTONE
B 01	METAL BALUSTRADE

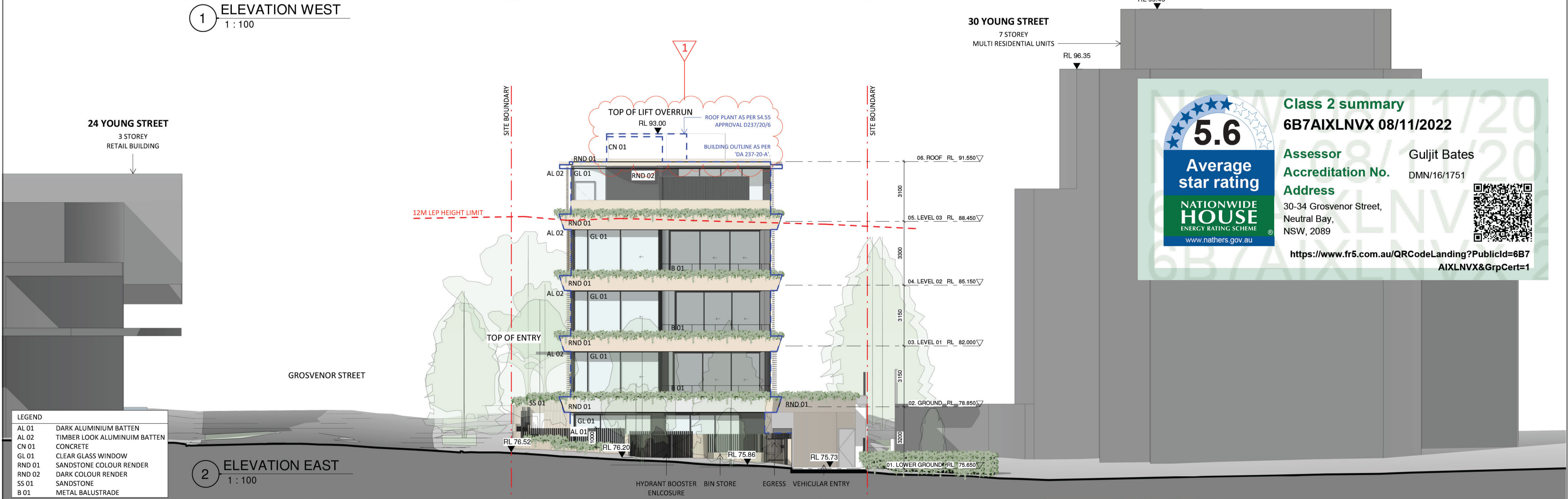
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A	DA ISSUE	MP	AC	09/09/20								MOSMAN FINANCE No.13 PTY LTD	SYDNEY 701/1 Chandos Street St Leonards NSW 2065 T: + 61 2 9437 3186 E: info@team2.com.au REG NSW: 9940	30-34 GROSVENOR STREET NEUTRAL BAY, NSW 2089	03.11.22		
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STATUS	DEVELOPMENT APPLICATION
DWG TITLE	ELEVATIONS 01
DATE	03.11.22
SCALE	1:100@A1, 1:200@A3
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DWG NO.	A0200
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1 ELEVATION WEST
1:100



2 ELEVATION EAST
1:100

Class 2 summary
6B7AIXLNVX 08/11/2022

5.6
Average star rating

NATIONWIDE HOUSE
 ENERGY RATING SCHEME
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LEGEND

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5.6
Average
star rating


NATIONWIDE
HOUSE
ENERGY RATING SCHEME

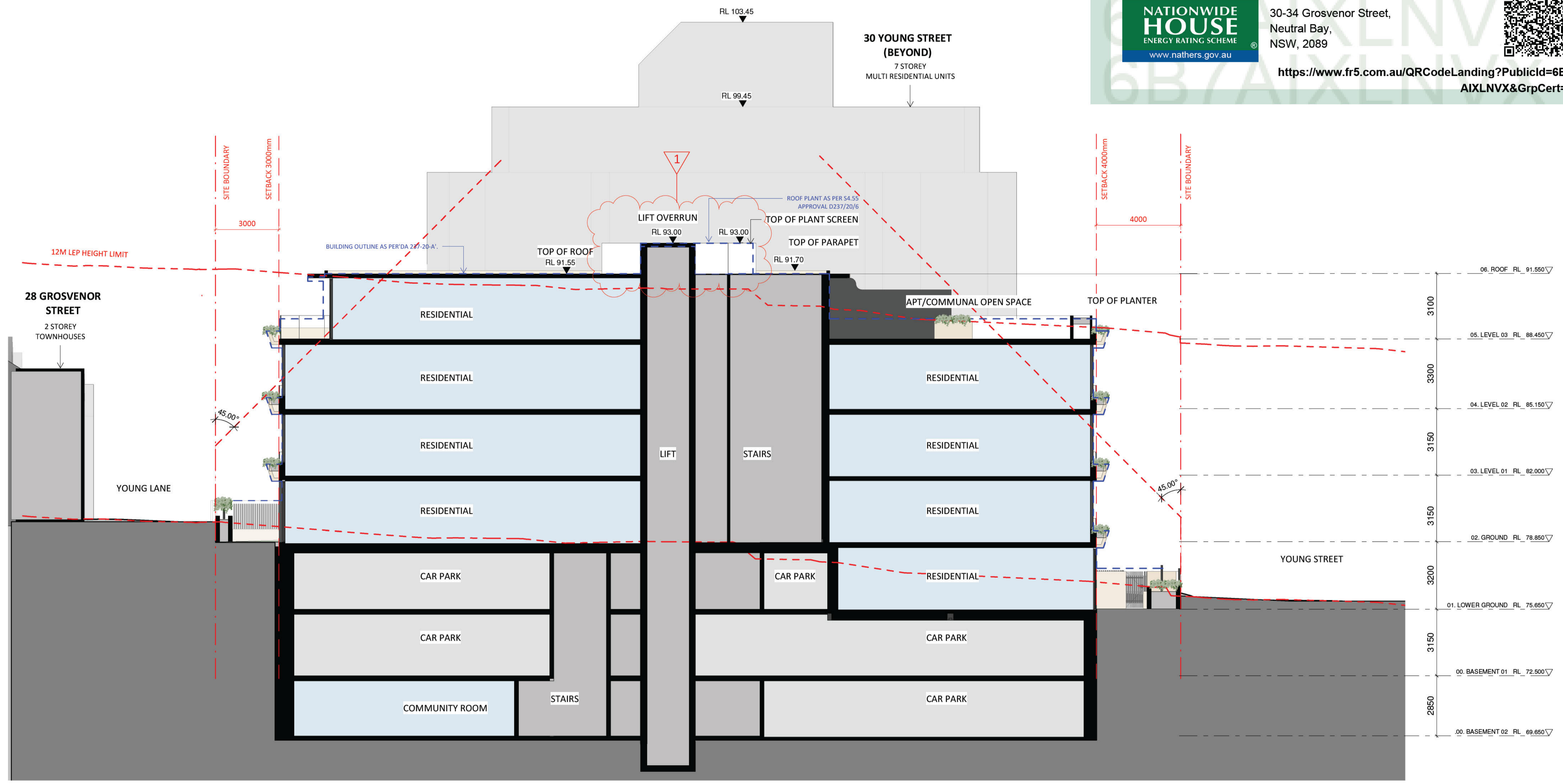
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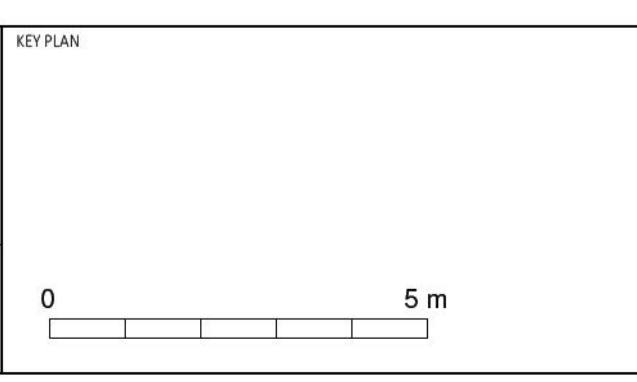
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D	S4.55 A ISSUE	SO	ND	08/09/21					
E	S4.55 B ISSUE	SO	ND	13/12/21					
F	S4.55 B AMENDMENTS	LH	SO	26/07/22					
G	S4.55C ISSUE	LH	ZA	03/11/22					

NO.	REVISION	BY	CHK	DATE



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MOSMAN FINANCE No.13 PTY LTD
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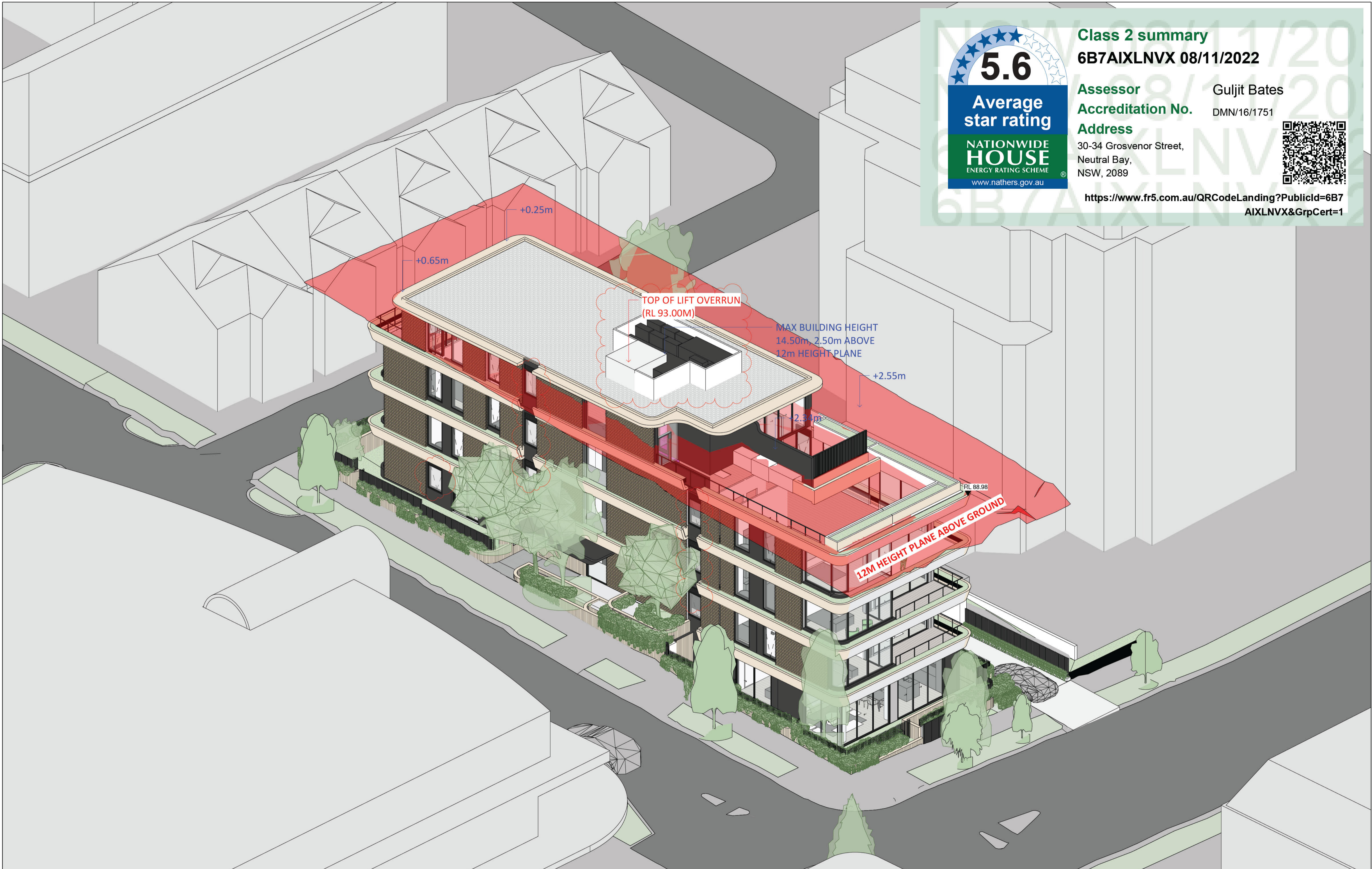
PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

DWG TITLE
SECTION 01

DATE	03.11.22	DRAWN	LH
SCALE	1:100@A1, 1:200@A3	CHECKED	ZA
PROJ NO.	1031	APPROVED	
DWG NO.	A0300	REVISION	G

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5.6
Average
star rating
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Class 2 summary
6B7AIXLNVX 08/11/2022

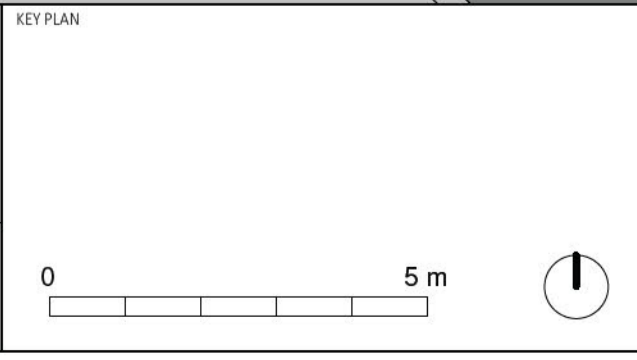
Assessor Guljit Bates
Accreditation No. DMN/16/1751

Address
30-34 Grosvenor Street,
Neutral Bay,
NSW, 2089

<https://www.fr5.com.au/QRCodeLanding?PublicId=6B7AIXLNVX&GrpCert=1>

NO.	REVISION	BY	CHK	DATE	NO.	REVISION	BY	CHK	DATE
A	DA ISSUE	AG	AC	09/09/20					
B	DA RE SUBMISSION	MP	AC	11/12/20					
C	DEFERRAL RESPONSE	SF	AC	24/03/21					
D	SA 554 ISSUE	RD	SD	28/11/21					
E	SA 555 ISSUE	SD	RD	13/12/21					
F	SA 556 ISSUE	LH	ZA	03/11/22					

NO.	REVISION	BY	CHK	DATE



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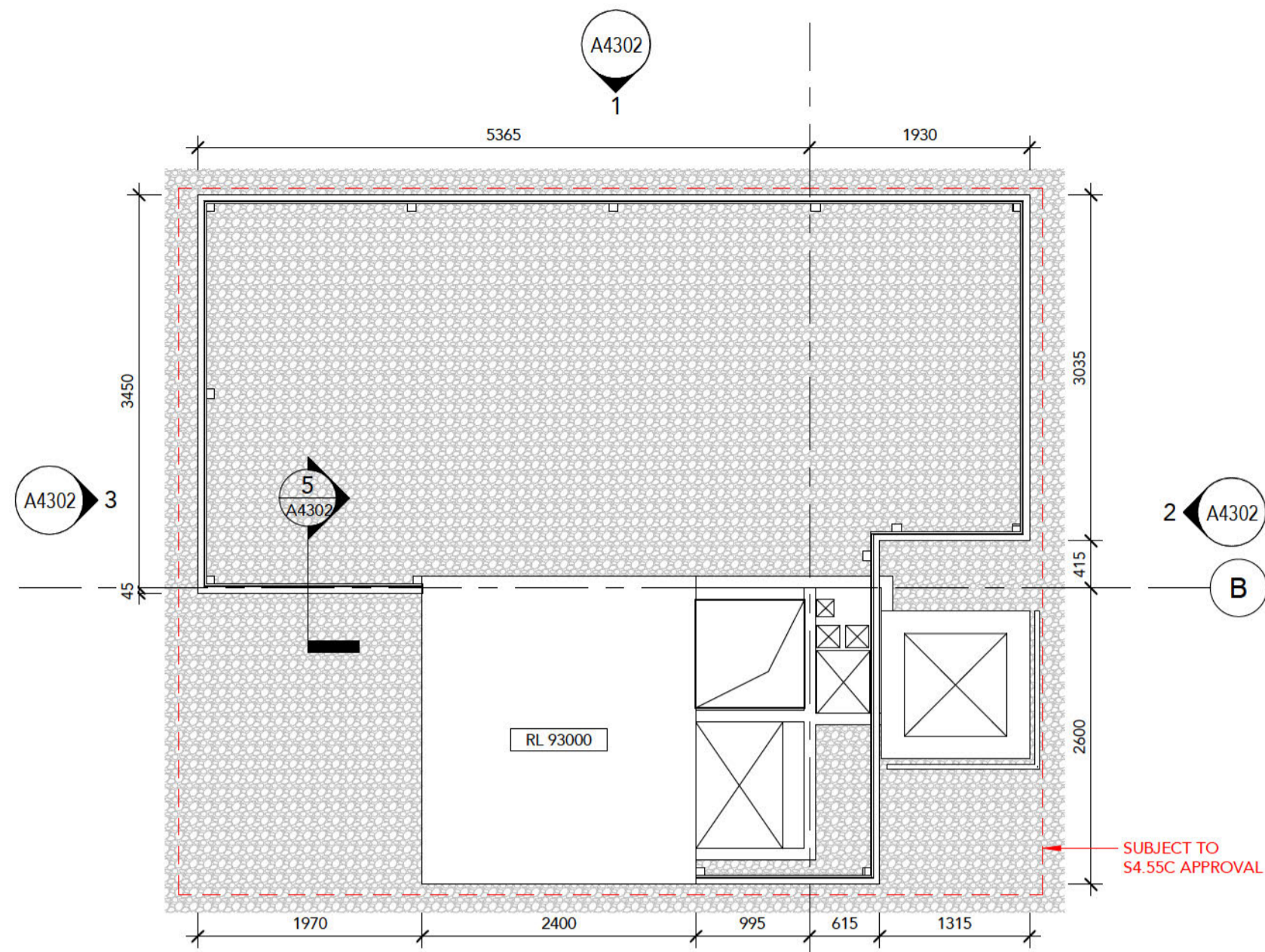
PROJECT
30-34 GROSVENOR STREET
NEUTRAL BAY, NSW 2089

STATUS
DEVELOPMENT APPLICATION

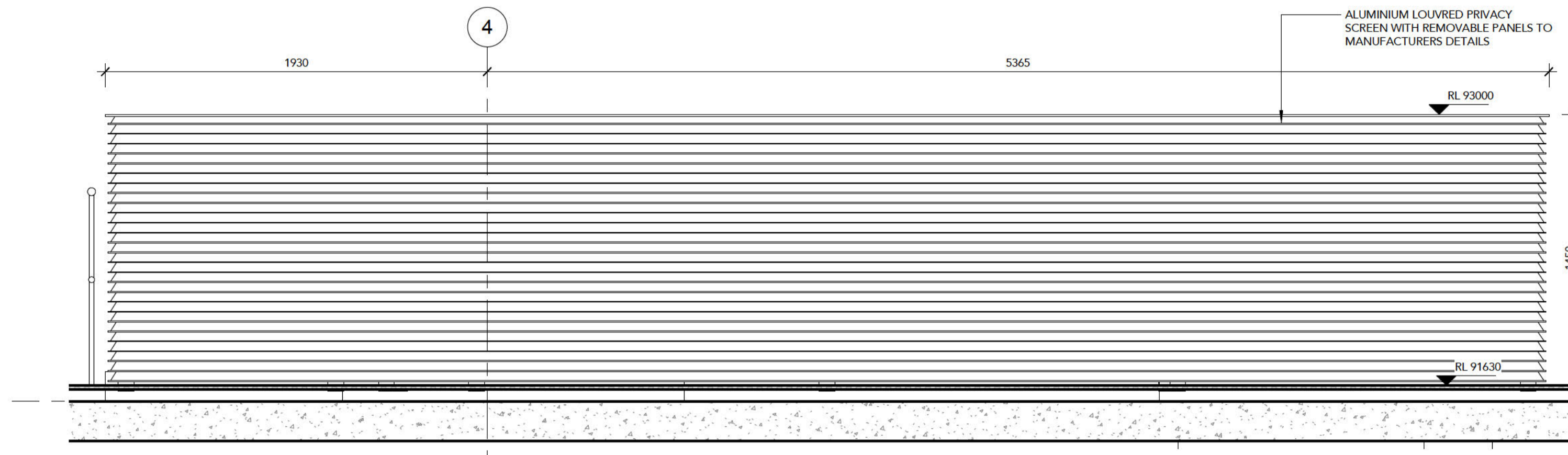
DWG TITLE
HEIGHT PLANE DIAGRAM

DATE	03.11.22	DRAWN	LH
SCALE	1:100@A1, 1:200@A3	CHECKED	ZA
PROJ NO.	1031	APPROVED	
DWG NO.	A0403	REVISION	F

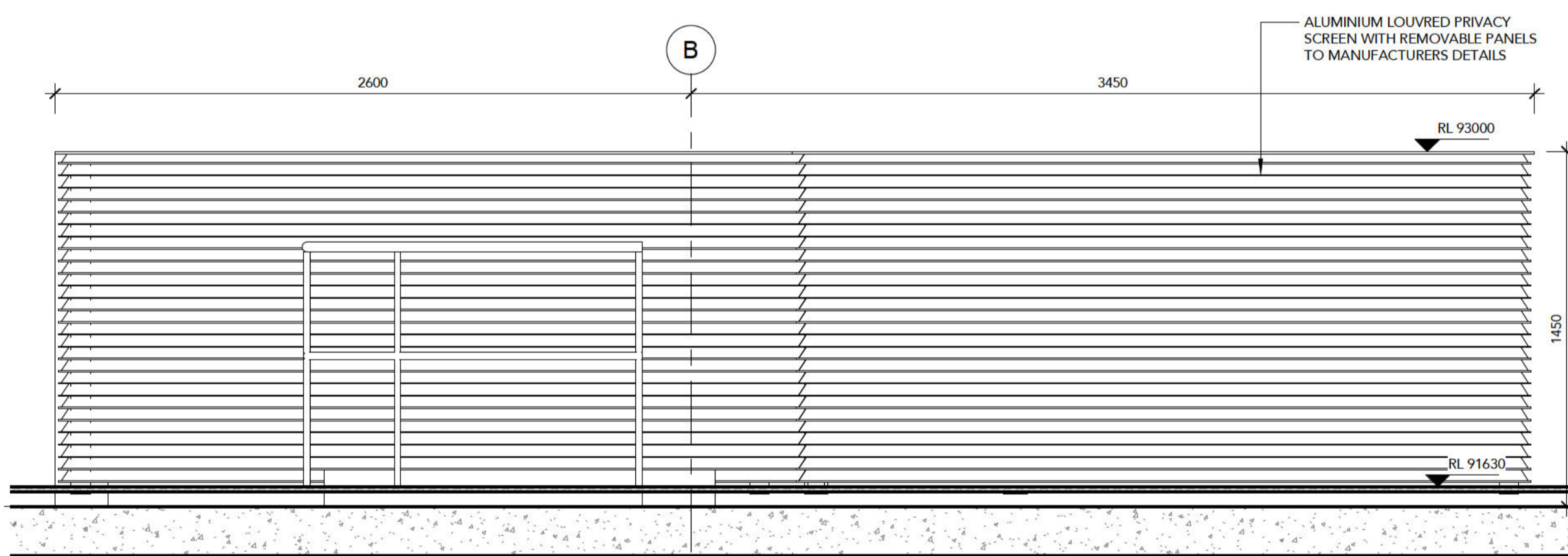
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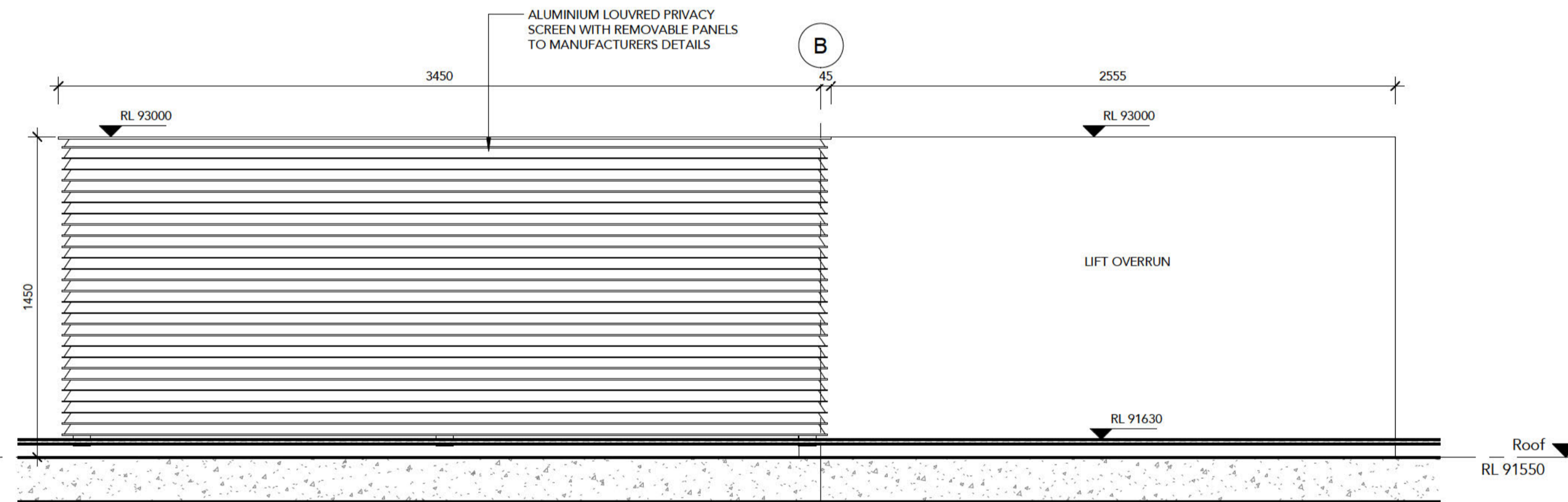
P Roof Privacy Screen
Scale 1 : 50



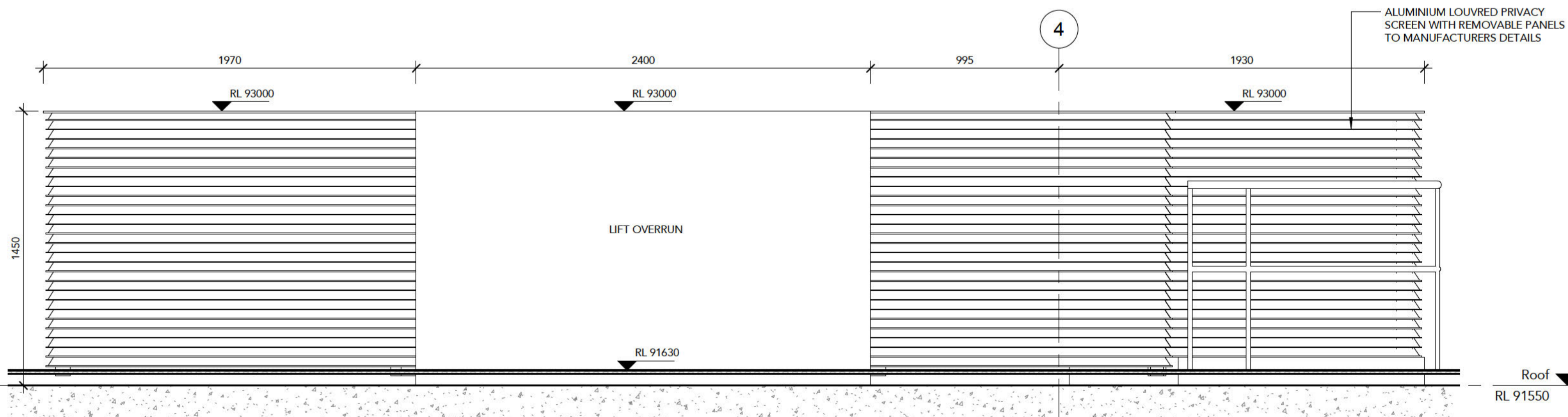
1 Roof Privacy Screen Elevation 1
Scale 1 : 20



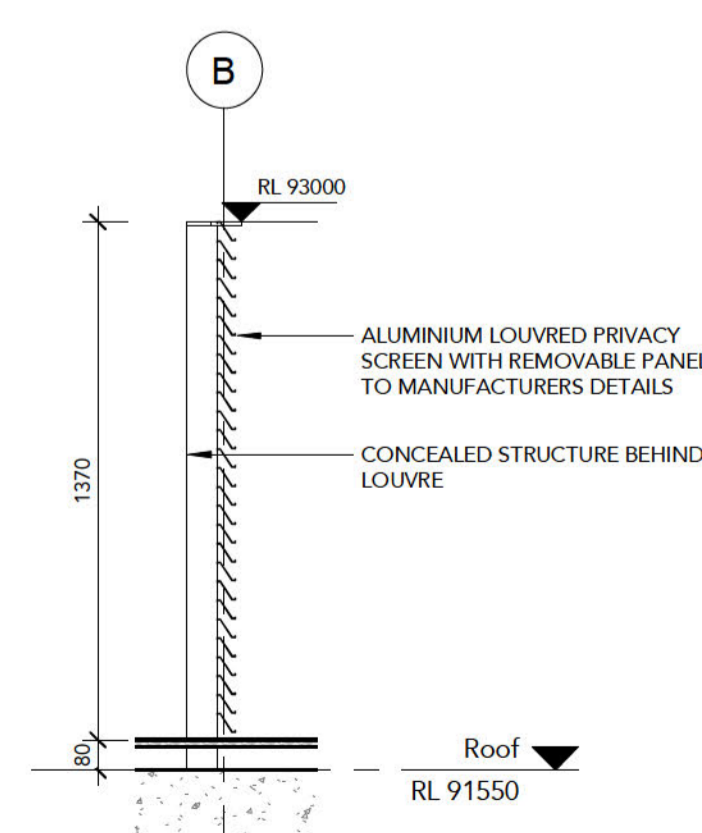
2 Roof Privacy Screen Elevation 2
Scale 1 : 20



3 Roof Privacy Screen Elevation 3
Scale 1 : 20



4 Roof Privacy Screen Elevation 4
Scale 1 : 20



5 Roof Privacy Screen Section
Scale 1 : 20

DRAWING STATUS:

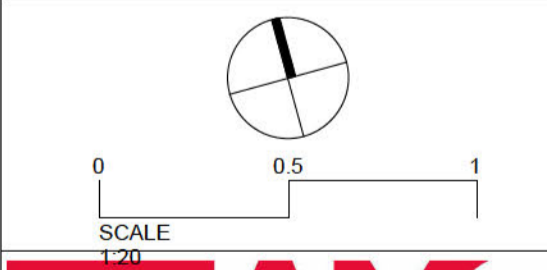
PRELIMINARY		
Rev	Revision Description	Date
1	For Information	07.11.22

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2. All dimensions and levels are in millimeters unless noted otherwise. No dimension shall be obtained by scaling the drawing.
3. All dimensions to be checked on site with any discrepancies referred to team 2 architects before proceeding with work.
4. All work to be carried out in accordance with the requirements of the principal certifying authority, current ncc & australian standards.

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Title: Roof Privacy Screen

Project No.	Scale	Date	Drawn	Checked
1031	As Indicated	@A1	LH	SO
Drawn By:	Indicated	Checked By:	SO	1
A4302				