



DEVELOPMENT APPLICATION APPROVED

This plan is referred to in the Notice of Determination

DA No: 296/22
Date: 10 May 2023
Authorised by:
Miguel Rivera

BASIX

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures
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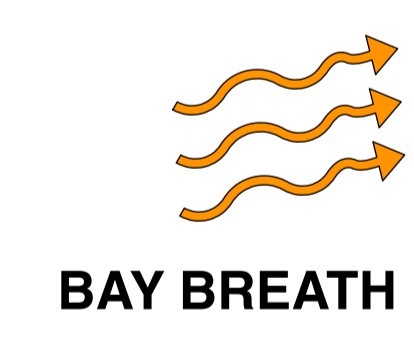
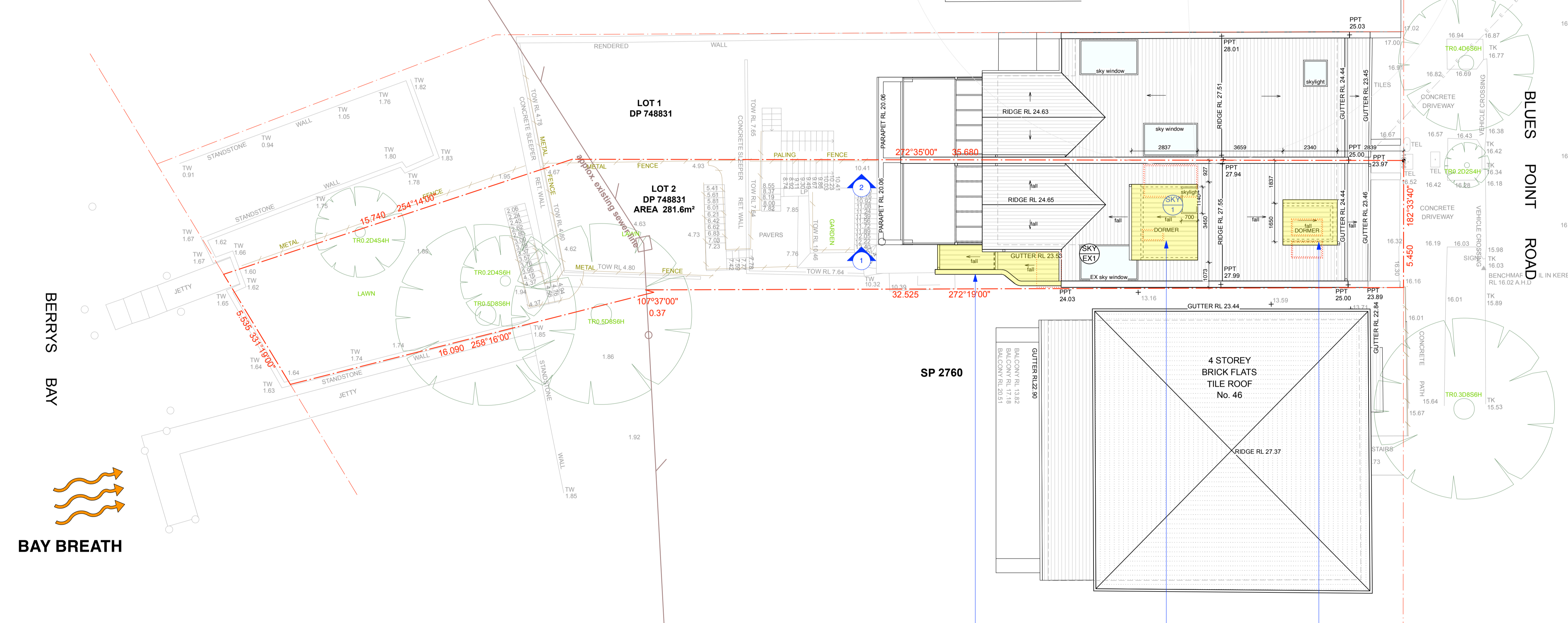
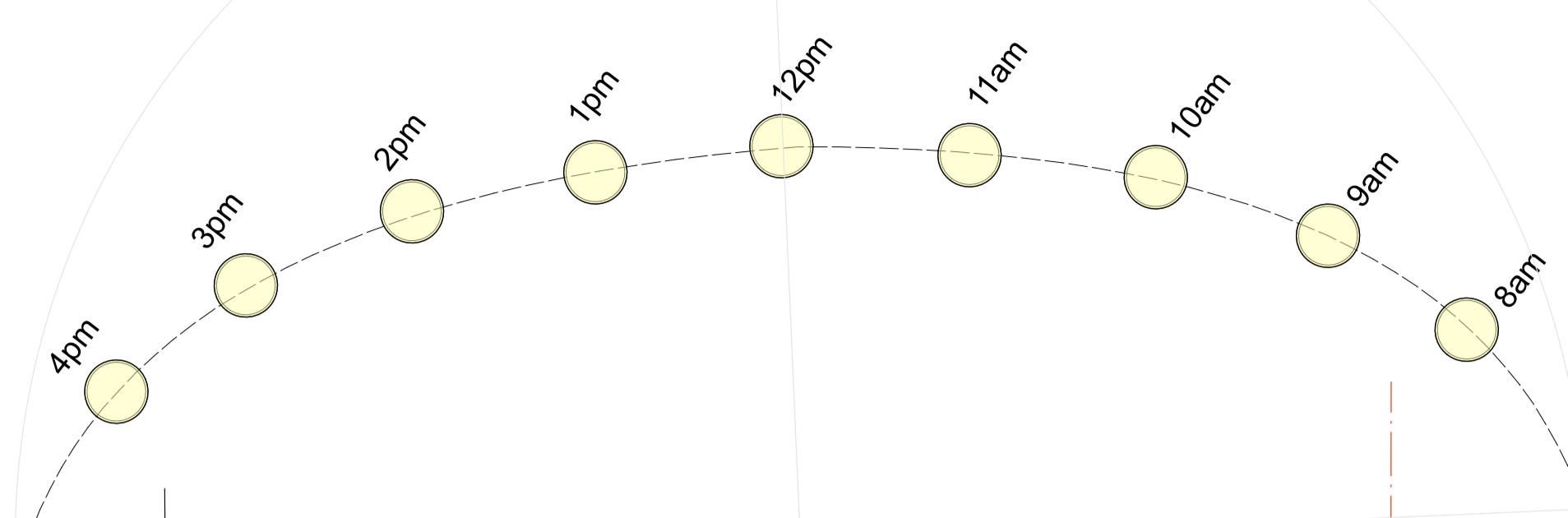
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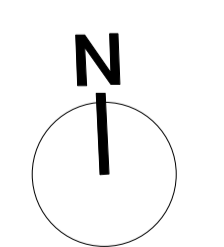
Skylights
The applicant must install the skylights in accordance with the specifications listed in the BASIX certificate.



Existing stepped parapet wall and skylights to be replaced with vertical metal clad boundary wall
New dormer to western side of roof to house lift motor and provide high level ventilation to stairwell.
New dormer window to attic bedroom, to replace existing skylights

1 SITE ANALYSIS / SITE PLAN
1:100

New work



Rev	Date	Note
C	16/2/23	Front dormer amended
B	13/2/23	Front dormer amended
A	19/9/22	Issued for DA

General Notes:

KS
KS
KS
By

Reason For Issue:

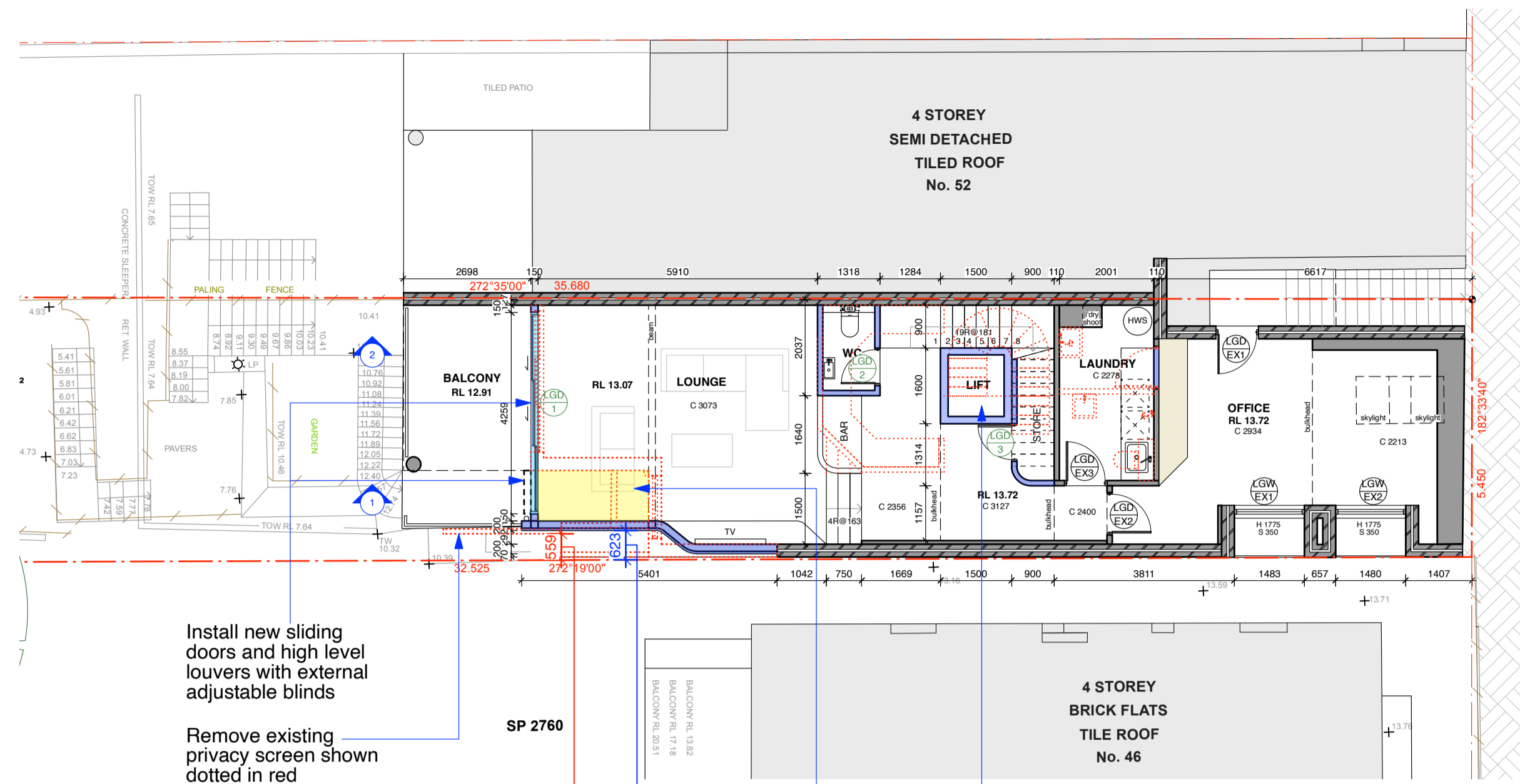
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Nominated Architect: Duncan Sanby Reg. No. 6227

SITE ANALYSIS / SITE PLAN

Alterations & Additions

50 Blues Point Road, McMahon's Point
-North Sydney Council-
For Mr. Philip Redmond

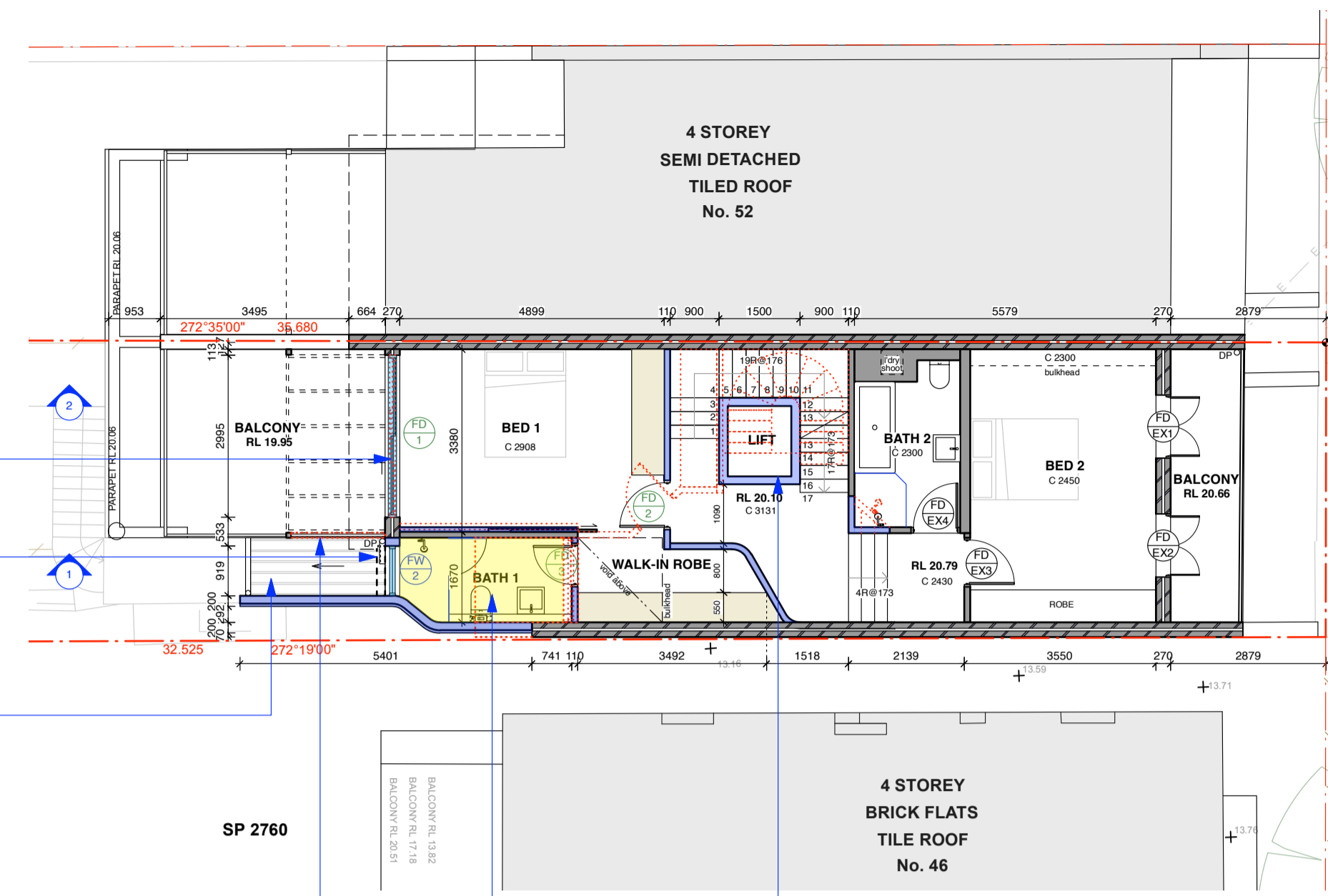
Suite 103, 506 Miller St PO Box 224, Cammeray 2062 T 02 9904 2515 E architects@utzsanby.com www.utzsanby.com			UTZ SANBY ARCHITECTS		
Project No.	Drawing No.	Rev No.			
2119	A01-01 DA	C			
SCALE	Drawn By	Checked By			
1:100QA1	KS	KU			



1 LOWER GROUND FLOOR PLAN
1:100

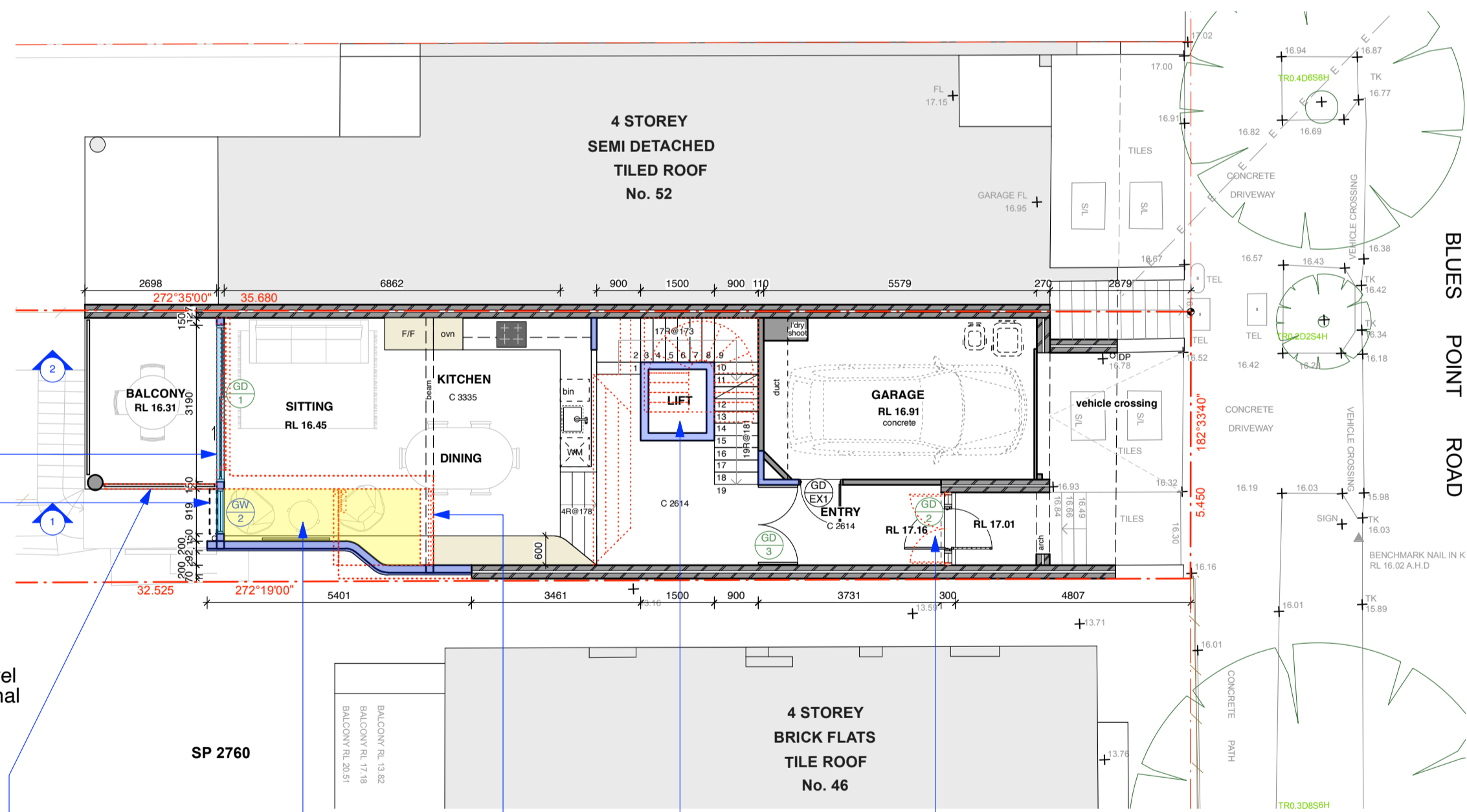
- Existing side setback from boundary to be maintained
- Extend existing floor, shaded yellow.
- Demolish existing wall and glazing shown dotted in red.
- Remove existing stair to install lift and new stairs

- Install new sliding doors and high level louvers to existing opening
- New fix window and high level louvre to existing blinds
- New sloping roof to replace existing glazing



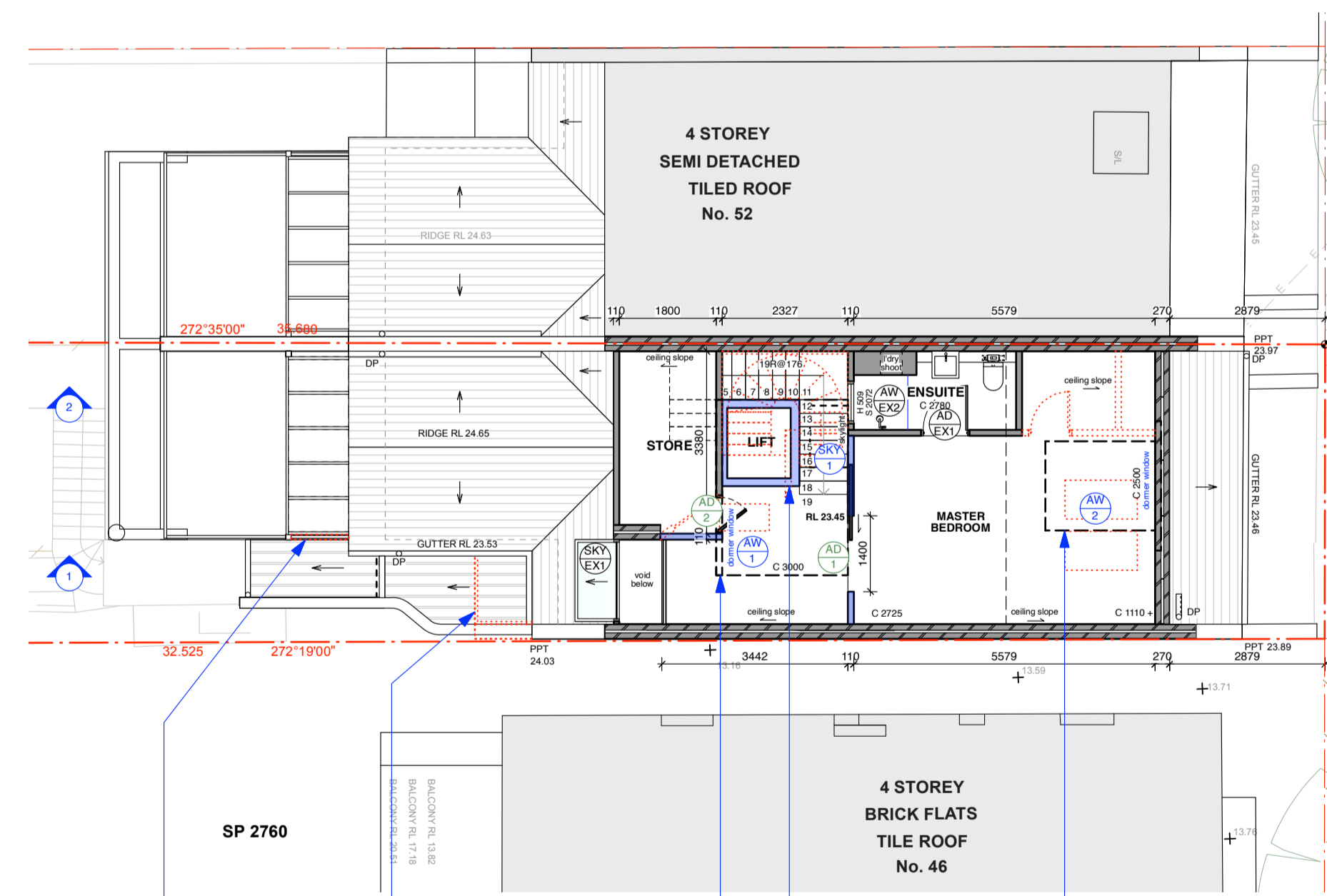
3 FIRST FLOOR PLAN
1:100

- Remove existing privacy screen shown dotted in red
- New Ensuite
- Remove existing stair to install lift and new stairs



2 GROUND FLOOR PLAN
1:100

- Install new sliding doors and high level louvers with external adjustable blinds
- Remove existing privacy screen shown dotted in red
- Extend existing floor, shaded yellow
- Existing structure to be removed shown dotted in red
- Remove existing stair to install lift and new stairs
- New entry door to existing opening



4 ATTIC FLOOR PLAN
1:100

- Remove existing privacy screen shown dotted in red
- Existing structure to be removed shown dotted in red
- New dormer over to facilitate natural ventilation and house lift overrun.
- Remove existing stair to install lift and new stairs
- Add dormer to replace existing skylights.



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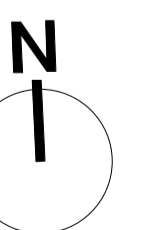
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Insulation requirements
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For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the BASIX certificate.

Skylights
The applicant must install the skylights in accordance with the specifications listed in the BASIX certificate.

- New work
- New wall
- New windows



Rev	Date	Note
C	16/2/23	Front dormer amended
B	13/2/23	Front dormer amended
A	19/9/22	Issued for DA

General Notes:	
KS	
KS	
KS	
By	

Reason For Issue:

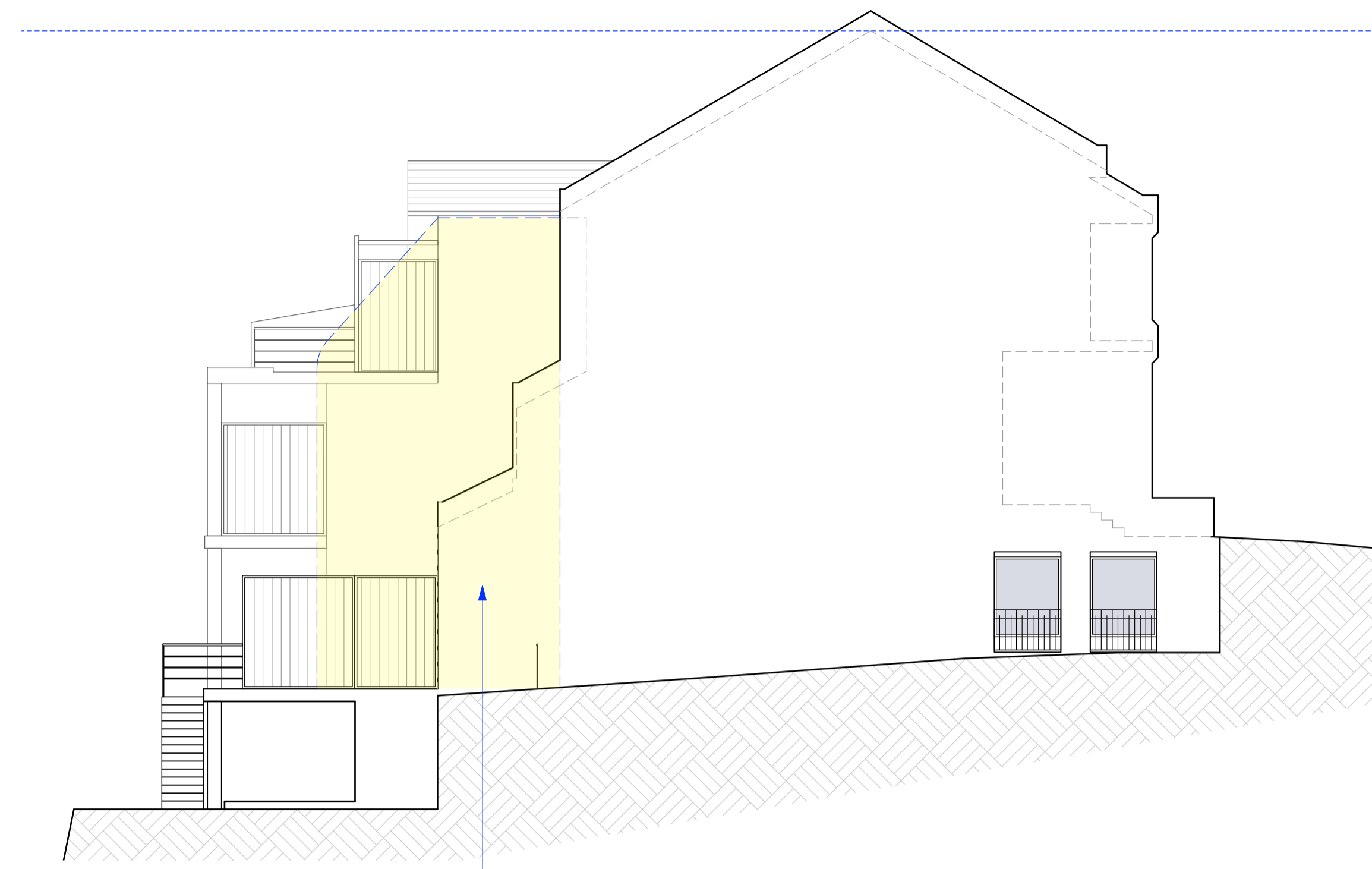
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Nominated Architect: Duncan Sanby Reg. No. 6227

FLOOR PLANS

Alterations & Additions

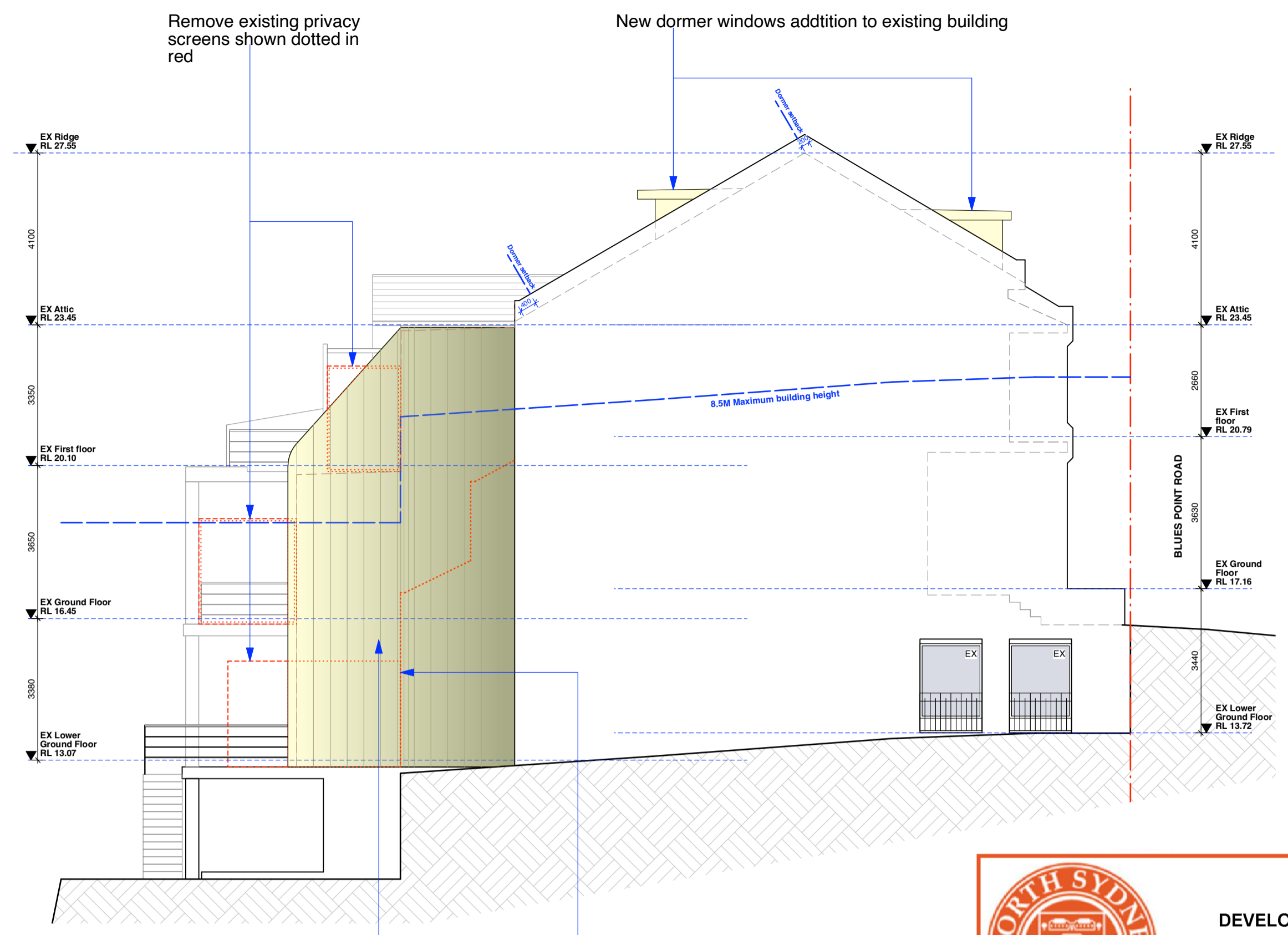
50 Blues Point Road, McMahon's Point
NSW 2060
-North Sydney Council-
For Mr. Philip Redmond

Suite 103, 506 Miller St PO Box 224, Cammeray 2062 T 02 9904 2515 E architects@utzsanby.com www.utzsanby.com			UTZ SANBY ARCHITECTS	
Project No.	Drawing No.	Rev No.		
2119	A01-02 DA	C		
SCALE	Drawn By	Checked By		
1:100RA1	KS	KU		



1 EXISTING SOUTH ELEVATION
1:100

Proposed southern wall shown outlined in blue against existing building.



2 PROPOSED SOUTH ELEVATION
1:100

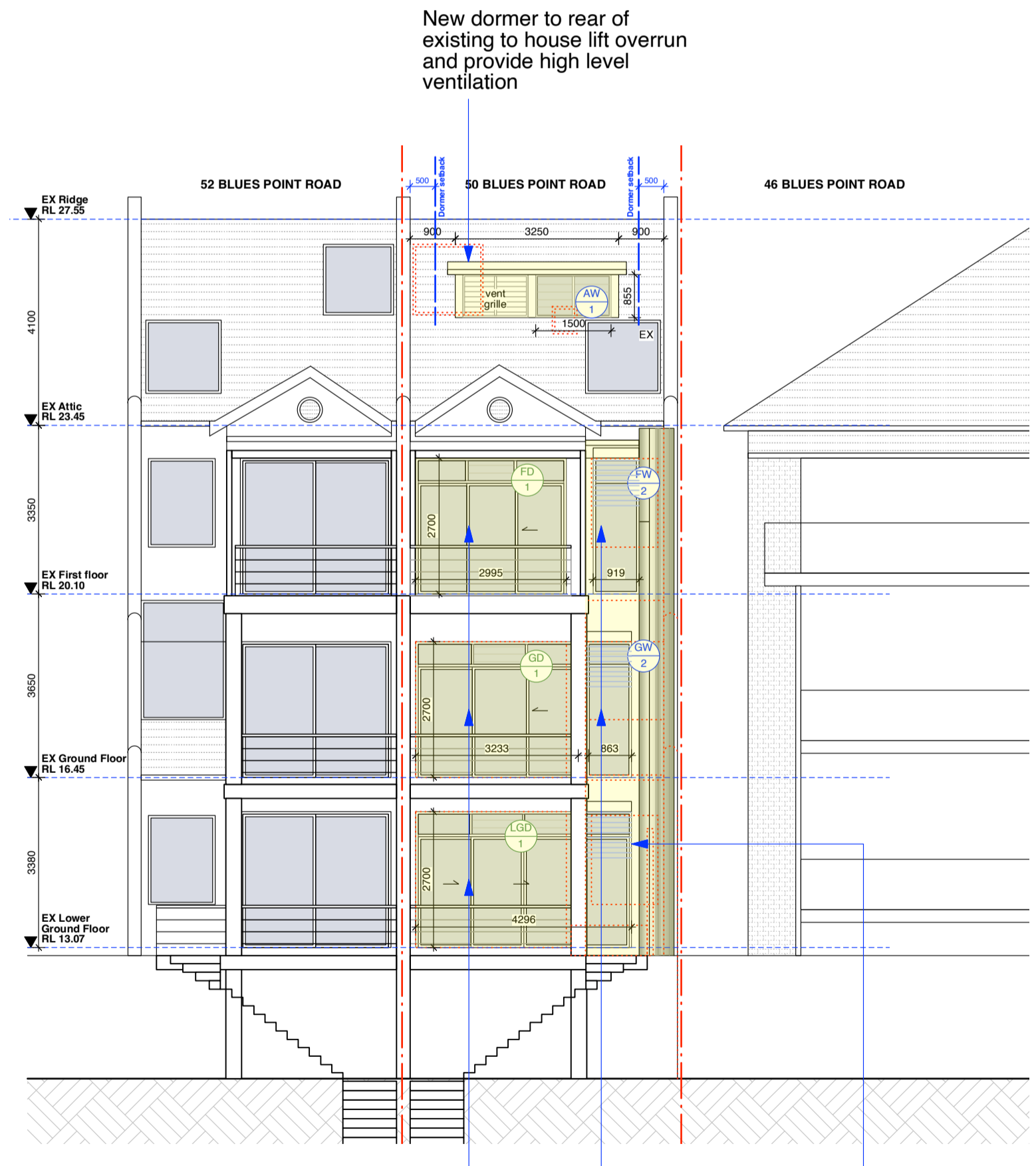
Remove existing privacy screens shown dotted in red
New dormer windows addition to existing building
Remove rear southern side corner and extend towards east
Existing structure to be removed shown dotted in red



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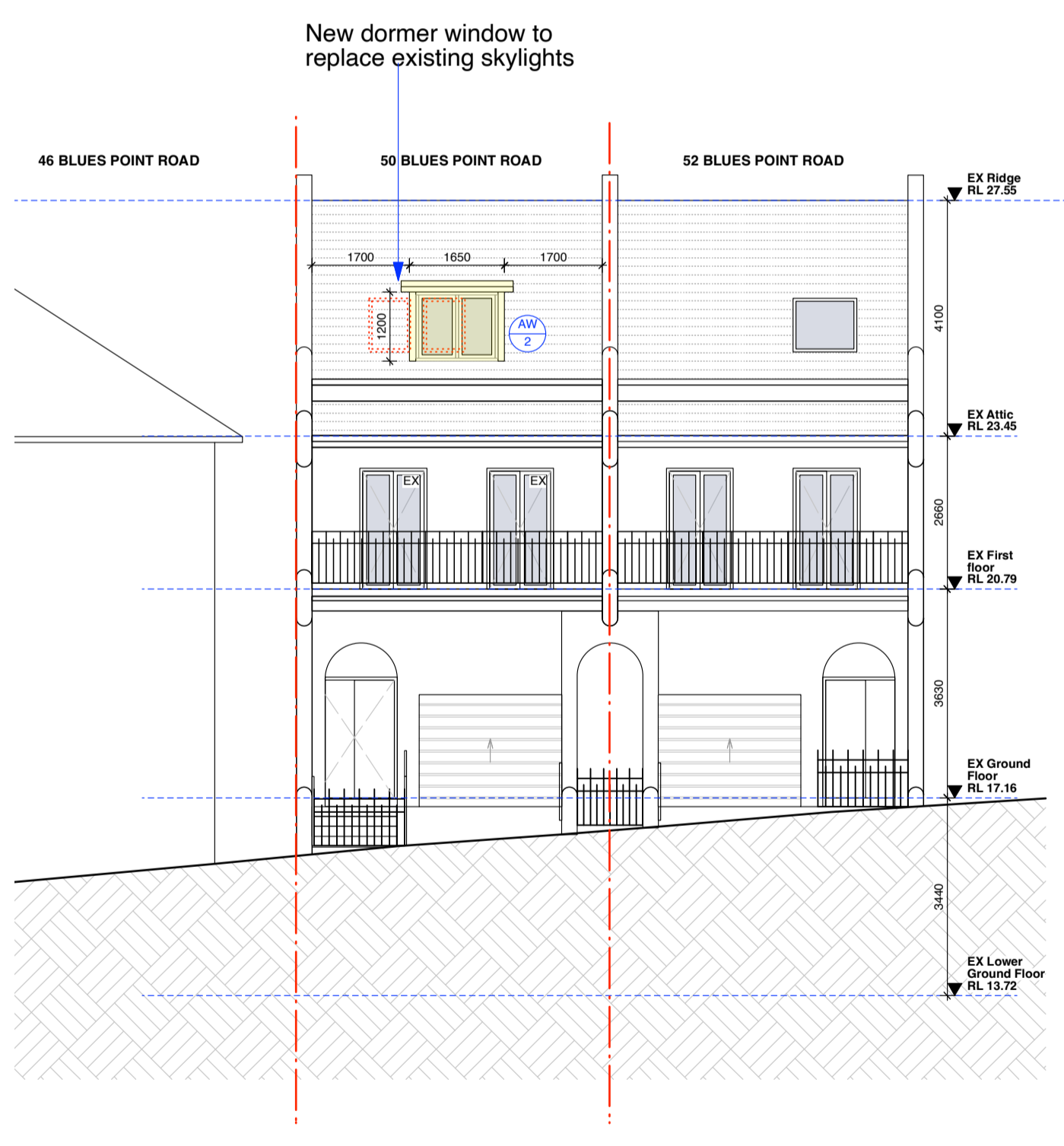
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3 WEST ELEVATION
1:100

New dormer to rear of existing to house lift overrann and provide high level ventilation
Install new sliding doors
Fixed window and aneeta window with external adjustable blinds to west facing glazing
Install external adjustable blinds to west facing glazing



4 EAST ELEVATION
1:100

New dormer window to replace existing skylights

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Skylights
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New work

Rev	Date	Note
C	16/2/23	Front dormer amended
B	13/2/23	Front dormer amended
A	19/9/22	Issued for DA

General Notes:

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ELEVATIONS

Alterations & Additions

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-North Sydney Council-
For Mr. Philip Redmond



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2119	A01-03 DA	C

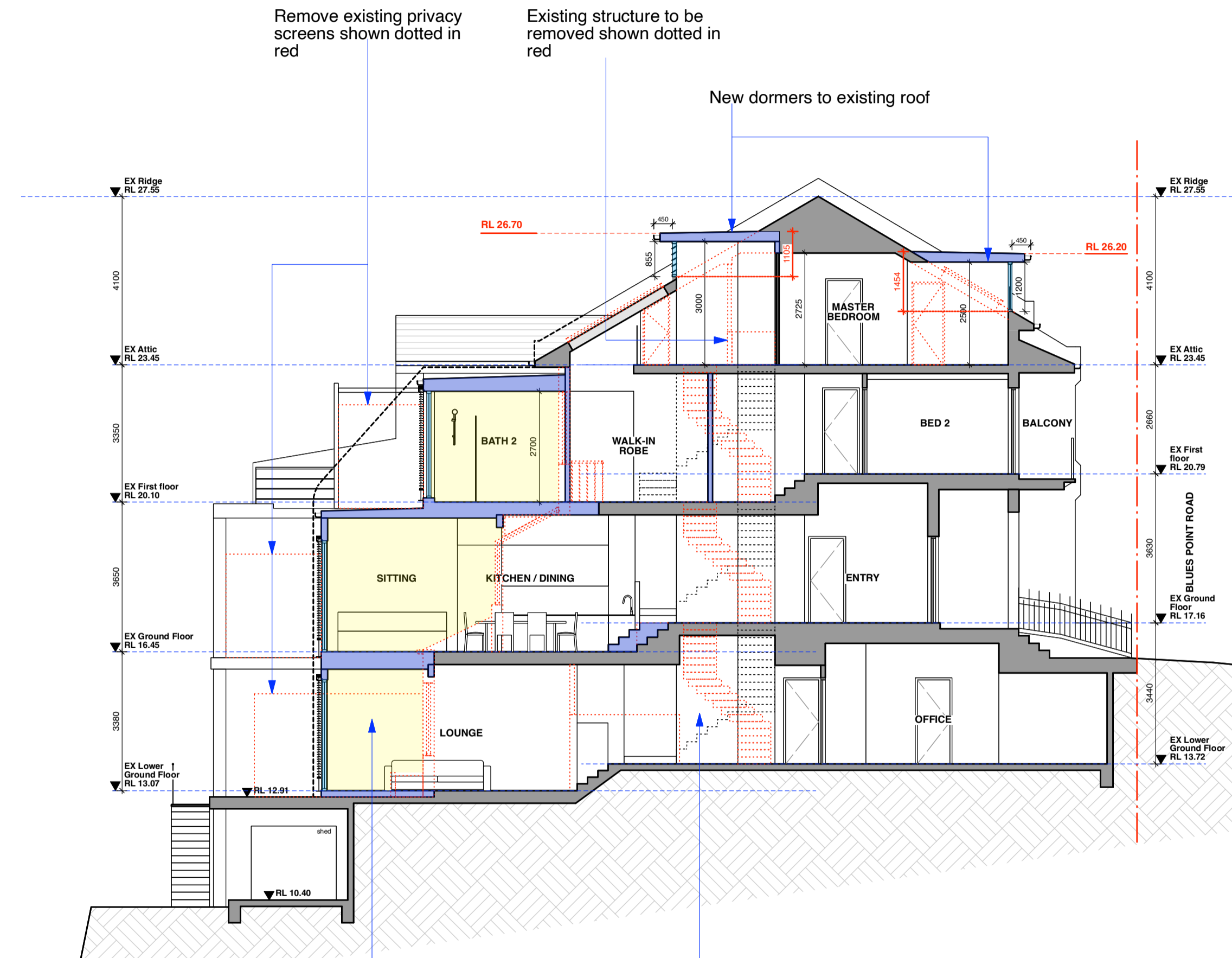
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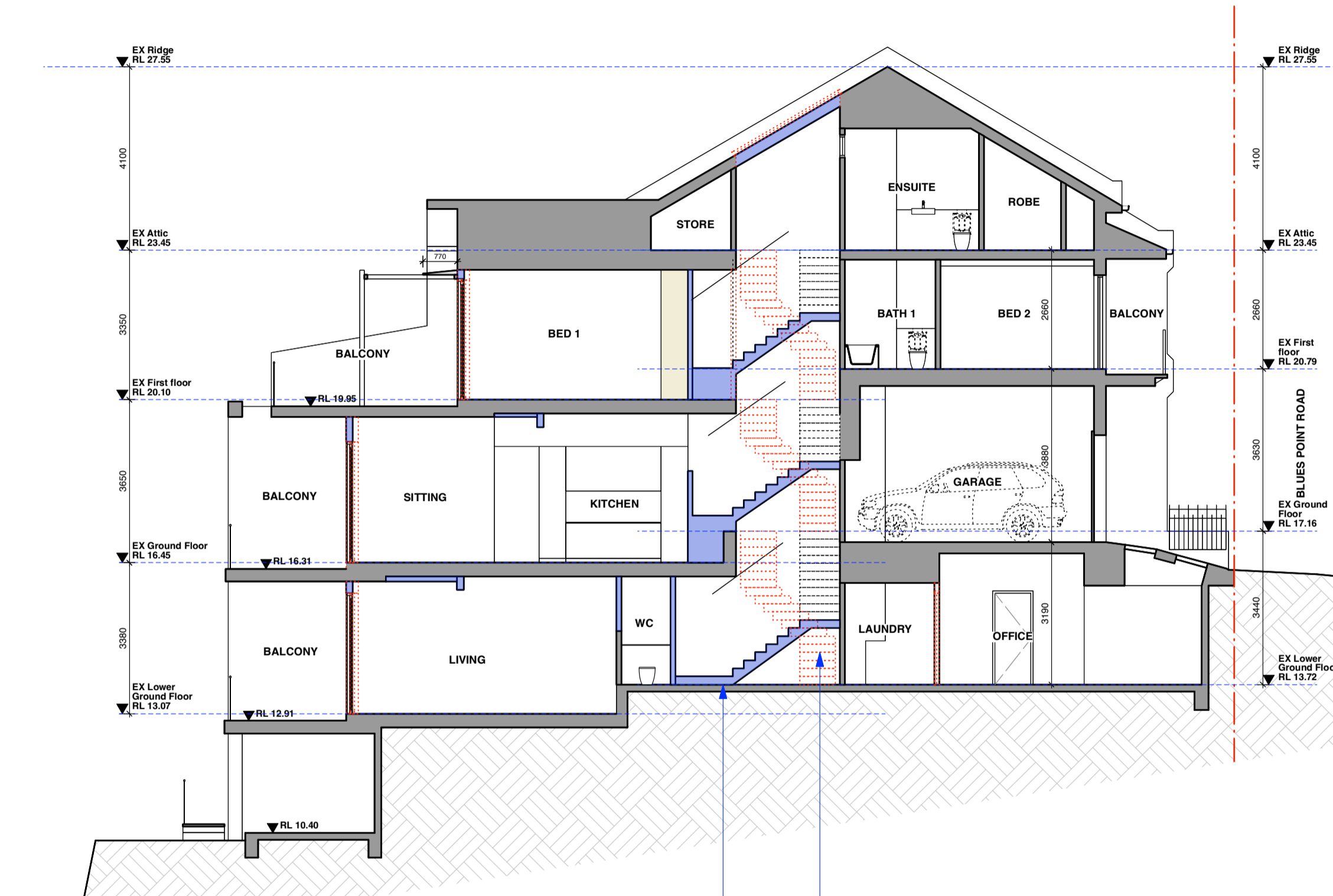
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1 LONG SECTION
1:100

New boundary wall outlined in black dotted line with new work shown in yellow.

Remove existing stair to install lift and new stairs



2 LONG SECTION
1:100

Remove existing stair to install lift and new stairs

Existing structure to be removed shown dotted in red

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Yellow box: New work
Blue box: New wall/structure

Rev	Date	Note
D	16/2/23	Dormer heights added
C	13/2/23	Dormer RL added
B	7/12/22	Dormer's RL and height added
A	19/9/22	Issued for DA

General Notes:

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SECTIONS

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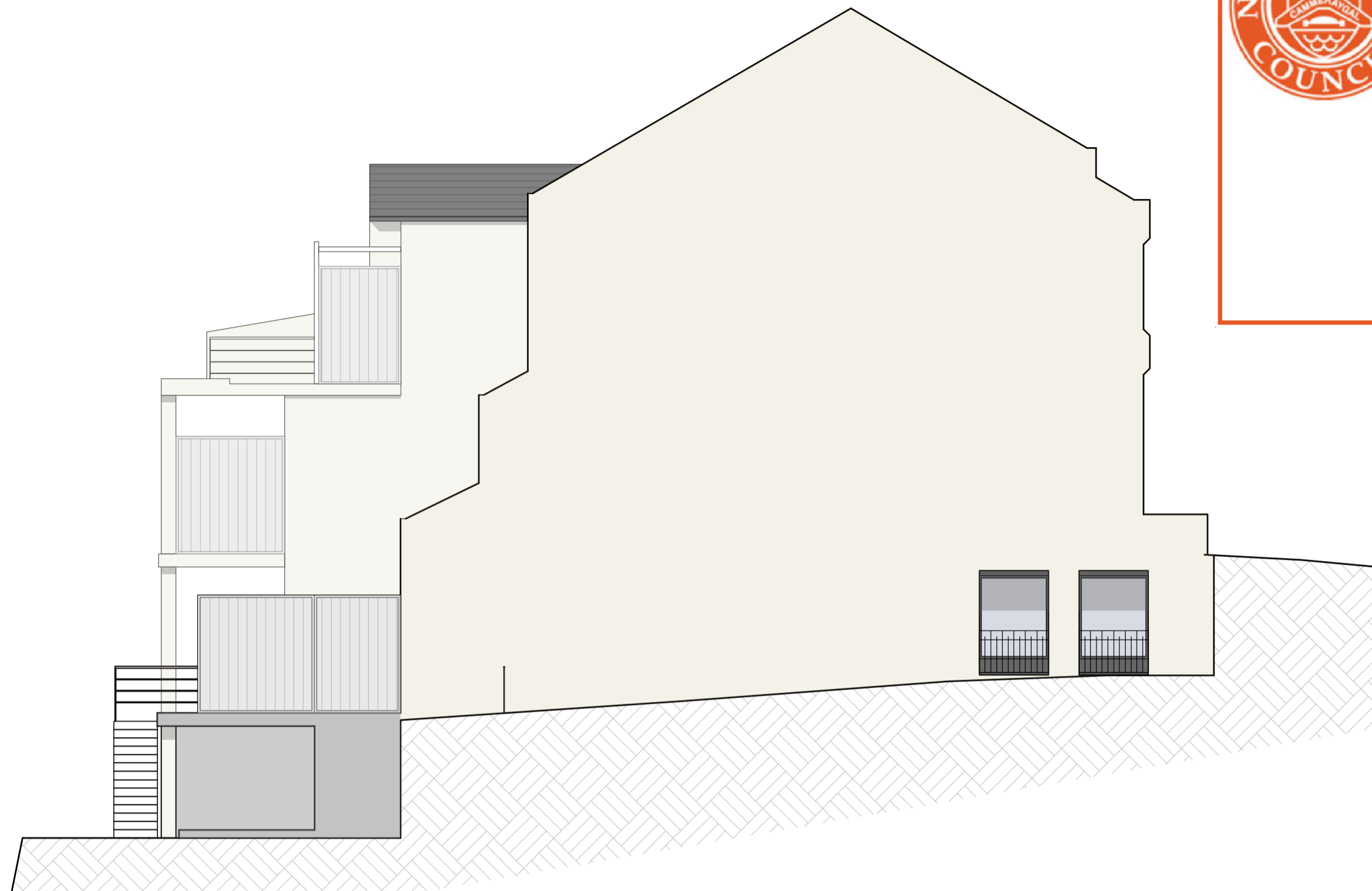
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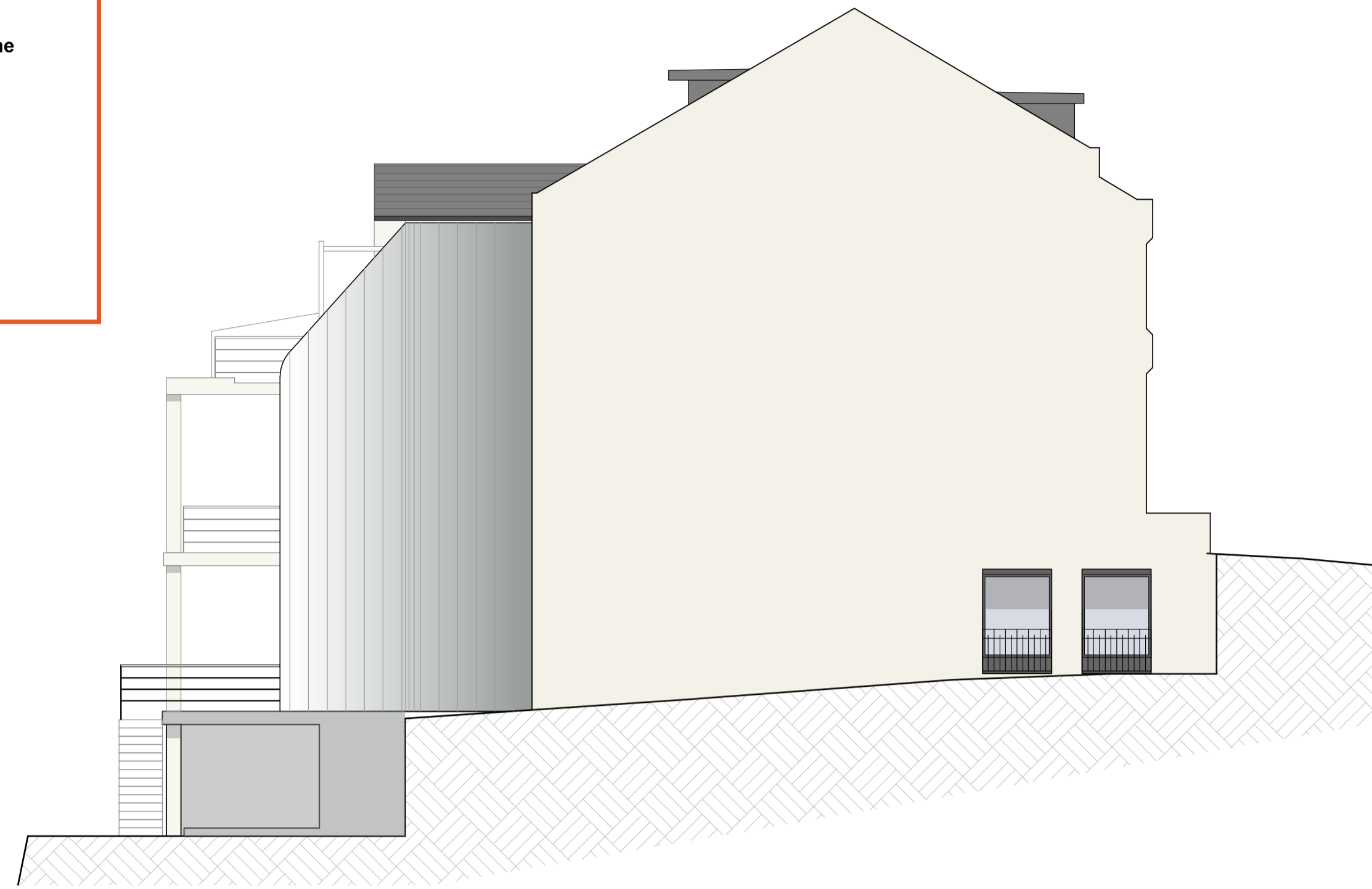
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1:100



2 PROPOSED SOUTH ELEVATION
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3 WEST ELEVATION
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4 EAST ELEVATION
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