

**NSLPP MEETING HELD ON 04/10/23****Attachments:**

1. Site Plan
2. Architectural Plans
3. Original DA Report

ADDRESS/WARD: 4-6 MacPherson Street, Cremorne**APPLICATION No:** DA 229/21/2

PROPOSAL: Modifications to development consent (D229/21) including a reduction in the number of apartments from 11 to 7, replace car lift with a ramp to basement parking, external changes and changes to various conditions of consent

PLANS REF:

Plan No.	Rev No.	Description	Prepared by	Dated
DA02	P	Site Analysis	Corben Architects	27/4/2023
DA03	P	Basement Plan	Corben Architects	27/4/2023
DA04	Q	Level 1 Plan	Corben Architects	14/9/2023
DA05	P	Level 2 Plan	Corben Architects	27/4/2023
DA06	P	Level 3 Plan	Corben Architects	27/4/2023
DA07	P	Level 4 Plan	Corben Architects	27/4/2023
DA08	Q	Roof Plan	Corben Architects	3/8/2023
DA09	Q	North Elevation	Corben Architects	3/8/2023
DA10	Q	East Elevation	Corben Architects	3/8/2023
DA11	Q	South Elevation	Corben Architects	3/8/2023
DA12	Q	West Elevation	Corben Architects	3/8/2023
DA13	P	Section AA	Corben Architects	27/4/2023
DA14	P	Section BB	Corben Architects	27/4/2023
DA15	P	Section CC	Corben Architects	27/4/2023
DA16	P	Section DD	Corben Architects	27/4/2023
DA26	P	Exterior Finishes	Corben Architects	27/4/2023

OWNER: Norbeach Investments Pty Ltd**APPLICANT:** Corben Architects**AUTHOR:** Robin Tse, Senior Assessment Officer**DATE OF REPORT:** 22 September 2023**DATE LODGED:** 22 May 2023**RECOMMENDATION:** Approval

EXECUTIVE SUMMARY

This application under Section 4.55 of the *Environmental Planning and Assessment Act 1979* seeks modifications to development consent (D229/21) including a reduction in the number of apartments from 11 to 7, replace car lift with a ramp to basement parking, external changes and changes to various conditions of consent.

The application is reported to Council for determination as the proposed modifications involve a variation to the LEP maximum building height development standard in excess of 10% in accordance with the direction of the Minister for Planning and Public Spaces.

Council's notification of the proposal has attracted one submission raising particular concerns about excessive building height and the loss of privacy. The assessment has considered these concerns as well as the performance of the modification against Council's planning requirements.

The proposed modifications satisfy the provisions of Section 4.55 (2) in that the proposed development is substantially the same as the development approved under **DA229/21** as the proposed modifications will not change the development type and the overall built form of the development as originally approved.

The proposed modifications have been assessed against the relevant SEPP's, the North Sydney LEP 2013 and North Sydney DCP 2013 and were found to be generally satisfactory.

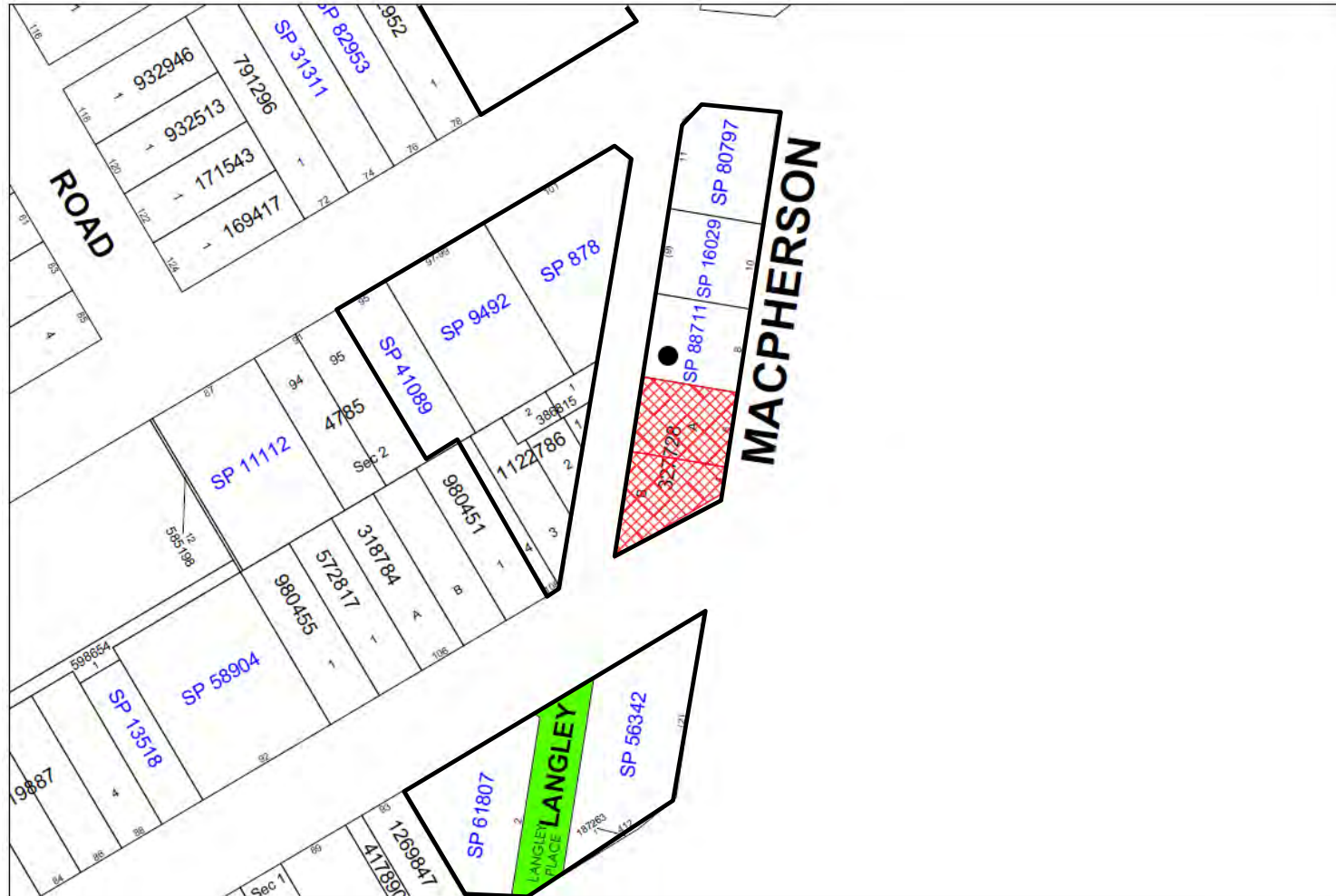
The additional variations to the LEP maximum building height limit of 12m by 640mm is considered to be acceptable because there would be no material impacts arising from the non-compliance with the height limit on character of the locality as well as the amenity of the adjoining properties in terms of view loss, overshadowing and the loss of privacy subject to the imposition of appropriate conditions.



The variations to unbuilt upon area and landscaped area are considered to be acceptable because the proposed modifications would not change the overall built form, bulk and scale and the landscape quality of the approved development. The proposal also results in a reduction in site coverage.

The issues raised in the submissions received have been addressed in the assessment report including the imposition of a new condition to protect the amenity of an adjoining property.

The proposal was found to be acceptable in the site circumstances and it is recommended that the subject Section 4.55(2) application be **approved** with the imposition of new and modified conditions.

LOCATION MAP



 Property/Applicant ● Submitters - Properties Notified 

DESCRIPTION OF PROPOSAL

The applicant seeks NSLPP approval for various modifications to development consent (**D229/21**) for a four (4) storey residential flat building with associated basement parking. The proposed modifications are summarised as follows:

1. Reduction in the number of apartments within the approved development from 11 to 7, associated changes to fenestration, internal layout and unit mix of the approved apartment building;
2. Increase floor to floor heights on each above ground level by 150mm and 640mm for the overall building height to a maximum height at RL 95.10 to achieve compliance with the relevant building codes and design requirements;
3. Modifications to the design of the roof with addition of skylights, plant areas and solar panels;
4. Modifications to the design of the fire stairs including white rendered concrete replacing approved metal cladding, the addition of a green wall on the eastern elevation;
5. Addition of a communal area within the communal open space as required by Condition C1 in the original DA consent and the relocation of the OSD under the communal open space;
6. Modifications to vehicular access to the basement parking replacing the approved car lift with a ramp off Langley Avenue;
7. Modifications to the configuration of the basement car park including relocation of parking spaces and the bin storage room as well as the addition of a pump room to meet fire safety requirements;
8. Lowering of the basement car park level by 250mm to RL 78.80 to comply with building requirements and AS2890.6 to provide sufficient height clearance for accessible parking spaces;
9. Deletion of Condition C28 (Location of Plant) requiring all plants to be provided within the basement;
10. Deletion of Condition C42 (Remediation) requiring investigation within the subject site prior to the issue of any construction certificate; and
11. A summary of key development parameters (approved and proposed) are detailed in the tables below:

Number of Units and Unit Mix:

Level	Approved	Proposed
Level 1 (Ground Floor)	1 x 1B (51sqm) 2 x 2B (73sqm/78sqm)	1 x 2B (83.79sqm) 1 x 3B (131.1sqm)
Level 2	1 x 1B (54sqm) 2 x 2B (73sqm/78sqm)	1 x 2B (83.79sqm) 1 x 3B (127.45sqm)
Level 3	1 x 1B (54sqm) 2 x 2B (73sqm/78sqm)	1 x 2B (83.79sqm) 1 x 3B (127.45sqm)
Level 4	1 x 2B (89sqm) 1 x 3B (110sqm)	1 x 4B (206.63sqm)
Total	11 Units (3 x 1B, 7 x 2B, 1 x 3B)	7 units (3 x 2B, 3 x 3B, 1 x 4B)

Parking:

Parking	Approved	Proposed
Car parking	10 spaces including 1 x Accessible parking 1 x Visitor parking	10 spaces including 1 x Accessible parking 1 x Visitor parking
Bicycle	12	8

Building Heights and Floor Levels:

Levels	Approved	Proposed	+/-
Basement:	RL 79.05	RL 78.80	-250mm
Level 1 (Ground Floor)	RL 81.75	RL 81.75	0mm
Level 2	RL 84.75	RL 84.90	+150mm
Level 3	RL 87.75	RL 88.05	+300mm
Level 4	RL 90.75	RL 91.20	+450mm
Roof:			
Main roof slab:	RL 93.75	RL 94.35	+600mm
Top of stairwell:	RL 94.50	RL 95.10	+600mm

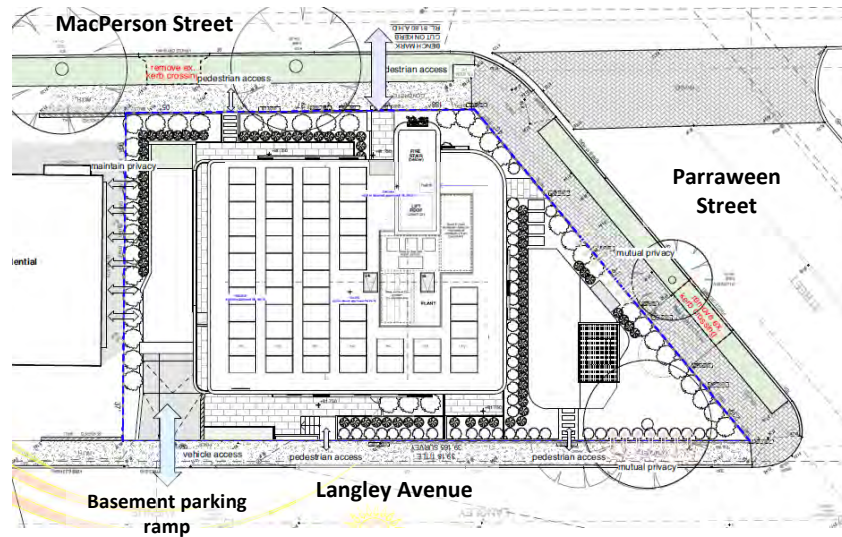
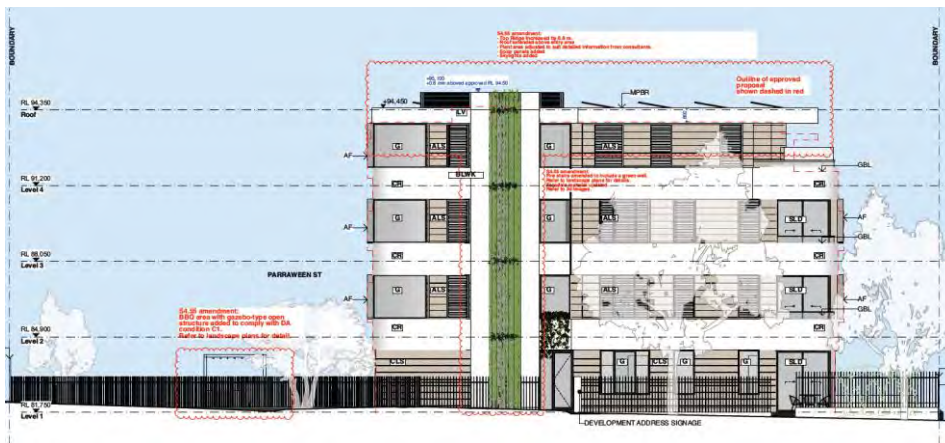


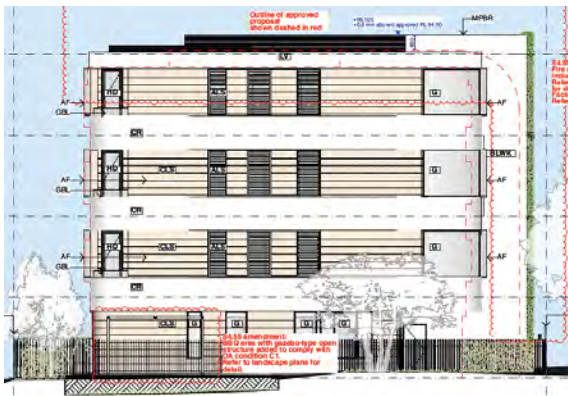
Figure 1: Site Plan



Eastern (MacPherson St) Elevation



Western (Langley Ave) Elevation



Southern (Parraween St) Elevation



Northern Elevation

Figures 2 – 5: Proposed modifications

CHECKING OF PLANS

This application has been checked to ensure that the changes being sought are the only changes included in the submitted plans.

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R4 (High Density Residential)
- Item of Heritage - No
- In Vicinity of Item of Heritage - No

- Conservation Area - No
- Foreshore Building Line – N/A
- *Environmental Planning & Assessment Act 1979 (As amended)*
- *SEPP (Biodiversity and Conservation) 2021*
- *SEPP (Resilience and Hazards) 2021*
- *SEPP 65 (Design Quality of Residential Apartment Development) & ADG*
- *SEPP (Housing) 2021*
- *SEPP (Building Sustainability Index: BASIX) 2004*
- Local Development

POLICY CONTROLS

DCP 2013
Apartment Design Guidelines (ADG)
Sydney Harbour Foreshores & Waterways Area DCP 2005
North Sydney Local Infrastructure Contributions Plan 2020

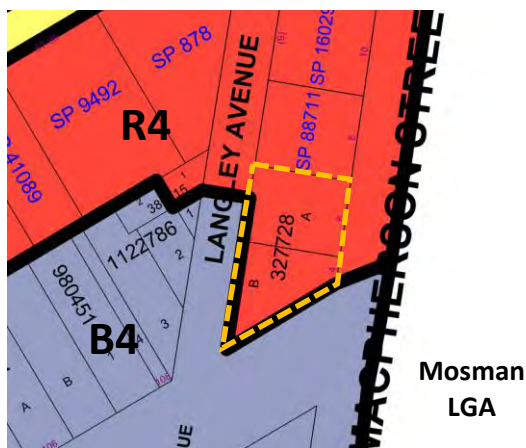


Figure 6: Zoning Map

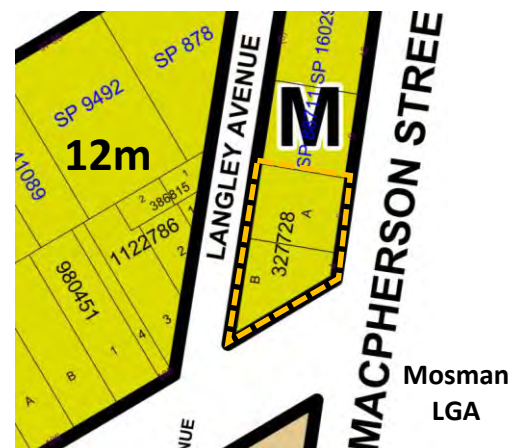


Figure 7: Height Map

DESCRIPTION OF LOCALITY

The subject site is located on the western side of MacPherson Street. The subject site comprises of two allotments at Nos 4 and 6 MacPherson Street, legally known as Lots A and B of DP327728. The subject site has a main street frontage to MacPherson Street to the east and secondary street frontages to Parraween Street to the south and Langley Avenue to the west. The site is rectangular in shape with fall of up to 1.8m from the south-western corner of the property towards the northern property boundary and a total area of 627.8sqm.

Currently, the site is occupied by a pair of single storey semi-detached dwellings with associated outbuildings. It is noted that one of the semi-detached dwelling was previously used as a medical centre but reverted back to a residential use.

The site is located on the eastern end of the North Sydney LGA and is surrounded by other residential/commercial/mixed use buildings with varying heights between one and five storeys. The subject site and properties on the western side of MacPherson Street are located on land zoned R4 (High Density Residential) with a maximum building height of 12m. Properties to the west and south of the subject site across Langley Avenue and Parraween Street are zoned B4 (Mixed Use) with a maximum height limit of 16m.

Immediately adjoining the subject site to the north is a three (3) storey townhouse (multiple dwelling) development at No.8 MacPherson Street.

Across Langley Avenue to the west is Council's Cremorne Child and Family Health Centre at No. 108 Parraween Street. To the south of the subject site across Parraween Street is a five (5) storey shop-top housing (mixed use) building at No. 412 Military Road (aka No.2 MacPherson Street).

To the east across MacPherson Street within Mosman LGA is the rear (secondary) street frontage of a part single/two storey commercial building (being used as a car dealer) at Nos. 418 - 426 Military Road.

It is therefore noted that the subject site is located on land that is surrounded by developments with varying height and building typologies.



Figure 8: Subject Site (Cnr of MacPherson & Parraween Streets)



Figure 9: The Locality

RELEVANT HISTORY

Previous Application

- **1 December 2021** – Development consent (**D229/21**) was granted by the NSLPP for demolition of existing semi-detached dwellings and the construction of a four (4) storey residential flat building containing eleven (11) apartments and basement parking for twelve (12) cars.

Current Application

- **1 June 2023** – The subject Section 4.55 (2) application (**D229/21/2**) seeking various modifications to the approved four storey apartment building was lodged with Council.
- **9 to 23 June 2023** – The owners of the adjoining properties and the Brightmore Precinct were notified about the application. The notification has attracted one (1) submission.
- **11 July 2023** – The applicant was requested to provide additional information in relation to building height, unit mix changes and the proposed green wall.
- **10 August 2023** – The applicant submitted updated architectural plans in response to the earlier comments provided by Council assessing officer.
- **11 September 2023** – The applicant provided additional information about the scope of modifications.

REFERRALS

BUILDING

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

ENGINEERING

The application was referred to Council's Development Engineer who raised no objection to the proposed modifications and advised that no further changes would be required for the engineering conditions in the original DA consent.

TRAFFIC

The subject application was referred to Council's Traffic and Transport Engineer who considered that the proposed modifications were acceptable subject to an amendment to Condition C16 item (d) to specify the requirement for the installation of a "ONE WAY" sign opposite to the proposed driveway for the basement carpark.

Comment:

Council Traffic and Transport Officer's comments are noted and generally concurred with.

It is recommended that the following conditions be modified to reflect the scope of the proposed modifications:

Basement Car Park to comply with relevant standards

C16. The design of the basement carpark and associated works must comply with all requirements of the Australian Standard AS2890.1 including the following requirements.

- (a) The design of the proposed parking spaces for people with disability must comply with the Australian Standard AS2890.6;
- (b) The design of bicycle parking and storage facilities must comply with the Australian Standard AS2890.3;

- (c) The design of the new driveway to the site must comply with the minimum pedestrian sightline safety in accordance with Figure 3.2 of AS2890.1.
- (d) A "ONE WAY" sign be installed opposite to the driveway entrance to the basement carpark on Langley Avenue.

The applicant/developer shall pay for the cost associated with the installation of the signage by Council staff. The Principal Certifier must ensure that the building plans/documentation and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure compliance with the relevant Australian Standards)

Allocation of Spaces

16. The allocation of carparking spaces within the development must be maintained at all times in accordance with the terms of this consent. The allocation of spaces must be maintained in accordance with the following table:

9 Residential
1 Residential - Visitors

Carparking spaces provided must only be used in conjunction with the approved uses contained within the development.

In the case of Strata subdivision any car parking for strata lots for residential purposes must be individually allocated to its corresponding residential strata lot as part of each lot's unit entitlement.

Visitor parking facilities must be designated as common property on the strata plan. Visitor parking facilities must not at any time be allocated, sold, licensed or leased for the exclusive use of any occupier or owner and must be retained as common property by the owner's corporation for use by building visitors.

(Reason: To ensure that adequate parking facilities to service the development are provided on site)

LANDSCAPING

The application was referred to Council's Landscape Officer who raised no in principle objection to the proposed modifications subject to the following new **Condition E30** in relation to the proposed relocation of the OSD:

Construction of On-site Detention Tank

- E30. The excavation and construction of the on-site detention tank and its associated works shall be carried out under supervision of project arborist to ensure adequate soil depth and root zone for T1 transplanted Plumeria.*

(Reason: To ensure protection of vegetation on site.)

It is also noted that the applicant has incorporate a maintenance schedule on the submitted landscape plan.

WASTE MANAGEMENT

The application was referred to Council's Waste Operation and Education Officer who indicated the need for a garbage chute and recycling bin storage on every level; the provision of a temporary bin holding area 2m off the street and separate room for bulky waste storage bins.

Comment:

The comments from Council's Waste Operation and Education Officer are noted. The applicant has proposed an area for storage of bulky items within the waste storage room within the basement level. The building does not have a garbage chute and recycling bin storage on each floor. The proposal is considered to be acceptable given that the proposal is a rather modest development with seven (7) apartments within a constrained footprint. A garbage chute and a separate bulky waste room would be more suitable and practical for a larger apartment development. A temporary bin holding area has been proposed along the Langley Avenue frontage adjacent to the vehicular access ramp entrance.

SUBMISSIONS

The owners of the adjoining properties and the Brightmore Precinct were notified about the application between 9 and 23 June 2023. The notification has attracted one (1) submission and the issues raised in the submission are summarised below.

Name & Address of Submitter Basis of Submissions

- The proposed development does not comply with the LEP maximum height limit of 12m.
- Overlooking of the adjoining property to the north from the proposed larger balconies on the north-western corner and the top floor of the proposed apartment building.
- The approved floor levels should be maintained, and installation of fixed privacy louvres is requested to protect privacy for the adjoining property.

CONSIDERATION

Council is required to assess the s4.55 application under the *EPA Act 1979* (As amended) having regard to the following matters:

Section 4.55 (2)

- it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
- it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
- it has notified the application in accordance with—*
 - the regulations, if the regulations so require, or*

- (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and**
- (d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.**

Comments are provided on the above matters in section 4.55 (2) as follows:

- (a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and**

The proposed modifications would maintain the four storey built form and the approved residential flat building use of the subject site with basement parking. Consequently, the proposal is considered to be “substantially the same”.

- (b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and**

The proposal did not require any referral to another public authority.

- (c) Whether the application has been notified and, if so, were there any submissions**

The owners of the adjoining properties and the Brightmore Precinct were notified about the application between 9 and 23 June 2023. The notification has attracted one (1) submission. The issues raised in the submission have been considered later in this report.

- (d) The reasons given by the consent authority for the grant of the consent**

Pursuant to section 4.55 (3) in the *EPA ACT 1979* (as amended) Council must also consider the matters that need to be addressed under section 4.15 (Evaluation) and the reasons for the original approval.

The following reasons were given by the North Sydney Local Planning Panel for the approval of the original DA:

- The proposed residential flat building is acceptable in terms of its architectural design, bulk and scale given that the site is located in a High Density Residential Zone (R4).
- The proposal would not result in any unacceptable impacts on the amenity of the adjoining properties in terms of view loss, overshadowing, and/or privacy loss)

The above reasons for granting consent have been considered later in this report and would remain satisfied if the modification was approved. Accordingly, the provisions of Section 4.55(3) are satisfied by the subject modification.

MATTERS FOR CONSIDERATION UNDER SECTION 4.15 (Evaluation)

SEPP (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in Non-Rural Areas

The proposed modifications do not involve any further removal of existing trees within the subject site. Appropriate landscaping/tree protection conditions have been imposed in the original development consent to ensure the retention/protection of significant vegetation within the subject site. It is therefore considered that the proposal is generally consistent with the relevant aims and provisions of this chapter in the SEPP.

Chapter 6 - Water Catchment

Having regard to the *SEPP (Biodiversity and Conservation) 2021* with respect to the Sydney Harbour Catchment and the Sydney Harbour Foreshores and Waterways Area DCP 2005, the proposed modifications are not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore.

The proposed modifications are sufficiently separated from the natural waterbody and not discernible from the Middle Harbour and its foreshores. The proposal would have no adverse impacts on views from the waterway and the biodiversity of the foreshore/waterways. As such, the development is acceptable having regard to the provisions contained within the *SEPP (Biodiversity and Conservation) 2021* and the Sydney Harbour Foreshores and Waterways DCP 2005.

SEPP (Resilience and Hazards) 2021

The provisions of *SEPP (Resilience and Hazards) 2021* require Council to consider the likelihood that the site is contaminated and to address methods necessary to remediate the site.

A condition (**Condition C42**) was imposed in the original development consent requiring remediation of the subject site as a precautionary requirement because of the likelihood of contaminated fill materials being encountered during the excavation phase of the works.

The applicant has indicated that it would be a challenge to carry out remediation works prior to the issue of any Construction Certificate as required by **Condition C42** before the existing structures are demolished and seeks deletion of the condition.

Following further review of the comments provided by Council's Environmental Health Department, it is considered that a new **Condition E31** be imposed to replace **Condition C42** as follows:

Site Remediation

E31. Should any fill be encountered during excavation, soil testing shall be undertaken to ascertain the status of the fill with respect to contamination and to establish a waste classification of the material.

Results of such soil testing shall be assessed against site acceptance criteria developed with reference to Assessment of Site Contamination-National Environmental Protection Measure (1999 amended 2013).

In the event contaminated soil is identified at the site through the soil testing process or otherwise, an Environmental Management Plan /Remedial Action Plan shall be prepared by a suitably qualified person/environmental consultant detailing the process for excavation, storage and handling, classification, disposal, or reuse of disturbed soils on site.

Any soils found to contain contaminants of concern must be classified for disposal purposes, appropriately stored, and properly disposed of to a facility licensed to receive that category of waste. The site will be required to be adequately remediated and validated as being fit for its intended use by a suitably experienced environmental consultant.

(Reason: To ensure the land is suitable for its intended purpose)

Subject to the imposition of **Condition E31**, the site is considered suitable for the continued residential use and the requirements of the SEPP have been satisfactorily addressed.

SEPP (Housing) 2021

The existing buildings on site are not residential flat buildings or boarding houses as defined in the SEPP. Therefore, the SEPP does not apply to the subject proposal.

SEPP (Building Sustainability Index: BASIX) 2004

A valid BASIX Certificate (No. 1219674M_03 dated 11 May 2023) has been submitted with the application to satisfy the Aims of the SEPP. It is recommended that **Condition C40** be amended to incorporate the latest BASIX certificate reference.

SEPP 65 Design Quality of Residential Apartment Development

The proposed modifications involve various amendments to an approved four (4) storey residential flat building. Consideration has been given to the primary design principles in the SEPP 65 as follows:

Principles 1 and 2: Context, Built Form and Scale

The subject site is located within a R4 (High Density Residential) zone and the proposal for a residential flat building development would generally be suitable for the site context and be compatible with the desirable future character for development on the southern side of Waters Neighbourhood immediately to the north of Cremorne Town Centre.

The proposed modifications would generally maintain the built form of the approved four storey building approved development. The modified development appropriately responds to the height controls for the area and the scale of the modified building would be generally consistent with the recent apartment development within the R4 (High Density Residential) zone with a height limit of 12m and the mixed use/shop top housing developments within MU1 (Mixed Use) zone on the southern side of Parraween Street with a height limit of 16m.

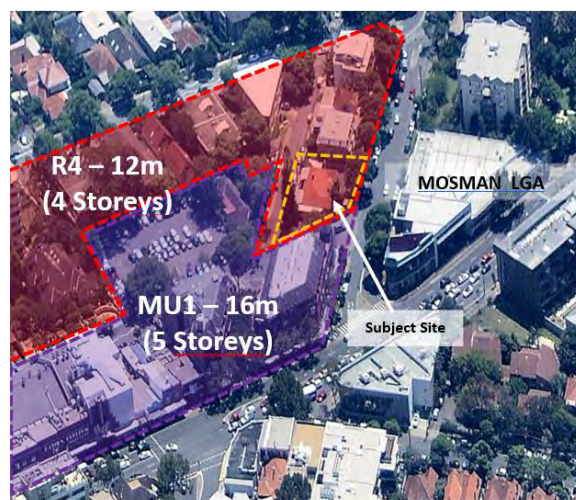


Figure 10: Context, building height and character within the locality

It is also considered that the proposed four storey apartment building, with an increased setback on the top level on the northern side of the building, is appropriately sited between the mixed use (16m – 5 storey) zone to the south and a three (3) storey townhouse to the north within the R4 (High Density Residential) zone.

Principle 3: Density

The subject site is located in close proximity to public transport, shops and services. The modified proposal contains seven (7) apartments and is considered acceptable as each apartment will receive reasonable levels of internal amenity.

Principle 4: Sustainability

A valid BASIX Certificate was submitted with the application. The modified proposal also incorporates sustainable design such as the use of screens and awnings to provide shade and regulate access to daylight for the various parts of the proposed building.

Principle 5: Landscape

The subject site is located within Waters Neighbourhood immediately to the north of Cremorne Town Centre and the modified design would not change the large communal open space on the southern side of the subject site and the retention of an existing 19m Cooks Pine tree as approved in the original DA.

The applicant has provided updated landscape plans. Council's Landscape Officer has raised no in principle objection to the landscape plans subject to the imposition of a condition to ensure the protection of trees during the construction of the OSD.

Principle 6: Amenity

All apartments comply with the ADG requirements to ensure reasonable levels of internal amenity. The modified building, subject to the imposition of additional privacy protection requirements, is appropriately designed and sited to minimise any adverse amenity impacts in terms of the loss of privacy, solar access or views for adjoining properties.

Principle 7: Safety

The proposal would provide secured pedestrian entrances to the lift foyers of the upper level apartments. The building entrance to MacPherson Street would be easily identifiable and provide a good sense of address for the development. Furthermore, the balconies and windows above the street level would provide additional natural surveillance of the public domain.

Principle 8: Housing Diversity and Social Dimensions

The proposed development is located within an area with good access to public transport and amenities along Military Road. The locality also contains a number of older style apartment developments, particularly the apartment buildings along the nearby Gerard Street, that primarily comprise smaller one or two bedroom units.

The proposed modifications provide a range of apartment sizes which are compliant in terms of their larger size (2 Bedroom, 3 Bedroom and 4 Bedroom units) and amenities with adequate storage areas and accessible facilities. The proposed communal open space will encourage social interaction amongst residents and visitors. The deletion of one bedroom units originally approved is noted. However, the locality features a high number of smaller units and the provision of smaller units within this development would provide a more balanced distribution of unit mix and diversity for local residents.

Principle 9: Aesthetics

The applicant has proposed a number of design changes including a green wall on the eastern elevation of the fire stairs. In addition, the applicant has proposed some changes to the external materials. The proposal would retain the overall aesthetic quality of the approved development.

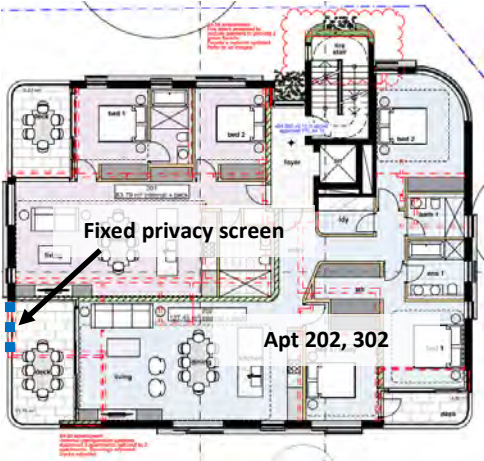
It is concluded that the proposed development is found to be generally consistent with the key SEPP 65 design principles and therefore is supported.

APARTMENT DESIGN GUIDE

The proposal has also been assessed against the relevant provisions within the ADG as follows:

Amenity	Design Criteria	Comment	Compliance
2F - Building Separation	<i>Minimum separation distances for buildings are: Up to four storeys (approximately 12m):</i> <ul style="list-style-type: none"> • 12m between habitable rooms/balconies (6m to boundary) • 9m between habitable and non-habitable rooms (4.5m to boundary) • 6m between non-habitable rooms (3m to boundary) 	Eastern (MacPherson Street) Elevation The modified building would provide a 3.03m setback from the eastern (MacPherson Street) property boundary with the exception of the firestair that would provide a setback of 742mm from the property boundary.	Yes
		Western (Langley Avenue) Elevation This is acceptable because the modified proposal is consistent with the approved 3m building setback from the MacPherson Street boundary and the separation between the proposed building and the existing commercial building across Grosvenor Street would be in excess of 20m. The modified proposal would provide a 3.075m setback from the western (Langley Avenue) property boundary.	Yes

		<p>This aspect of the modification is considered to be acceptable because it is consistent with the approved 3m building setback from western boundary.</p> <p>Southern (Parraween Street) Elevation</p> <p>The modified building would maintain the approved building setbacks, between 2.1m and 12m, from the southern (Parraween Street) property boundary due to the alignment of Parraween Street.</p> <p>Northern Elevation</p> <p>The modified building would maintain the approved 4.36m building setback from the northern property boundary with the townhouse development at No.8 MacPherson Street. In addition, the top level (Level 4) of the proposed apartment building would provide a minimum 6.6m setback from the northern property boundary and this would be an increase of 600mm as compared to the approved scheme.</p> <p>The proposal is therefore considered to be acceptable in this regard.</p>	<p>Yes</p> <p>Yes</p>
3D- Communal Open Space	<p><i>Communal open space has a minimum area equal to 25% of the site.</i></p> <p><i>Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid-winter)</i></p> <p><i>Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting</i></p> <p><i>Communal open space is designed to maximise safety</i></p>	<p>The approved development includes a complying communal area on the southern side of the subject apartment building with a total area of 157sqm outdoor space. There would be no change to the location and area of the approved communal open space with the exception of the relocation of the OSD under the approved communal open space.</p> <p>The communal space would receive the required minimum 2 hours requirement during mid-winter.</p> <p>The design of the communal area would allow for a variety of activities including passive recreation activities with seating. The applicant has also included 'gazebo-type' open structure (3m x 4m) with some shelter, with barbeque facilities within the communal open space as required by Condition C1 of the original DA consent.</p> <p>The modified proposal is considered to be acceptable having regard to communal open space.</p>	<p>Yes</p>
3E – Deep Soil Zones	<p><i>Deep soil zones are to meet the following minimum requirements:</i></p> <ul style="list-style-type: none"> • 3m minimum width • Minimum 7% of the site area 	<p>The proposed development would provide a total of 207sqm (33%) of deep soil planting area within the building setbacks and the communal open space to the south of the apartment building.</p> <p>The proposal complies with the ADG requirements.</p>	<p>Yes</p>
3F - Visual privacy	<p><i>Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:</i></p> <p><i>6m (between habitable rooms and balconies to boundaries)</i></p> <p><i>3m (between non-habitable rooms)</i></p>	<p>As mentioned above concerning building separation, the modified building would provide adequate building separation to minimise any visual privacy impacts for the properties across MacPherson Street to the east, Langley Avenue to the west and Parraween Street to the south.</p> <p>A 6.6m separation is also proposed between the top level (Level 4) of the modified apartment building and the southern building line of the existing townhouse development at No.8 MacPherson Street to the north of the subject site.</p>	<p>Yes</p> <p>Yes (via condition)</p>

		<p>The northern elevation has been modified to provide larger balconies on each level due to the proposed reduction in the number of apartments.</p> <p>The applicant has proposed privacy screens to the living room windows on the northern elevation of the apartment building to provide privacy protection for No.8 MacPherson Street.</p> <p>In addition, it is recommended that fixed 2.3m long full height privacy screens are to be installed on the north-eastern edge of the balconies for Apartment 202 and 302 on the northern side of the building (Condition C46) in order to provide the same level of visual privacy protection as the original approval.</p>  <p>Figure 11: Additional privacy screens</p> <p>The proposal is therefore considered to be acceptable having regard to visual privacy subject to the requirement for installation of additional privacy screens.</p>	
<p>3G – Pedestrian Access & Entries</p>	<p><i>Building entries and pedestrian access connects to and addresses the public domain</i></p> <p><i>Access, entries and pathways are accessible and easy to identify</i></p>	<p>The proposal would provide secured and accessible pedestrian entrance to the lift foyers for the upper-level apartments via the building entrance off MacPheson Street.</p>	<p>Yes</p>
<p>3H – Vehicle Access</p>	<p><i>Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes</i></p>	<p>The applicant has proposed a driveway ramp to the basement at the north-western corner of the site off Langley Avenue.</p> <p>Council’s Development Engineer and Traffic & Transport Engineer have raised no in-principal objection to the proposal subject to the imposition of appropriate conditions of consent.</p>	<p>Yes (via conditions)</p>
<p>3J – Bicycle and Car parking</p>	<p><i>For development in the following locations:</i></p> <ul style="list-style-type: none"> • <i>on sites that are within 800 metres of a railway station or light rail stop in the Sydney Metropolitan Area; or</i> • <i>on land zoned, and sites within 400 metres of</i> 	<p>The modified proposal has ten (10) car parking spaces and eight (8) bicycle parking spaces within the basement.</p> <p>The subject site is located in close proximity to Military Road with excellent bus services including the B Line to the City and Northern Beaches.</p> <p>The proposal is considered to be generally satisfactory in this regard.</p>	<p>Yes</p>

	<p>land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less</p> <p>The car parking needs for a development must be provided off street</p> <p>Parking and facilities are provided for other modes of transport</p>		
4A - Solar and daylight access	<p>Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas</p>	All seven (7) apartments (100%) in the modified proposal would receive a minimum of 2 hours of direct solar access to living spaces and/or balconies.	Yes
4B - Natural ventilation	<p>All habitable rooms are naturally ventilated.</p> <p>The layout and design of single aspect apartments maximises natural ventilation.</p> <p>The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents – At least 60% of apartments are naturally cross ventilated</p>	All seven (7) apartments (100%) in the modified proposal would achieve cross natural ventilation. The proposal therefore complies with the relevant ADG requirement.	Yes
4C - Ceiling Heights	<p>Ceiling height achieves sufficient natural ventilation and daylight access - Minimum 2.7m (habitable rooms), 2.4m for second floor where it does not exceed 50% of the apartment area.</p>	2.7m (minimum)	Yes
4D 1 - 3 - Apartment size and layout	<p>Apartments are required to have the following minimum internal areas: 50m² (1B), 70m² (2B), 90m² (3B)</p> <p>All bedrooms have a minimum area of 10 m²</p> <p>All secondary bedrooms</p>	<p>1B – N/A 2B: 83.79m² 3B & 4B: 127.45m² - 206.63m²</p> <p>All master bedrooms are suitably sized in excess of 10 m².</p>	<p>Yes Yes Yes</p> <p>Yes</p> <p>Yes</p>

	<p>have a minimum width of 3m</p> <p>Living rooms have a minimum width of 3.6m (S and 1B) and 4m (2B and 3B)</p> <p>The maximum habitable room depth is 8m from a window</p>	<p>The secondary bedrooms comply with the minimum width of 3m.</p> <p>1B – N/A 2B/3B – 4m (min)</p> <p>All habitable areas would be within 8m from windows.</p>	<p>Yes Yes</p> <p>Yes</p>
4E - Private open space and balconies	<p><i>All apartments are required to have primary balconies as follows:</i></p> <p><i>Studio apartments - 4m²</i></p> <p><i>1 bedroom apartments - 8m², minimum depth 2m</i></p> <p><i>2 bedroom apartments 10m² minimum depth 2m</i></p> <p><i>3+ bedroom apartments 12m² minimum depth 2.4m</i></p> <p><i>The minimum balcony depth to be counted as contributing to the balcony area is 1m</i></p> <p><i>For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m</i></p>	<p>N/A</p> <p>N/A</p> <p>2B – minimum 9.67m² The minor variation of 0.33 m² is acceptable because the design and dimensions (3.9m x 2.5m) of the proposed balconies would not compromise the use, functionality and amenity of the balconies.</p> <p>3B – minimum 18.86m²</p> <p>Depth of balconies in excess of 1m</p> <p>2B – 21.29 m² 3B – 27.01 m²</p>	<p>N/A</p> <p>Yes</p> <p>No (Acceptable on merit)</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>
4F - Common circulation and spaces	<p><i>The maximum number of apartments off a circulation core on a single level is eight</i></p>	<p>A maximum of two (2) apartments served by each circulation core on all residential levels.</p>	<p>Yes</p>
4G -Storage	<p><i>Studio apartments- 4m³</i></p> <p><i>1 bedroom apartments- 6m³</i></p> <p><i>2 bedroom apartments- 8m³</i></p> <p><i>3+bedroom apartments- 10m³</i></p>	<p>Proposed storage areas within each type of apartment are summarised as follows:</p> <p>Studio – N/A 1B – N/A 2B – minimum 8.15m² 3B – minimum 10.20m²</p>	<p>N/A N/A Yes Yes</p>

NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

1. Permissibility

The land affected by the proposed development is zoned R4 (High Density Residential) pursuant to the *North Sydney LEP 2013*, and development for the purpose of a residential flat building is permissible in the zone with the consent of Council.

2. Objectives of the zone

The objectives of the R4 (High Density Residential) zone are expressed as follows:

- *To provide for the housing needs of the community within a high density residential environment.*
- *To provide a variety of housing types within a high density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for high density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To ensure that a reasonably high level of residential amenity is achieved and maintained.*

The proposed modifications are generally consistent with the above objectives of the R4 (High Density Residential) zone subject to the imposition of conditions, as detailed throughout this report.

Part 4 – Principal Development Standards

Principal Development Standards – North Sydney Local Environmental Plan 2013				
Site Area – 627.8m ²	Approved	Proposed	Control	Complies
Clause 4.3 – Heights of Building	12.99m	13.63m	12m	NO

3. Height of Building

Clause 4.3(2) of the LEP 2013 and the LEP building height map specify a maximum building height of 12m for the subject site. The approved building has a maximum building height of 12.99m, being 990mm above the LEP's 12m maximum building height limit.

The proposed modifications have resulted in an increase in the maximum building height by 640mm to 13.63m. The building elements in breach of the LEP building height limit primarily relate to the roof slab, the top section of the Level 4 apartment and the same for the fire stairs, the lift overrun, the plant area and the associated screens.

The maximum building height breach would be 1.63m for the top of the north-western edge of the roof slab over the 3 bedroom apartment on Level 4 (**Figure 12**).



Figure 12: Proposed Development and the LEP Maximum Building Height

In accordance with the findings by Justice Lloyd in *Gann & Anor v Sutherland Shire Council [2008] NSWLEC 157*, the modification of a development consent pursuant to Section 4.55 (formerly Section 96) which results in a new or modified variation to a development standard, does not require the submission of an objection pursuant to SEPP 1 or a request for variation to the Development Standard under Clause 4.6 of the LEP. In this regard, reference is made to the provisions of S4.55(4) of the Act which distinguishes between the modification of a development consent pursuant to S4.55 and the granting of development consent.

Therefore, consideration has been given to the objectives of the LEP building height control and the environmental grounds justifying the proposed building height variation as a measure of the performance of the proposed modifications.

These matters have been considered below:

Objectives of LEP Maximum Building Height (Clause 4.3)

- (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,**

Comment:

The subject site has a slight 1.8m fall along the western (Langley Avenue) property boundary. The design of the modified development generally respects the landform with the top level (Level 4) further setback from the northern property boundary by a minimum of 6.6 m.

- (b) to promote the retention and, if appropriate, sharing of existing views,**

Comment:

The proposal would have no view impacts on the commercial property across MacPherson Street to the east and Council's Cremorne Child and Family Health Centre to the west.

The openings on the southern wall of the existing townhouse development to the north of the subject site are fitted with glass blocks, therefore the proposal is unlikely to affect the outlook of this adjoining property.

In addition, a view assessment had been undertaken in the original DA in accordance with the four (4) step process in accordance with the NSW Land and Environment Court's *Tenacity Consulting v Warringah Council [2004] NSWLEC 140* Planning Principle for view sharing particularly for the five (5) storey mixed use development at No. 2 MacPherson Street. It was concluded that the impacts on the outlook to nearby vegetation, buildings and the northern skyline caused by the height exceedance by 990mm in the original DA wasn't material for the apartments on the northern elevation of No. 2 MacPherson Street because the proposed apartment building on the subject site would only cause minor obstructions to the outlook as seen from this adjoining property.

The modified proposal would increase the overall height of the building by 1.63m would have no material impact on the outlook/view as seen from No.2 MacPherson Street because the modified building would generally maintain the approved building setbacks and the additional impacts would be limited to a smaller reduction in the outlook to the sky above the subject site.

The proposed development is considered to be reasonable in terms of its view impacts to the adjoining properties that is considered to be acceptable in the site circumstances.

(c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,

Comment:

An examination of the solar access diagrams submitted with the application has indicated that the shadows caused by the proposed development would generally fall on the MacPherson and Parraween Streets, Langley Avenue, the commercial property on the eastern side of MacPherson Street and Cremorne Child and Family Health Centre. The proposal would not overshadow any nearby residential properties between 9am and 3pm during mid winter (**Figure 13**).

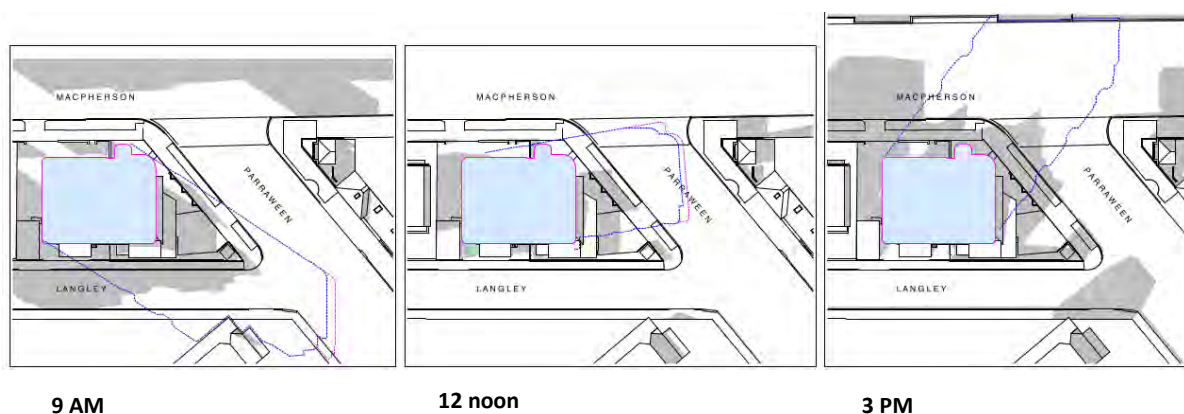


Figure 13: Shadow diagrams (Mid Winter)

(d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,

Comment:

As mentioned earlier in this report, the building elements in breach of the LEP maximum height limit involve the roof slab, the lift overrun and plant area on the roof.

The building elements are unlikely to cause material privacy impacts for nearby residents given that these building elements would not support any activities that would cause privacy impacts.

***(e) to ensure compatibility between development, particularly at zone boundaries,
(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.***

Comment:

The height, bulk and scale of the proposed residential flat building development would generally be consistent with other recent residential flat buildings on land zoned R4 (High Density Residential) within the Waters Neighbourhood.

The building elements in breach of the building height development standard relate to the roof slab, the lift overrun, the top of the firestairs and the plant area on the roof. The design, bulk and scale of the proposed building is generally consistent with the character of the surrounding developments within the R4 (High Density Residential) and MU1 (Mixed Use) zone to the south of the subject site across Parraween Street.

In addition, a condition is recommended requiring the solar panels be laid flat on the roof in order to minimise the visibility of the panel and to maintain the design integrity of apartment building **(Condition C47)**.

Therefore, it is considered that these building elements above the LEP building height limit would be appropriate in scale and would not contribute to the density of the proposed development.

That compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and

Strict compliance with the building height control is considered to be unreasonable and unnecessary as the elements in breach of the height control will not have material impacts on the streetscape or the amenity of adjoining properties.

The building elements over the LEP height limit are generally well integrated to the overall architectural design of the proposed residential flat building. It is also noted that the building elements that breach the LEP building height limit consist of the roof slab, the lift overrun, the top section of the firestairs and the plant area on the roof instead of residential accommodation. Furthermore, the proposed four storey built form on this site is considered to be generally consistent with the R4 High Density Residential, the adjoining MU1 Mixed Use zoning and relevant planning controls.

That there are sufficient environmental planning grounds to justify contravening the development standard.

The building elements over the building height limit, such as the lift overrun and plant area, would provide essential building services having some public benefit. These building elements are setback from the edge of the building in order to minimise their bulk and scale and any amenity impacts on the adjoining properties.

The proposed modifications to the building height are in the public interest because it is generally consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

4. Earthworks

The proposed modifications involve minor additional excavation within the approved basement carpark. An assessment has been carried out under matters raised in clause 6.10 in NSLEP 2013 as follows:

- Council's Development Engineer has reviewed the stormwater management plan submitted by the applicant and raised no in-principal objection to the proposed additional excavation works on engineering/drainage grounds.
- Council's Development Engineer has imposed a condition in the original development consent requiring the submission of a detailed geotechnical report (**Condition C9**) to ensure structural integrity of the subject site.
- Appropriate conditions have been imposed in the original development consent to minimise any nuisance associated with the construction works to ensure the amenity of the adjoining properties.

The proposal is considered consistent with the provisions of Clause 6.10 of the LEP 2013 subject to the imposition of appropriate conditions.

5. Residential flat buildings

The proposed modifications would not result in the isolation of an allotment that contains a single dwelling or dual occupancy with a lot area under 900sqm. The subject site remains as the on remaining property available for higher density development in this street block.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
1.2 Social Amenity		
1.2.1 Population Mix <ul style="list-style-type: none">• FRB less than 20 dwellings must provide two (2) dwelling types	Yes	The modified proposal contains seven (7) apartments comprising three (3) dwelling types (i.e. 2 bedroom, 3 bedroom and 4 bedroom).
1.2.2 Maintaining Residential Accommodation	Yes	The proposal would increase the supply of residential accommodation within the subject site by five (5) dwellings because it involves demolition of 2 x semi-detached dwellings for a new residential flat building containing seven (7) residential units.

1.2.3 Affordable Housing	Yes	The proposal is unlikely to affect the supply of affordable housing within the locality given that there are currently 2 x semi-detached dwellings including one that was previously used as a medical centre and later reverted to a residential use. The applicant has submitted documentary evidence to confirm that the subject dwellings have not been used for any form of affordable housing including a boarding house.
1.2.4 Housing for Seniors/Persons with disability	Yes	The design of the building incorporates an adaptable apartment and accessible features, including accessible parking spaces and a lift to meet the changing needs of the population.
1.3 Environmental Criteria		
1.3.1 Topography	Yes	The subject site has a fall towards the east and the modified residential flat building features a stepped design on the top level to provide a transition in the built form towards the townhouse development to the north as well as a respond to the slightly slopping landform.
1.3.6 Views	Yes	The view impacts assessment has been carried out earlier in this report and concluded that the modified proposal would have no material impacts on significant views as seen from nearby properties.
1.3.7 Solar Access	Yes	<p>As indicated earlier in this report, the modified proposal would not cause overshadowing of the nearby residential properties between 9am and 3pm during mid-winter given that the shadow from the proposed development would generally fall on the surrounding streets and the commercial property to the east of the subject site and the health centre to the west of the subject site.</p> <p>In addition, all (100%) of the apartments within the proposed development would receive more than two (2) hours of sunlight during mid-winter.</p>
1.3.8 Acoustic Privacy	Yes	<p>The design and layout of the modified proposal have incorporated appropriate acoustic separation between the lift and the bedrooms and living rooms of the proposed apartments.</p> <p>The communal open space would remain on the southern side of the subject site as originally approved away from the townhouse development immediately to the north of the subject site.</p> <p>The applicant has sought to delete Condition C28 requiring plant and equipment, including air conditioning equipment, to be located within the basement and not on the roof and balconies.</p> <p>It is noted that the approved development has a plant area on the roof and the subject application seeks additional plant equipment and solar panels to be placed on the roof.</p> <p>This aspect of the proposed modification is considered in detail later in this report under the heading Condition C28. It is recommended that the condition be modified instead of deletion to reflect the locations of plant and equipment under the current proposal.</p> <p>Furthermore, the applicant has not sought other changes to the conditions already imposed in the original development consent to ensure that the protection of the acoustic amenity of the adjoining properties.</p>
1.3.10 Visual Privacy	Yes (via condition)	<p>As mentioned earlier in this report, the modified building would generally maintain the building separation approved in the original approval to minimise any visual privacy impacts for the properties across MacPherson Street to the east, Langley Avenue to the west and Parraween Street to the south.</p> <p>A 6.6m separation is also proposed between the top level (Level 4) of the modified apartment building and the southern building line of the existing townhouse development at No.8 MacPherson Street to the north of the subject site.</p> <p>The applicant has proposed privacy screens to the living room windows on the northern elevation of the apartment building to provide privacy protection for No.8 MacPherson Street.</p>

		As indicated earlier in this report, a new condition is recommended requiring privacy screens to be installed on the north-eastern edge of the balconies of Apartment 202 and 302 on the northern side of the building (Condition C46) to provide additional visual privacy protection for the residents of No. 8 MacPherson Street.																				
1.4 Quality built form																						
1.4.1 Context	Yes	The modified development would maintain the four (4) storey built form and is considered to be appropriate within the established built form context given its R4 (High Residential Density) zoning.																				
1.4.2 Subdivision Pattern	No change	The modified proposal would not result in a further change to the subdivision pattern as originally approved with the amalgamation of the two (2) existing allotments.																				
1.4.3 Streetscape	Yes	The proposed modifications would not result in significant changes to the streetscape. The applicant has not proposed changes to the relevant engineering and landscaping conditions along the street frontages.																				
1.4.4 Laneways	Yes	Whilst Langley Avenue is not a laneway in name, its dimension, function and character are not dissimilar to other laneways within the locality. The modified development would maintain adequate setback from Langley Avenue with planting along the street to provide a buffer between the ground floor apartments and the public domain.																				
1.4.5 Siting	No change	The modified development would not change the siting of the approved residential flat building located on the subject site.																				
1.4.6 Setbacks – Front – Side & Rear	Yes Yes (via condition)	<p>The modified front (MacPherson Street) setback of 3.03m is generally consistent with the approved 3m setbacks and the setbacks of nearby existing developments within the locality having regard to the context and location of the subject site that adjoins the mixed use zone to the south.</p> <p>A compliance table is provided below:</p> <table border="1"> <thead> <tr> <th>Boundary</th> <th>Approved</th> <th>Proposed</th> <th>Control</th> <th>Compliance</th> </tr> </thead> <tbody> <tr> <td>Side - Southern (Parraween St)</td> <td>2m – 12m</td> <td>2.1m – 12m</td> <td>3.0m BHP (45°)</td> <td>Yes/No* Yes/No</td> </tr> <tr> <td>Side - Northern (No.8 MacPherson St)</td> <td>4.36m</td> <td>4.36m</td> <td>3.0m BHP (45°)</td> <td>Yes No</td> </tr> <tr> <td>Rear - Western (Langley Ave)</td> <td>3m</td> <td>3.075m</td> <td>1.5m BHP (45°)</td> <td>Yes No</td> </tr> </tbody> </table> <p>* Variable setback due to the alignment of Parraween Street. A complying side property boundary setback is achieved for 80% of the southern building line.</p> <p>It is noted that the proposed side and rear property boundary setbacks would be generally consistent with the setbacks as approved in the original DA.</p> <p>Further consideration has been given to the non-compliance with building height plane (BHP) in the context of the modified development.</p> <p>The approved development does not strictly comply with the building height plane envelope with the non-compliance with the DCP building height plane controls on the upper levels for the northern, southern (Parraween Street) and western (Rear – Langley Avenue) elevations.</p>	Boundary	Approved	Proposed	Control	Compliance	Side - Southern (Parraween St)	2m – 12m	2.1m – 12m	3.0m BHP (45°)	Yes/No* Yes/No	Side - Northern (No.8 MacPherson St)	4.36m	4.36m	3.0m BHP (45°)	Yes No	Rear - Western (Langley Ave)	3m	3.075m	1.5m BHP (45°)	Yes No
Boundary	Approved	Proposed	Control	Compliance																		
Side - Southern (Parraween St)	2m – 12m	2.1m – 12m	3.0m BHP (45°)	Yes/No* Yes/No																		
Side - Northern (No.8 MacPherson St)	4.36m	4.36m	3.0m BHP (45°)	Yes No																		
Rear - Western (Langley Ave)	3m	3.075m	1.5m BHP (45°)	Yes No																		

		<p>In addition, the approved development does not comply with the building height planes for the side (northern and southern) and rear property boundaries. To comply with the building height plane, any development on the subject site is likely be restricted to three storeys due to the narrowness of the subject site. The height of the building would also be lower than the permissible building height within the zone at 12m.</p> <p>As indicated earlier in this report, the new elements of the building that are non-compliant with the building height plane are unlikely to materially reduce the amenity of the adjoining properties in terms of privacy, views or solar access.</p> <p>It is considered that the modified development is likely to achieve the objectives of the setback control despite the numerical non-compliance with the building height plane control.</p>
<p>1.4.7 Form Massing Scale 1.4.8 Built Form Character</p>	Yes	<p>The modified development would maintain a four storey building despite the increase in building height by 640mm as compared to the approved scheme. The four storey built form is considered to be generally compatible with surrounding developments in the R4 (High Density Residential) zone.</p> <p>The building is suitably articulated and adequately setback from the boundaries of the site.</p> <p>The façade treatments with curve masonry spandrels, glazing and operable screens on all elevations are considered to be appropriate to provide visual interest. The proposed green wall on the firestairs would provide a feature on the front (MacPherson Street) facade.</p> <p>The proposed flat roof design is considered to be acceptable for the subject site having regard to the flat roof form of similar apartment and/or mixed use development nearby.</p>
1.4.9 Dwelling Entry	Yes	<p>The approved pedestrian entry off MacPherson Street would be retained. Its visibility from the street would provide a sense of address and an accessible entrance for the development.</p>
1.4.12 Materials	Yes	<p>The applicant has submitted a schedule of materials and finishes, featuring neutral tones and modern materials. The proposed modifications are considered to be generally acceptable as they are compatible with the contemporary materials used on the façades of nearby buildings.</p> <p>It is recommended that Condition C3 (External Finishes and Materials) be modified to incorporate the latest plan reference for the schedule of materials and finishes.</p>
1.4.13 Balconies – Apartments	Yes	<p>Private open space is provided to each of the apartments in the form of balconies or courtyards. The size of the balconies and courtyards in the modified scheme are generally compliant with the minimum areas specified in the ADG. The balconies are integrated into the overall architectural form and detail of the building.</p>
1.4.14 Front Fences	Yes	<p>The applicant has proposed masonry planters and aluminum batten fencing along the street frontages of the site. The modified proposal is considered to be acceptable as this boundary treatment would provide privacy for the resident whilst maintaining a degree of casual surveillance over the public domain.</p>
1.5 Quality Urban Environment		
1.5.1 High Quality Residential Accommodation	Yes	<p>The modified proposal will provide a high level of residential amenity for the future occupants of the apartments as detailed in the ADG section earlier in this report.</p>
1.5.3 Safety and Security	Yes	<p>The pedestrian entry and lobby off MacPherson Street in the modified proposal will ensure safe and secure access is provided to the upper floor apartments. The proposal complies with the DCP with a maximum of two (2) units sharing a lobby.</p> <p>The proposed masonry planter and aluminum batten fencing to the street frontages would provide additional security for the ground floor apartments.</p>

<p>1.5.4 Vehicle Access and Parking</p>	<p>Yes</p>	<p><i>Vehicular Access:</i></p> <p>A driveway has been proposed off Young Street to the basement parking. Council's Development Engineer has raised no objection to the design of the driveway crossing and the engineering aspect of the basement parking subject to the imposition of appropriate engineering conditions.</p> <p><i>Car Parking</i></p> <p>The application proposes ten (10) parking spaces within the basement of the modified development including one (1) visitors spaces and two (2) spaces for motorcycle. The proposal complies with the DCP maximum car parking requirements as demonstrated below:</p> <table border="1" data-bbox="719 622 1406 898"> <thead> <tr> <th>Apartment Type/Nos. Proposed</th> <th>DCP max. parking rate/unit</th> <th>DCP Max. car spaces</th> <th>Proposed</th> <th>Complies</th> </tr> </thead> <tbody> <tr> <td>1 Bedroom – 0</td> <td>1</td> <td>0</td> <td></td> <td></td> </tr> <tr> <td>2 Bedroom – 3</td> <td>1</td> <td>3</td> <td></td> <td></td> </tr> <tr> <td>3 Bedroom – 4</td> <td>1.5</td> <td>6</td> <td></td> <td></td> </tr> <tr> <td>Total (Residential)</td> <td></td> <td>9</td> <td>9</td> <td>Yes</td> </tr> <tr> <td>Visitors</td> <td>0.25</td> <td>1.75</td> <td>1</td> <td>No</td> </tr> </tbody> </table> <p>The shortfall for visitors parking is considered to be acceptable given that the modified proposal complies with the minimum requirement for one (1) space and the subject site is in close proximity to public transport along Military Road.</p> <p><i>Bicycle Parking</i></p> <p>The applicant has proposed eight (8) bicycle spaces that complies with the minimum DCP bicycle parking rates.</p>	Apartment Type/Nos. Proposed	DCP max. parking rate/unit	DCP Max. car spaces	Proposed	Complies	1 Bedroom – 0	1	0			2 Bedroom – 3	1	3			3 Bedroom – 4	1.5	6			Total (Residential)		9	9	Yes	Visitors	0.25	1.75	1	No
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3 Bedroom – 4	1.5	6																														
Total (Residential)		9	9	Yes																												
Visitors	0.25	1.75	1	No																												
<p>1.5.5 Site Coverage 1.5.6 Landscape Area</p>	<p>No (acceptable on merit)</p>	<p>The modified proposal has been assessed against the DCP's site coverage, unbuilt upon area and landscaped areas requirements as illustrated below:</p> <table border="1" data-bbox="719 1272 1406 1630"> <thead> <tr> <th>Site Area: 627.8m²</th> <th>Approved</th> <th>Proposed</th> <th>Control</th> <th>Complies</th> </tr> </thead> <tbody> <tr> <td>Site Coverage</td> <td>303m² (48.2%)</td> <td>282.9m² (45.1%)</td> <td>282.5m² (45% Max.)</td> <td>No</td> </tr> <tr> <td>Unbuilt upon Area</td> <td>108.8 m² (17.3%)</td> <td>137.9m²* (21.9%)</td> <td>94.2m² (15% max.)</td> <td>No</td> </tr> <tr> <td>Landscaped Area</td> <td>216 m² (34.5%)</td> <td>207m² (33%)</td> <td>251.1 m² (40% min.)</td> <td>No</td> </tr> </tbody> </table> <p>* Including new driveway and the on-site detention tank under the communal open space</p> <p>Consideration has been given to the proposal and the non-compliance with the DCP site coverage, unbuilt upon area and landscaped area requirements as follows:</p> <p>The proposed modifications would reduce site coverage due to the deletion of the car lift from the approved 48.2% to 45% and is supported.</p> <p>The unbuilt upon area for the modified development is higher than original approval. However, the proposed modifications do not materially change the overall building footprint and the landscaping treatments as previously approved. The increase in unbuilt upon area is primarily the result of the replacement of the previously approved car lift structure with a new driveway (21sqm transferred from site coverage to unbuilt upon area) and the addition of the OSD within the communal open space (8sqm transferred from landscaped area to unbuilt upon area).</p>	Site Area: 627.8m ²	Approved	Proposed	Control	Complies	Site Coverage	303m ² (48.2%)	282.9m ² (45.1%)	282.5m ² (45% Max.)	No	Unbuilt upon Area	108.8 m ² (17.3%)	137.9m ² * (21.9%)	94.2m ² (15% max.)	No	Landscaped Area	216 m ² (34.5%)	207m ² (33%)	251.1 m ² (40% min.)	No										
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		Furthermore, the applicant has proposed that the areas above the OSD will be covered with soft landscaping. Given that the quality of landscaping would be similar to the original approval and the amount of hard paving (30%) and poor quality of landscaping within the existing site, the non-compliance with the unbuilt upon area and landscaped area are considered acceptable.
1.5.7 Excavation		<p>The proposed modifications involve minor additional excavation within the approved basement carpark. The proposed excavation would comply with the DCP maximum of 70% of the site area. Furthermore, landscape strips have been proposed on the side property boundaries as required by the DCP.</p> <p>Council's Development Engineer has reviewed the proposed modifications and raised no in-principle objection to the proposed additional excavation works on engineering/drainage grounds. The applicant is required to submit a detailed geotechnical report (Condition C9) to ensure structural integrity of the subject site.</p>
1.5.8 Landscaping	Yes (via condition)	As mentioned earlier in this report, Council's Landscape Officer has raised no in-principle objection subject to the imposition of a new condition to ensure that the construction of the OSD would not adversely impact on vegetation to be retained on site (Condition E30).
1.5.10 Private and Communal Open Space	Yes	<p>The modified proposal provides sufficient private open space in the form of either courtyards or balconies for each of the apartments.</p> <p>The proposal would not change the approved accessible communal open space on the southern side of the apartment building to encourage social interaction amongst residents and visitors.</p>
1.5.13 Garbage Storage	Yes	<p>The applicant has proposed an area for storage of bulky items within the waste storage room within the basement level in the modified scheme. A temporary garage bin holding bay is also proposed to facilitate the collection of garbage/recycle bins.</p> <p>The building does not have a garbage chute and recycling bin storage on each floor. However, the proposal is considered to be acceptable given that the proposal is a rather modest development with seven (7) apartments within a constrained footprint. A garbage chute and a separate bulky waste room would be more suitable and practical for a larger apartment development.</p> <p>The applicant has not proposed further changes to the waste management conditions in the original development consent.</p>
1.6 Efficient Use of Resources		
1.6.1 Energy Efficiency	Yes	The applicant has submitted a valid BASIX certificate to demonstrate compliance with the relevant energy efficiency requirements. It is recommended that Condition C40 be amended to incorporate the latest BASIX certificate reference.

North Cremorne Planning Area (Waters Neighbourhood) – Part C of NSDCP 2013

The proposed modifications would be generally consistent with Part C of North Sydney DCP 2013 in particular Section 5 of the Character Statement for North Cremorne Planning Area and Section 5.3 for Waters Neighbourhood.

The modified proposal would be compatible with the desired medium to high density development character for the neighbourhood in Section 5.3.2 of the DCP.

Condition C28 – Location of Plant

Condition C28 requires plant and equipment, including air conditioning equipment, are to be located within the basement and not on the roof and balconies.

It is noted that the approved development has a plant area on the roof and the subject application seeks additional plant equipment and solar panels to be placed on the roof. Therefore, the applicant seeks deletion of this condition in order to permit the proposed placement of plant equipment on the roof.

Whilst no objection is raised to the proposed placement of additional plant equipment on the roof because of (a) adequate separation (in excess of 20m) between the subject apartment buildings and other nearby multi-storey residential buildings; and (b) the installation of screens along the perimeter of the modified plant area, it is recommended that the condition be modified as follows:

Location of Plant

C28. The location of plant and equipment, including but not limited to air conditioning equipment is to be located within the basement of the building and on the roof as shown on the approved plans, and not to be located on balconies.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for Approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: Minimise impact on surrounding properties, improved visual appearance and amenity for locality)

Condition C42 - Remediation

This aspect of the proposed modifications has been considered earlier in this report under the heading **SEPP (Resilience and Hazards) 2021**.

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to payment of contributions towards the provision of local infrastructure. The contributions payable has been calculated in accordance with Council's Contributions Plan as follows:

Population Increase

Development type	Existing	Proposed	Increase
Residential accommodation	2 x 3B	3 x 2B 3 x 3B 1 x 3B+	11.2 persons

Contribution amounts payable

Applicable contribution type		
s7.11 contribution <i>(Net population increase)</i>		
	Open space and recreation facilities:	\$55,064.46
	Public domain:	\$30,652.75
	Active transport:	\$1,749.54
	Community facilities:	\$11,059.95
	Plan administration and management:	\$1,473.30
	Total:	\$100,000.00

It is recommended that **Condition C38** be amended to reflect the S7.11 contribution required under the modified proposal.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL

CONSIDERED

- | | |
|---|-----|
| 1. Statutory Controls | Yes |
| 2. Policy Controls | Yes |
| 3. Design in relation to existing building and natural environment | Yes |
| 4. Landscaping/Open Space Provision | Yes |
| 5. Traffic generation and Carparking provision | Yes |
| 6. Loading and Servicing facilities | Yes |
| 7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.) | Yes |
| 8. Site Management Issues | Yes |
| 9. All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979 | Yes |
| 10. Section 89 LGA 93 including Clause 12 Consideration of Local Government (Approvals) Regulation 1993 | Yes |

Consideration of the reasons given by the consent authority for the grant of the consent that is sought to be modified in accordance with Section 4.55(3).

Section 4.55 (3) requires the reasons given by the consent authority for the granting of consent that is sought to be modified. In this case, the reasons for granting the original permission, which is sought through this application to be modified, are set out in the Notice of Determination of the original development consent. The reasons were:

- *The proposed residential flat building is acceptable in terms of its architectural design, bulk and scale given that the site is located in a High Density Residential Zone (R4).*
- *The proposal would not result in any unacceptable impacts on the amenity of the adjoining properties in terms of view loss, overshadowing, and/or privacy loss)*

It is not considered that the original approval would be significantly altered by the amendments as detailed in this report because of the following reasons:

- The proposed modifications have not significantly changed the *architectural design as well as the bulk and scale of the apartment building as originally approved*; and
- The proposed modifications would have no material impacts on the amenity of the adjoining properties in terms of view loss, overshadowing and the loss of privacy subject to the imposition of appropriate conditions.

PUBLIC INTEREST

The proposal is considered to be in the public interest for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The proposal would be located in a R4 (High Density Residential) zone where residential flat buildings are a permissible form of development. Consequently, the application seeking various modifications to an approved residential flat building and is considered suitable for the site having regard to the merits of the proposal as described in the above report subject to the imposition of new and modified conditions of consent.

SUBMITTERS CONCERNS

The following matters have been raised in the single submission received following the notification of the subject application and are addressed as follows:

- *The proposed development does not comply with the LEP maximum height limit of 12m and the approved floor levels should be maintained.*

Comment:

The proposed additional variation to the LEP maximum building height control has been considered earlier in this report. The proposed variation is considered acceptable given that it would not cause material impacts on the character within the locality and there would be no significant impacts on the amenity of the surrounding development in terms of the loss of significant views, overshadowing and privacy loss subject to the imposition of additional conditions as detailed throughout this report.

- *Overlooking of the adjoining property to the north from the proposed larger balconies on the north-western corner and the top floor of the proposed apartment building and fixed privacy louvres should be installed to protect privacy for the adjoining property.*

Comment:

As indicated earlier in this report, a condition is recommended requiring the installation of fixed privacy screens to the northern balconies of Apartments 202 and 302 to maintain the level visual privacy protection for the adjoining property at No. 8 MacPherson Street as originally approved (**Condition C46**).

CONCLUSION & REASONS

The proposed modifications satisfy the provisions of Section 4.55 (2) in that the proposed development is substantially the same as the development approved under **DA229/21** as the proposed modifications will not change the development type and the overall built form of the development as originally approved.

The proposed modifications have been assessed against the relevant SEPP's, the North Sydney LEP 2013 and North Sydney DCP 2013 and were found to be generally satisfactory.

The additional variations to the LEP maximum building height limit of 12m by 640mm is considered to be acceptable because there would be no material impacts arising from the non-compliance with the height limit on character of the locality as well as the amenity of the adjoining properties in terms of view loss, overshadowing and the loss of privacy subject to the imposition of appropriate conditions.

The variations to unbuilt upon area and landscaped area are considered to be acceptable because the proposed modifications would not change the overall built form, bulk and scale and the landscape quality of the approved development. The proposal also results in a reduction in site coverage.

The issues raised in the submissions received have been addressed in the assessment report including the imposition of a new condition to protect the amenity of an adjoining property.

The proposal was found to be acceptable in the site circumstances and it is recommended that the subject Section 4.55(2) application be **approved** with the imposition of new and modified conditions.

RECOMMENDATION

PURSUANT TO SECTION 4.55 OF THE *ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979* (AS AMENDED)

A. **THAT** the North Sydney Planning Panel exercising the functions of Council approve the modification of development consent D229/21 dated 1 December 2021 in respect of a proposal to demolition of existing dwellings and the construction of a four (4) storey residential flat building with basement parking at 4-6 MacPherson Street, Cremorne under the provisions of Section 4.55 of the Environmental Planning and Assessment Act only insofar as will provide for the following:

1. *To modify the development consent (D244/16) and modify conditions A1, A3, C16, C28, C38, C39, C40, G23 and I6 to read as follows:*

Development in Accordance with Plans (S4.55 Amendments)

- A1. The development being carried out in accordance with the following drawings:

Plan No.	Rev No.	Description	Prepared by	Dated
DA02	I	Site Analysis	Corben Architects	20/10/21
DA03	I	Basement Plan	Corben Architects	20/10/21
DA04	I	Level 1 Plan	Corben Architects	20/10/21
DA05	I	Level 2 Plan	Corben Architects	20/10/21
DA06	I	Level 3 Plan	Corben Architects	20/10/21
DA07	I	Level 4 Plan	Corben Architects	20/10/21
DA08	I	Roof Plan	Corben Architects	20/10/21
DA09	I	North Elevation	Corben Architects	20/10/21
DA10	I	East Elevation	Corben Architects	20/10/21
DA11	I	South Elevation	Corben Architects	20/10/21
DA12	I	West Elevation	Corben Architects	20/10/21
DA13	I	Section AA	Corben Architects	20/10/21
DA14	I	Section BB	Corben Architects	20/10/21
DA15	I	Section CC	Corben Architects	20/10/21
DA16	I	Section DD	Corben Architects	20/10/21
DA30	I	External Finishes	Corben Architects	20/10/21
C101	C	Landscape Concept Plan	Site Image	22/10/21
C102	C	Landscape General Arrangement Plan	Site Image	22/10/21
C103	C	Planting Plan/Plant Schedule	Site Image	22/10/21
C104	C	Landscape Specification Note	Site Image	22/10/21
C105	C	Landscape Detail	Site Image	22/10/21

and endorsed with Council's approval stamp, except as modified by highlighting on the following drawings for D229/21/2:

Plan No.	Rev No.	Description	Prepared by	Dated
DA02	P	Site Analysis	Corben Architects	27/4/2023
DA03	P	Basement Plan	Corben Architects	27/4/2023
DA04	Q	Level 1 Plan	Corben Architects	14/9/2023
DA05	P	Level 2 Plan	Corben Architects	27/4/2023
DA06	P	Level 3 Plan	Corben Architects	27/4/2023
DA07	P	Level 4 Plan	Corben Architects	27/4/2023
DA08	Q	Roof Plan	Corben Architects	3/8/2023
DA09	Q	North Elevation	Corben Architects	3/8/2023
DA10	Q	East Elevation	Corben Architects	3/8/2023
DA11	Q	South Elevation	Corben Architects	3/8/2023
DA12	Q	West Elevation	Corben Architects	3/8/2023
DA13	P	Section AA	Corben Architects	27/4/2023
DA14	P	Section BB	Corben Architects	27/4/2023
DA15	P	Section CC	Corben Architects	27/4/2023
DA16	P	Section DD	Corben Architects	27/4/2023
DA26	P	Exterior Finishes	Corben Architects	27/4/2023
101	F	Landscape Concept Plan	Site Image	3/4/2023
102	F	Landscape General Arrangement Plan	Site Image	3/8/2023
103	F	Planting Plan/Plant Schedule	Site Image	3/8/2023
104	D	Landscape Specification Note	Site Image	29/3/2023
105	D	Landscape Detail 01	Site Image	29/3/2023
106	F	Landscape Detail 02	Site Image	3/8/2023

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

External Finishes and Materials

- A3. External finishes and materials must be in accordance with the submitted schedule drawing numbered DA26, Issue P, prepared by Corben Architects, dated 27 April 2023, unless otherwise modified by Council in writing.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

Basement Car Park to comply with relevant standards

- C16. The design of the basement carpark and associated works must comply with all requirements of the Australian Standard AS2890.1 including the following requirements.
- (a) The design of the proposed parking spaces for people with disability must comply with the Australian Standard AS2890.6;
 - (b) The design of bicycle parking and storage facilities must comply with the Australian Standard AS2890.3;
 - (c) The design of the new driveway to the site must comply with the minimum pedestrian sightline safety in accordance with Figure 3.2 of AS2890.1.
 - (d) A "ONE WAY" sign be installed opposite to the driveway entrance to the basement carpark on Langley Avenue.

The applicant/developer shall pay for the cost associated with the installation of the signage by Council staff. The Principal Certifier must ensure that the building plans/documentation and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure compliance with the relevant Australian Standards)

Location of Plant

- C28. The location of plant and equipment, including but not limited to air conditioning equipment is to be located within the basement of the building and on the roof as shown on the approved plans, and not to be located on balconies.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for Approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: Minimise impact on surrounding properties, improved visual appearance and amenity for locality)

Section 7.11 Contributions

C38. A monetary contribution pursuant to the provisions of Section 7.11 of the *Environmental Planning and Assessment Act 1979* in accordance with the North Sydney Local Infrastructure Contribution Plan 2020 for the public amenities/services detailed in the table below, must be paid to Council.

s7.11 contribution:

Open space and recreation facilities:	\$55,064.46
Public domain:	\$30,652.75
Active transport:	\$1,749.54
Community facilities:	\$11,059.95
Plan administration and management:	\$1,473.30

The total contribution is \$100,000.00

The contribution MUST BE paid prior issue of any Construction Certificate. The above amount will be adjusted for inflation by reference to the Consumer Price (All Ordinaries) Index applicable at the time of the payment of the contribution.

A copy of the North Sydney Local Infrastructure Contribution Plan 2020 can be viewed at North Sydney Council’s Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council’s website at www.northsydney.nsw.gov.au

(Reason: To retain a level of service for the existing population and to provide the same level of service to the population resulting from new development)

Security Deposit/Guarantee Schedule

C39. All fees and security deposits/guarantees in accordance with the schedule below must be provided to Council prior to the issue of any Construction Certificate:

Security deposit/ guarantee	Amount (\$)
Street Tree Bond (on Council Property)	\$40,000.00
Infrastructure Damage Bond	\$40,000.00
Drainage Construction Bond	\$6,500.00
Engineering Construction Bond	\$220,000.00
TOTAL BONDS	\$306,500.00

Fees	Amount (\$)
Section 7.11 contribution	\$100,000.00
TOTAL FEES	\$100,000.00

The security required by the above schedule must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

(Reason: Compliance with the development consent)

BASIX Commitments

C40. Under clause 97A(3) of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. **1219674M_03** for the development are fulfilled. Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

Compliance with Certain conditions

G23. Prior to the issue of any Occupation Certificate A4, C1, C2, C3, C29, C46 and C47 must be certified as having been implemented on site and complied with.

(Reason: To ensure the development is completed in accordance with the requirements of this consent)

Allocation of Spaces

16. The allocation of carparking spaces within the development must be maintained at all times in accordance with the terms of this consent. The allocation of spaces must be maintained in accordance with the following table:

9 Residential
1 Residential - Visitors

Carparking spaces provided must only be used in conjunction with the approved uses contained within the development.

In the case of Strata subdivision any car parking for strata lots for residential purposes must be individually allocated to its corresponding residential strata lot as part of each lot's unit entitlement.

Visitor parking facilities must be designated as common property on the strata plan. Visitor parking facilities must not at any time be allocated, sold, licensed or leased for the exclusive use of any occupier or owner and must be retained as common property by the owner's corporation for use by building visitors.

(Reason: To ensure that adequate parking facilities to service the development are provided on site)

2. *To insert new conditions A4, C46, C47, E30 and E31 to read as follows:*

Terms of Consent (D229/21/2)

A4. Approval is granted for the following modifications only:

- (a) Reduction in the number of apartments within the approved development from 11 to 7, associated changes to fenestration, internal layout and unit mix of the approved apartment building;
- (b) Increase floor to floor heights on each above ground level by 150mm and 640mm for the overall building height to a maximum height at RL 95.10 to achieve compliance with the relevant building codes and design requirements;
- (c) Modifications to the design of the roof with addition of skylights, plant areas and solar panels;
- (d) Modifications to the design of the fire stairs including white rendered concrete replacing approved metal cladding, the addition of a green wall on the eastern elevation;
- (e) Addition of a communal area within the communal open space as required by Condition C1 in the original DA consent and the relocation of the OSD under the communal open space;
- (f) Modifications to vehicular access to the basement parking replacing the approved car lift with a ramp off Langley Avenue;
- (g) Modifications to the configuration of the basement car park including relocation of parking spaces and the bin storage room as well as the addition of a pump room to meet fire safety requirements; and
- (h) Lowering of the basement car park level by 250mm to RL 78.80 to comply with building requirements and AS2890.6 to provide sufficient height clearance for accessible parking spaces.

No approval is given or implied in this consent for any other works, both internal and external, within the subject property.

(Reason: To ensure the terms of the consent are clear.)

Privacy Protection

- C46. A 2.3m wide fixed privacy must be installed on top of the balustrades of the living room balcony for Apartments 203 and 303 to protect visual privacy for the adjoining property to the north of the subject site.

The privacy screen shall be eastern end of the privacy screen shall adjoin the eastern wall of the balcony and the top of the privacy screen shall match the base of the spandrel of Level 3 and 4.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To protect visual privacy for the neighbouring properties)

Solar Panels

C47. The solar panels on the roof shall be laid flat on the roof plane in order to minimise visual impacts for the neighbouring properties.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To minimise visual impacts for the neighbouring properties)

Construction of On-site Detention Tank

E30. The excavation and construction of the on-site detention tank and its associated works shall be carried out under supervision of project arborist to ensure adequate soil depth and root zone for T1 transplanted Plumeria.

(Reason: To ensure protection of vegetation on site.)

Site Remediation

E31. Should any fill be encountered during excavation, soil testing shall be undertaken to ascertain the status of the fill with respect to contamination and to establish a waste classification of the material.

Results of such soil testing shall be assessed against site acceptance criteria developed with reference to Assessment of Site Contamination-National Environmental Protection Measure (1999 amended 2013).

In the event contaminated soil is identified at the site through the soil testing process or otherwise, an Environmental Management Plan /Remedial Action Plan shall be prepared by a suitably qualified person/environmental consultant detailing the process for excavation, storage and handling, classification, disposal, or reuse of disturbed soils on site.

Any soils found to contain contaminants of concern must be classified for disposal purposes, appropriately stored, and properly disposed of to a facility licensed to receive that category of waste. The site will be required to be adequately remediated and validated as being fit for its intended use by a suitably experienced environmental consultant.

(Reason: To ensure the land is suitable for its intended purpose)

3. *To delete Condition C42:*

Remediation

~~C42. Prior to the release of the Construction Certificate the site must be remediated in accordance with:~~

- ~~(a) an approved Remedial Action Plan; and~~
- ~~(b) North Sydney Development Control Plan 2013 — Section 14 — Contamination and Hazardous Building Materials; and~~
- ~~(c) State Environmental Planning Policy No. 55 — Remediation of Land; and,~~
- ~~(d) the guidelines in force under the Contaminated Land Management Act.~~

~~Within thirty (30) days after the completion of the remediation works, and prior to the issue of any construction certificate, a notice of completion, including validation and/or monitoring report is to be provided to Council. This notice must be consistent with State Environmental Planning Policy No. 55 — Remediation of Land.~~

~~Prior to the issue of any Construction Certificate, the validation and/or monitoring report is to be independently audited and a Site Audit Statement issued. A copy of the Site Audit Statement is to be provided to the Certifying Authority and Council (if Council is not the Certifying Authority). The audit is to be carried out by an independent auditor accredited by the Environment Protection Authority. Any conditions recorded on the Site Audit Statement must be complied with at all times.~~

~~(Reason: To ensure the land is suitable for its intended purpose)~~

Robin Tse
SENIOR ASSESSMENT OFFICER

Isobella Lucic
TEAM LEADER ASSESSMENTS

STEPHEN BEATTIE
DEVELOPMENT SERVICES

list of abbreviations

A/C	airconditioning	GD	grated drain	TFB	timber- floorboards
AF	aluminium frame	GPO	general purpose outlet	THR	timber- handrail
ALUM	aluminium	GU	gutter	TOF	top of fence
ALS	aluminium screen	HR	hanging rail	TOW	top of wall
AP	access panel	HT	hose tap	TRH	toilet roll holder
AR	architrave	HTR	heated towel rail	TR	tiled roof
AS	adjustable shelf	HWU	hot water unit	TRZO	terrazo
AW	awning window	HDY	hydraulic	TS	timber screen
BAL	balustrade	INT	internal	U/S	underside
BALC	balcony	KIT	kitchen	VB	vapour barrier
BDY	boundary	LAM	laminated	VN	timber veneer
BLWK	blockwork	LDRY	laundry	VP	vent pipe
BS	bath spout	LIN	linen	WB	weatherboards
BSN	basin	LV	louvre	WC	water closet
BWBP	brickwork bagged & painted	LS	louver shutter	WM	washing machine
BWF	brickwork faced	LVB	louvre blind	WPM	water proof membrane
C	concrete	MAT	floor mat	WRC	western red cedar
CBF	concrete- broom finish	MB	metal balustrade		
CLS	cladding system	MC	metal cladding		
COF	concrete- off form	MDF	medium density fibreboard		
CPS	concrete- polished & sealed	ME	mechanical exhaust		
CST	concrete- steel trowel finish	MI	mirror		
COS	check on site	MPBR	membrane pebble ballast roof		
CCTV	closed circuit TV	MR	metal roof		
CFC	compressed fibre cement	MSB	main switch board		
CJ	control joint	MS	metal sheeting		
COL	column	MT	mosaic tile		
CP	chrome plated	MW	microwave		
CPD	cupboard	MX	mixer		
CPT	carpet	Ø	diameter		
CR	cement render	OF	overflow		
CRW	cement render waterproof	P	pantry		
CT	ceramic tile	PAV	paving		
CTP	cooktop	PB	plasterboard		
DCH	drencher	PB/ FR	plasterboard- fire resistant 90/90/90		
DGPO	double general purpose outlet	PBM	plasterboard- moisture resistant		
DH	double hung	PDWR	powder room		
DIN	dining	PLY	plywood		
DP	downpipe	PNT	paint		
DPC	damp proof course	PU	polyurethane		
DRY	Dryer	PV	photo voltaic		
DR	Drawer	PVC	paving concrete		
DW	dishwasher	R	robe		
EDB	electrical switch board	RA	return air		
EGL	existing ground line	RH	rangehood		
EQ	equal	RHS	rectangular hollow section		
EX	existing	RL	reduced level		
EXT	external	RWH	rainwater head		
F	fridge	RWO	rainwater outlet		
FC	fibrous cement sheet	SD	smoke detector		
FCL	finished ceiling level	SH	shutters		
FFL	finished floor level	SHA	shutters automated		
FGL	finished ground level	SHR	shower rose		
FHR	fire hose reel	SK	skirting		
FP	fixed panel	SLD	sliding door		
FR	freezer	SP	set plaster		
FRL	fire resistance level	SPM	set plaster moisture resistant		
FSL	finish structural level	SS	stainless steel		
FS	fixed shelf	ST	stone		
FW	floor waste	STL	steel		
G	glass/ glazing	SWP	sewer pipe		
GBL	glass balustrade	T	timber		
GL	glass- louvre	TB	timber- battens		
GO	glass- obscure	TF	timber- frame		
GALV	galvanised				

drawing list

Development Application Drawing Register		
No.	Drawing Name	Rev.
A3 Cover Sheet		
DA01	Cover Sheet	P
A3 Documentation Sheet		
DA02	Site Analysis	P
DA03	Basement Plan	P
DA04	Level 1 Plan	P
DA05	Level 2 Plan	P
DA06	Level 3 Plan	P
DA07	Level 4 Plan	P
DA08	Roof Plan	P
DA09	North Elevation	P
DA10	East Elevation	P
DA11	South Elevation	P
DA12	West Elevation	P
DA13	Section AA	P
DA14	Section BB	P
DA15	Section CC	P
DA16	Section DD	P
DA17	Numeric Compliance	P
DA18	ADG Compliance	P
DA19	Solar Access Compliance June 21st	P
DA20	Shadow Diagrams June Mid Winter	P
DA21	Shadow Diagrams March Equinox	P
DA22	Shadow Diagrams Sept Equinox	P
DA23	Adaptable Plans	P
DA24	Perspectives	P
DA25	Perspectives	P
DA26	Exterior Finishes	P
DA27	Window and Door Schedule 1	P
DA28	Window and Door Schedule 2	P
DA29	Window and Door Schedule 3	P
DA30	Window and Door Schedule 4	P

BASIX - THERMAL COMFORT REQUIREMENTS

External Walls

Ventilated façade. Dintel/ASF 150 th. walls with R1 fixed to external face of concrete. Medium colour Ceramic façade externally. Plasterboard internally. Concrete upturns with light coloured render to spandrel. Faced externally with light coloured render, plasterboard internally. 200 th. Dintel concrete walls to basement.

Internal walls

Steel wall framing walls with plasterboard both sides. 150 th. Dintel/ASF walls with plasterboard both sides to party walls and service core.

Roof

Concrete, medium coloured –pebble ballast with WPM, tiled to balconies above units

Ceilings

Plasterboard with R3 below main concrete roofs, R1.5 below balconies. 1 x 1400 dia. Ceiling fan to kitchen/dining/living room of Unit 102. 1 x 1400 dia. Ceiling fan to kitchen/dining/living room. 1 x 1200 dia. Ceiling fan to Bedroom 4 of Unit 401.

Floors

Concrete with tiles to wet areas, carpet to bedrooms and timber elsewhere.

Windows & Glazed doors

UNIT 101 Windows W115, W116 & W117 Aluminium framed with double glazing argon fill high solar gain low-E -Clear: U_w value < 4.1, SHGC_w = 0.52 (+10%)

All hinged glazed doors, awning and casement windows –aluminium framed with clear Low E glazing - U value < 4.8 SHGC = 0.51(+10%)
All other glazed doors and windows –aluminium framed with clear double glazing - U value < 4.8 SHGC = 0.59 (+10%)

All external doors and windows to be fitted with draught excluding weather stripping
All windows and glazed doors to have dark coloured framing

General

Insulation, services and sealing of the building to be in accordance with BCA NSW 3.12. All exhaust fans to be 160 mm dia. sealed or fitted with dampers exhausting to external walls or through roof. Thermal comfort rating has been done on the general basis of 1 recessed downlight /2.5 m2 and that all downlights are sealed or IC rated. If the final lighting layout varies from this then the rating may need to be redone.

GENERAL BASIX REQUIREMENTS

Landscaping to include min. 60 m2 of low water use or native endemic planting
Central Instantaneous gas hot water system – 5.5 stars min.
5 kW PV system

rev	date	description
H	20/7/21	Issued for DA
I	20/10/21	Issued for DA
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

S4.55 Application
to the approved DA D229/21MacPherson Street
Apartmentsat
4-6 Macpherson Street,
Cremorne

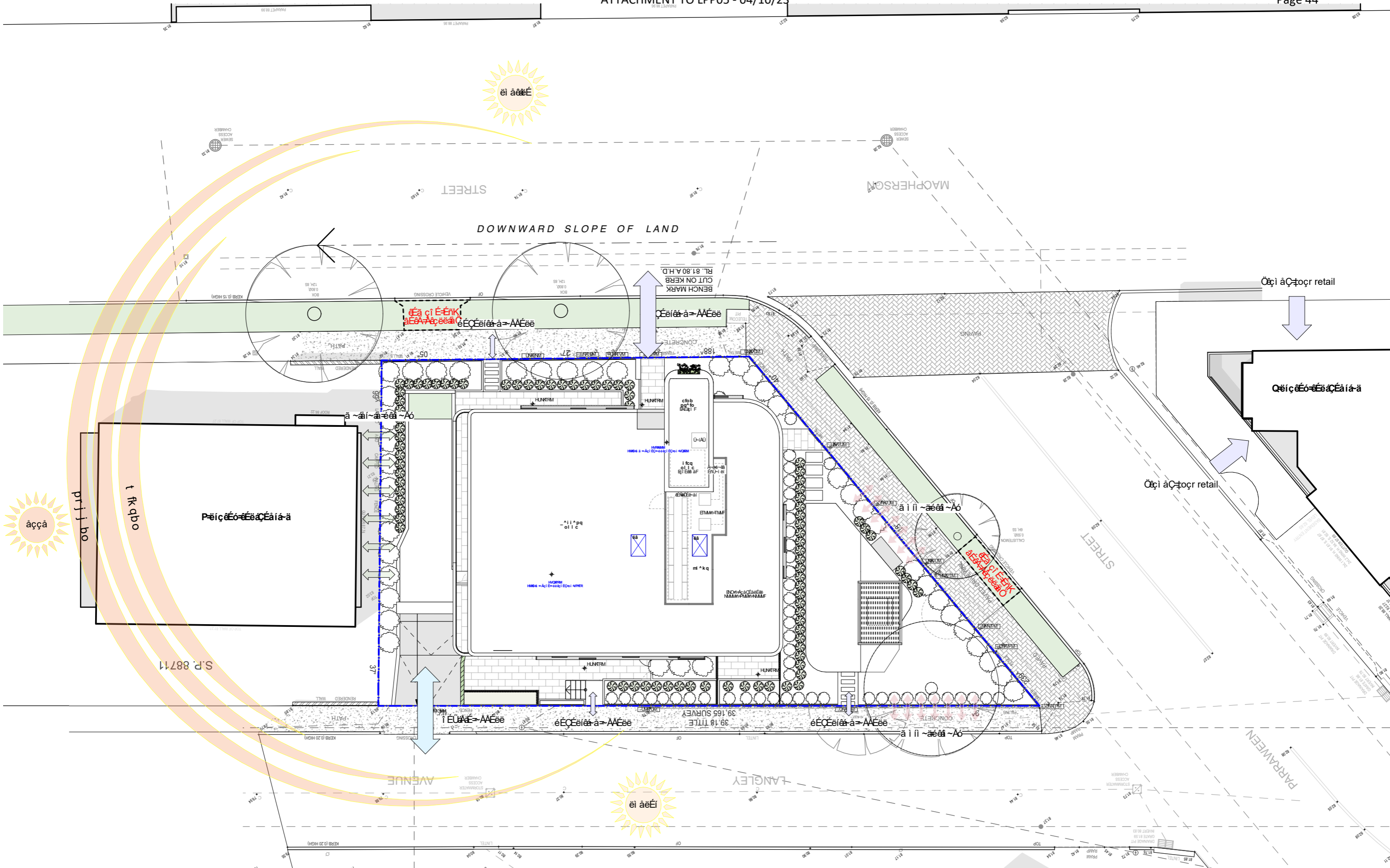
for

Norbeach Investments

CORBEN
ARCHITECTS
PO Box 1021 Neutral Bay NSW 2089 Australia
02 9901 1811
mail@corben.com.au
corben.com.au

Nominated Architect: Philip Corben (Reg. No. 4615)

job no.	JFA	dwg no.	DA01
drawn	AG	revision	P
checked	PC		
scale			

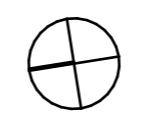


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revisions	RevID	Date	Description
	H	20/7/21	Issued for DA
	I	20/10/21	Issued for DA
	N	14/4/23	S4.55 - WIP
	P	27/4/23	S4.55 - A

notes

JFA6.2-230427 S4.55 - FINAL FILE.pln



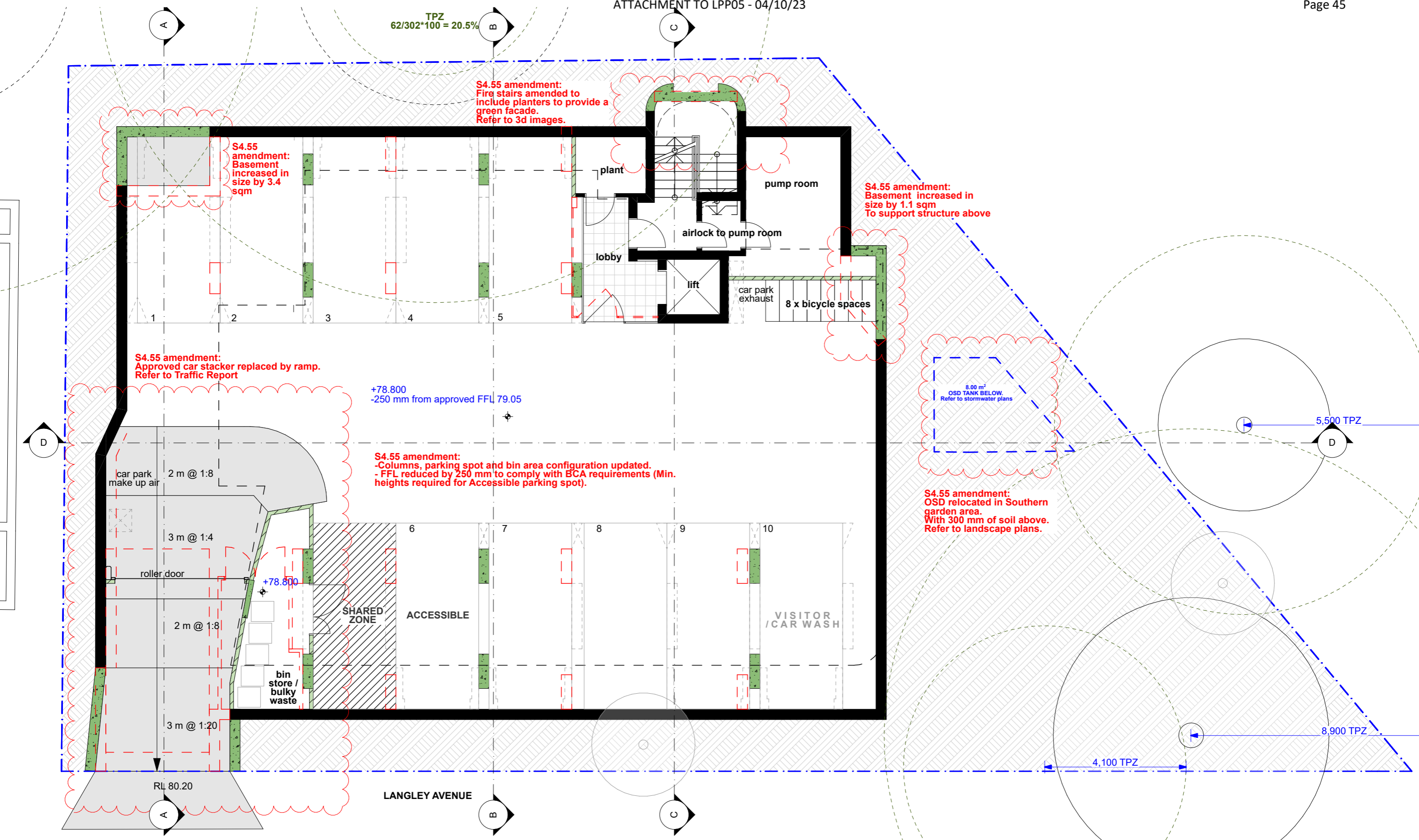
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PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au

Nominated Architect Philip Corben (Reg No 14618)

project	#Project Description	title	Site Analysis	job no.	JFA	dwg no.
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	DA02
client	Norbeach Investments	checked		PC		revision
		scale		1:200, 1:1		P

TPZ
62/302*100 = 20.5%



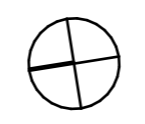
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Basement
1:100

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revisions		
RevID	Date	Description
J	14/2/23	S4.55 Prel
K	22/2/23	S4.55 Prel
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

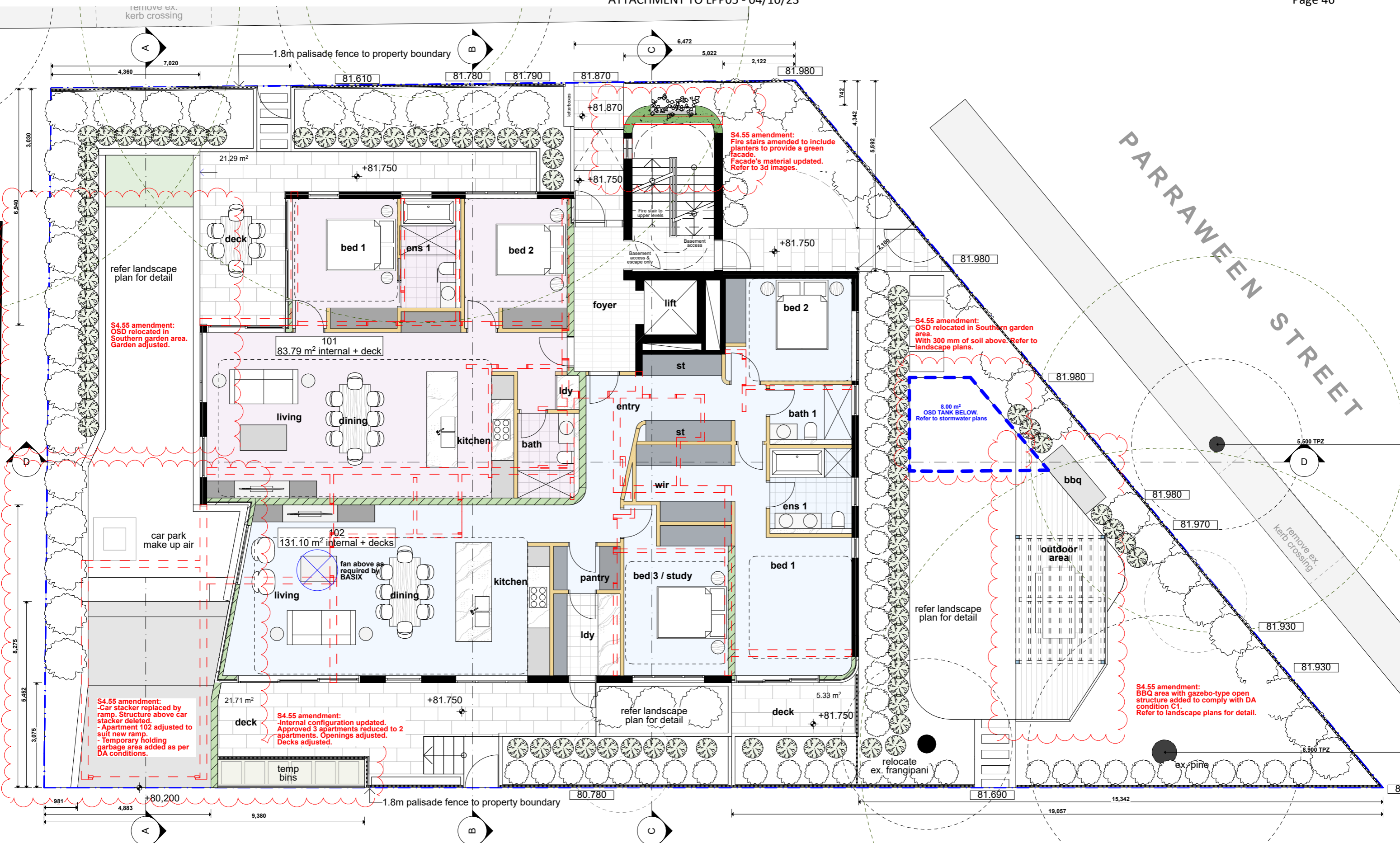
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(02) 9904 1811
mail@corben.com.au
corben.com.au
Nominated Architect Philip Corben (Reg No. 1616)

project	#Project Description	title	Basement Plan	job no.	JFA	dwg no.	DA03
address	4-6 Macpherson Street Cremorne	drawn	AG	checked	PC	revision	P
client	Norbeach Investments	issue	S4.55	scale	1:100		



Level 1
1:100

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K	22/2/2023	S4.55 Prel
N	14/4/2023	S4.55 - WIP
P	27/4/2023	S4.55 - A
Q	14/9/2023	S4.55 - B - Set backs added

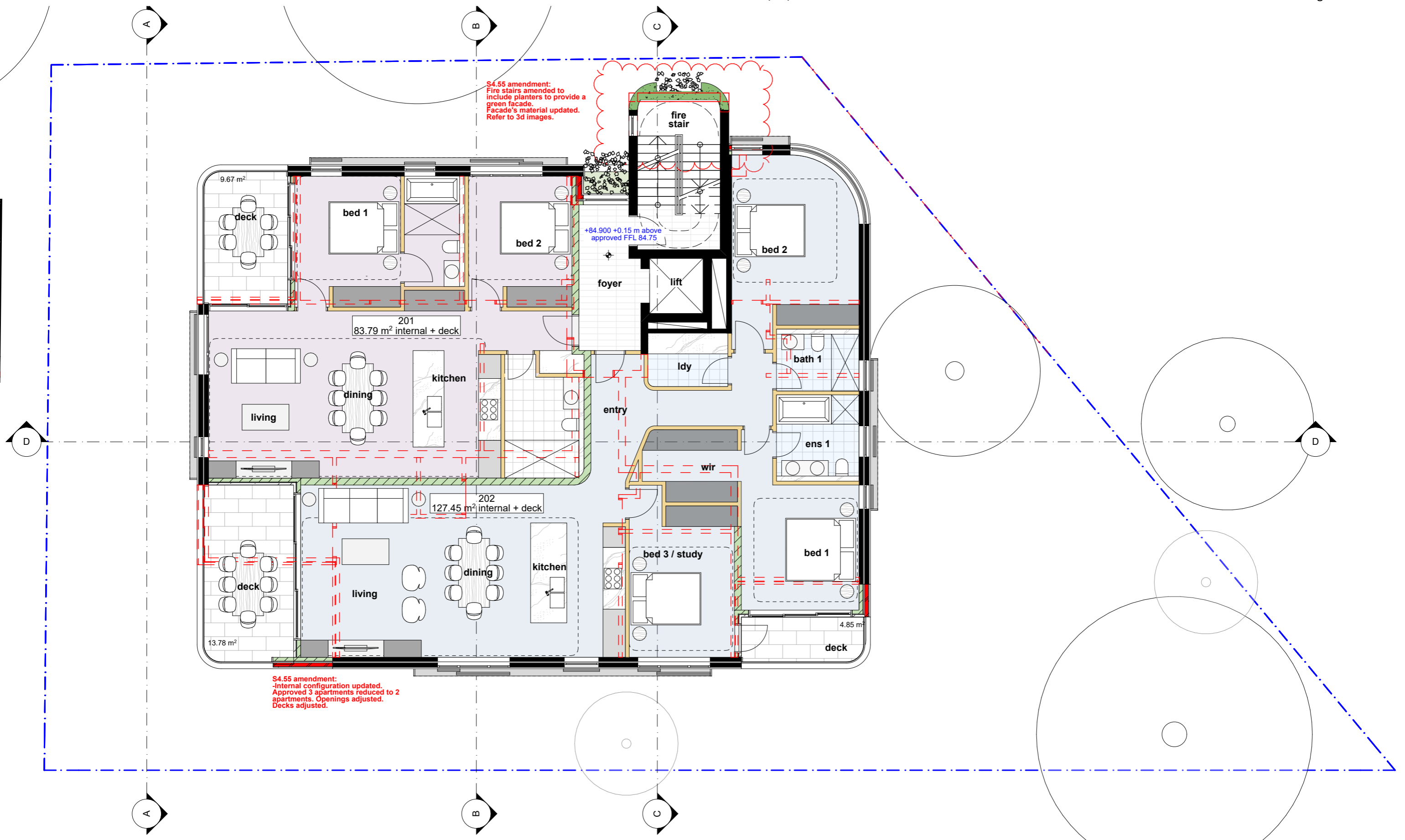
notes

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PO Box 1021 Neutral Bay NSW 2089 Australia
02 9904 1844
mail@corben.com.au
corben.com.au
Nominated Architect Philip Corben (Reg. No. 4616)

project	#Project Description	title	Level 1 Plan	job no.	JFA	dwg no.	DA04
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	Q
client	Norbeach Investments	scale	1:100	checked	PC		



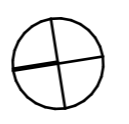
Level 2
1:100

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revisions		
RevID	Date	Description
J	14/2/23	S4.55 Prel
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N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

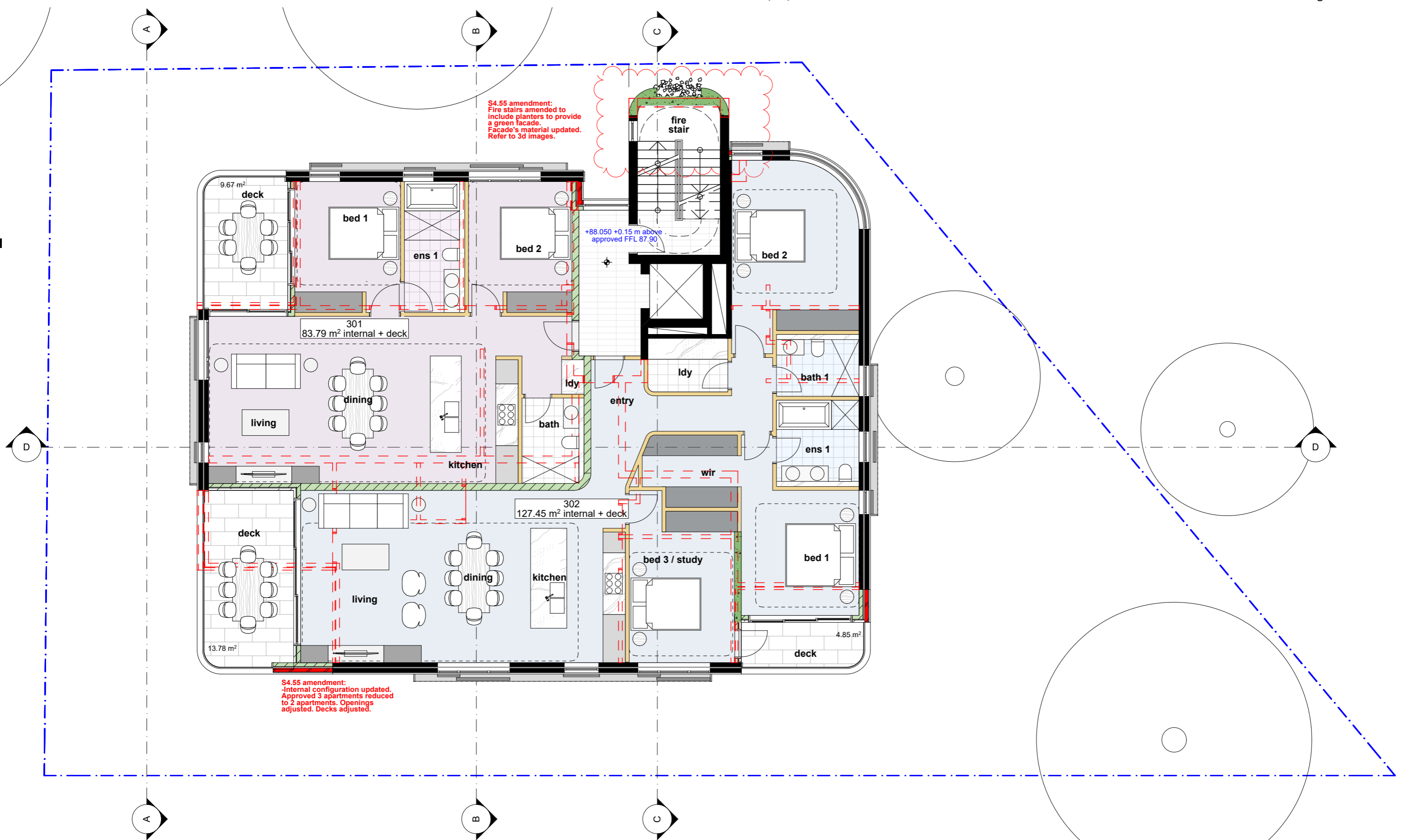
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 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9901 1811
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 14618)

project	#Project Description	title	Level 2 Plan	job no.	JFA	dwg no.	DA05
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
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Level 3
1:100

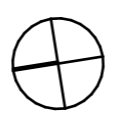
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	K	22/2/23	S4.55 Prel
	N	14/4/23	S4.55 - WIP
	P	27/4/23	S4.55 - A

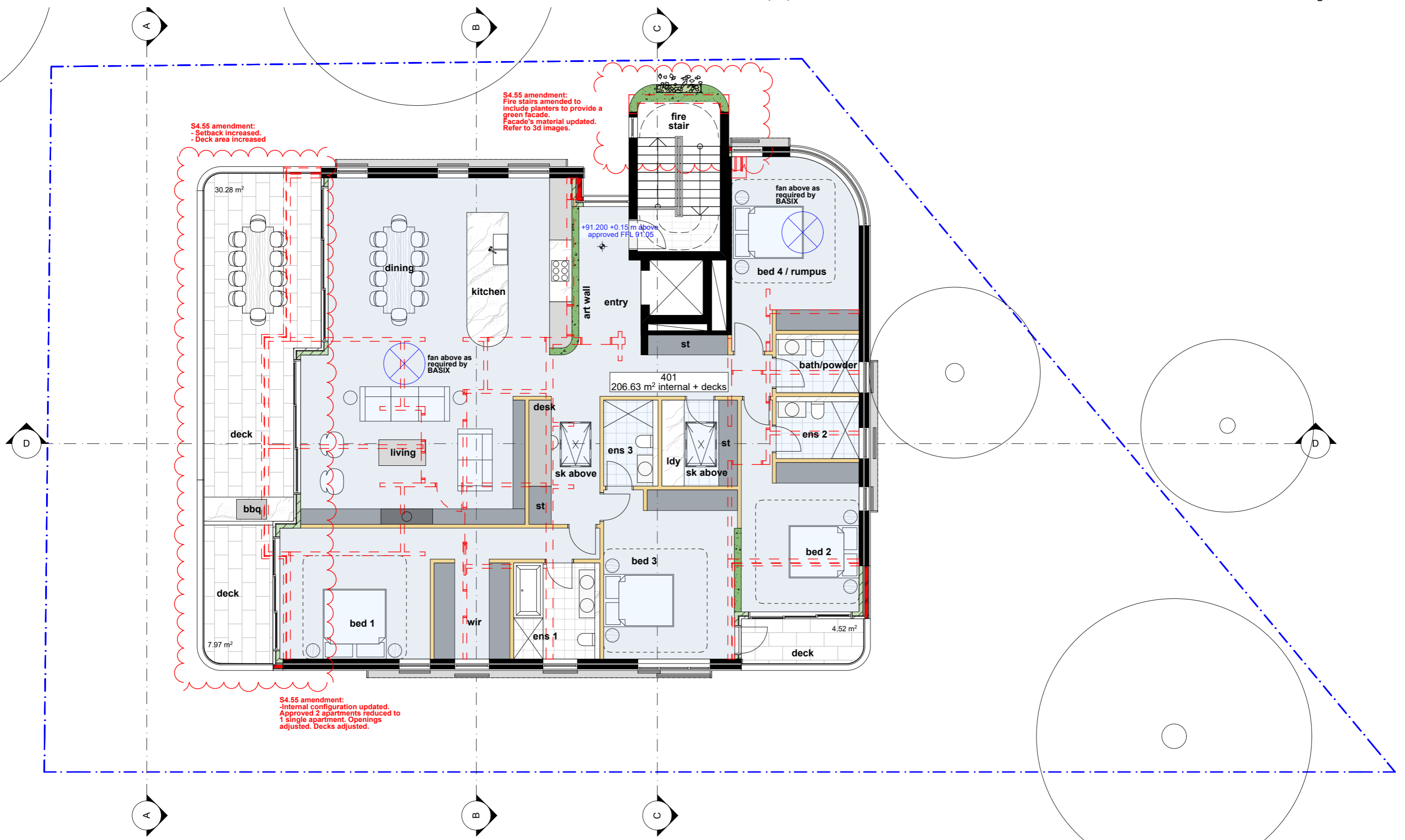
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 PO Box 1021 Neutral Bay NSW 2089 Australia
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 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Level 3 Plan	job no.	JFA	dwg no.	DA06
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments	scale	1:100	checked	PC		



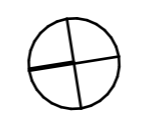
1 **Level 4**
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N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

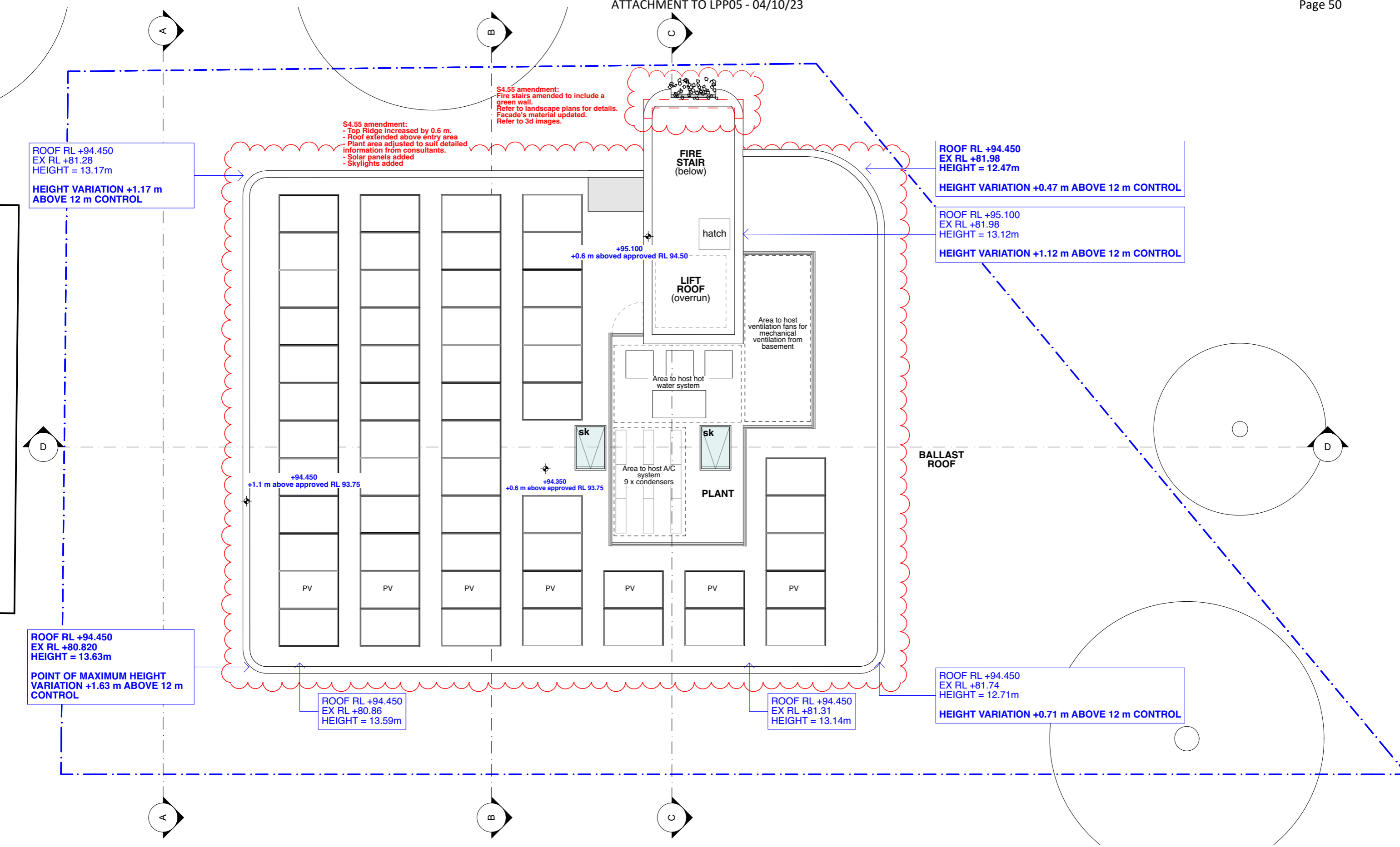
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 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Level 4 Plan	job no.	JFA	dwg no.	DA07
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
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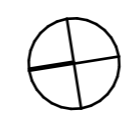
1 Roof 1:100

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K	22/2/2023	S4.55 Prel
N	14/4/2023	S4.55 - WIP
P	27/4/2023	S4.55 - A
Q	3/8/2023	S4.55 - B

notes

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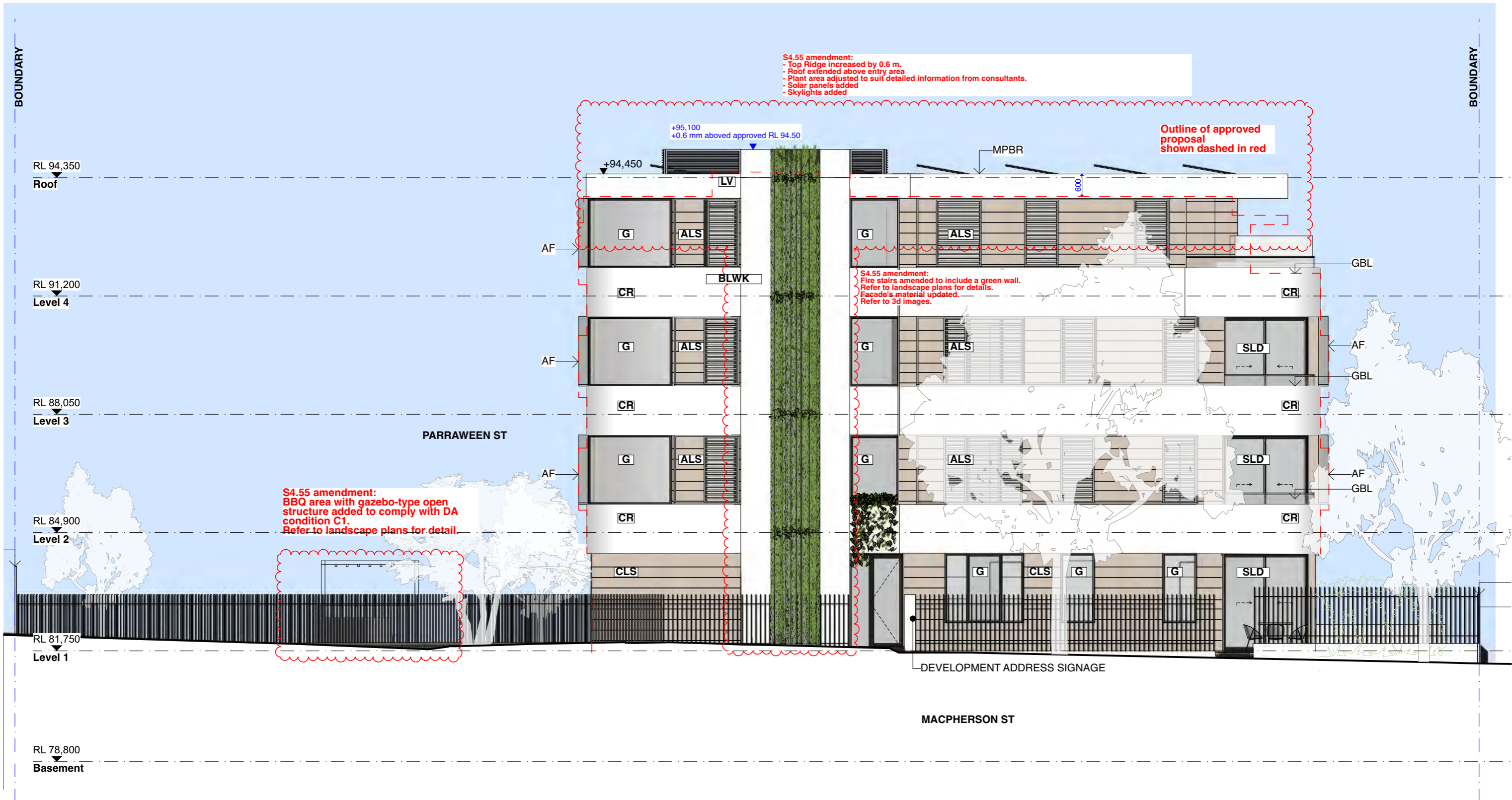


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PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
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Nominated Architect Philip Corben (Reg. No. 4616)

project	#Project Description	title	Roof Plan	job no.	JFA	dwg no.	DA08
address	4-6 Macpherson Street Cremorne	drawn	AG	checked	PC	revision	Q
client	Norbeach Investments	issue	S4.55	scale	1:100		



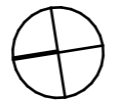
1 East Elevation
1:100

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revisions		
RevID	Date	Description
K	22/2/2023	S4.55 Prel
N	14/4/2023	S4.55 - WIP
P	27/4/2023	S4.55 - A
Q	3/8/2023	S4.55 - B

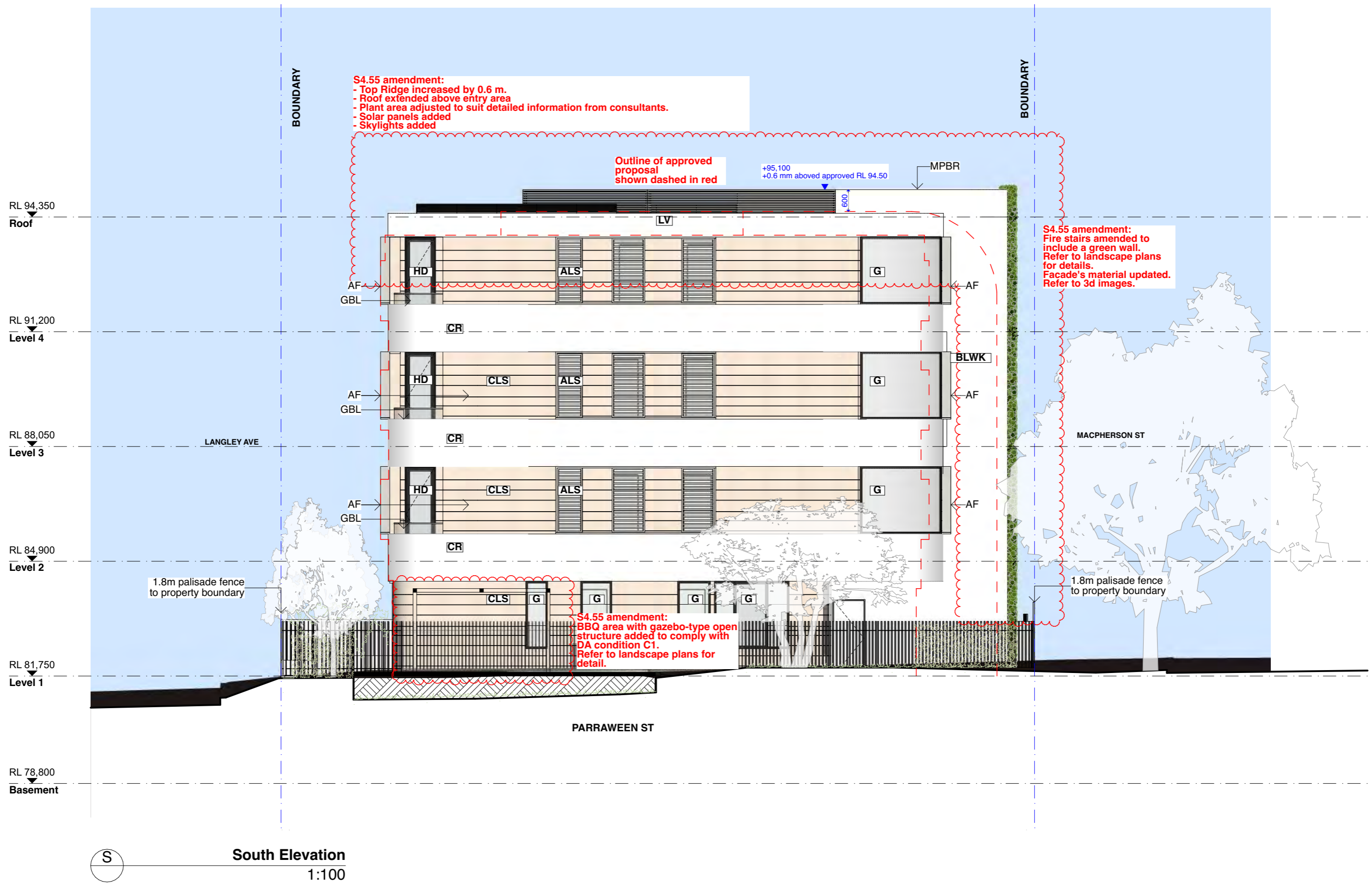
notes

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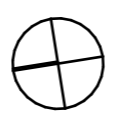
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address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	Q
client	Norbeach Investments			checked	PC		
				scale	1:100		



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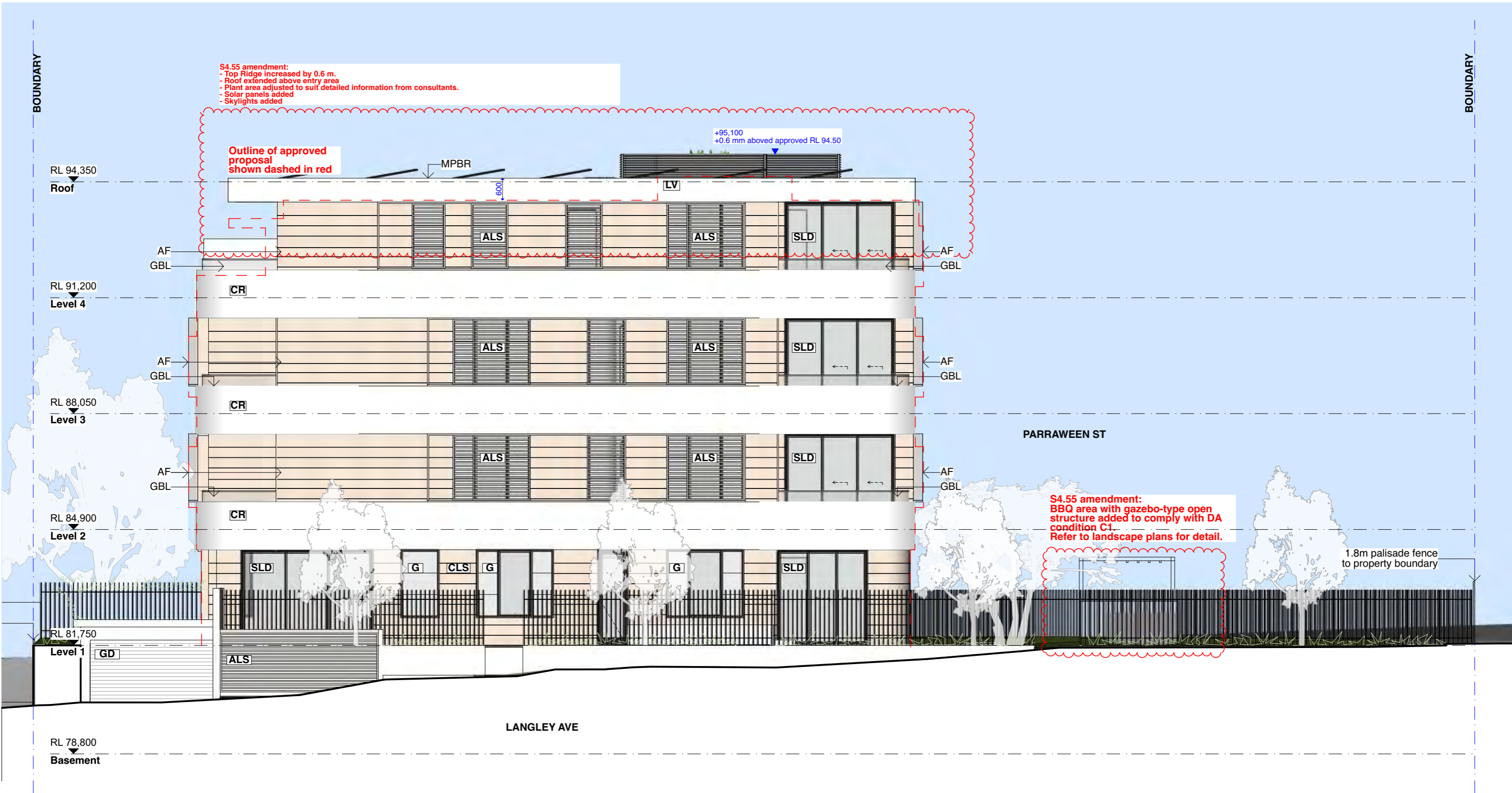
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K	22/2/2023	S4.55 Prel
N	14/4/2023	S4.55 - WIP
P	27/4/2023	S4.55 - A
Q	3/8/2023	S4.55 - B

notes
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 mail@corben.com.au
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 Nominated Architect Philip Corben (Reg. No. 4616)

project	#Project Description	title	South Elevation	job no.	JFA	dwg no.
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	DA11
client	Norbeach Investments	scale	1:100	checked	PC	revision
						Q



1 West Elevation 1:100

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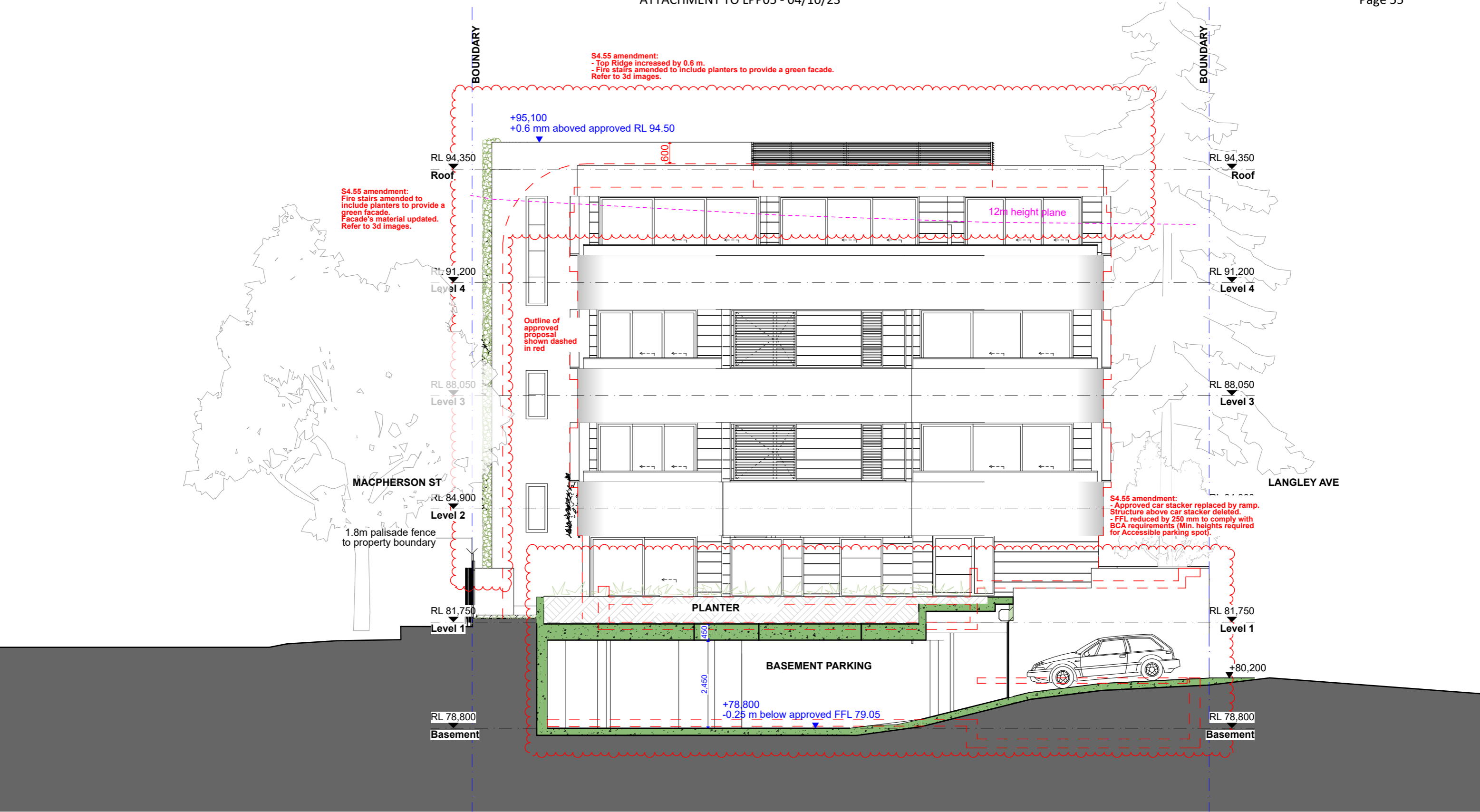
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N	14/4/2023	S4.55 - WIP
P	27/4/2023	S4.55 - A
Q	3/8/2023	S4.55 - B

notes
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 mail@corben.com.au
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 Nominated Architect Philip Corben (Reg. No. 4616)

project	#Project Description	title	West Elevation	job no.	JFA	dwg no.
address	4-6 Macpherson Street Cremorne			drawn	AG	DA12
client	Norbeach Investments	issue	S4.55	checked	PC	revision
				scale	1:100	Q



A Section AA
 1:100

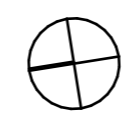
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revisions		
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J	14/2/23	S4.55 Prel
K	22/2/23	S4.55 Prel
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

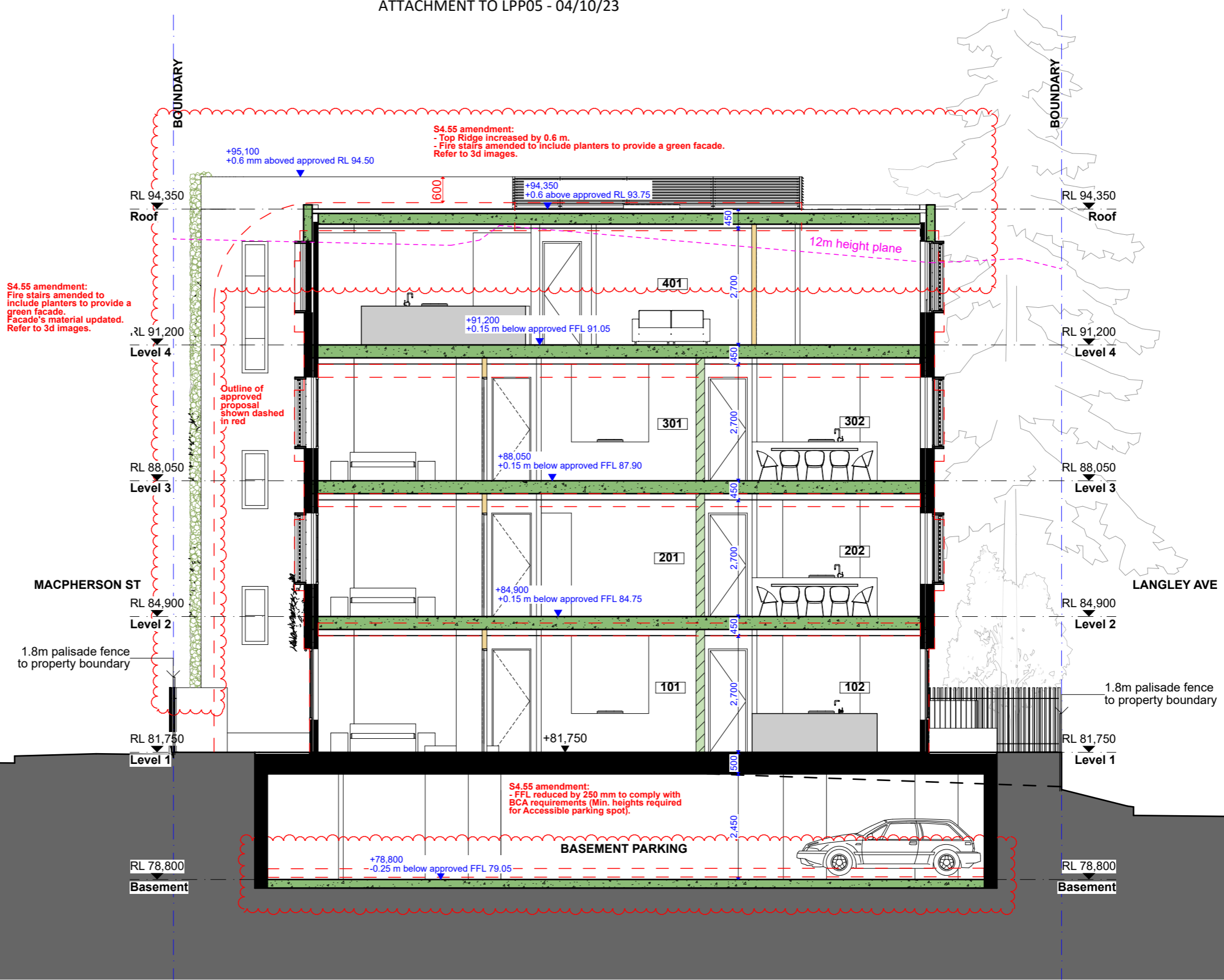
notes

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 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9901 1811
 mail@corben.com.au
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 Nominated Architect Philip Corben (Reg No. 14618)

project	#Project Description	title	Section AA	job no.	JFA	dwg no.	DA13
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
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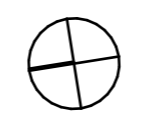
B Section BB
1:100

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N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

notes

JFA6.2-230427 S4.55 - FINAL FILE.pln

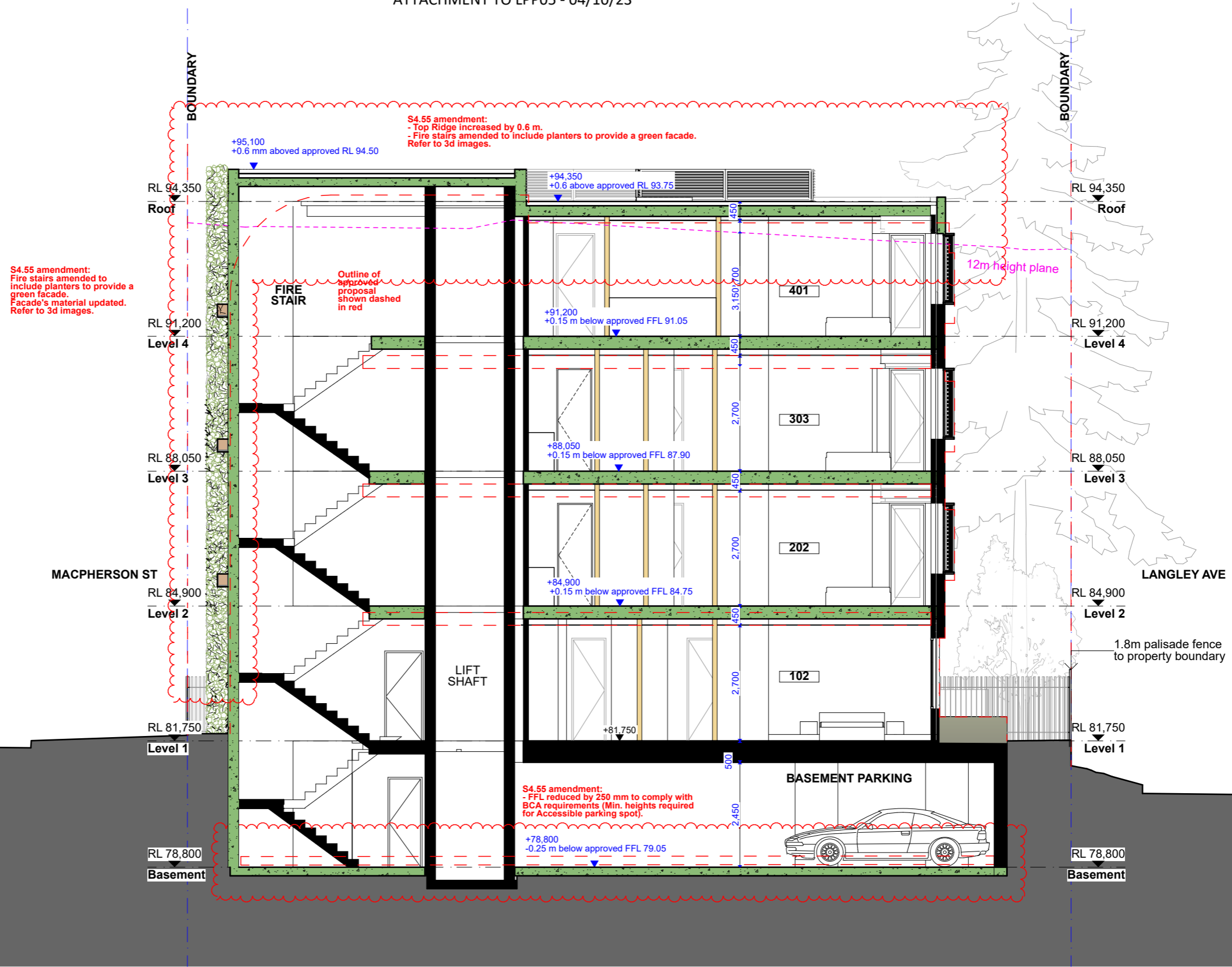


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 02 9904 1811
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project	#Project Description	title	Section BB	job no.	JFA	dwg no.	DA14
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:100		



C

Section CC
1:100

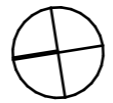
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K	22/2/23	S4.55 Prel
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

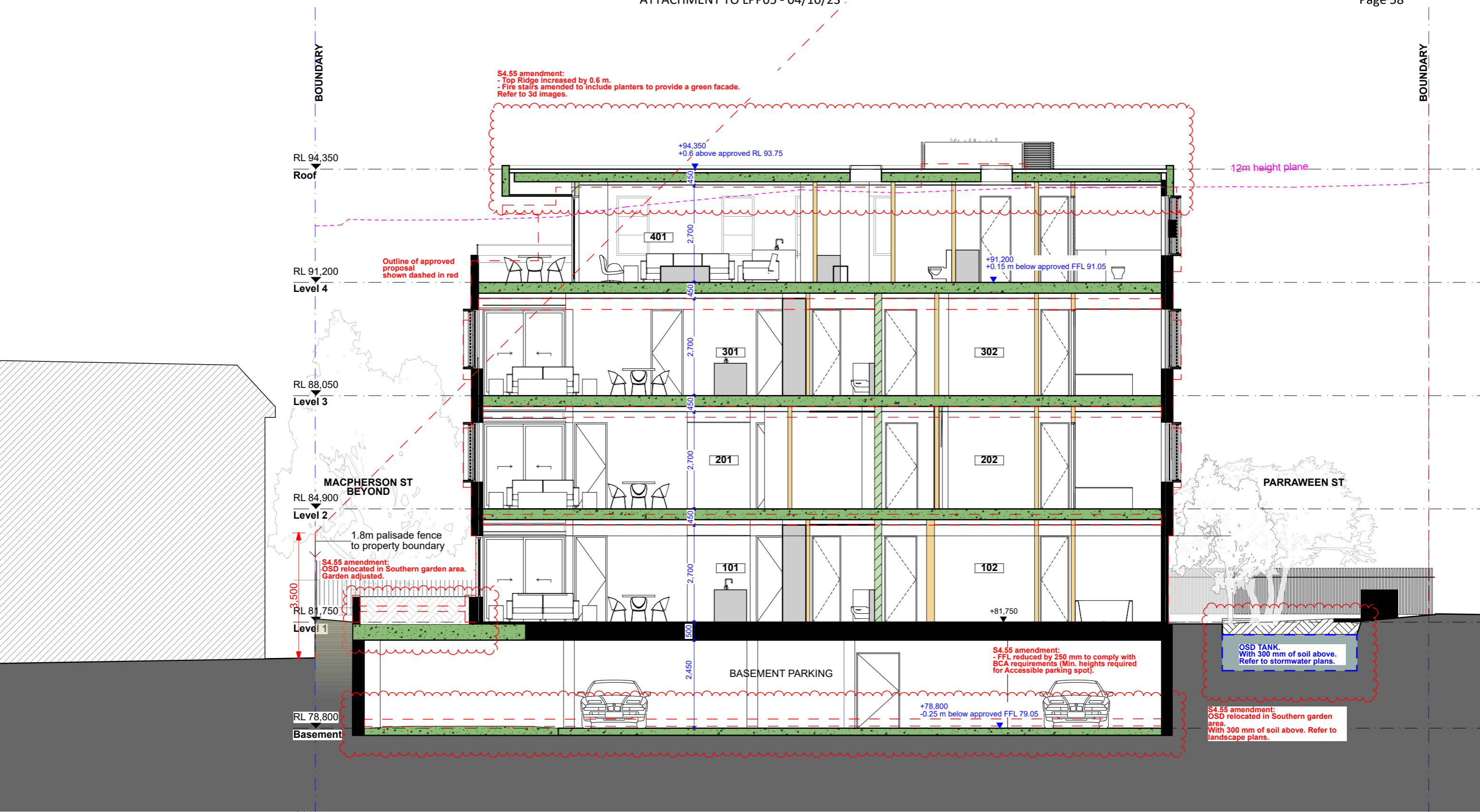
notes

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project	#Project Description	title	Section CC	job no.	JFA	dwg no.	DA15
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:100		



D Section DD
 1:100

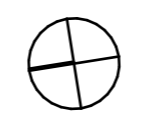
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 02 9901 1811
 mail@corben.com.au
 corben.com.au

Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Section DD	job no.	JFA	dwg no.	DA16
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:100		

ROOF RL +94.450
EX RL +81.98
HEIGHT = 12.47m
HEIGHT VARIATION +0.47 m ABOVE 12 m CONTROL

ROOF RL +94.450
EX RL +81.28
HEIGHT = 13.17m
HEIGHT VARIATION +1.17 m ABOVE 12 m CONTROL



From Macpherson Street

ROOF RL +94.450
EX RL +80.820
HEIGHT = 13.63m
POINT OF MAXIMUM HEIGHT VARIATION +1.63 m ABOVE 12 m CONTROL

ROOF RL +94.450
EX RL +81.74
HEIGHT = 12.71m
HEIGHT VARIATION +0.71 m ABOVE 12 m CONTROL



From Langley Avenue

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RevID	Date	Description
Q	3/8/2023	S4.55 - B

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02 9904 1844
mail@corben.com.au
corben.com.au

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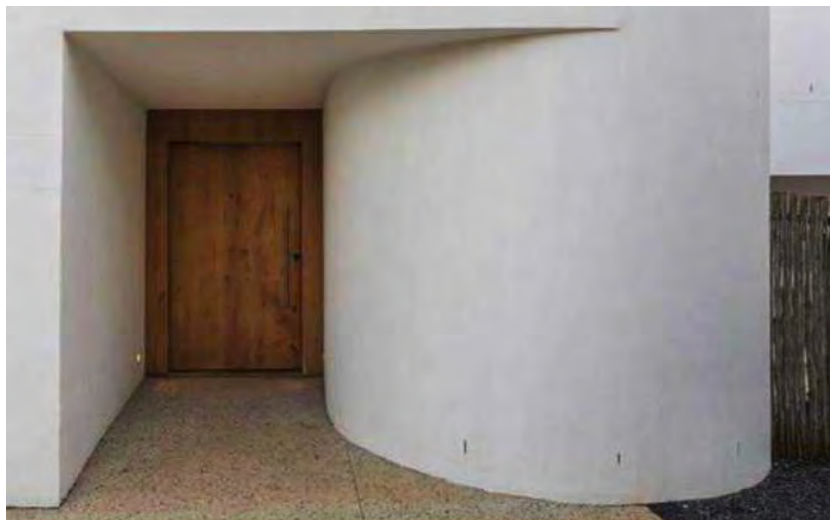
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address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	Q
client	Norbeach Investments	scale		checked	PC		



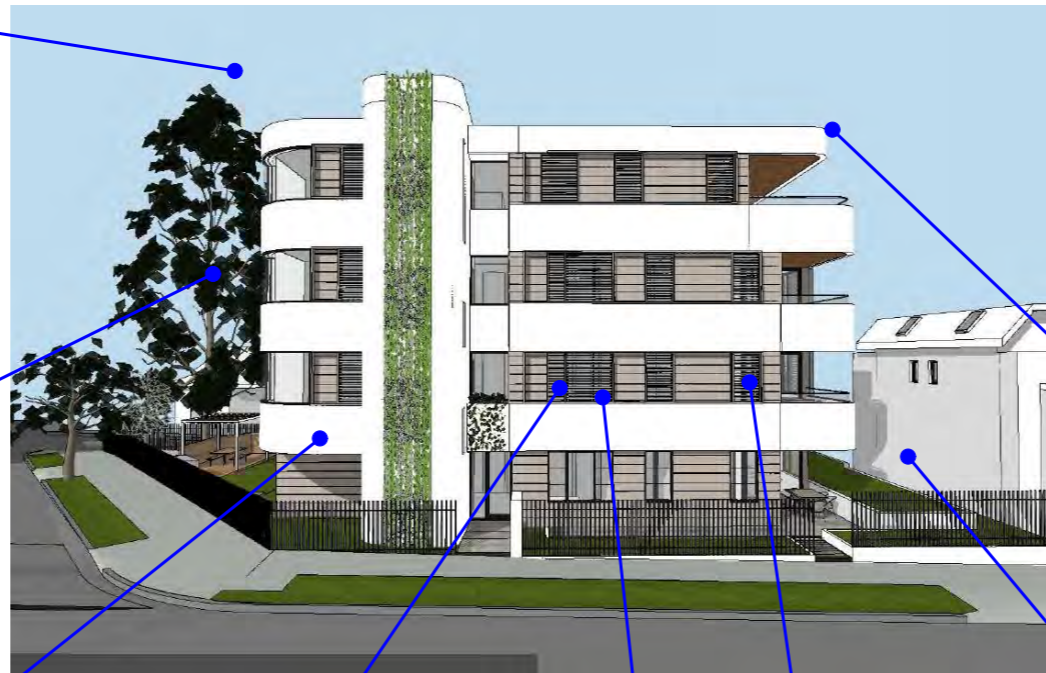
Pebble ballast roof



Black aluminum framed windows & doors



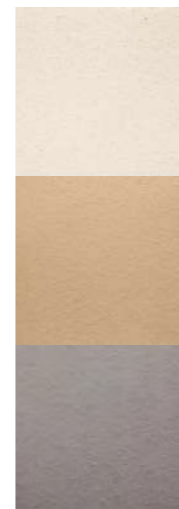
White rendered concrete



Timber soffit, white render and glass balustrade to balconies



Aluminium sliding facade screens



Terracotta cladding system



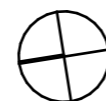
Glass balustrade above white rendered wall

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project	#Project Description	title	Exterior Finishes	job no.	JFA	dwg no.
address	4-6 Macpherson Street Cremorne			drawn	AG	DA26
client	Norbeach Investments	issue	S4.55	checked	PC	revision
				scale	1:412.61, 1:2.86	P

AREA CALCULATIONS		Site Area = 628 sqm
	Site cover	282.93 sqm = 45 %
	Unbuilt upon area	122.8 sqm = 19.5 %
	Landscape area	221.59 sqm = 35.2 %
	Over slab planting	50.07 sqm = 8.1 %



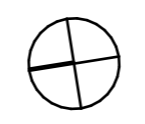
note:
bbq/gazebo area added as
requested by Council.
Surface to be permeable.

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P	27/4/23	S4.55 - A

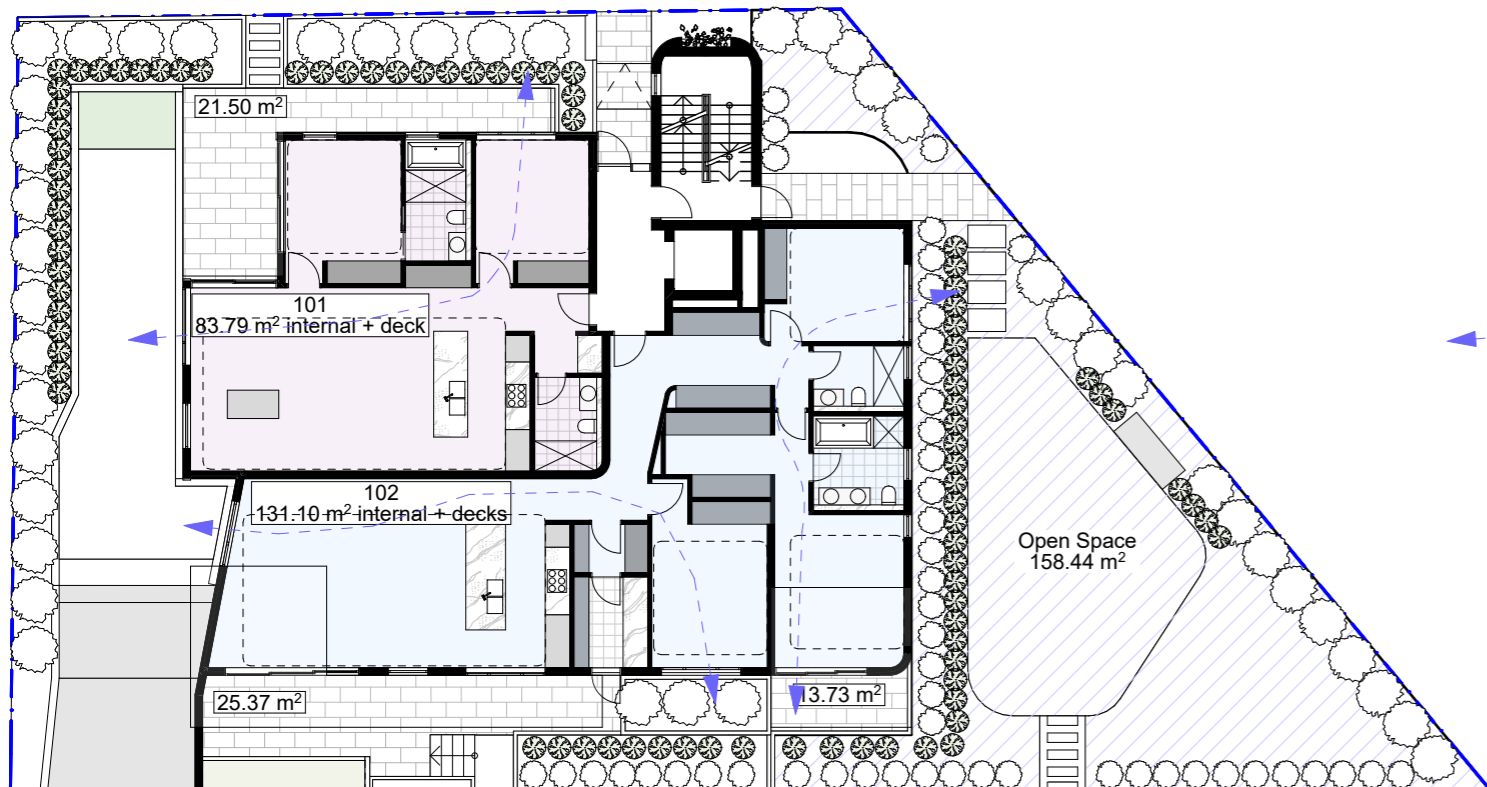
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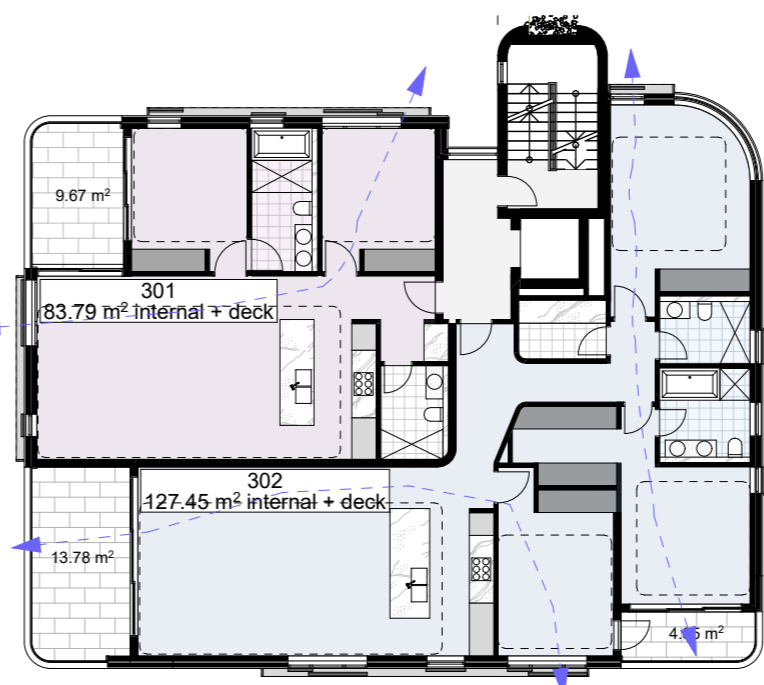


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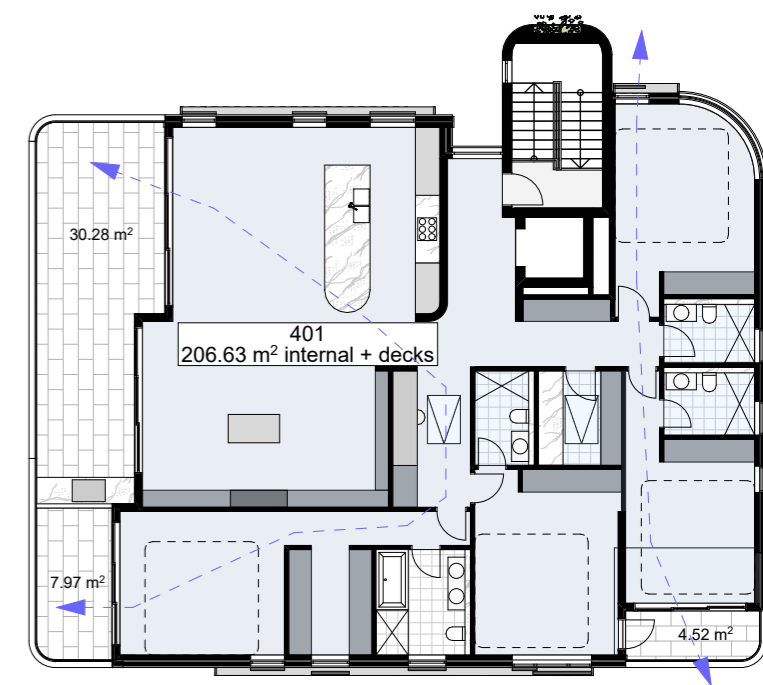
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address	4-6 Macpherson Street Cremorne			drawn checked	AG PC	DA17
client	Norbeach Investments	issue	S4.55	scale	1:100	revision P



1 Level 1
1:200



2 Level 2-3
1:200



3 Level 4
1:200

ADG Design Criteria

Apartment size

- 1 Bed
min 50m²
- 2 Bed
min 70m²
- 3 Bed
min 90m²

Balcony size

- 1 Bed
min 8m²
- 2 Bed
min 10m²
- 3 Bed
min 12m²

Cross Ventilation
min 60% of apartments

Storage required

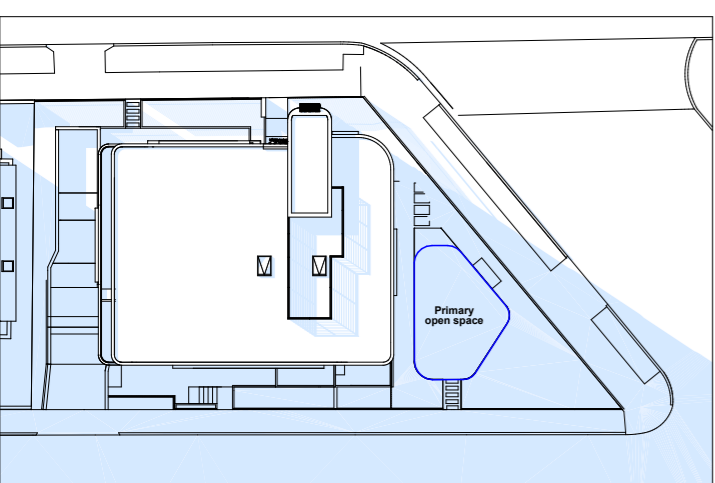
- 2 Bed
min 8m³
- 3 Bed
min 10m³

Storage achieved

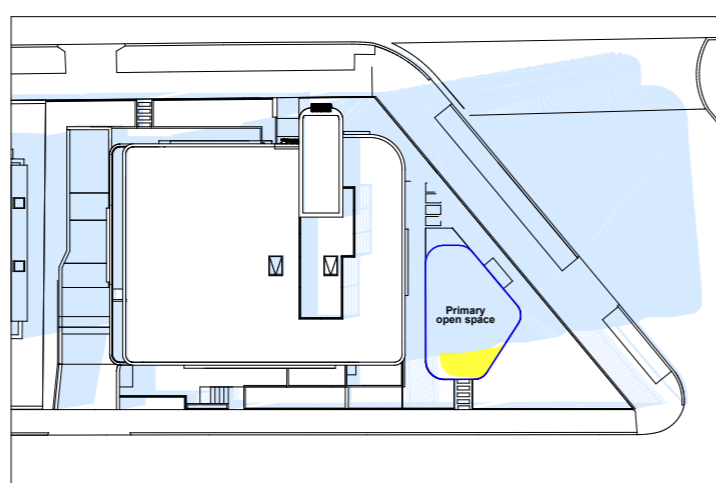
- 2 Bed
Apartments 101, 201 & 301 8.15m³
- 3 Bed
Apartment 102 14.25 m³
Apartments 202 & 302 10.20 m³
Apartment 401 15.81m³

Communal open space

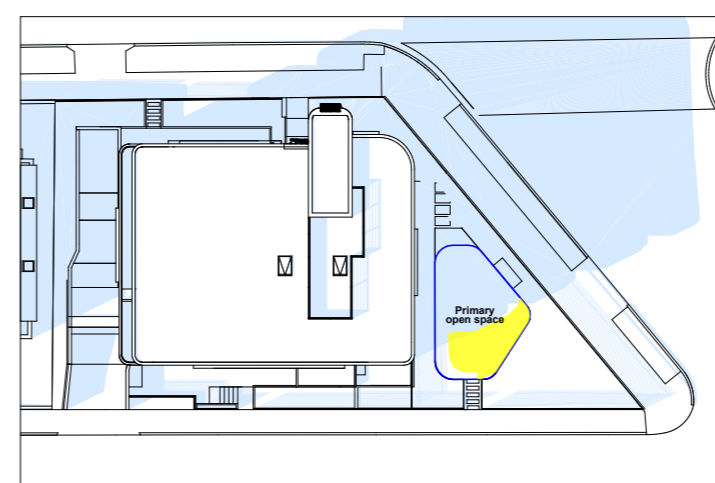
- Minimum area equal to 25% of the site
- Site Area 627.8m²
25% 156.95m²
- 50% direct sunlight to principal usable part of private open space



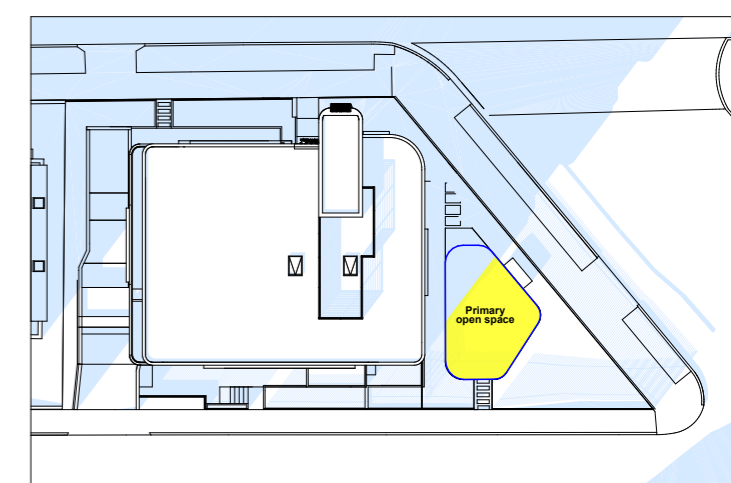
4 Open space - 21 June 0900
1:500



5 Open space - 21 June 1200
1:500



6 Open space - 21 June 1300
1:500

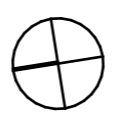


7 Open space - 21 June 1500
1:500

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P	27/4/23	S4.55 - A




notes
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address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	DA18
client	Norbeach Investments	scale	1:200, 1:500	checked	PC	revision
						P

LEGEND

0 - 1 hours	
1 - 2 hours	
2 - 3 hours	



Macpherson Street

0900 - 1200



Langley Avenue

1200 - 1500

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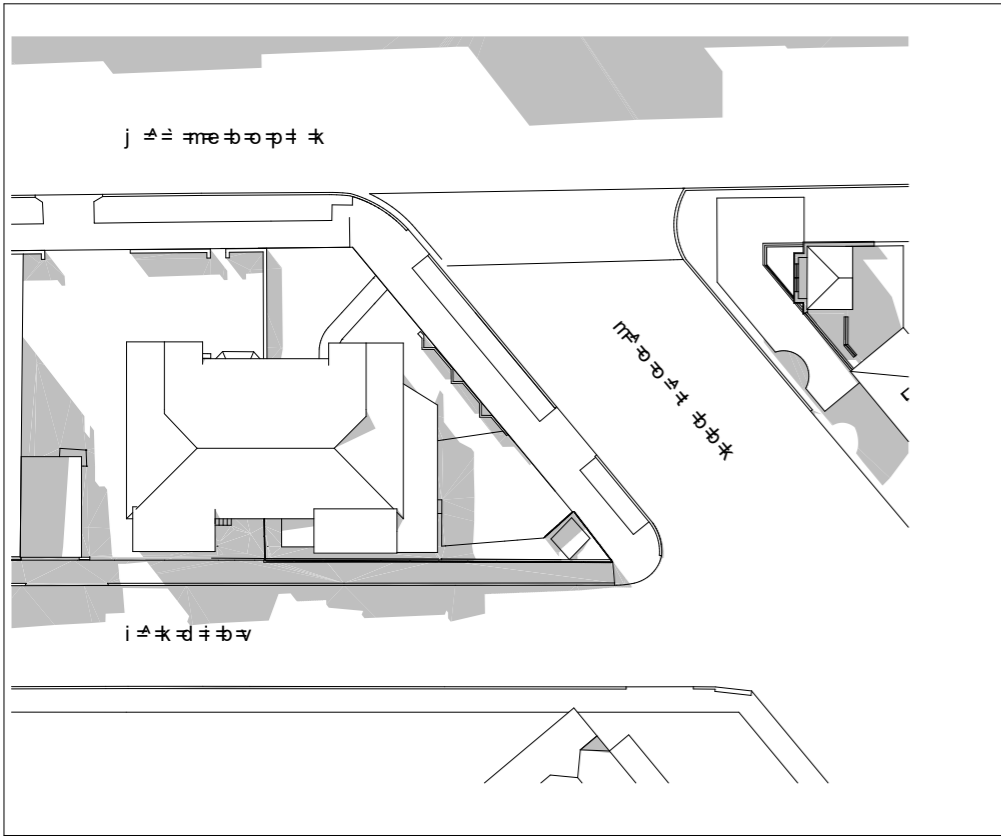
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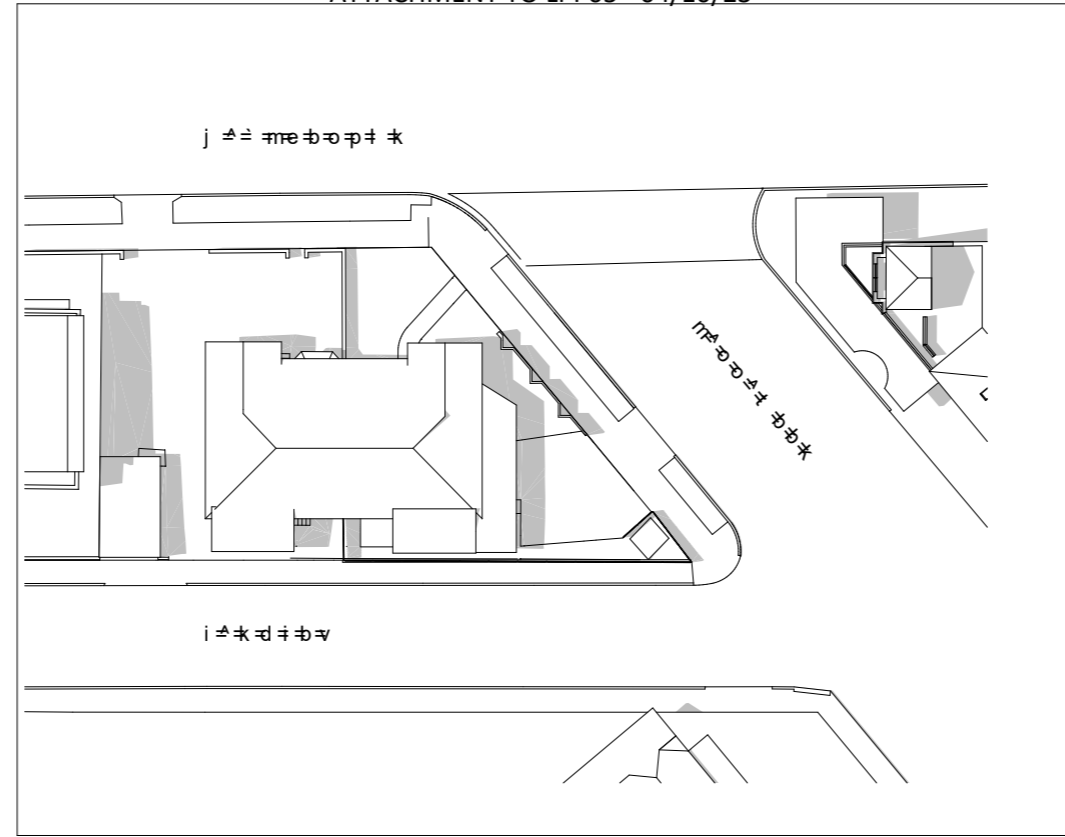
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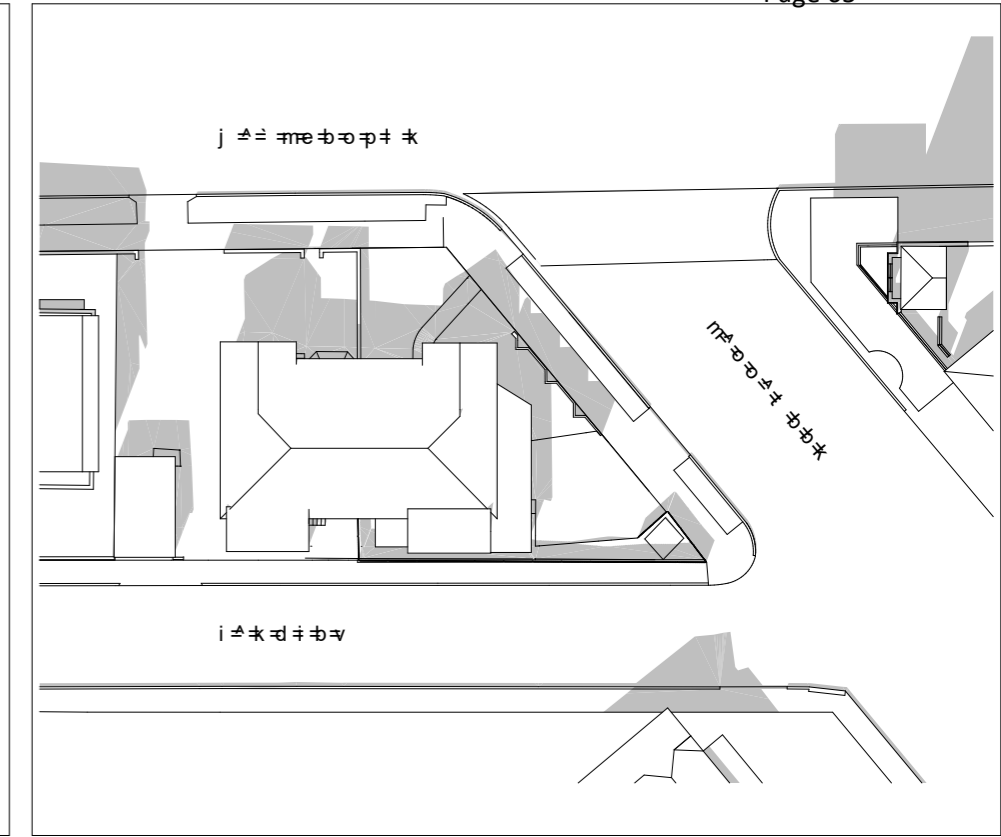
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client	Norbeach Investments	scale	1:160.89	checked	PC		



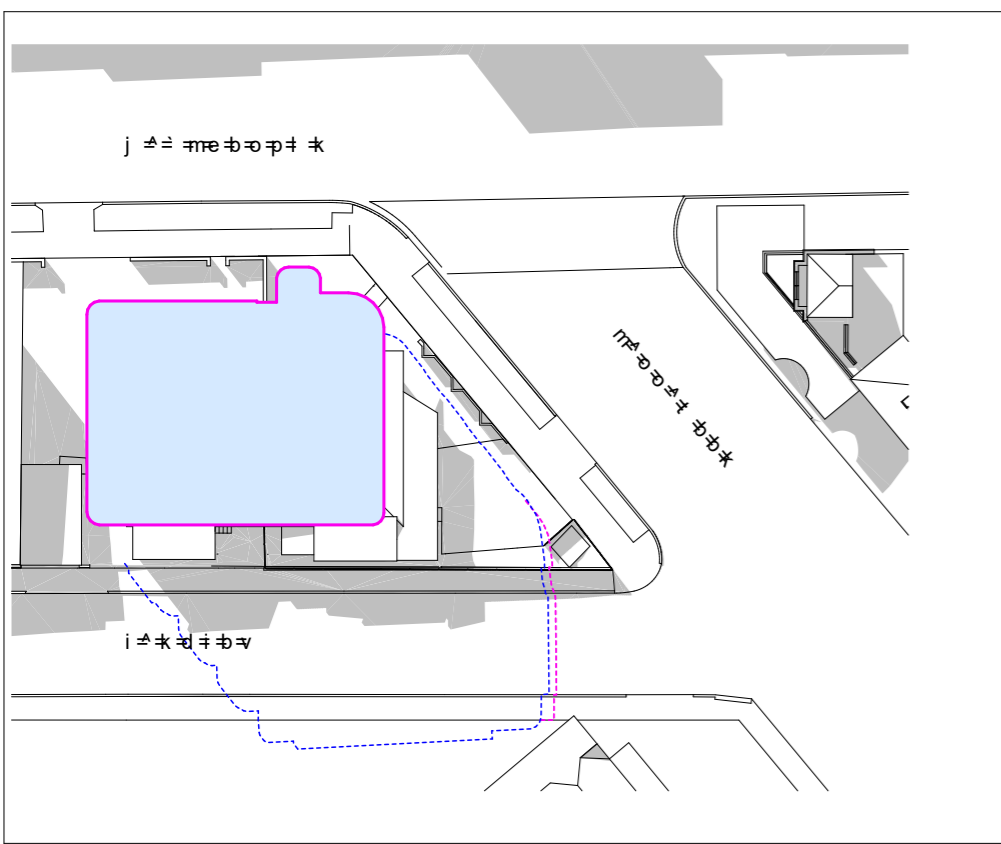
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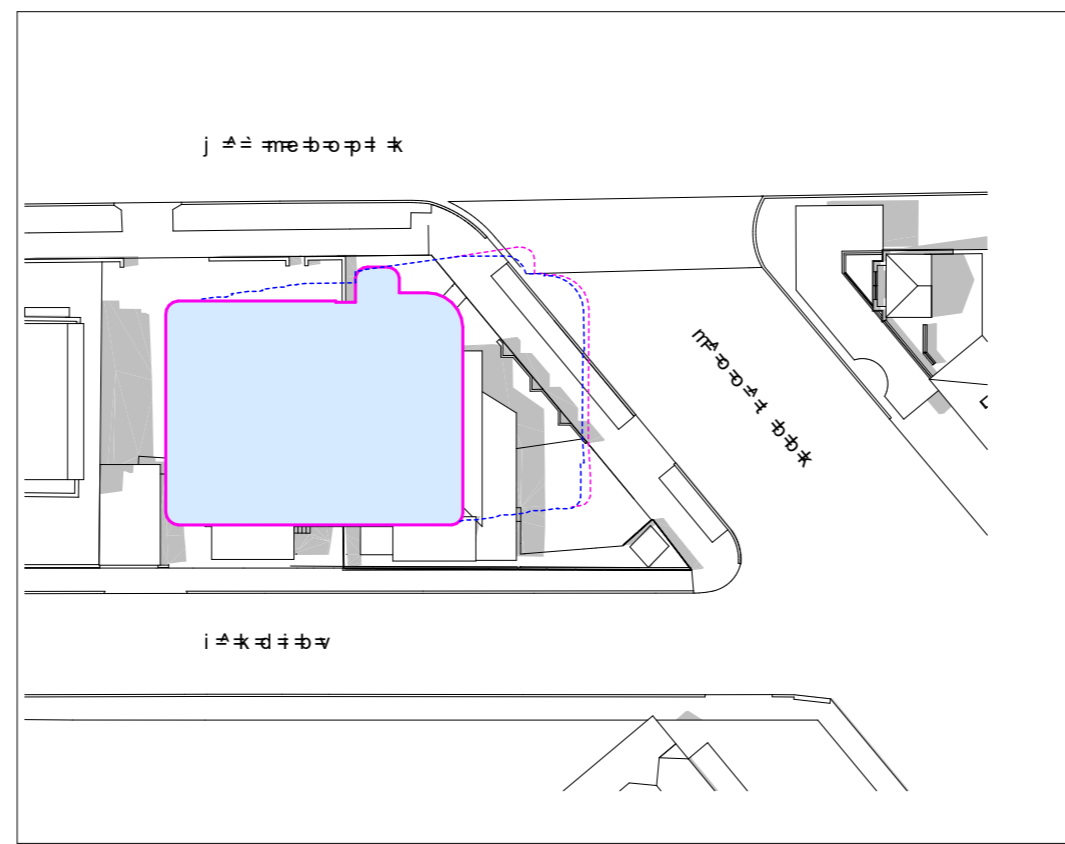
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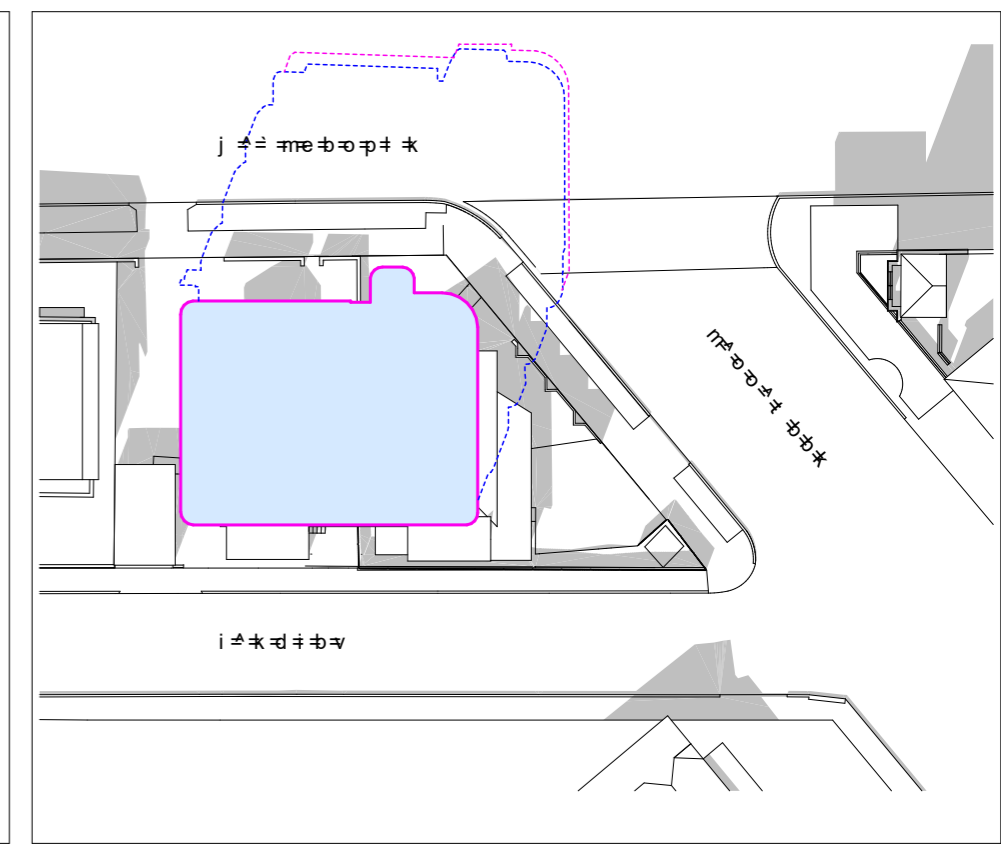
P j ~ፅህርተፍጥረት ስፔሻል NRRM



Q j ~ፅህርተፍጥረት ስፔሻል ስፔሻል ስፔሻል NRRM



R j ~ፅህርተፍጥረት ስፔሻል ስፔሻል ስፔሻል NRRM

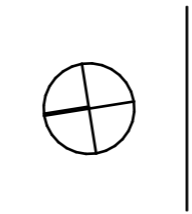


S j ~ፅህርተፍጥረት ስፔሻል ስፔሻል ስፔሻል NRRM

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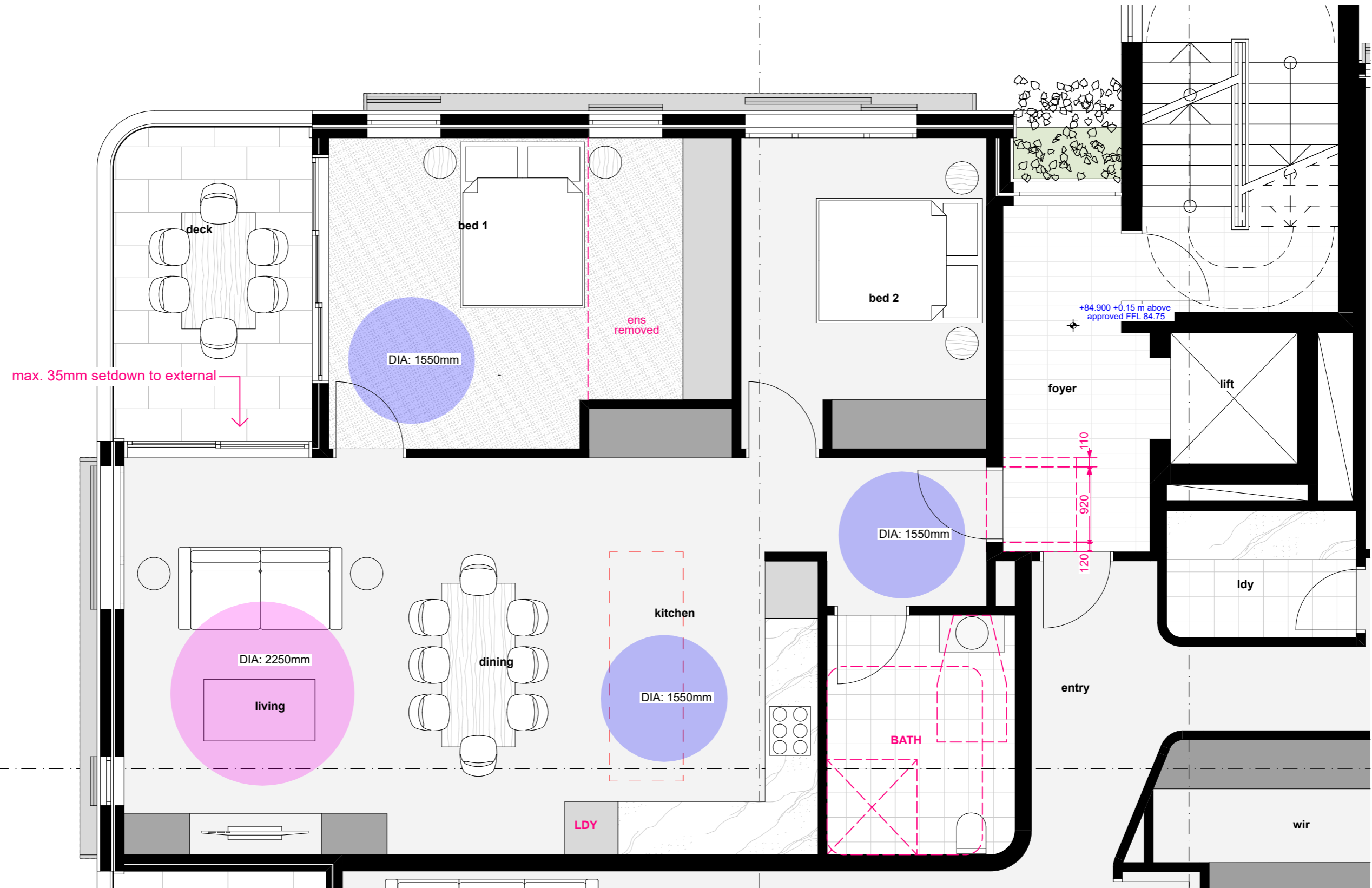
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notes
 — EXISTING BUILDING
 — PROPOSED BUILDING
 — LINE OF PROPOSED DA SHADOW
 — LINE OF PROPOSED S4.55 SHADOW
 JFA6.2-230427 S4.55 - FINAL FILE.pln



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 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1811
 mail@corben.com.au
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project	#Project Description	title	Shadow Diagrams March Equinox	job no.	JFA	dwg no.	DA21
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:1, 1:125		



1 Level 2 - Adaptable 1
1:50

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project	#Project Description	title	Adaptable Plans	job no.	JFA	dwg no.
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	DA23
client	Norbeach Investments	scale	1:50	checked	PC	revision
						P



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project	#Project Description	title	Perspectives	job no.	JFA	dwg no.	DA25
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:310.57, 1:333.33		



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J	14/2/23	S4.55 Prel
K	22/2/23	S4.55 Prel
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

notes

JFA6.2-230427 S4.55 - FINAL FILE.pln



CORBEN ARCHITECTS
 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Perspectives	job no.	JFA	dwg no.	DA24
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments			checked	PC		
				scale	1:295.53		

JFA APARTMENTS

4 - 6 Macpherson Street Cremorne

Landscape Development Application

DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	
C101	LANDSCAPE COLOUR PLAN	1:100
101	LANDSCAPE CONCEPT PLAN	1:100
102	LANDSCAPE GENERAL ARRANGEMENT PLAN	As Shown
103	PLANTING PLANS	As Shown
104	LANDSCAPE SPECIFICATION NOTES	N/A
105	LANDSCAPE DETAILS 01	As Shown
106	LANDSCAPE DETAILS 02	As Shown

NOT FOR CONSTRUCTION

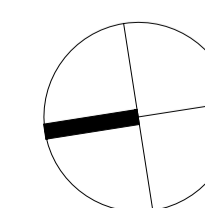
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Issue	Revision Description	Drawn	Check	Date
D	Development Application	BS	RS	29.03.2023
C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
A	Development Application	PH	RS	16.06.2021

LEGEND

Key Plan:



S I T E I M A G E



Landscape Architects

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

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Project:

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Drawing Name:

Cover Sheet

DEVELOPMENT APPLICATION

Scale: N/A

Job Number:
SS21-4699

Drawing Number:
000

Issue:
D

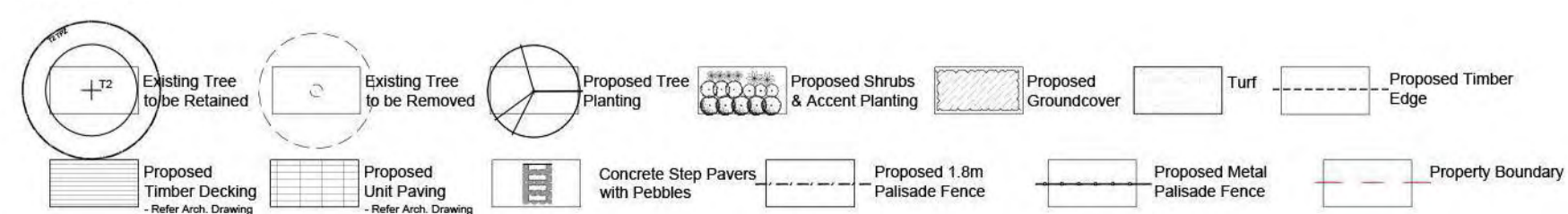


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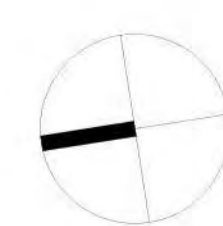
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LEGEND



Key Plan:



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Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (01 2) 6332 5630
Fax: (01 2) 9698 2877
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Client:

Norbeach Investments

Project:

**JFA Apartments
4 - 6 Macpherson Street
Cremorne**

Drawing Name:

Landscape Colour Plan

DEVELOPMENT APPLICATION

Scale: 1:100 @ A1

Job Number:

SS21-4699

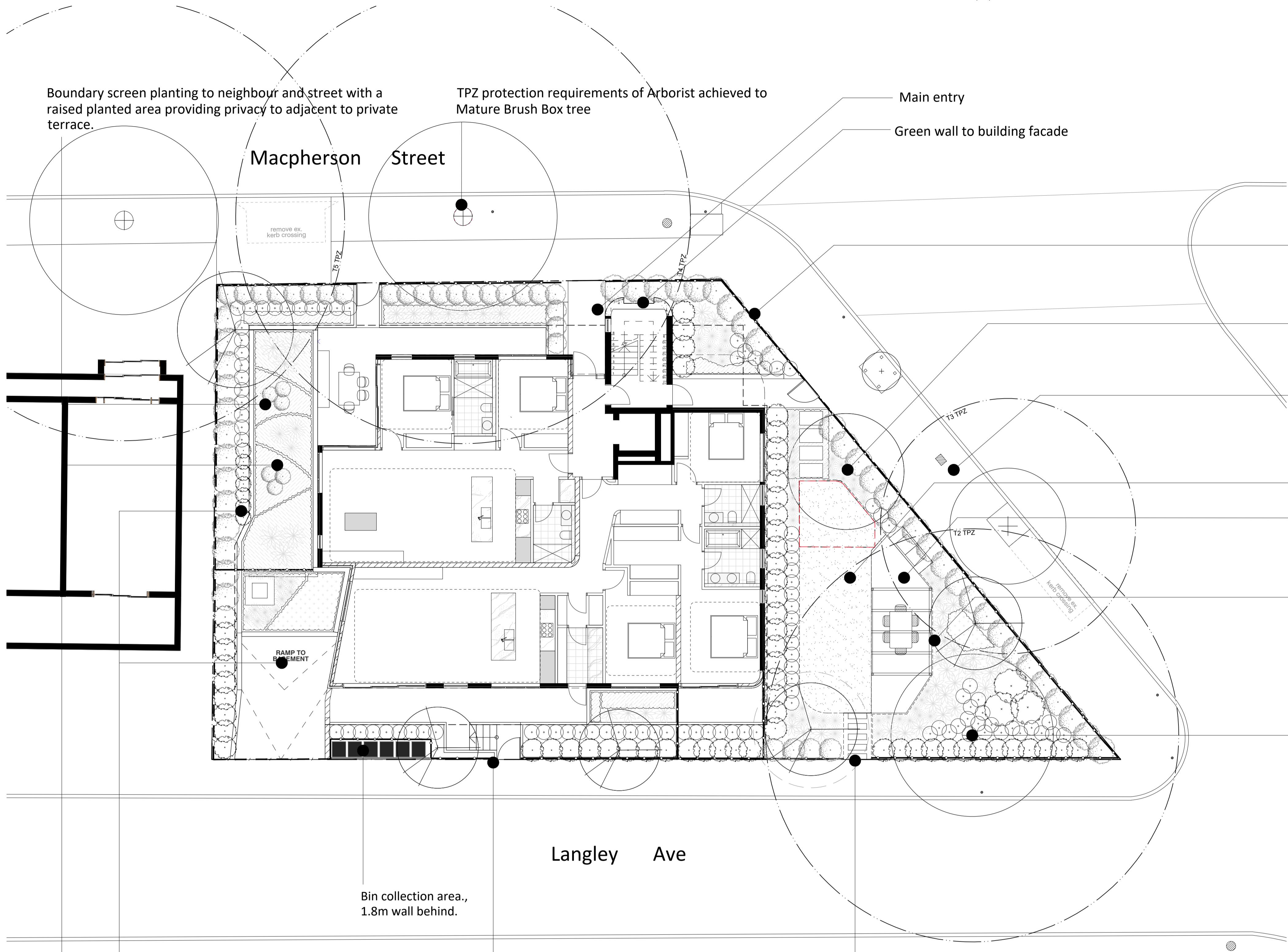
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Drawing Number:

C101

Issue: **D**

Issue	Revision Description	Drawn	Check	Date
D	Development Application	BS	RS	20.03.2023
C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
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- Generally, a constrained site with quality landscape setting and high residential amenity
- Minor level change down into garden concealed by hedge planting through open fence
- Relocated Frangipani tree from tight boundary location to garden common open space
- Existing paved footpath; parking meter; new and existing tree with TPZ protected
- Common open space amenity lawn enjoys mature trees and feature garden
- Deck area with pergola, picnic setting & BBQ
- Raised steel edge to 800mm maximum height as contemporary garden level change
- Norfolk Island Pine TPZ requirements of Arborist met, incl. level change / low plants below

- Boundary screening, and accent / low maintenance planting above basement drive
- Activation of lane frontage with access gates, and greening hedge through fencing
- Common open space secure access 'at grade' and opposite small park across lane
- Raised landscaped area with groundcovers & accent plants

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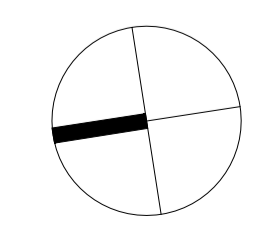
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F	Development Application	JW	RS	03.04.2023
E	Development Application	BS	RS	28.07.2023
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C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
A	Development Application	PH	RS	16.06.2021

LEGEND

- Existing Tree to be Retained
- Existing Tree to be Removed
- Proposed Tree Planting
- Proposed Shrubs & Accent Planting
- Proposed Groundcover
- Turf
- Proposed Timber Decking
- Proposed Unit Paving
- Concrete Step Pavers with Pebbles
- Proposed 1.8m Palisade Fence
- Proposed Metal Palisade Fence
- Proposed Timber Edge
- Property Boundary

Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Bagliot Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9696 2877
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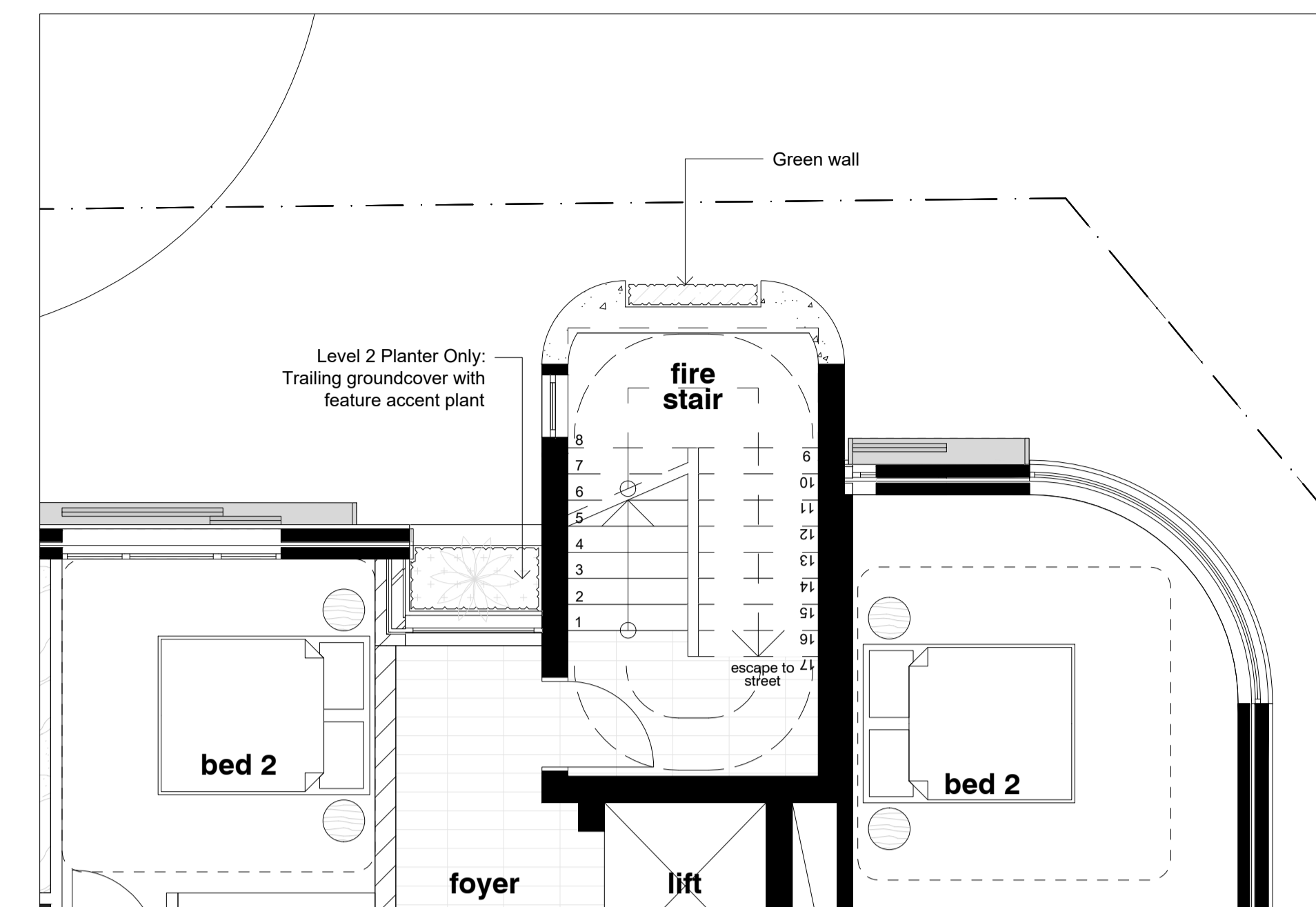
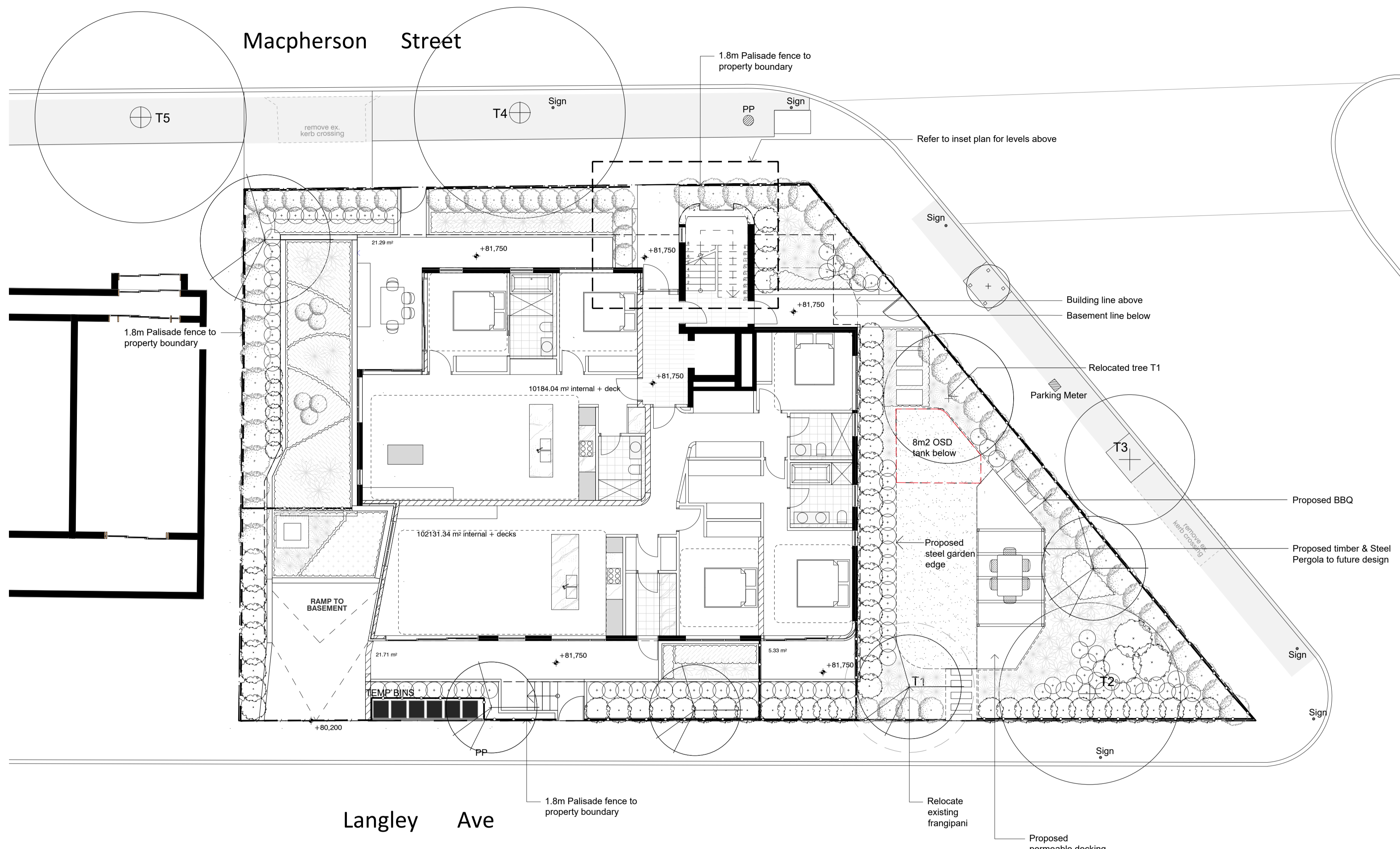
Client:
Norbeach Investments

Project:
JFA Apartments
4 - 6 Macpherson Street
Cremorne

Drawing Name:
Landscape Concept Plan

DEVELOPMENT APPLICATION

Scale: 1:100 @ A1
Job Number: **SS21-4699**
Drawing Number: **101**
Issue: **F**



02 Inset Plan Level 2 & 4
102 1:50

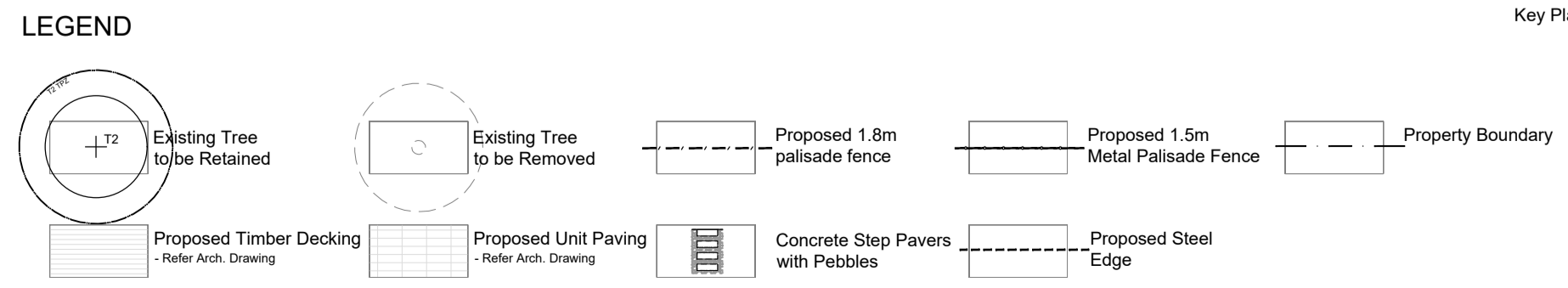
01 Ground Floor
102 1:100

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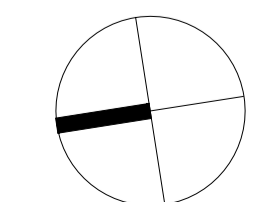
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Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Norbeach Investments

Project:
JFA Apartments
4 - 6 Macpherson Street
Cremorne

Drawing Name:
Landscape
General Arrangement Plan

DEVELOPMENT APPLICATION

Scale: As Shown @ A1
Job Number: SS21-4699
Drawing Number: 102
Issue: F

SPECIFICATION

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGS1 and Edging

Construct garden walls, fences, steps, TGS1 and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm. If laying unit pavers in a cement mortar bed on a concrete sub-base ensure that joints in paving match the location of joints in the concrete. Refer to engineer's details for heavy duty slabs, concrete stairs, concrete strength, reinforcing, and joint type and placement.

SOFTWORKS

Site Soil Testing

Where site soil is to be retrieved from site and stored on site for reuse, undertake at least two (2) soil tests in locations as advised by the Project Manager or as shown on the plans. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at

least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil

over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants >25 lt: 1 off 38 x 38 x 1200mm;
- Semi-advanced plants >75 lt: 2 off 50x50x 1800mm;
- Advanced plants ≥100 lt: 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

Species: *Stenotaphrum secundatum* Sir Walter Soft-leaf Buffalo.

IRRIGATION

Scope: Unless otherwise noted or instructed irrigate all planted areas shown on plans including planters, tubs, gardens, turf and the like.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
 - if ever possible;
 - in wet weather or if wet weather is imminent;
 - if target plants are still wet after rain;
 - in windy weather; and
 - if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name,
 - Chemical / product name,
 - Chemical contents,
 - Application quantity and rate,
 - Date of application and location,
 - Results of application, and
 - Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.

Stakes and ties - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

Maintaining mulch - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.

Mowing and top dressing - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.

Irrigation and watering - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

Erosion control - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary

to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

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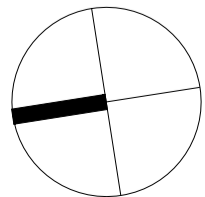
Issue	Revision Description	Drawn	Check	Date
D	Development Application	BS	RS	29.03.2023
C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
A	Development Application	PH	RS	16.06.2021

LEGEND

Key Plan:

S I T E I M A G E

Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9686 2877
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Client:

Norbeach Investments

Project:

JFA Apartments

4 - 6 Macpherson Street

Cremorne

Drawing Name:

Landscape Specification Note

DEVELOPMENT APPLICATION

Scale: N/A

Job Number:

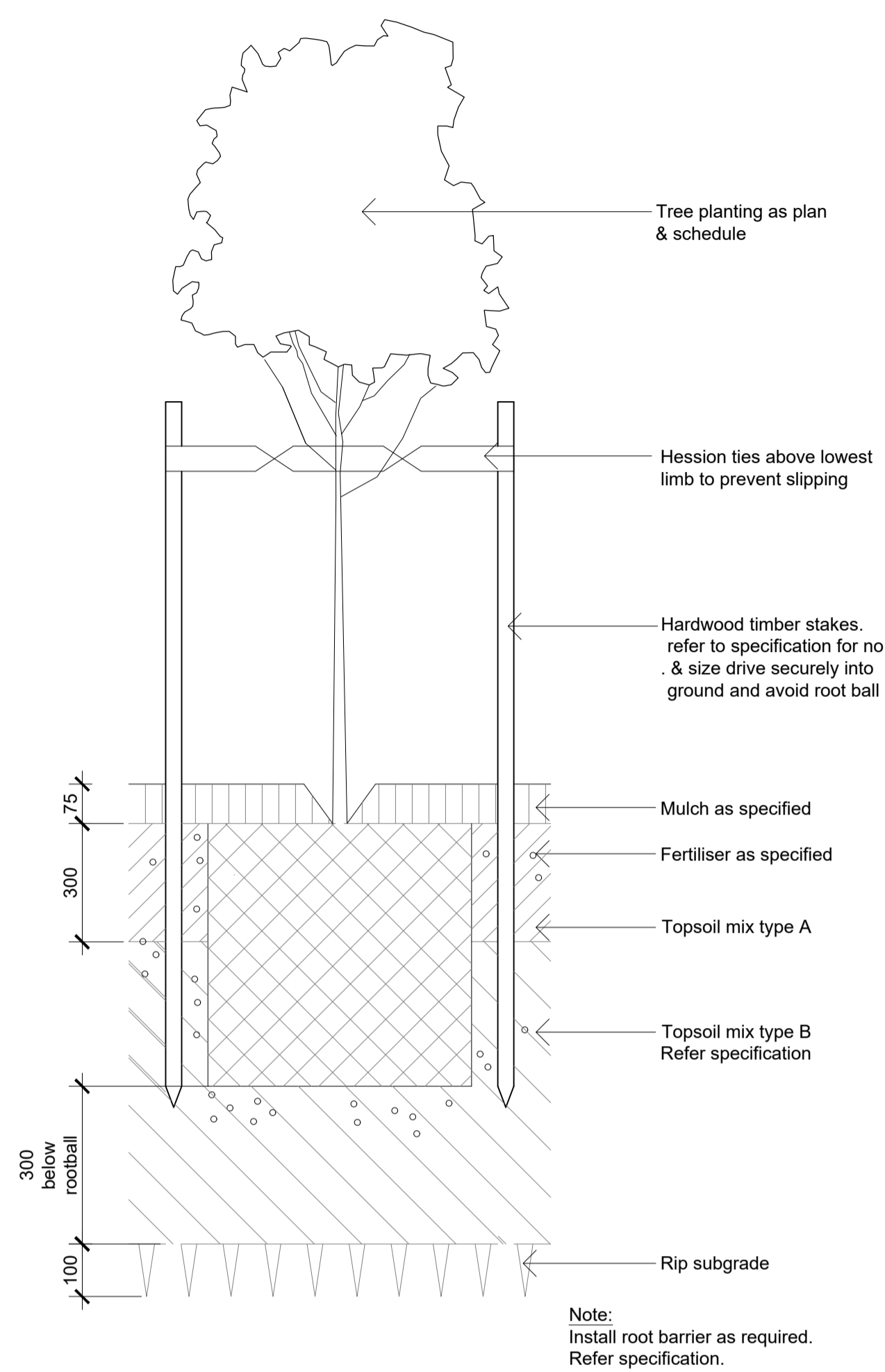
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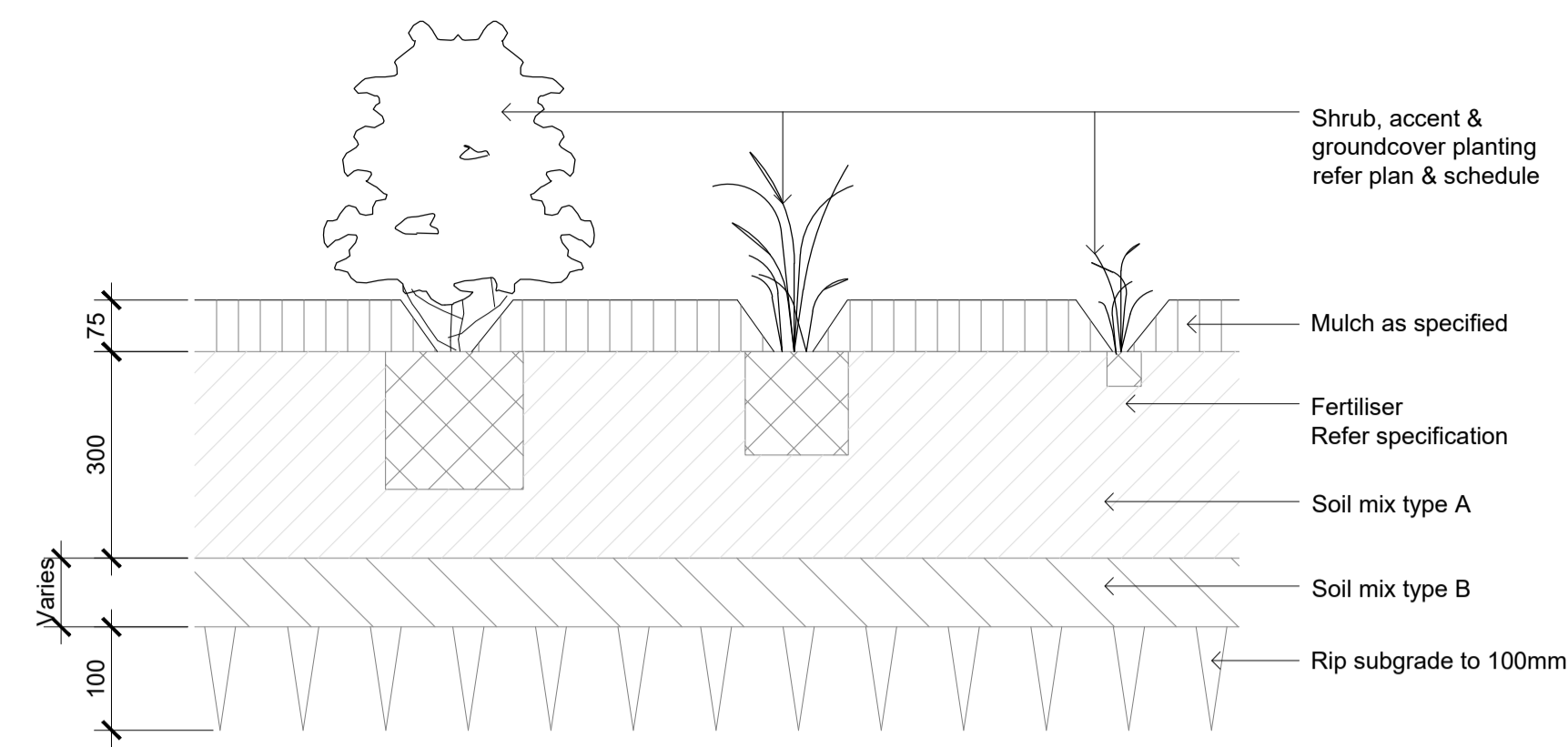
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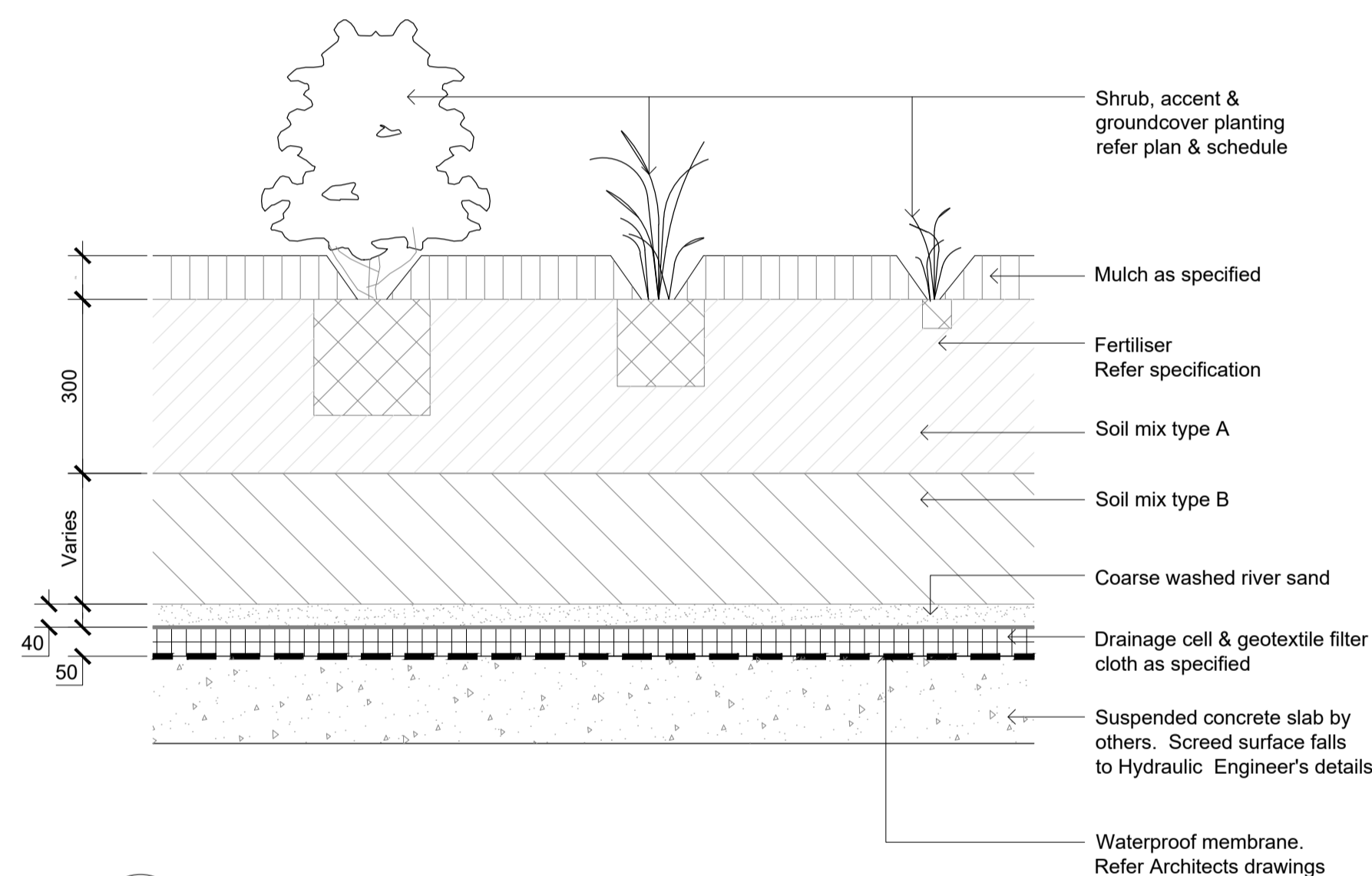
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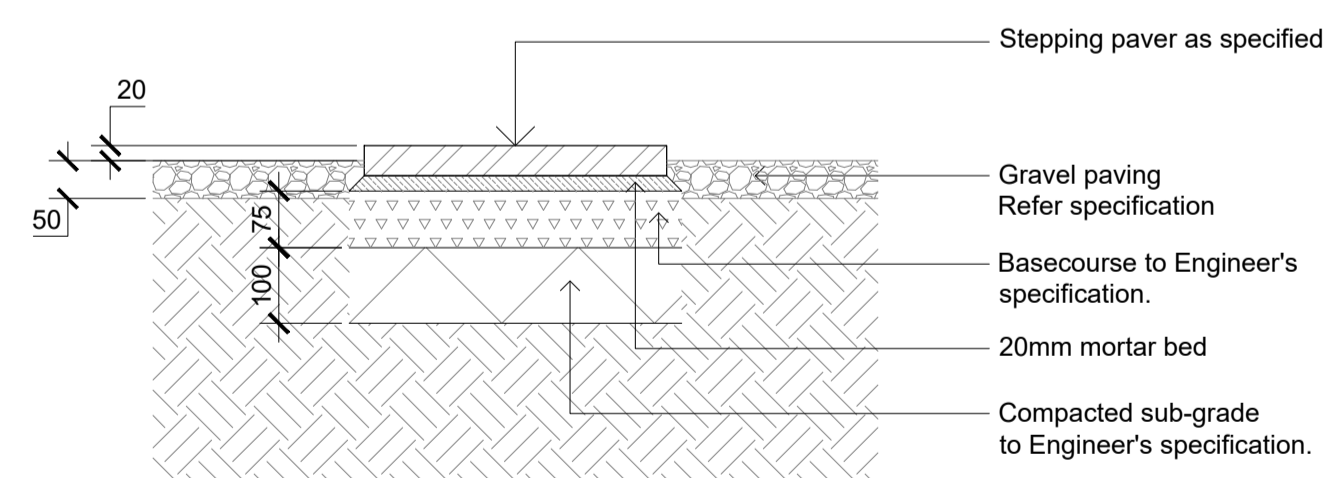
01 DETAIL - 75-200L TREE PLANTING ON GRADE
1:10



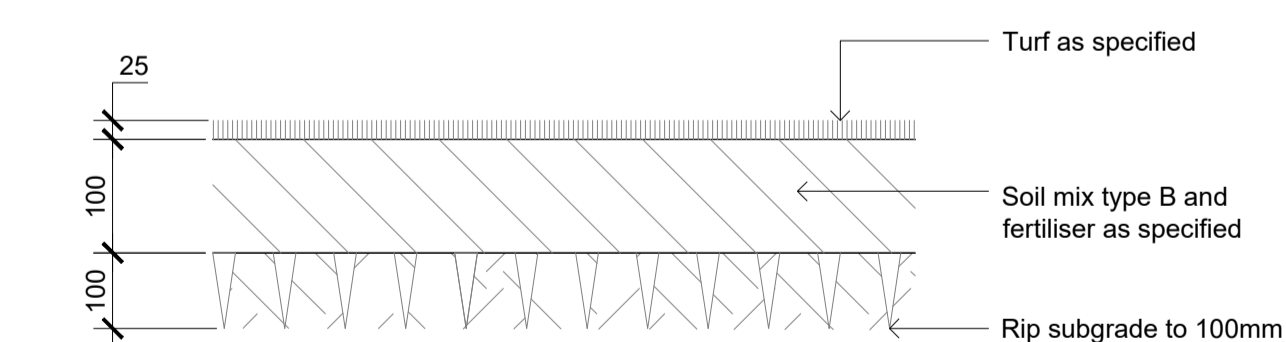
03 DETAIL - SHRUB, ACCENT & GROUNDCOVER PLANTING ON GRADE
1:10



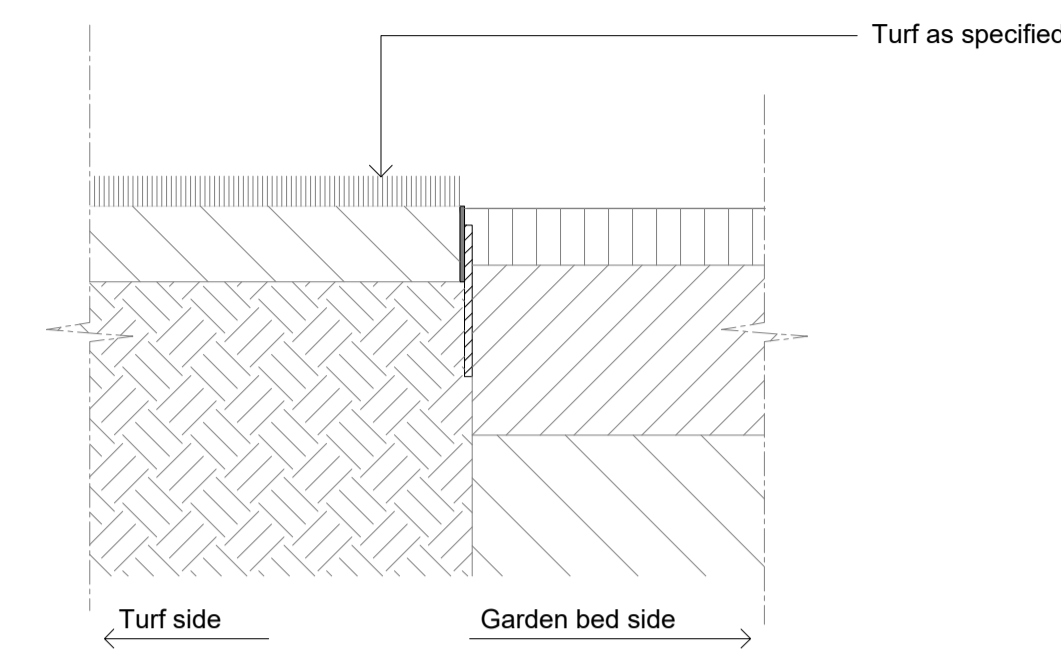
04 DETAIL - SHRUB, ACCENT & GROUNDCOVER PLANTING ON SLAB
1:10



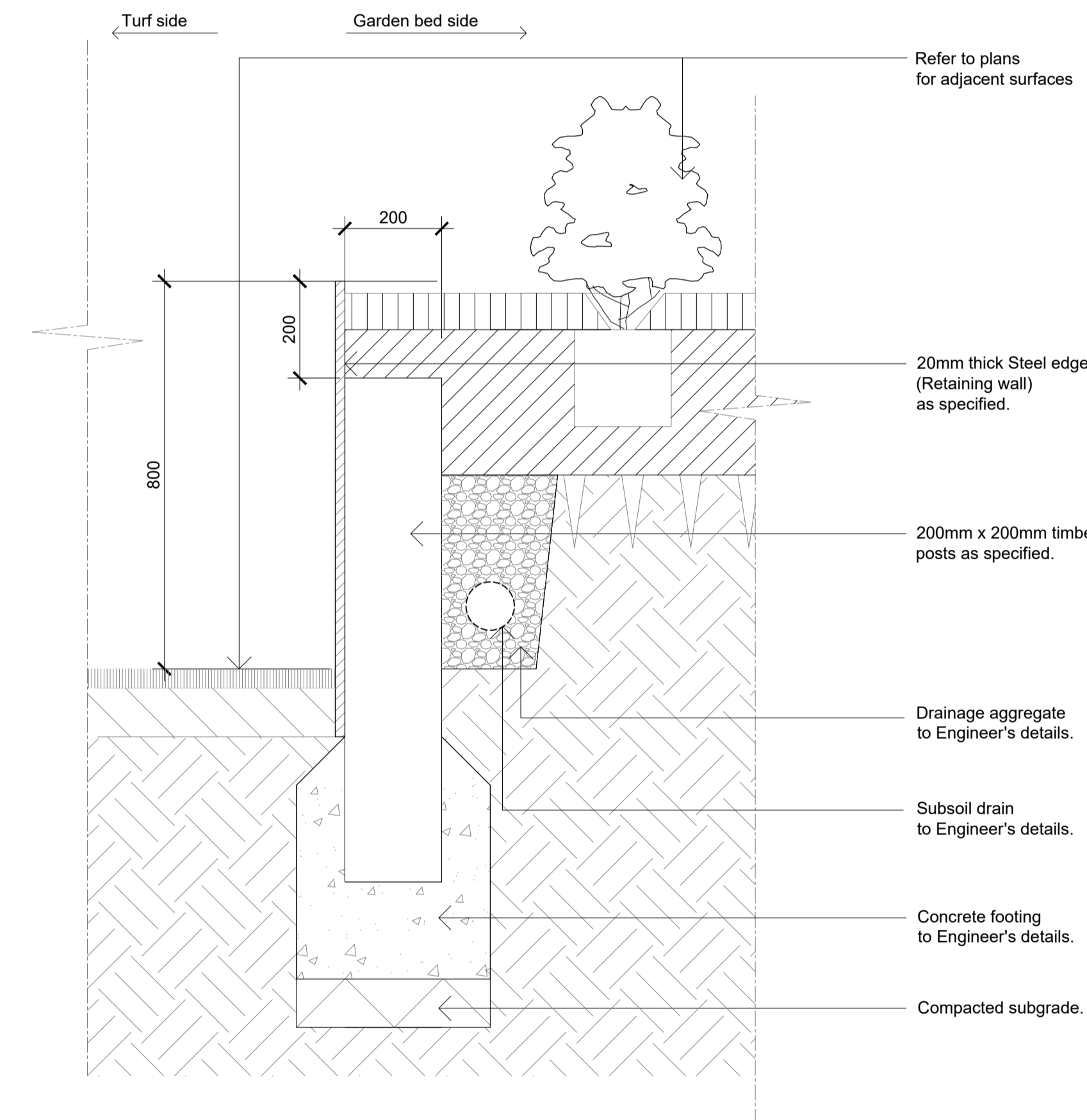
02 STEPPING PAVER IN GRAVEL ON GRADE
SCALE 1:10



05 DETAIL - TURF ON EVEN GRADE
1:10



06 TYPICAL MILD STEEL EDGE
SCALE 1:10



07 TYPICAL SECTION MILD STEEL EDGE (RETAINING WALL)
SCALE 1:20

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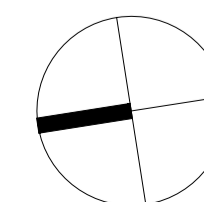
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Issue	Revision Description	Drawn	Check	Date
D	Development Application	BS	RS	29.03.2023
C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
A	Development Application	PH	RS	16.06.2021

LEGEND

Key Plan:



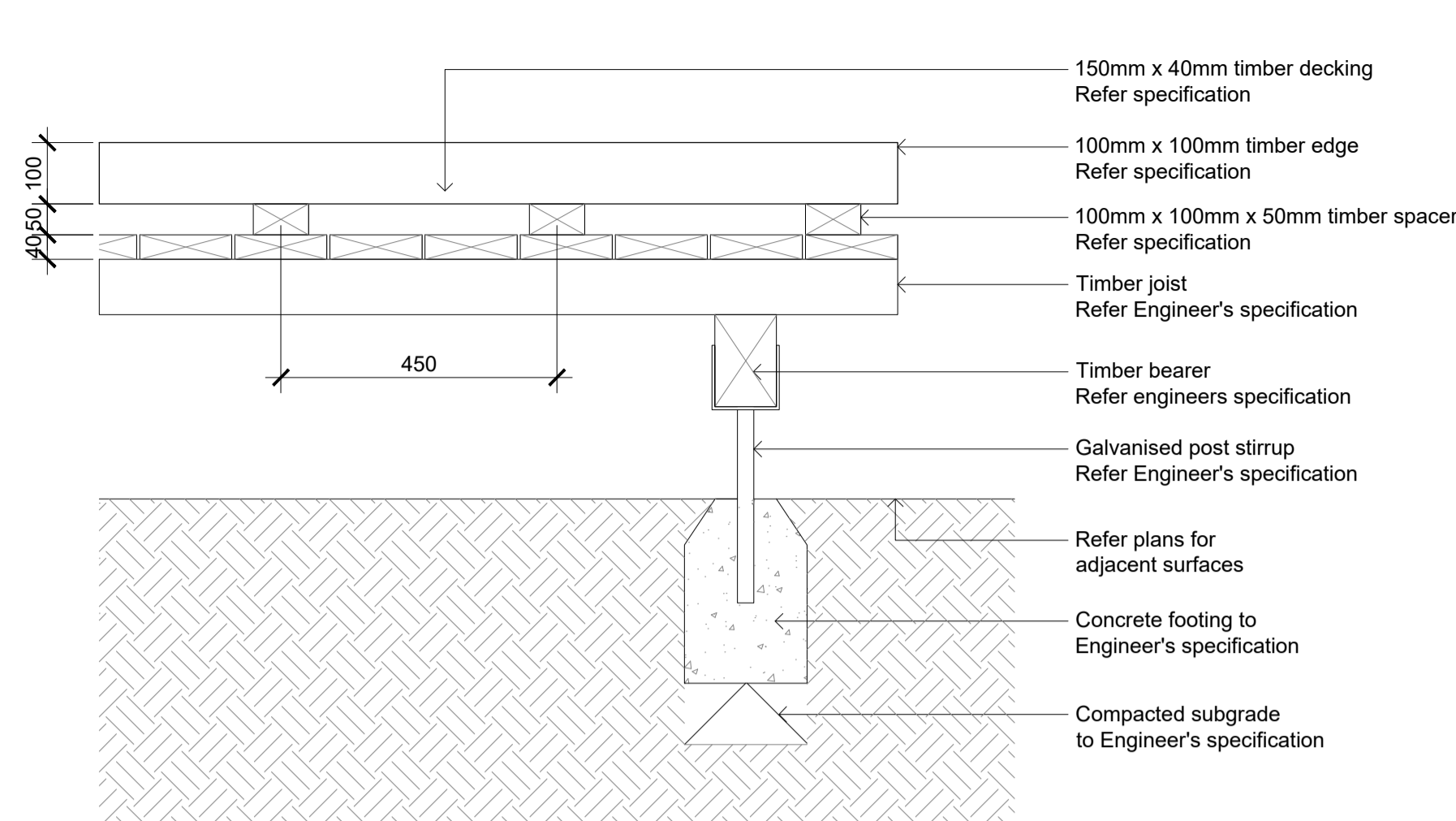
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Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Norbeach Investments
Project:
JFA Apartments
4 - 6 Macpherson Street
Cremorne

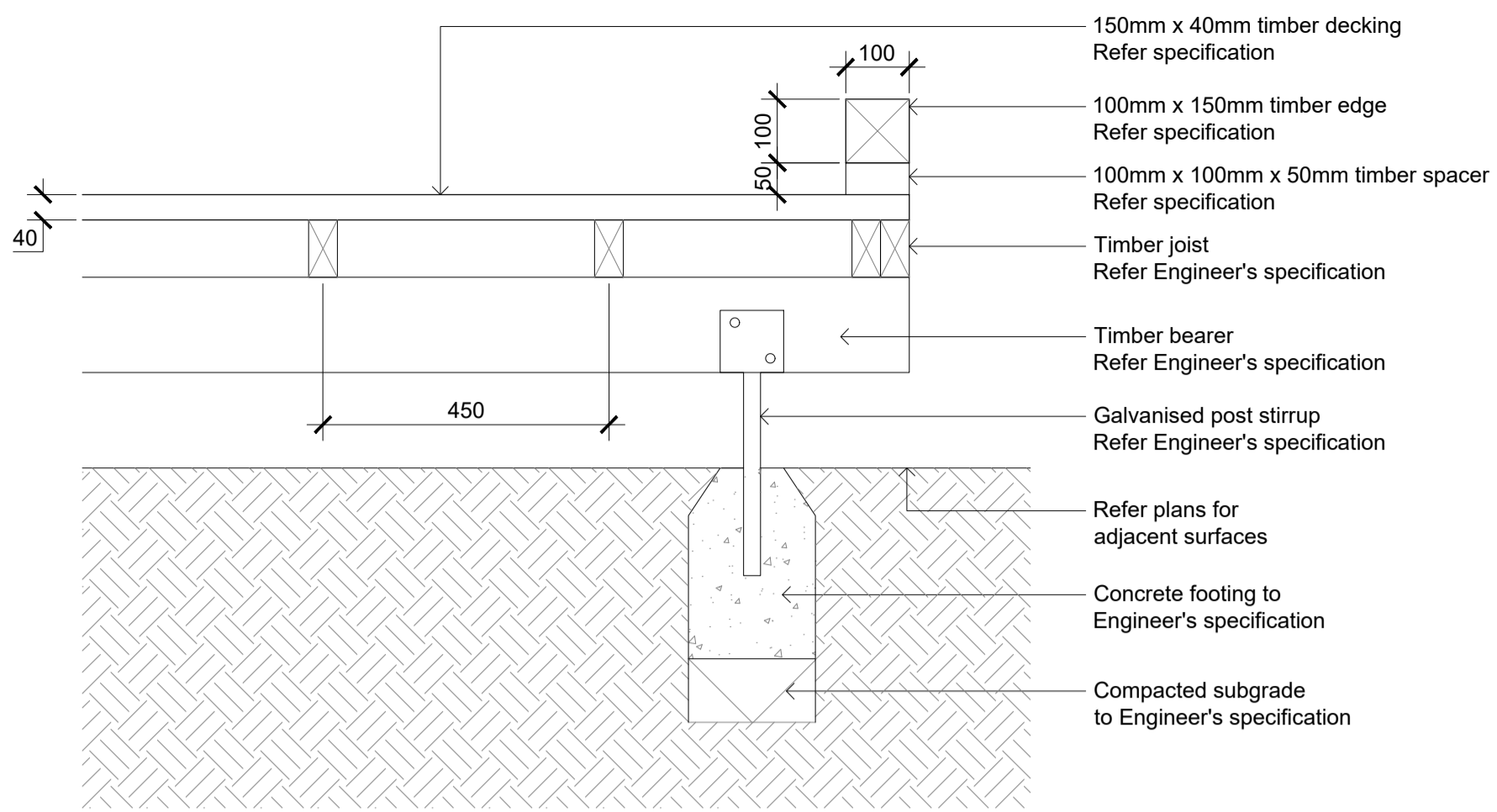
Drawing Name:
Landscape Details 01

DEVELOPMENT APPLICATION

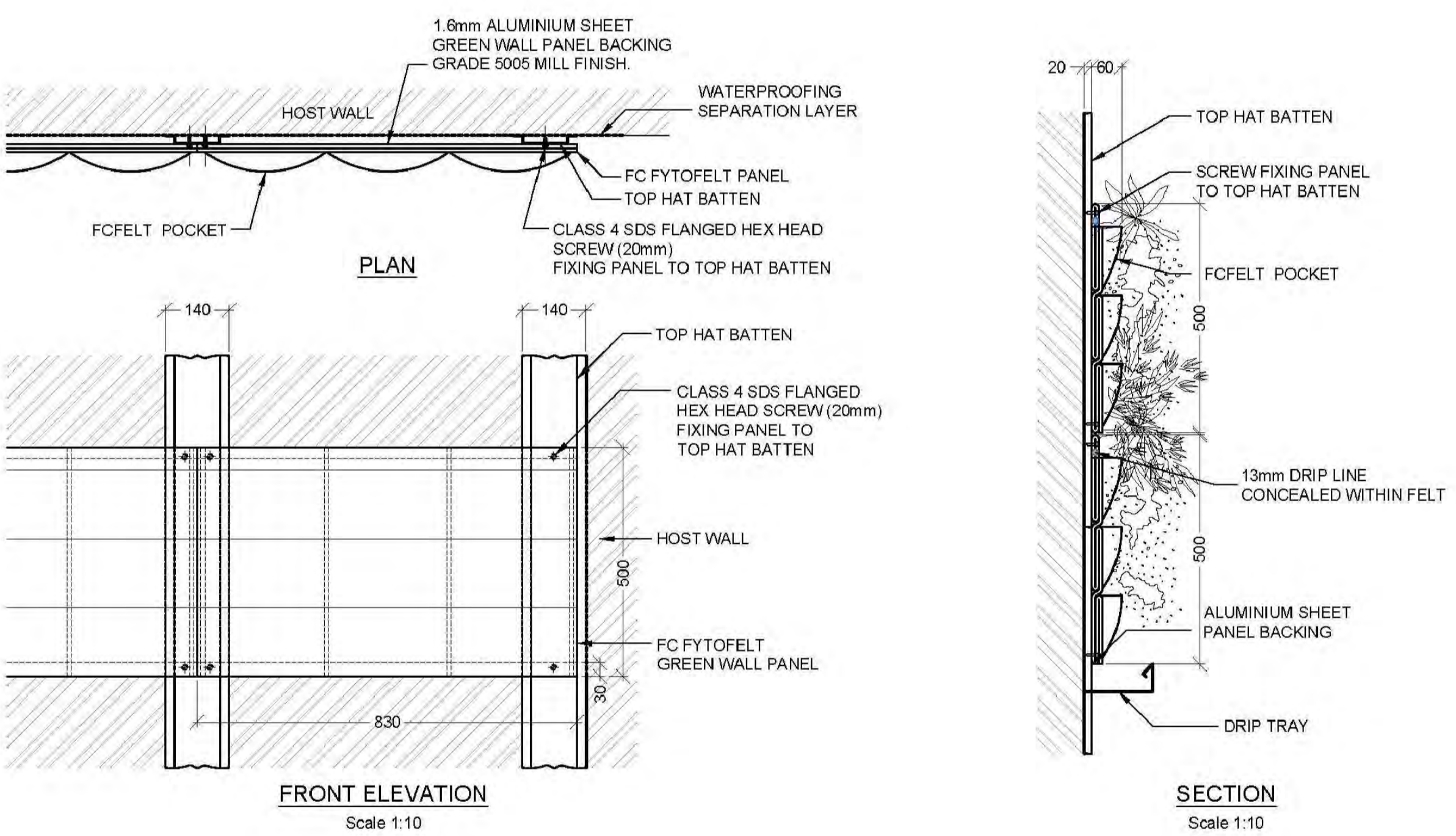
Scale: As Shown @ A1
Job Number: SS21-4699
Drawing Number: 105
Issue: D



01 Raised Timber Deck - Section AA
106 1:10



02 Raised Timber Deck - Section BB
106 1:10



Green Wall Indicative Plant Schedule		
Botanical Name	Common Name	Mature size H x W (m)
<i>Aspistra elatior</i>	Cast Iron Plant	0.4 x 0.5
<i>Carpobrotus glaucescens</i>	Pig Face	0.15 x 1
<i>Clivea miniata</i>	Kaffir Lily	0.45 x 0.4
<i>Dianella caerulea</i>	Native Flax Lily	0.4 x 0.4
<i>Geranium sp.</i>	Geranium	0.5 x 0.5
<i>Hemigraphis alteranta</i>	Purple Waffle Plant	0.7 x 0.7
<i>Hoya camosa</i>	Wax Flower	0.7 x 0.1
<i>Liriope musccari</i>	Lily Turf	0.4 x 0.4
<i>Nephrolepis sp</i>	Sword Fern	0.7 x 0.7
<i>Philodendron xanadu</i>	Xanadu	1.2 x 1.2
<i>Plectranthus argentatus</i>	Silver Spurflower	0.7 x 1.0
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3 x 1.5
<i>Viola hederacea</i>	Native Violet	0.15 x 0.5

Typical green wall maintenance notes:

Maintenance notes are only typical and site specific advice will be determined by specialist green wall consultant.

- Each green wall panel will have an irrigation line installed at its top.
- The green wall will have a drainage catchment tray beneath it that will capture water and drain the water to a sewage outlet as there will be low levels of fertiliser nutrients in the runoff.
- Maintenance of the green walls can be performed with the use of either permanent rigid static lines or Davitt Arms. Green waste from the maintenance activities will be lowered to the ground and taken off site to be composted in green waste facilities.
- A maintenance schedule and management plan for the proprietary system to will be determined by the green wall specialist consultant to suit site specific conditions, factoring in aspect, water requirements and planting species selected.

NOTE:

- Green wall details are indicative only, expressing style and type of green wall that can be installed. Analysis and workshop drawings to be completed by specialist green wall consultant to determine specific fixtures, irrigation requirements and lighting required.
- Indicative planting species shown in the schedule would provide a successful outcome, however would be subject to further analysis of site conditions and input from specialist greenwall consultant.

03 Indicative Green Wall Details - Proprietary Fytogreen System by Fytogreen
106 1:10

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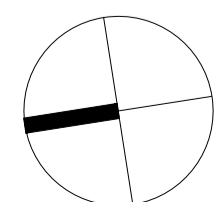
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Issue	Revision Description	Drawn	Check	Date
F	Development Application	JW	RS	03.08.2023
E	Development Application	BS	RS	28.07.2023
D	Development Application	BS	RS	29.03.2023
C	Development Application	EN	RS	22.10.2021
B	Development Application	PH	RS	15.07.2021
A	Development Application	PH	RS	16.06.2021

LEGEND

Key Plan:



SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9686 2877
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Project:
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Cremorne

Drawing Name:
Landscape Details 02

Scale: **As Shown @ A1**

Job Number: **SS21-4699**

Drawing Number: **106**

Issue: **F**

DEVELOPMENT APPLICATION

ID	W 101	W 102	W 103	W 104	W 105	W 106	W 107	W 108	W 109
Nominal W x H Size	900x1,650	900x1,650	2,100x1,650	600x1,350	2,050x1,650	900x1,650	854x1,650	600x1,650	2,470x2,400
Frame		Aluminium	Aluminium	Aluminium				Aluminium	

ID	W 110	W 111	W 112	W 113	W 114	W 115	W 116
Nominal W x H Size	2,100x1,650	2,100x1,650	1,050x1,650	3,600x2,400	1,750x1,650	1,200x1,650	2,050x1,650
Frame		Aluminium	Aluminium				Aluminium

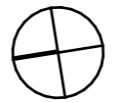
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Frame				Aluminium	Aluminium	Aluminium		

Document Set ID: 405966
 Version: 1, Version Date: 16/05/2023

revisions		
RevID	Date	Description
H	20/7/21	Issued for DA
I	20/10/21	Issued for DA
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

notes

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CORBEN ARCHITECTS
 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Window and Door Schedule 1	job no.	JFA	dwg no.	DA27
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments	scale	1:1	checked	PC		

ID	W 206	W 207	W 208	W 209	W 210	W 211	W 212
Nominal W x H Size	3,088x1,650	900x1,650	900x1,650	700x1,650	3,000x2,400	2,100x1,650	1,000x1,650
Frame							Aluminium

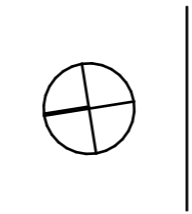
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Nominal W x H Size	2,100x1,650	4,267x2,400	600x1,650	1,750x1,650	2,300x2,400
Frame	Aluminium		Aluminium	Aluminium	

ID	W 218	W 301	W 302	W 303	W 304	W 305	W 306
Nominal W x H Size	2,800x2,400	900x1,650	900x1,650	2,100x1,650	1,320x1,650	900x1,650	3,088x1,650
Frame			Aluminium	Aluminium	Aluminium		

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RevID	Date	Description
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I	20/10/21	Issued for DA
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

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 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Window and Door Schedule 2
address	4-6 Macpherson Street Cremorne	issue	S4.55
client	Norbeach Investments		

job no.	JFA	dwg no.	DA28
drawn	AG	revision	P
checked	PC		
scale	1:1		

ID	W 307	W 308	W 309	W 310	W 311	W 312	W 313
Nominal W x H Size	900x1,650	900x1,650	700x1,650	3,000x2,400	2,100x1,650	1,000x1,650	2,100x1,650
Frame						Aluminium	Aluminium

ID	W 314	W 315	W 316	W 317	W 318	W 401
Nominal W x H Size	4,267x2,400	600x1,650	1,750x1,650	2,300x2,400	2,800x2,400	900x1,650
Frame		Aluminium	Aluminium			Aluminium

ID	W 402	W 403	W 404	W 405	W 406	W 407	W 408	W 409	W 410
Nominal W x H Size	900x1,650	1,200x1,650	1,320x1,650	600x3,050	900x1,650	3,088x1,650	900x1,650	900x1,650	700x1,650
Frame	Aluminium	Aluminium	Aluminium	Aluminium					

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RevID	Date	Description
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I	20/10/21	Issued for DA
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

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 PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Window and Door Schedule 3	job no.	JFA	dwg no.	DA29
address	4-6 Macpherson Street Cremorne	issue	S4.55	drawn	AG	revision	P
client	Norbeach Investments	scale	1:1	checked	PC		

ID	W 411	W 412	W 413	W 414	W 415	W 416
Nominal W x H Size	3,000x2,400	2,100x1,650	1,000x1,650	1,000x1,650	900x1,650	3,300x2,400
Frame			Aluminium			

ID	W 417	W 418
Nominal W x H Size	3,900x2,400	4,500x2,400
Frame		

ID	SKY-01	SKY-02
Nominal W x H size	870x1,275	870x1,275
Frame		

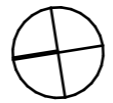
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ReviD	Date	Description
H	20/7/21	Issued for DA
I	20/10/21	Issued for DA
N	14/4/23	S4.55 - WIP
P	27/4/23	S4.55 - A

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PO Box 1021 Neutral Bay NSW 2089 Australia
 02 9904 1844
 mail@corben.com.au
 corben.com.au
 Nominated Architect Philip Corben (Reg No. 1618)

project	#Project Description	title	Window and Door Schedule 4	job no.	JFA	dwg no.	DA30
address	4-6 Macpherson Street Cremorne	client	Norbeach Investments	drawn	AG	revision	P
issue	S4.55	scale	1:1				