

**NSLPP MEETING HELD ON 06/03/24****Attachments:**

1. Site Plan
2. Architectural Plans and Shadow Diagrams
3. Heritage Impact Statement

**ADDRESS/WARD:** 9 Oak Street, North Sydney 2060 (E)**APPLICATION No:** 320/23**PROPOSAL:** Alterations and additions to an existing semi-detached dwelling house and associated works**PLANS REF:**

Plan No.	Rev No.	Description	Prepared by	Dated
A000	-	Drawing Register, Notes & Schedules	Plan Source	24/10/2023
A002	-	Survey Detail at Side Passage	Plan Source	24/10/2023
A003	-	Exterior Finishes Schedule	Plan Source	24/10/2023
A020	-	Existing/Demo Site Plan	Plan Source	24/10/2023
A021	-	Proposed Site & Landscape Plan	Plan Source	24/10/2023
A100	-	Existing Ground Floor Plan	Plan Source	24/10/2023
A101	-	Ground Floor Demolition Plan	Plan Source	24/10/2023
A102	-	Proposed Ground Floor Plan	Plan Source	24/10/2023
A111	-	Demo & Proposed Roof Plans	Plan Source	24/10/2023
A202	-	South Elevation (Rear) Demolition	Plan Source	24/10/2023
A203	-	Proposed South Elevation (Rear)	Plan Source	24/10/2023
A204	-	Existing West Elev (Side) & Wheeler Lane Streetscapes	Plan Source	24/10/2023
A205	-	West Elevation (Side) Demolition	Plan Source	24/10/2023
A206	-	Proposed West Elevation (Side)	Plan Source	24/10/2023
A301	-	Long Section Y1 Demolition	Plan Source	24/10/2023
A302	-	Proposed Long Section Y1	Plan Source	24/10/2023
A303	-	Existing Cross Section X1 & Demo X2	Plan Source	24/10/2023
A304	-	Proposed Cross Sections X1 & X2	Plan Source	24/10/2023
A305	-	Cross Sections X3 & X4 Demolition	Plan Source	24/10/2023
A306	-	Proposed Cross Sections X3 & X4	Plan Source	24/10/2023
-	-	Construction Traffic Management Plan for 9 Oak Street, North Sydney	LOKA Consulting Engineers P/L	22/9/2023
A	-	Arboricultural Impact Assessment	Complete Arborcare	8/2/2023

**OWNER:** 9 Oak Street Pty Ltd**APPLICANT:** Michael Sandel**AUTHOR:** Rachel Wu, Assessment Officer**DATE OF REPORT:** 7 February 2024**DATE LODGED:** 31 October 2023**RECOMMENDATION:** Approval, subject to conditions

## EXECUTIVE SUMMARY

This development application seeks approval for alterations and additions to an existing semi-detached dwelling and associated works and is reported to North Sydney Local Planning Panel for determination due to demolition proposed to the local heritage item identified as 'House' (I0948) under Schedule 5 of NSLEP 2013.

**The application is referred to the North Sydney Local Planning Panel for determination in accordance with the Minister's Directions for development involving the demolition, including partial demolition of a heritage item.**

The subject site is identified as a scheduled heritage item [I0948] and is located within the Edward Street conservation area (CA17).

The site is part of a distinctive group of dwellings dominated by Victorian and Victoria-Georgian-style terraces and attached/semidetached cottages on slender sites. These items are significant for being part of important relics of early township development in North Sydney, which with 'Don Bank' house form an enclave of the smallest form of terrace houses in the middle of large modern commercial buildings. The workers cottages visually appear as a continuous group of eight, with two physically separated groups of four dwellings. Collectively, the early workers cottages in Oak and Edward Street contribute to the low scale development that forms the early township development of North Sydney.

Typically, the residences have vehicular access and parking off either Oak Lane or Wheeler Lane. It is noted that the properties at No.1, 11 and 13 Oak Street were granted approval for first-floor additions.

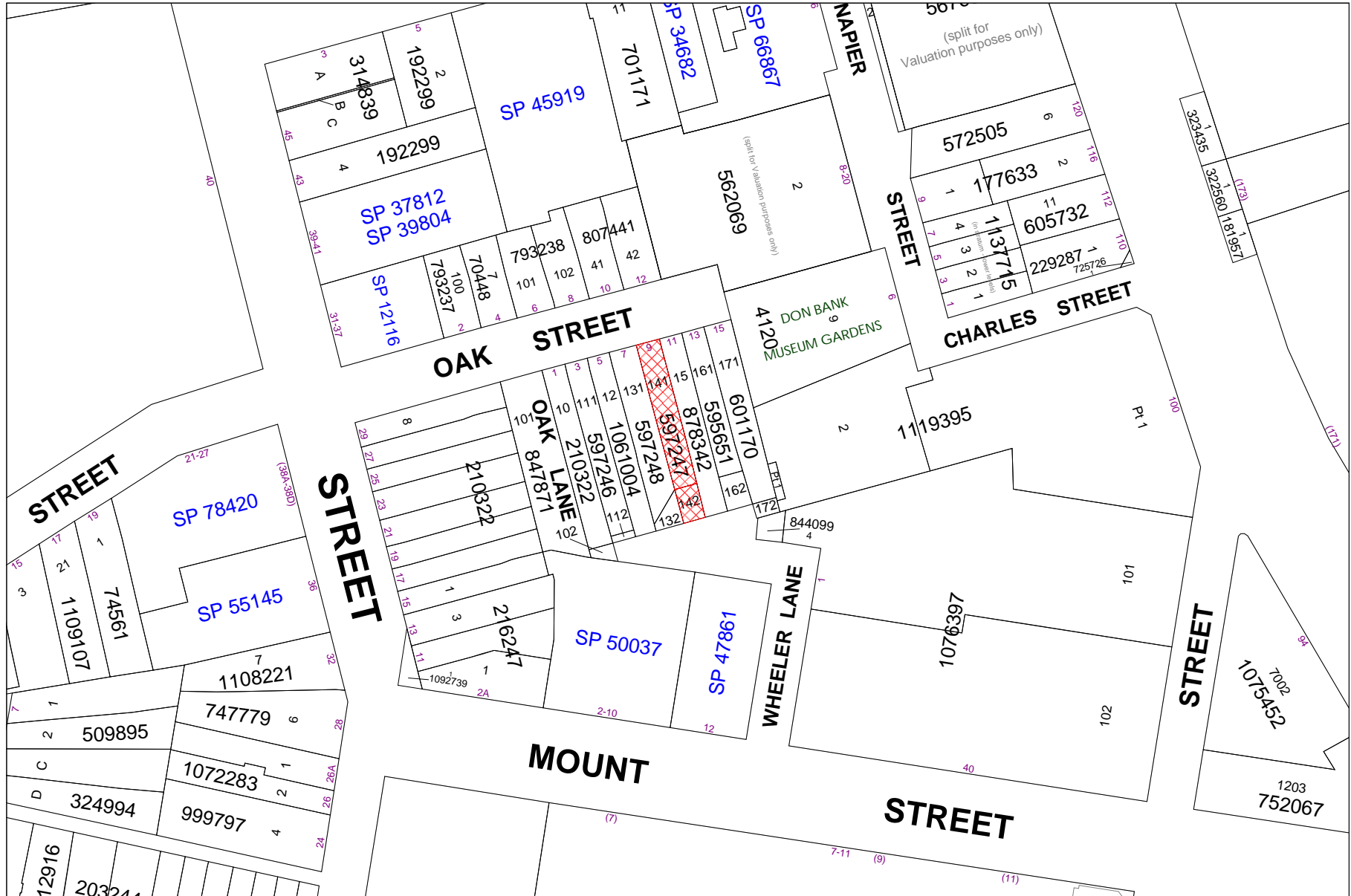
A detailed assessment of the potential impact to the heritage significance of the dwelling has been undertaken in the following assessment. The proposal is considered to achieve the Heritage conservation provisions of the North Sydney DCP 2013 and complies with objectives of NSLEP 2013 cl 5.10 (1)(a) and (b) and is supported on heritage grounds.

Conditions are recommended to require the retention and re-use of a double hung window from the existing kitchen to the new study area, retention of the existing sandstone base and brick wall skin along the eastern side of the service wing; and appropriate re-use of bricks from the new window openings to brick up the existing kitchen window opening.

Notification of the proposal has attracted nil (0) submissions. The application otherwise complies with the maximum permissible height of buildings and is consistent with the scale and form of similar development on adjoining sites within the group of dwelling fronting Oak Street.

The design of the proposal is considered to be appropriate to the heritage significance of the dwelling and is compatible with the pattern of development in Oak Street. The application has been assessed against Council's planning requirements and found to be satisfactory. The application is recommended for **approval** subject to conditions.

**LOCATION MAP**



□ Property/Applicant    ● Submitters - Properties Notified

### DESCRIPTION OF PROPOSAL

The development application seeks approval for ground floor additions to the rear of the semi-detached dwelling, landscaping and associated works. The two front bedrooms and hallway will be retained, the existing living room fireplace is proposed to be demolished to make way for hallway to access the additions to the rear spaces, and the rest of the existing rooms demolished for a new study, bathroom & laundry, kitchen, dining & living area.

The roof above the proposed Dining and Living area is proposed to be demolished and replaced. Minor excavation only is proposed to install the footings below the proposed Dining and Living space.

The proposal also seeks to remove the metal shed, construct a new pathway at the rear of the northern lot, and remove the concrete 'L-shape' surface on the southern lot. A timber screen is proposed 3.3m from the rear boundary of the smaller Lot 142.

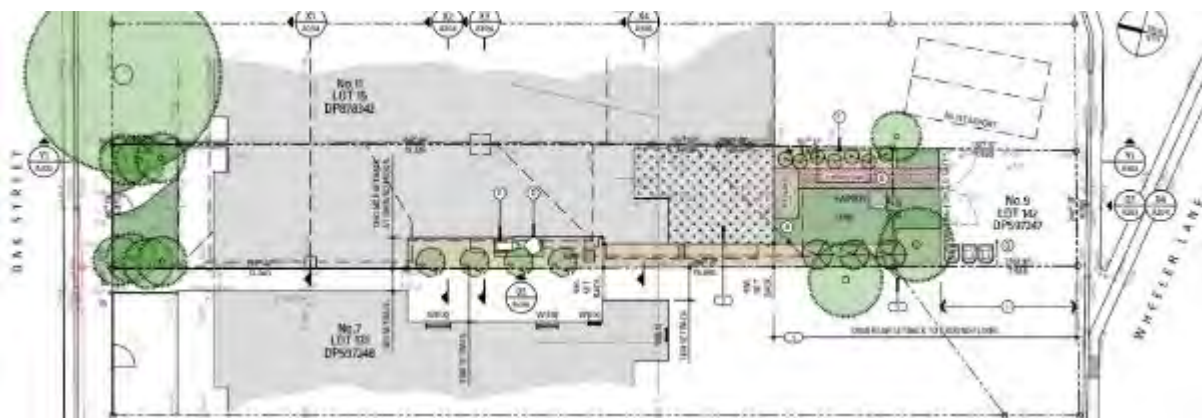


Figure 1: Proposed Site & Landscape Plan



Figure 2: Proposed Ground Floor Plan

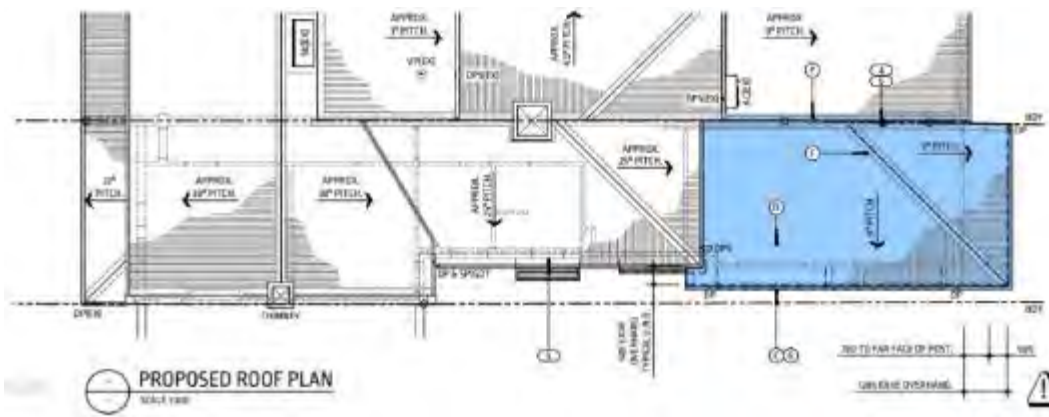


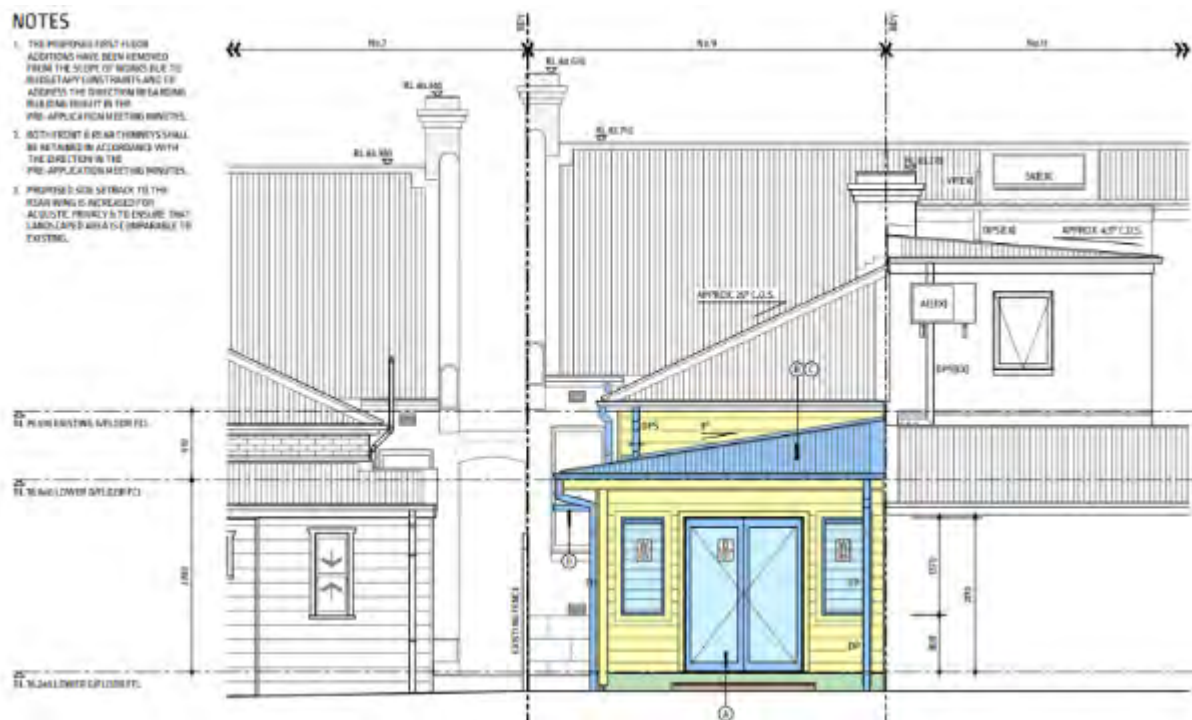
Figure 3: Proposed Roof Plan



Figure 4: Proposed Long Section



Figure 4a: Proposed West Elevation



**Figure 5: Proposed Southern Elevation**



**Figure 6 (left): Existing Wheeler Lane Streetscape**  
**Figure 6a (right): Proposed Wheeler Lane Streetscape**

### STATUTORY CONTROLS

- Environmental Planning and Assessment Act 1979 (as amended)
- Environmental Planning and Assessment Regulation 2000
- SEPP (Biodiversity and Conservation) 2021 - Chapter 2 Vegetation in Non-Rural Areas
- SEPP (Resilience and Hazards) 2021
- SEPP (Building Sustainability Index: BASIX) 2004
- North Sydney Local Environmental Plan 2013
- Zoning – R2 Low Density Residential
- Lot Size – 230m<sup>2</sup>
- Item of Heritage – Yes, 'House' on Lot 141 in DP597247 (I0948)
- In Vicinity of Item of Heritage – Yes, 1 – 13 Oak Street (I0940 – I0952), Don Bank Museum Gardens (I0926)
- Conservation Area – Yes, Edward Street Conservation Area (CA17)

## **POLICY CONTROLS**

North Sydney Development Control Plan 2013  
North Sydney Local Infrastructure Contributions Plan 2020

## **DESCRIPTION OF LOCALITY**

The subject site comprises two (2) separate allotments that are legally described as Lot 141 and Lot 142 in DP597247 and collectively known as No. 9 Oak Street, North Sydney. The site is on the southern side of Oak Street and the northern side of Wheeler Lane. The site has a total site area of 196.1m<sup>2</sup> with frontages of 5.075m to Oak Street, and 4.705m to Wheeler Lane. The subject site currently contains a single-storey, semi-detached brick dwelling to No.11 Oak Street. Timber paling fences exist between the properties No.7, 9 and 11 Oak Street. Vehicular parking is accessible from Wheeler Lane.

Oak Street is generally dominated by Victorian and Victoria-Georgian-style terraces and attached/semidetached cottages on slender sites with descending scales of form that primarily present as single storey buildings from the street. Typically, the residences have vehicular access and parking off either Oak Lane or Wheeler Lane. It is noted that the properties at No.1, 11 and 13 Oak Street were granted approval for first-floor additions.

The subject site is within the R2 Low Density Residential zone that adjoins the North Sydney Centre and Special Area (CBD) and Mixed-Use zone (MU1). The subject site is also identified as an item of local heritage significance in the NSLEP 2013 'House' (Heritage Item I0948) and is within the Edward Street Conservation Area (CA17). The site's significance is detailed within the heritage comments later in the report.



***Figure 7: Front of subject site (painted purple) – view from Oak Street***



*Figure 8: Rear of subject site – view from Wheeler Lane*



*Figure 9: Existing Living Space, view from Kitchen entry towards front of property*





*Figure 10: View from Patio to rear of subject site (south)*



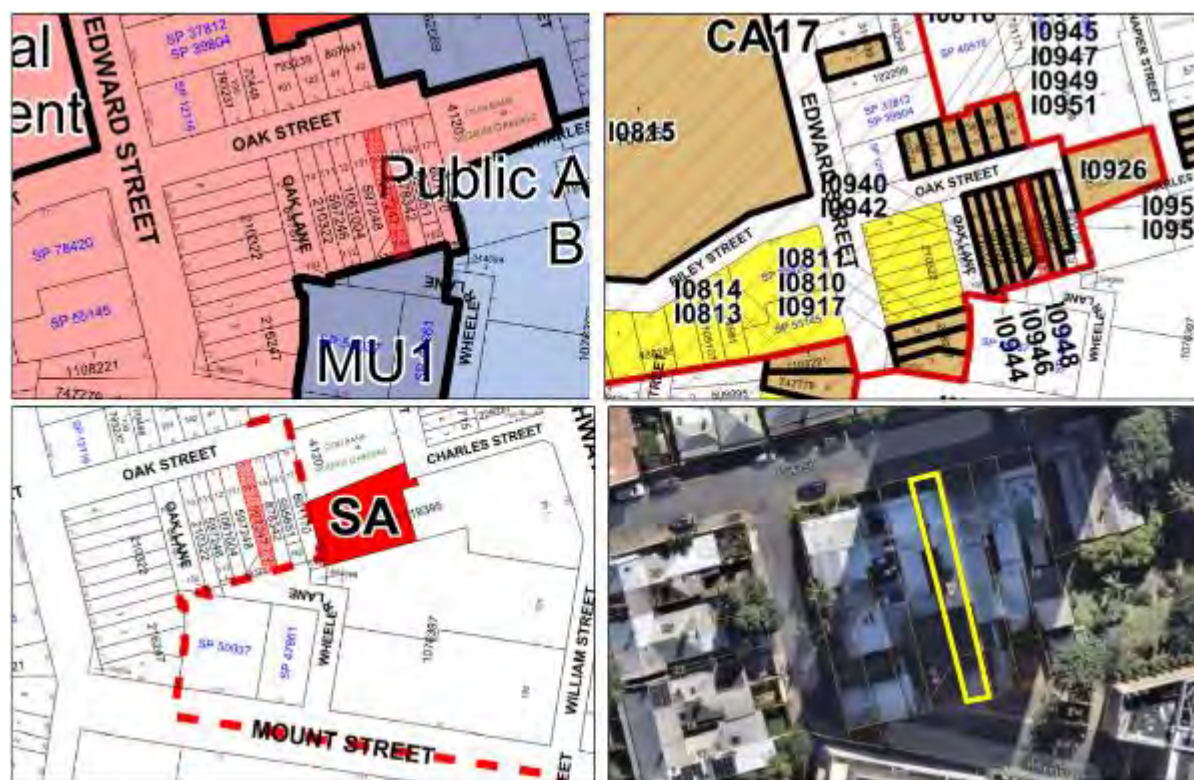
*Figure 11: View from rear garden to rear façade of dwelling*



***Figure 12: View from subject site (rear) to the neighbouring buildings south***



***Figure 13: View from front of subject site to the east***



**Figure 14-17: Zoning map (upper left corner), Heritage map (upper right corner), North Sydney Centre map (bottom left corner) showing subject site (in red hatch) outside of North Sydney Centre and Special Area (CBD) and Aerial Plan (bottom right corner) showing subject site (outlined in yellow) and existing 12pm shadow from neighbouring building (to the north)**

## RELEVANT HISTORY

A Pre DA meeting was held on 26 June 2023 relating to a proposal for alterations and additions to the existing semi-detached dwelling including the addition of a First Floor onto the single-storey dwelling.

### Previous applications

Relevant development applications are listed below:

Plan of Subdivision of Lot 14 registered on 27 November 1978 for the subdivision of Lot 14 in DP210322 into two (2) lots (Lot 141 and Lot 142 in DP597247).

Development Application 365/12 granted approval on 14 December 2012 for the demolition of two internal walls, fireplace and chimney breast within the single-storey terrace dwelling on Lot 141 in DP597247. The reason for approval is provided below:

*“The proposal is for the removal of an interior wall, a fireplace and chimney breast, in order to provide a larger living space. The works are entirely internal and will not impact on the significance of the item, as the associated chimney will be retained above the roof line.”*

## Adjoining site 11 Oak Street, North Sydney

**DA568/03** granted approval for 11 Oak Street, North Sydney on 1 July 2004 for alterations and additions to an existing building including the creation of a new first-floor, demolition of an existing pergola and construction of a carport towards the rear of the site. The carport currently contains a door that is not approved and is setback from the laneway by approximately 1.49m.

### Current Application

<i>Date</i>	<i>Action</i>
31/10/2023	Lodged with Council
17/11/2023	Comments received from Council's Engineering Officer.
30/11/2023	Comments received from Council's Landscape Development Officer.
12/12/2023	External site inspection conducted by Council's Assessment Officer and Conservation Planner. Council staff were not provided with access to the dwelling despite meeting arranged prior.
25/1/2024	Interior site inspection conducted by Council's Assessment Officer and Conservation Planner.
2/2/2024	Referral comments received from Council's Conservation Planner.

## INTERNAL REFERRALS

### Building

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

## HERITAGE

The proposal has been referred to Council's Conservation Planner who provided the comments below:

### ***"1. Heritage status and significance***

*The subject site is identified as a scheduled heritage item [I0948] and is located within the Edward Street conservation area (CA17).*

*The site is part of a distinctive group of dwellings at 1-15 Oak Street, of which 1-13 are identified as heritage items. These items are significant for being part of important relics of early township development in North Sydney, which with 'Don Bank' house form an enclave of the smallest form of terrace houses in the middle of large modern commercial buildings. Relic of one of the earliest private subdivisions on the North Shore. Important relationship with 'Don Bank' in creation of an intimate nineteenth century atmosphere and context for this early house. 15 Oak Street is identified as a neutral item. Regardless, the workers cottages visually appear as a continuous group of eight, with two physically separated groups of four dwellings. Their built form is comparable to the workers cottages at 15-29 Edward Street. Collectively, the early workers cottages in Oak and Edward Street contribute to the low scale development that forms the early township development of North Sydney creating an intimate 19<sup>th</sup> Century atmosphere in the present day.*

*The Edward Street conservation area is significant:*

- (a) As an intact example of early township development in North Sydney*
- (b) As a subdivision of the Priory and Rockleigh Grange Estates.*
- (c) For its grouping of intact and commonly detailed mid Victorian and Federation Houses*

*An inspection of the site was carried out on 12 December 2023 and a follow up inspection was carried out on 25 January 2024 when internal access was made available.*

## **2. Heritage Assessment and Recommendations**

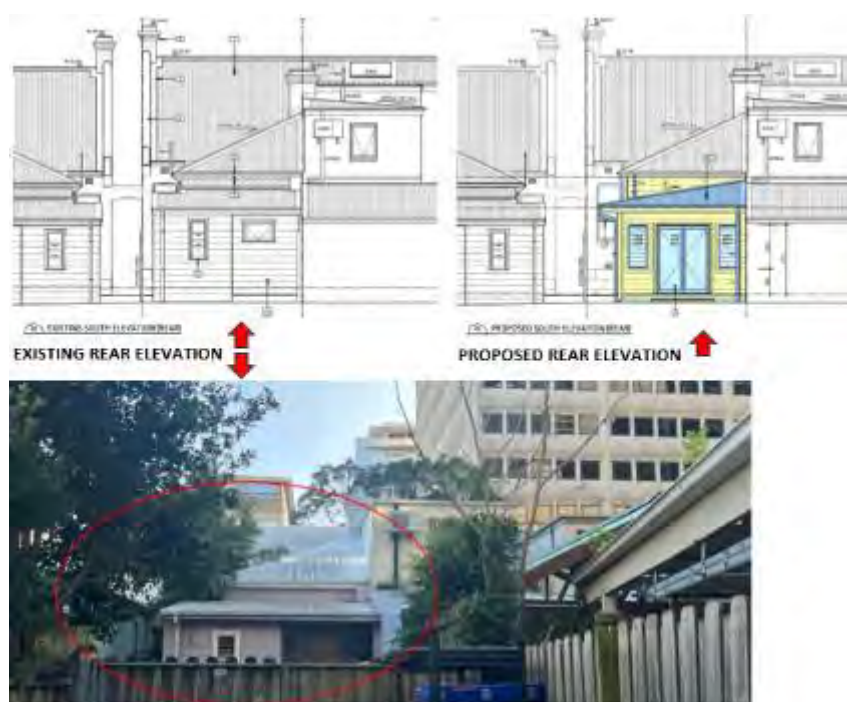
*The proposal for alterations and additions to the subject heritage cottage has been assessed with reference to NSLEP 2013 Part 5 Clause 5.10 Heritage Conservation and NDCP 2013 Section 13 Heritage and Conservation, in particular:*

- 13.4 - Development in the vicinity of heritage items*

*Noting that only numbers 1, 9 and 11 Oak Street retain their single storey scale and overall form, the proposed works are sympathetic to the existing, early form and will create a positive impact on the heritage group for maintaining its existing scale and a form that is complimentary to its early character.*

- 13.5.1 - Protecting heritage significance*
- 13.5.2 - Form, massing, scale*

*The proposed rear addition maintains an appropriate form, massing and scale compatible with the historic character of the group as a whole. The new rear addition replaces a smaller skillion roofed structure with a larger footprint with a shallow pitched hipped roof over. No objection is raised to the side setback will be slightly increased from the existing and the rear building line will acceptably project beyond that at 7 Oak Street to the east of the subject site. The new work successfully maintains an overall scale with a subservient relationship and descending form appropriate to the primary building element. The new works as viewed from Wheeler Lane will strengthen the visual qualities and historic setting of the heritage group of cottages, Don Bank and this part of the Edward Street conservation area.*



#### **13.5.4 - Roofs**

*The principal roof form including the existing chimney stack will remain unchanged. The proposed works will retain a descending roof form to the rear and visually enhance the built form character and setting of the subject site and the neighbouring dwelling at 11 Oak Street which also retains its early single storey-built form. Both front and rear chimneys shall be retained.*

#### **13.5.5 - Interior layouts**

*No changes to the front portion of the cottage are proposed. The existing living room within the rear service wing will be reconfigured to accommodate a new updated bathroom and a small study. The confined nature of the service wing area is such that the new layout will result in the loss of the fireplace and room configuration to make way for the extension of the existing hallway and corridor for access to the rear addition. The floor levels will be adjusted to achieve appropriate internal ceiling heights and facilitate an overall lower scale and subservient relationship to the original form of the cottage and compatibility with the scale of number 7 to the west.*

#### **13.10.2 - Single storey attached dwellings**

*The works are sensitive to the existing scale, form and integrity of the original cottage. See s13.5.2 above.*

#### **13.6 – General objectives**

*The proposal achieves the general objectives of the conservation area – see s 13.5.2 above.*

#### **13.7 – Subdivision and Lot Amalgamations**

*No objection is raised to the proposed amalgamation of the two lots that comprise the subject site.*

**13.9 - Controls for specific building elements – Part C s9.10.4 significant elements.**  
*See s13.5.2 above.*

#### **13.9.4 - Materials, colours and finishes**

*The finishes schedule is acceptable and compatible with the heritage status of the dwelling.*

#### **13.10.2 – Single storey attached dwellings**

*The proposed rear addition maintains the scale, form and integrity of the original/main building.*

#### **13.9.5 Garages and carports**

*The carport is existing. It is proposed to replenish and make good the loose gravel to the parking area on completion of the works.*

### **3. Conclusions & Recommendations**

*With reference to the above, the proposed works are assessed to meet the relevant provisions of NDCP 2013 Part B: Heritage conservation and therefore complies with objectives of NSLEP 2013 cl 5.10 (1)(a) and (b). As such the proposal is supported on heritage grounds with the following recommended conditions:*

#### NON-STANDARD

1. *That the following revisions are to be submitted to Council for approval prior to the issue of any CC, the potential to:*
  - i. *Re-use of the double hung window from the existing kitchen to the new study area.*
  - ii. *Retain the sandstone base and brick wall skin along the eastern side of the service wing below the secondary roof element and reposition the proposed new window.*
  - iii. *Re-use bricks from the new window openings to brick up the existing kitchen window opening.*
- b. *That the front and rear chimneys are to be retained.*
- c. *That a photographic record of the existing dwelling be undertaken for archival purposes.*

#### STANDARD

2. A3 *No Demolition of Extra Fabric*
3. C5 *Colours, Finishes and materials (Heritage items)*
4. C6 *External Colours, Finishes*
5. E5 *Removal of Extra Fabric*

*(Reason: To be sympathetic and to maintain the character and significance of the original dwelling and its context within the Crows Nest Road streetscape and of the character and significance of the Crows Nest Road Conservation Area)*

**Planning comment:** The above comments are noted, the conditions above are included in the recommended conditions end of the report.

## **ENGINEERING**

No objections were raised by Council's Development Engineer. Appropriate conditions are recommended for imposition in the consent.

## **LANDSCAPING**

No objections were raised by Council's Landscape Development Officer. Appropriate conditions are recommended for imposition in the consent.

## **SUBMISSIONS**

Council notified adjoining properties and the Euroka Precinct of the proposed development seeking comment between 17 November to 1 December 2023. Council received nil (0) submissions to the proposal.

## **CONSIDERATION**

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

### **SEPP (Biodiversity and Conservation) 2021 Chapter 2 – Vegetation in Non-Rural Areas**

The proposal meets the objectives of the SEPP because there would be no clearance of native vegetation, or any material impacts on bushland (if any) in the vicinity of the subject site.

### **SEPP (Resilience and Hazards) 2021**

The provisions of the above SEPP require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has only previously been used for residential purposes and as such is unlikely to contain any contamination; therefore, the requirements of the above SEPP have been satisfactorily addressed.

### **SEPP (Building Sustainability Index: BASIX) 2004**

A valid BASIX Certificate (**A502561\_04, dated 22 September 2023**) for an attached dwelling house has been submitted with the application to satisfy the Aims of the SEPP.

## **NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)**

### **1. Permissibility**

The proposed works can be defined as alterations and additions to a semi-detached dwelling and are permissible in the zone with development consent.

### **2. Objectives of the zone**

The objectives for an R2 Low Density Residential zone are stated below:



- *“To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage development of sites for low density housing, including dual occupancies, if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To ensure that a high level of residential amenity is achieved and maintained.”*

The proposal is consistent with the relevant objectives of the zone. Subject to conditions recommended in the consent, the proposal is considered satisfactory.

#### Part 4 – Principal Development Standards

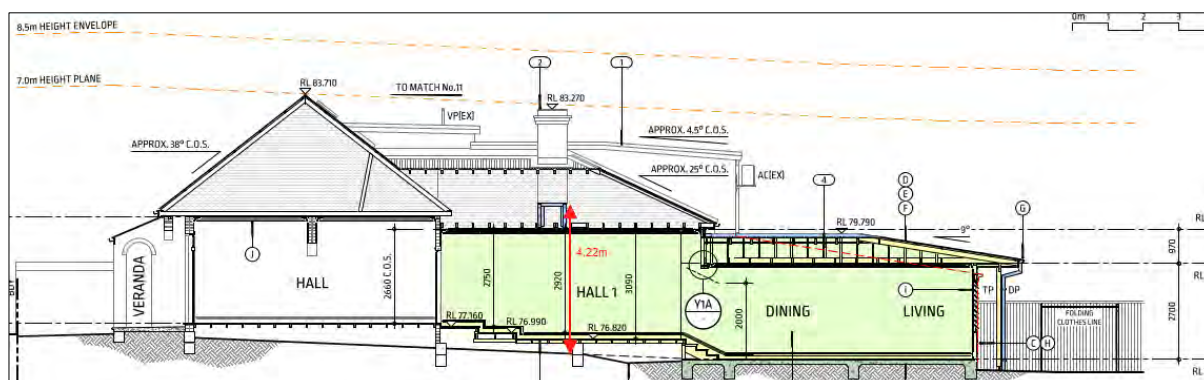
<b>Principal Development Standards – North Sydney Local Environmental Plan 2013</b>			
<b>Site Area – 185.3(m2) comprising Lot 141: 160.3m<sup>2</sup> &amp; Lot 142: 35.8m<sup>2</sup></b>	<b>Proposed</b>	<b>Control</b>	<b>Complies</b>
Clause 4.3 – Heights of Building	4.22m (Proposed work)  7m (Existing dwelling ridge)	8.5m	Yes

### 3. Height of Building

The following objectives for the permissible height limit 8.5m pursuant to clause 4.3 in NSLP 2013 are stated below:

- to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,*
- to promote the retention and, if appropriate, sharing of existing views,*
- to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,*
- to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,*
- to ensure compatibility between development, particularly at zone boundaries,*
- to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.*
- to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone C4 Environmental Living.*

The proposed works would have a height of 4.22m that complies with the permissible height limit of 8.5m in accordance with clause 4.3 in NSLEP 2013. The existing dwelling has a maximum height of 7m measured from natural ground level to the pitched roof in the primary dwelling.



**Figure 18: Measurement annotated NGL to maximum height of proposed works**

#### 4. Heritage Conservation

The subject site is listed as a Heritage Item located in a Conservation Area under Schedule 5 in NSLEP 2013, so the following planning objectives apply to the site:

- “(a) to conserve the environmental heritage of North Sydney,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.”*

The proposal is consistent with the planning objectives and is considered satisfactory subject to recommended conditions of consent.

#### 5. Earthworks

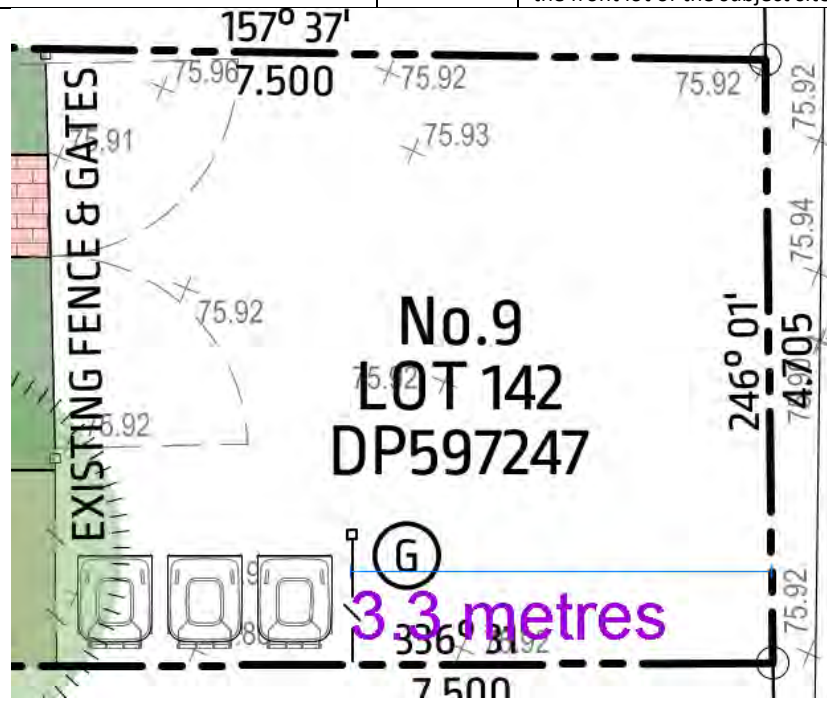
The application involves minor excavation only to strip and lay out concrete slab and footings beneath the proposed Dining and Living room space.

### NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
<b>1.2 Social Amenity</b>		
<b>1.2.2 Maintaining Residential Accommodation</b>	Yes	The proposal maintains the dwelling mix on site (2 bedrooms) and is considered satisfactory.
<b>1.3 Environmental Criteria</b>		
<b>1.3.1 Topography</b>	Yes	The proposal does not alter the gradient on site with minor excavation to install the footings and concrete slab for the Dining and Living space only and is located a minimum of 900mm from the boundary adjoining the neighbour at No.7 Oak Street.
<b>1.3.6 Views</b>	Yes	The proposal does not obstruct any significant views.
<b>1.3.7 Solar Access</b>	Yes	The proposal produces shadows to No.7 Oak Street that is similar to existing shadows. Based on the hourly shadow diagrams, the proposal allows a minimum of 3 hours of solar access to the private open space of adjoining properties. Due to the narrow nature of the lots in this row of cottages
<ul style="list-style-type: none"> <li>• More than 3 hours between 9am – 3pm</li> </ul>	Private Open Space	
	No	

	Existing non-compliance with Internal Space	(approximately 5m), the existing cottages have difficulty obtaining a minimum of 3 hours of solar access to main internal spaces. The single-storey extension does not reduce the solar access to the internal spaces of adjoining properties.
<b>1.3,10</b>	<b>Visual Privacy</b>	Yes The proposal does not impact on visual privacy due to the single-storey nature of the proposal and the existing fence on the western boundary.
<b>1.4 Quality built form</b>		
<b>1.4.1</b>	<b>Context</b>	Yes The proposal is compatible with the Edward Street Conservation Area in which the ACS specifies characteristic built elements as reduced height and scale to rear. No change is proposed for the front façade.
<b>1.4.3</b>	<b>Streetscape</b>	Yes The proposal is consistent with the streetscape character as described in the ACS.
<b>1.4.4</b>	<b>Laneways</b> <ul style="list-style-type: none"> <li>Fences/other structures – 1.2ms setback</li> </ul>	No Subject to conditions The proposal seeks to construct a timber screen to the bin area in the rear lot (Lot 142) only. The timber screen is located approximately 3.3m from the rear lot boundary and is satisfactory.  No change to rear timber fencing is proposed from the front lot of the subject site.

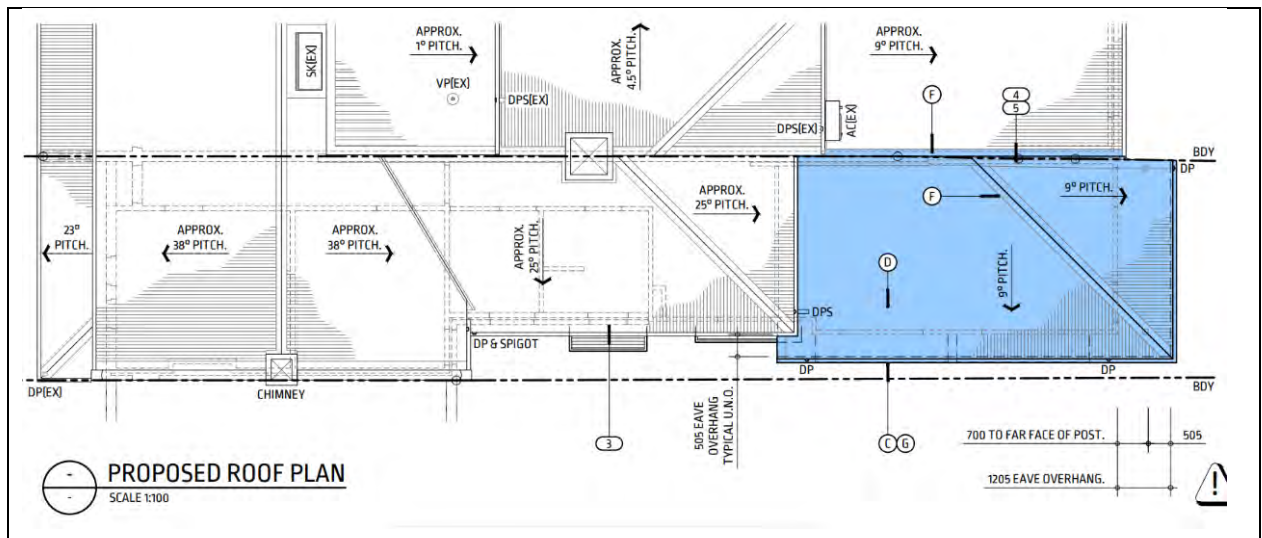


Above: Blue line showing distance of proposed rear timber screen for bin area from rear lot boundary as 3.3m



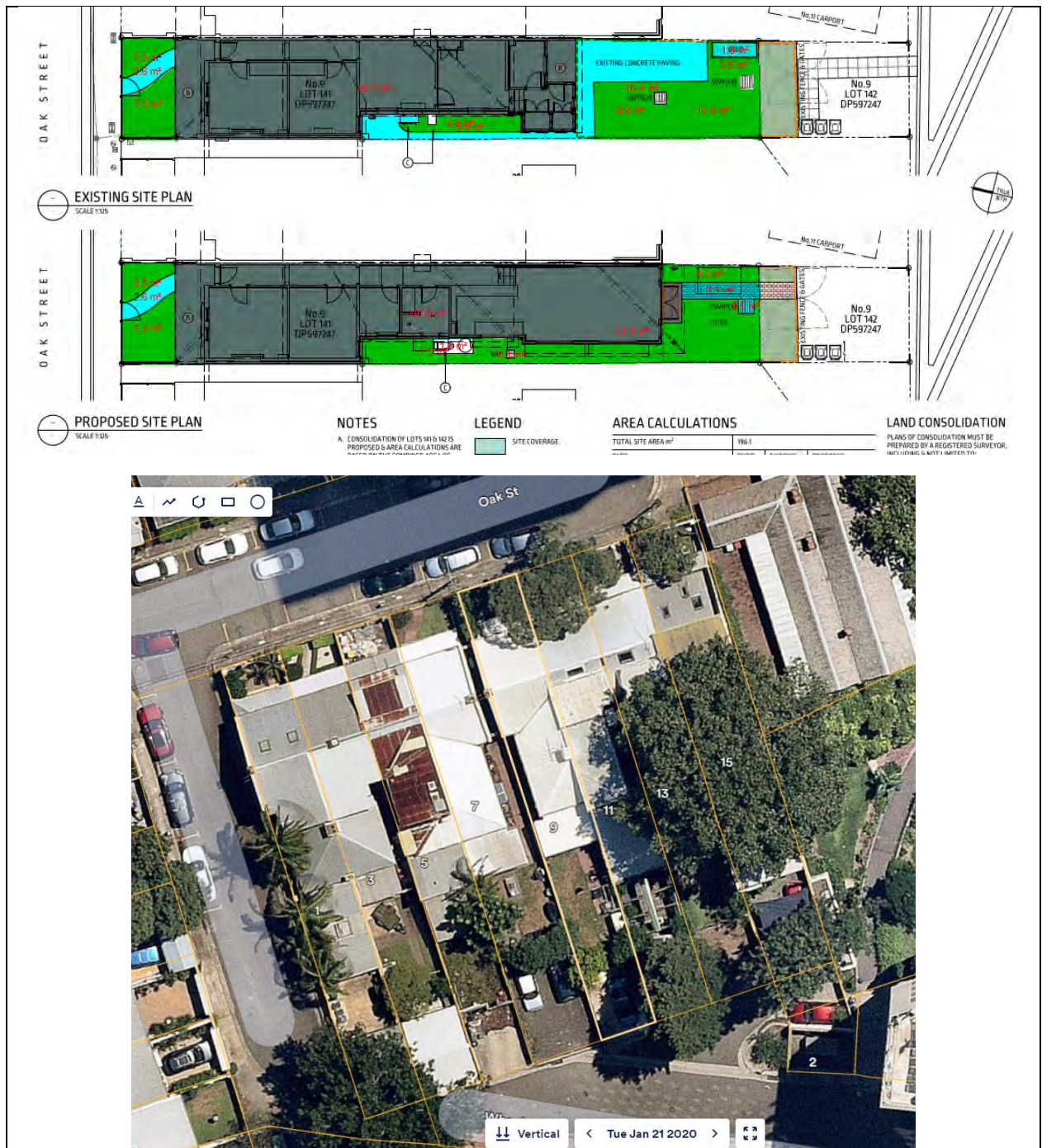
*Above: Laneway elevation showing bin storage area behind car on the left of the yellow sign on timber fence*

<p><b>1.4.6</b>    <b>Setback – Side</b></p>	<p>Yes</p>	<p><b>Control</b></p>	<p><b>Existing</b></p>	<p><b>Proposed</b></p>	<p><b>Compliance</b></p>
<p><b>Zone R2 (Low Density Residential)</b></p>					
		<p>R2 -1<sup>st</sup> storey (Up to 4m) 900mm</p>	<p>Western boundary (west of existing LDY &amp; Linen): 330mm</p> <p>Eastern boundary :</p> <p>Nil</p>	<p>Western boundary (west of proposed Dining and Living): 950mm</p> <p>Eastern boundary :</p> <p>Nil</p>	<p>Yes</p> <p>Yes (semi-detached dwelling)</p>
<p><b>P5</b>    <b>Rear Setback – Rear</b></p> <ul style="list-style-type: none"> <li>To match adjoining properties</li> </ul>	<p>Yes</p>	<p>The proposed rear wall matches that of the adjoining dwelling at No.11 Oak Street although the proposal has an eave overhang of 1.205m. Despite this, the proposal is generally consistent with the rear setback of the row of cottages and dwellings in the vicinity with some having a lesser rear setback.</p>			



<p><b>1.4.7 Form Massing Scale</b></p> <ul style="list-style-type: none"> <li>Floor to ceiling height 2.7m</li> </ul>	<p>Yes</p>	<p>The proposed area of works will have a minimum floor to ceiling height of 2.7m.</p>
<p><b>1.4.8 Built Form Character</b></p>	<p>Yes</p>	<p>The proposal is compatible with adjoining dwellings and the conservation area.</p>
<p><b>1.4.10 Roofs</b></p>	<p>Yes (Merit)</p>	<p>The proposed rear roof is sloped 9 degrees which assists in mitigating further overshadowing onto adjoining properties. The proposed hipped roof form falls away from the party wall with No.11 Oak Street and is similar to the roof of semi-detached dwellings including the adjoining dwelling at No.7 Oak Street.</p>
<p><b>1.4.12 Materials</b></p>	<p>No (Refer conditions - Acceptable Subject to conditions)</p>	<p>The proposal involves the use of weatherboard cladding to the rear addition that is not characteristic as external material in the conservation area which are generally face brick or original rendered masonry walls. Despite this, the existing rear addition to No.7 Oak Street in the subject site already consists of weatherboard cladding and is therefore acceptable. A condition is recommended in the consent for the colours to be compatible with the colour scheme of the conservation area.</p> <p>The rear addition roof is proposed to be corrugated metal with a colour to match the existing roof cladding to the main pitched roof visible from Oak Street and is satisfactory.</p>

1.5 Quality Urban Environment																													
<b>1.5.6 Site Coverage</b> <table border="1"> <thead> <tr> <th colspan="3">Table B-1.6 Maximum Site Coverage Requirements</th> </tr> <tr> <th>Residential Development Type</th> <th>Lot Size (m<sup>2</sup>)</th> <th>Site Coverage (max)</th> </tr> </thead> <tbody> <tr> <td>Semi-detached dwelling</td> <td>0 - 229</td> <td>60%</td> </tr> </tbody> </table>		Table B-1.6 Maximum Site Coverage Requirements			Residential Development Type	Lot Size (m <sup>2</sup> )	Site Coverage (max)	Semi-detached dwelling	0 - 229	60%	No (Merit)	<table border="1"> <thead> <tr> <th>Control</th> <th>Existing</th> <th>Proposed</th> <th>Compliance</th> </tr> </thead> <tbody> <tr> <td><b>Site coverage</b> 60% max. (96.18m<sup>2</sup>)</td> <td>56.6% (90.7m<sup>2</sup>)</td> <td>67% (107.8m<sup>2</sup>)</td> <td>No Variation 7% (11.62m<sup>2</sup>)</td> </tr> <tr> <td><b>Landscaped area</b></td> <td>23% (37.1m<sup>2</sup>)</td> <td>27.5% (44.1m<sup>2</sup>)</td> <td>Yes</td> </tr> <tr> <td><b>Unbuilt-upon area</b></td> <td>17% (27.2m<sup>2</sup>)</td> <td>5% (8m<sup>2</sup>)</td> <td>Yes</td> </tr> </tbody> </table>	Control	Existing	Proposed	Compliance	<b>Site coverage</b> 60% max. (96.18m <sup>2</sup> )	56.6% (90.7m <sup>2</sup> )	67% (107.8m <sup>2</sup> )	No Variation 7% (11.62m <sup>2</sup> )	<b>Landscaped area</b>	23% (37.1m <sup>2</sup> )	27.5% (44.1m <sup>2</sup> )	Yes	<b>Unbuilt-upon area</b>	17% (27.2m <sup>2</sup> )	5% (8m <sup>2</sup> )	Yes	
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Site coverage calculations																													



Subject site and surrounding development in Oak Street

<b>1.5.10 Private and Communal Open Space</b> <ul style="list-style-type: none"> <li>Private open space at ground level – 4m min dimension &amp; 2m above ground level</li> <li>Must be provided off living areas</li> </ul>		<table border="1"> <tr> <th>Control – lot size</th> <th>Proposed</th> <th>Compliance</th> </tr> <tr> <td><b>Dwellings</b></td> <td></td> <td></td> </tr> <tr> <td>Up to 499m<sup>2</sup> – 40m<sup>2</sup></td> <td>46.8m<sup>2</sup></td> <td>Yes</td> </tr> </table>	Control – lot size	Proposed	Compliance	<b>Dwellings</b>			Up to 499m <sup>2</sup> – 40m <sup>2</sup>	46.8m <sup>2</sup>	Yes
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<b>Dwellings</b>											
Up to 499m <sup>2</sup> – 40m <sup>2</sup>	46.8m <sup>2</sup>	Yes									
The application consists of 33 m <sup>2</sup> of private open space at the rear that is provided off living areas and 13.8m <sup>2</sup> of private open space in the front yard that is considered satisfactory.											
<b>1.6 Efficient Use of Resources</b>											
<b>1.6.1 Energy Efficiency</b>	Yes	Refer to BASIX Certificate									
<b>1.6.2 Passive Solar Design</b>	Yes	Refer to BASIX Certificate									
<b>1.6.3 Thermal Mass and Insulation</b>	Yes	Refer to BASIX Certificate									
<b>1.6.4 Natural Ventilation</b>	Yes	Refer to BASIX Certificate									

<b>1.6.6 Hot Water Systems</b>	Yes	Refer to BASIX Certificate
<b>1.6.7 Water Conservation</b>	Yes	Refer to BASIX Certificate
<b>1.6.8 Stormwater Management</b>	Yes	Refer to BASIX Certificate
<b>1.6.9 Water Management and Minimisation</b>	Yes	Refer to BASIX Certificate

**Relevant Planning Area – Part C of NSDCP 2013**

**Section 10 – Waverton/Wollstonecraft Planning Area**  
**Section 10.12 - Edward Street Conservation Area (CA17)**

The proposal is consistent with the Area Character Statement.

**LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN**

The development application, if approved by the North Sydney Local Planning Panel, will be subject to payment of contributions assessed against the North Sydney Local Infrastructure Contribution Plan 2020 towards the provision of local infrastructure.

The contributions payable has been calculated in accordance with Council’s Contributions Plan as follows:

<b>Applicable Contribution Type</b>		
S7.12 contribution detail	Development cost:	\$ 579,546.00
(payment amount subject to indexing at time of payment)	Contribution:	\$ 579,546.00 x 0.01 = <b>\$5,795.00</b>

Conditions requiring the payment of contributions at the appropriate time are included in attached conditions of consent if the development application is determined for approval.

**ALL LIKELY IMPACTS OF THE DEVELOPMENT**

All likely impacts of the proposed development have been considered within the context of this report.

**ENVIRONMENTAL APPRAISAL**

**CONSIDERED**

- |   |     |
|---|-----|
| 1. Statutory Controls   | YES |
| 2. Policy Controls  | YES |
| 3. Design in relation to existing building and natural environment                                      | YES |
| 4. Landscaping/Open Space Provision   | YES |
| 5. Traffic generation and Carparking provision  | YES |
| 6. Loading and Servicing facilities   | YES |
| 7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.) | YES |
| 8. Site Management Issues   | YES |
| 9. All relevant s4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979      | YES |



### **SUBMITTERS CONCERNS**

The application was notified to adjoining properties and the Euroka Precinct. Council received nil (0) submissions during the notification period.

### **PUBLIC INTEREST**

The proposal is considered to be in the public interest for the reasons stated throughout this report.

### **SUITABILITY OF THE SITE**

The proposal would be located in an R2 Low Density Residential zone where alterations and additions to a semi-detached dwelling is a permissible form of development. Consequently, the proposal is considered to be suitable for the site having regard to the merits of the proposal as described in the above report.

### **HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?**

The subject application was notified to adjoining properties and the Euroka Precinct for 14 days. No submissions were received during the notification period. Appropriate conditions of consent have been recommended to maintain the amenity of adjoining properties.

### **CONCLUSION + REASONS**

The proposal was considered under the relevant Environmental Planning Instruments and policies including NSLEP 2013 and NSDCP 2013 and general found to be satisfactory.

The application proposes alterations and additions to the rear portion of the semi-detached dwelling and associated works that is a permissible form of development in an R2 Low Density Residential zone. The proposal is consistent with characteristic development in the Edward Street Conservation Area and enhances the heritage item as viewed from Wheeler Lane to the rear.

Council received nil (0) submissions to the proposal. Appropriate conditions of consent are recommended to maintain the residential amenity of adjoining dwellings and the subject site.

Having regard to the merits of the proposal, the application is recommended for approval subject to recommended conditions.

### **RECOMMENDATION**

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

**THAT** the North Sydney Local Planning Panel exercising the functions of Council as the consent authority grant consent to Development Application No. 320/23 for alterations and additions to a semi-detached dwelling and associated works on land at 9 Oak Street, North Sydney subject to the following site specific and standard conditions:-

### **Reuse of heritage significant materials**

A5. Prior to the issue of any Construction Certificate, plans containing the following revisions are to be submitted to Council for approval showing the potential for:

- i. Re-use of the double hung window from the existing kitchen to the new study area.
- ii. Retain the sandstone base and brick wall skin along the eastern side of the service wing below the secondary roof element and reposition the proposed new window.
- iii. Re-use bricks from the new window openings to brick up the existing kitchen window opening.

(Reason: To protect the character of the contributory item and the Crows Nest conservation area)

### **Retention of Front and Rear Chimneys**

C18. Prior to the issue of any Construction Certificate, the plans are to include details of this condition for the externally visible areas of the existing front and rear chimneys to be retained.

The Principal Certifier must also ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To protect the character of the contributory item and the Crows Nest conservation area)

### **Tree Protection Measures**

D4. The tree protection measures detailed in the Arboricultural Impact Assessment, prepared by *Complete Arborcare dated 2/8/2023* and as directed by the project arboriculturist shall be established before work commences.

(Reason: To ensure that the stability and ongoing viability of trees being retained are not compromised Tree protection measures)

**RACHEL WU**  
**ASSESSMENT OFFICER**

**DAVID HOY**  
**TEAM LEADER (ASSESSMENTS)**

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**Dated: 7/2/2024**

**Dated: /2/2024**

**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

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**NORTH SYDNEY COUNCIL**  
**CONDITIONS OF DEVELOPMENT APPROVAL**  
**9 OAK STREET, NORTH SYDNEY**  
**DEVELOPMENT APPLICATION NO. 320/23**

**A. Conditions that Identify Approved Plans**

**Development in Accordance with Plans/Documentation**

- A1. The development must be carried out in accordance with the following drawings endorsed with Council's approval stamp and other documentation listed in the table to this clause, or cited by other conditions, and as amended by other conditions of this consent.

Plan No.	Rev No.	Description	Prepared by	Dated
A000	-	Drawing Register, Notes & Schedules	Plan Source	24/10/2023
A002	-	Survey Detail at Side Passage	Plan Source	24/10/2023
A003	-	Exterior Finishes Schedule	Plan Source	24/10/2023
A020	-	Existing/Demo Site Plan	Plan Source	24/10/2023
A021	-	Proposed Site & Landscape Plan	Plan Source	24/10/2023
A100	-	Existing Ground Floor Plan	Plan Source	24/10/2023
A101	-	Ground Floor Demolition Plan	Plan Source	24/10/2023
A102	-	Proposed Ground Floor Plan	Plan Source	24/10/2023
A111	-	Demo & Proposed Roof Plans	Plan Source	24/10/2023
A202	-	South Elevation (Rear) Demolition	Plan Source	24/10/2023
A203	-	Proposed South Elevation (Rear)	Plan Source	24/10/2023
A204	-	Existing West Elev (Side) & Wheeler Lane Streetscapes	Plan Source	24/10/2023
A205	-	West Elevation (Side) Demolition	Plan Source	24/10/2023
A206	-	Proposed West Elevation (Side)	Plan Source	24/10/2023
A301	-	Long Section Y1 Demolition	Plan Source	24/10/2023
A302	-	Proposed Long Section Y1	Plan Source	24/10/2023
A303	-	Existing Cross Section X1 & Demo X2	Plan Source	24/10/2023
A304	-	Proposed Cross Sections X1 & X2	Plan Source	24/10/2023
A305	-	Cross Sections X3 & X4 Demolition	Plan Source	24/10/2023
A306	-	Proposed Cross Sections X3 & X4	Plan Source	24/10/2023
-	-	Construction Traffic Management Plan for 9 Oak Street, North Sydney	LOKA Consulting Engineers P/L	22/9/2023
A	-	Arboricultural Impact Assessment	Complete Arborcare	8/2/2023

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

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DEVELOPMENT APPLICATION NO. 320/23**

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**Plans on Site**

- A2. A copy of all plans endorsed with Council's approval stamp, specifications and documents (including the plans, specifications and documents submitted and approved with the Construction Certificate) must be kept on site at all times so as to be readily available for perusal by any officer of Council or the Principal Certifier.

All documents kept on site in accordance with this condition must be provided to any officer of the Council or the Principal Certifier upon their request.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information and to ensure ongoing compliance)

**No Demolition of Extra Fabric**

- A3. Alterations to, and demolition of the existing building shall be limited to that documented on the approved plans.

(Reason: To ensure compliance with the approved development)

**External Finishes and Materials**

- A4. External finishes and materials must be in accordance with the submitted schedule dated 24 October 2023, prepared by Plan Source and referred to in Condition A1 unless otherwise modified by Council in writing. Substitution of materials must not be undertaken, except where otherwise approved in writing by Council.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

**Reuse of heritage significant materials**

- A5. Prior to the issue of any Construction Certificate, plans containing the following revisions are to be submitted to Council for approval showing the potential for:
- i. Re-use of the double hung window from the existing kitchen to the new study area.
  - ii. Retain the sandstone base and brick wall skin along the eastern side of the service wing below the secondary roof element and reposition the proposed new window.
  - iii. Re-use bricks from the new window openings to brick up the existing kitchen window opening.

(Reason: To protect the character of the contributory item and the Crows Nest conservation area)

**C. *Prior to the Issue of a Construction Certificate (and ongoing, where indicated)*****Dilapidation Report Damage to Public Infrastructure**

- C1. A dilapidation survey and report (including photographic record) must be prepared by a suitably qualified consultant which details the pre-developed condition of the existing public infrastructure in the vicinity of the development site. Particular attention must be paid to accurately recording any pre-developed damaged areas so that Council is fully informed when assessing any damage to public infrastructure caused as a result of the development. A copy of the dilapidation survey and report is to be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The developer may be held liable for all damage to public infrastructure in the vicinity of the site, where such damage is not accurately recorded and demonstrated as pre-existing under the requirements of this condition.

The developer shall bear the cost of carrying out works to restore all public infrastructure damaged as a result of the carrying out of the development, and no occupation of the development shall occur until damage caused as a result of the carrying out of the development is rectified.

A copy of the dilapidation survey and report must be lodged with North Sydney Council by the Principal Certifier with submission of the Construction Certificate documentation.

(Reason: To record the condition of public infrastructure prior to the commencement of construction)

**Dilapidation Survey Private Property (Neighbouring Buildings)**

- C2. A photographic survey and dilapidation report of adjoining property No. 11 Oak Street detailing the physical condition of the property, both internally and externally, including, but not limited to, such items as walls, ceilings, roof, structural members and other similar items, MUST BE submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The survey and report are to be prepared by an appropriately qualified person and a copy to be given to the owner of the adjoining property. A copy of the report is to be provided to Council, if Council is not the Principal Certifier, prior to the issue of any Construction Certificate.

All costs incurred in achieving compliance with this condition shall be borne by the person entitled to act on this Consent.

In the event that access for undertaking the photographic survey and dilapidation report is denied by an adjoining owner, the applicant MUST DEMONSTRATE, in writing, to the satisfaction of Council that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written concurrence must be obtained from Council in such circumstances.

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Note: This documentation is for record keeping purposes only and may be used by an applicant or affected property owner to assist in any action required to resolve any dispute over damage to adjoining properties arising from the works. It is in the applicant's and adjoining owner's interest for it to be as full and detailed as possible.

(Reason: Proper management of records)

**Structural Adequacy (Semi Detached and Terrace Buildings)**

- C3. A report from an appropriately qualified and practising structural engineer, certifying the structural adequacy of the adjoining property No. 11 Oak Street which certifies their ability to withstand the proposed works and outlines any measures required to be implemented to ensure that no damage will occur to adjoining premises during the course of the works, must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The measures outlined in the certified report must be complied with at all times.

Under no circumstances shall the party or common wall be extended or altered without the prior written consent of the adjoining owner. Any such extension of the party wall shall be noted on title by way of appropriate easement or Section 88B instrument.

(Reason: To ensure the protection and structural integrity of adjoining properties, and that common law property rights are recognised)

**Structural Adequacy of Existing Building**

- C4. A report prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction shall be submitted to the Principal Certifier for approval prior to issue of any Construction Certificate. The certified report must also include all details of the methodology to be employed in construction phases to achieve the above requirements. The methodology in the certified report must be complied with at all times.

(Reason: To ensure the structural integrity of the building is maintained)

**Colours, Finishes and Materials (Heritage Areas)**

- C5. A traditional palette of finishes, materials and colour schemes must be selected for the new building works appropriate to the architectural style of the original building and submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition prior to the release of the Construction Certificate.

(Reason: To ensure that exterior colours, finishes and materials are sympathetic to the significance of the heritage item.)

**Work Zone**

- C6. If a Work Zone is required a Work Zone permit is to be obtained from Council prior to the issue of any Construction Certificate.

**Note:** For major development an application for work zone permit must be considered by the North Sydney Local Traffic Committee.

Work Zones are provided specifically for the set down and pick up of materials and not for the parking of private vehicles associated with the site. Works Zones will generally not be approved where there is sufficient space on-site for the setting down and picking up of goods being taken to or from a construction site. If the Works Zone is approved by the Committee, the Applicant must obtain a written copy of the related resolution from the North Sydney Local Traffic Committee and submit a copy of this to the Principal Certifier to enable issue of the Construction Certificate.

Where approval of the 'Work Zone' is given by the Committee, the requirements of the Committee, including installation of the necessary 'Work Zone' signage and payment of any fees, must occur prior to commencement of any works on the site. Further, at the expiration of the Work Zone approval, the developer is required to remove the Work Zone signs and reinstate any previous signs, all at the developer's cost. The requirements imposed by the Committee on the Work Zone permit (or permits) must be complied with at all times.

(Reason: Amenity and convenience during construction)

**Maintain Property Boundary Alignment Levels**

- C7. Except where otherwise approved by Council, the property boundary alignment levels must match the levels which existed prior to the commencement of works. Plans and specifications which document existing and proposed levels adjacent to the site boundaries and which comply with the requirements of this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure interface between property and public land remains uniform)

**Porous Paving**

- C8. The proposed off-street car parking space(s) and/or paving must be paved with materials to allow stormwater infiltration to the substrate. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To improve the capacity of the site to absorb water runoff)

**Stormwater Disposal**

- C9. Stormwater runoff generated by the approved development must be conveyed by gravity to the existing site stormwater drainage disposal system. A licensed tradesman shall install plumbing components to achieve this requirement in accordance with the NCC and current plumbing standards and guidelines. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure appropriate provision for disposal and stormwater management arising from the development)

**Bond for Damage and Completion of Infrastructure Works – Stormwater, Kerb and Gutter, Footpaths, Vehicular Crossing and Road Pavement**

- C10. Prior to the issue of any Construction Certificate, security deposit or bank guarantee must be provided to Council to the sum of \$7,000.00 to be held by Council for the payment of cost for any/all of the following:
- a) making good any damage caused to any property of the Council as a consequence of the doing of anything to which this consent relates,
  - b) completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and [environmental controls](#)) required in connection with this consent
  - c) remedying any defects in any such public work that arise within 6 months after the work is completed.
  - d) Council reserves the right to retain all bonds on infrastructure works relating to the completion of required Infrastructure work for a 12-month defect liability period. Council may elect to provide a lesser period for minor residential work.

The security required by this condition and in the schedule contained later in these conditions must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

The security will be refundable following the expiration of six months from the issue of any final Occupation Certificate or completion of public work required to be completed (whichever is the latest) but only upon inspection and release by Council's Development Engineers or Manager of Development Services.

Council shall have full authority to make use of the bond for such restoration works as deemed necessary by Council in circumstances including the following:

- where the damage constitutes a hazard in which case Council may make use of the security immediately;



**9 OAK STREET, NORTH SYDNEY  
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- the applicant has not repaired or commenced repairing damage within 48 hours of the issue by Council in writing of instructions to undertake such repairs or works;
- works in the public road associated with the development are to an unacceptable quality; and
- the Principal Certifier must ensure that security is provided to North Sydney Council prior to issue of any Construction Certificate.

(Reason: To ensure appropriate security for works on public land and an appropriate quality for new public infrastructure)

**Protection of Trees**

- C11. The following tree(s) are required to be protected and retained as part of the development consent in accordance with AS 4970-2009 – Protection of trees on development sites:

Tree	Location	Height
<i>T1 Ficus benjamina</i>	Rear setback -11 Oak Street	6m
<i>T2 Syzigium smithii</i>	Rear setback -9 Oak Street	6m
<i>T3 Photinia sp.</i>	Rear setback -7 Oak Street	5m
<i>7x Viburnum odoratissimum</i>	Front setback -9 Oak Street	To 5m
<i>1 x Melaleuca bracteata</i>	Front setback -11 Oak Street	8x8m

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

**Approval for Removal of Trees**

- C12. The following tree(s) are approved for removal in accordance with the development consent:

Trees that are acceptable to remove	Location	Height
<i>4x Grevillea robusta</i>	Western boundary - 9 Oak Street	To 6m

Removal of any other tree on the site is not approved, excluding species exempt under Council's Tree Preservation Order.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

### **Noise from Plant and Equipment**

C13. The use of all plant and equipment installed on the premises must not:

(a) Contribute an LAeq(15min) which will cause the total LAeq(15min) from all plant and equipment operating contemporaneously on the site or in the strata scheme or in the mixed strata schemes to exceed the RBL by more than 5dB when measured at the boundary of any affected receiver. The modifying factor adjustments in Section 4 of the EPA Noise Policy for Industry 2017 shall be applied.

(b) Cause "offensive noise" as defined in the *Protection of the Environment Operations Act 1997*.

"affected receiver" includes residential premises (including any lot in the strata scheme or another strata scheme), premises for short-term accommodation, schools, hospitals, places of worship and parks and such other affected receiver as may be notified by the Council in writing.

"boundary" includes any window or elevated window of an affected receiver.

Terms in this condition have the same meaning as in the Noise Guide for Local Government and the Noise Policy for Industry published by the NSW Environment Protection Authority.

(Reason: To maintain an appropriate level of amenity for adjoining land uses)

### **Air Conditioners in Residential Premises**

C14. The use of any air conditioner installed on the premises must comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulations 2017 and State Environmental Planning Policy (Infrastructure) 2007 and must not:

(a) emit a noise that is audible within a habitable room in any affected residence (regardless of whether any door or window to that room is open);

- (i) before 8.00am and after 10.00pm on any Saturday, Sunday or Public Holiday; or
- (ii) before 7.00am or after 10.00pm on any other day

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- (b) cause an LAeq(15min) which exceeds the RBL background noise level by more than 5dB when measured at the boundary of any affected residence. The modifying factor adjustments in Section 4 of the EPA Noise Policy for Industry 2017 will be applied.

“affected residence” includes residential premises (including any lot in the strata scheme or another strata scheme), premises for short-term accommodation and hospitals.

“boundary” includes any window or elevated window of an affected residence.

Terms in this condition have the same meaning as in the Noise Guide for Local Government and the Noise Policy for Industry published by the NSW Environment Protection Authority.

(Reason: To maintain residential amenity)

**Section 7.12 Development Contributions**

- C15. A monetary contribution pursuant to the provisions of Section 7.12 of the Environmental Planning and Assessment Act 1979 is to be paid to Council, in accordance with the North Sydney Council’s Contribution Plan, to provide for local infrastructure improvements.

Based on the cost of development at the date of determination, the total contribution payable to Council is \$5,795.00.

**Indexation**

The monetary contribution required under this consent will be indexed between the date of the grant of the consent and the date on which the contribution is paid the time of payment in accordance with quarterly movements in the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Bureau of Statistics.

**Timing of payment**

The contribution must be paid to Council prior to issue of any Construction Certificate for any work approved by this consent.

A copy of the North Sydney Contribution Plan can be viewed at North Sydney Council’s Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council’s website at [www.northsydney.nsw.gov.au](http://www.northsydney.nsw.gov.au)

(Reason: To provide for local infrastructure identified in the North Sydney Council Local Contributions Plan 2020)

### Security Deposit/Guarantee Schedule

- C16. All fees and security deposits/ guarantees in accordance with the schedule below must be provided to Council prior to the issue of any Construction Certificate:

Security Deposit/Guarantee	Amount (\$)
Footpath Damage Bond	\$7,000.00
<b>TOTAL BONDS</b>	<b>\$7,000.00</b>

Note: The following fees applicable

Fees	
Local Infrastructure Contributions	\$5,795.00
<b>TOTAL FEES</b>	<b>\$5,795.00</b>

The security required by the above schedule must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

(Reason: Compliance with the development consent)

### BASIX Certificate

- C17. Under clause 75 of the Environmental Planning & Assessment Regulation 2021, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. A502561\_04, dated 22 September 2023 for the development are fulfilled. Plans and specifications complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

### Retention of Front and Rear Chimneys

- C18. Prior to the issue of any Construction Certificate, the plans are to include details of this condition for the externally visible areas of the existing front and rear chimneys to be retained.

The Principal Certifier must also ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To protect the character of the contributory item and the Crows Nest conservation area)

**D. Prior to the Commencement of any Works (and continuing where indicated)****Protection of Trees**

- D1. All trees that are specifically nominated to be retained by notation on plans or by condition as a requirement of this consent must be maintained and protected during demolition, excavation and construction on the site in accordance with AS4970-2009 (Protection of trees on development sites). A Report containing recommendations, and methods of tree protection prepared by an appropriately qualified person must be provided to the Principal Certifier for approval by an appropriately qualified person prior to commencement of any works on the site. Any recommendations must be undertaken for the duration of works on the site.

Sensitive construction techniques including hand excavation, pier & beam construction & flexible location of piers/footings shall be used within the TPZ of any protected tree. No roots greater than 40mm shall be cut. No stormwater or any other underground services shall be directed through the TPZ of any protected tree.

(Reason: To ensure compliance with the requirement to retain significant planting on the site)

**Temporary Fences and Tree Protection**

- D2. All protected trees on-site that are specifically nominated as per Condition C12 to be retained by notation on plans or by condition as a requirement of this consent must be tagged with luminous tape or the like for purposes of identification prior to demolition, excavation or construction works and must remain so for the duration of works on the site. No materials or builder's waste are to be stored in the vicinity of the nominated tree/trees at any time.

Appropriate fencing or barricades in accordance with AS4970-2009 (Protection of trees on development sites), not less than the distance shown in the schedule hereunder, must be installed to the satisfaction of the Principal Certifier prior to demolition or commencement of any works and must be maintained for the duration of the works.

(Reason: To protect the trees to be retained on the site during construction works)

**Commencement of Works' Notice**

- D3. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least 2 days notice to North Sydney Council of the person's intention to commence building work, demolition or excavation in accordance with this development consent.

(Reason: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

**Tree Protection Measures**

- D4. The tree protection measures detailed in the Arboricultural Impact Assessment, prepared by Complete Arborcare, dated 2 August 2023 and as directed by the project arboriculturist shall be established before work commences.

(Reason: To ensure that the stability and ongoing viability of trees being retained are not compromised tree protection measures)

**E. During Demolition and Building Work****Parking Restrictions**

- E1. Existing public parking provisions in the vicinity of the site must be maintained at all times during works. The placement of any barriers, traffic cones, obstructions or other device in the road shoulder or kerbside lane is prohibited without the prior written consent of Council. Changes to existing public parking facilities/restrictions must be approved by the North Sydney Local Traffic Committee. The Developer will be held responsible for any breaches of this condition and will incur any fines associated with enforcement by Council regulatory officers.

(Reason: To ensure that existing kerbside parking provisions are not compromised during works)

**Road Reserve Safety**

- E2. All public footways and roadways fronting and adjacent to the site must be maintained in a safe condition at all times during the course of the development works, with no obstructions caused to the said footways and roadways. Construction materials and plant must not be stored in the road reserve without approval of Council. A safe pedestrian circulation route and a pavement/route free of trip hazards must be maintained at all times on or adjacent to any public access ways fronting the construction site.

Where public infrastructure is damaged, repair works must be carried out in when and as directed by Council officers (at full Developer cost). Where pedestrian circulation is diverted on to the roadway or verge areas, clear directional signage and protective barricades must be installed in accordance with AS1742-3 (1996) "Traffic Control Devices for Work on Roads". **If pedestrian circulation is not satisfactorily maintained across the site frontage, and action is not taken promptly to rectify the defects, Council may undertake proceedings to stop work.**

(Reason: Public Safety)

**Temporary Disposal of Stormwater Runoff**

- E3. During construction, stormwater runoff must be disposed in a controlled manner that is compatible with the erosion and sediment controls on the site. Immediately upon completion of any impervious areas on the site (including roofs, driveways, paving) and where the final drainage system is incomplete, the necessary temporary drainage systems must be installed to reasonably manage and control runoff as far as the approved point of stormwater discharge. Such ongoing measures must be to the satisfaction of the Principal Certifier.

(Reason: Stormwater control during construction)

**Council Inspection of Public Infrastructure Works**

- E4. During the works on public infrastructure reverting to Council's care and control, Council's development engineer may undertake inspections of the works at the following hold points: -

a) Formwork for layback, kerb/gutter, footpath, etc.

All works must proceed in accordance with Roads Act 1993 approvals or other permits relating to roads issued by the Council. A minimum of 48 hours' notice must be given to Council to book an inspection. Work must not proceed until the works or activity covered by the inspection is approved.

(Reason: To ensure the quality of construction joints and connections in the drainage system)

**Removal of Extra Fabric**

- E5. Should any portion of the existing building, trees, or curtilage of the site which is indicated on the approved plans to be retained be damaged for whatever reason, all the works in the area of the damaged portion are to cease and written notification of the damage is to be given to Council forthwith. No work is to resume until the written approval of Council to do so is obtained. Failure to comply with the provisions of this condition may result in the Council taking further action including legal proceedings if necessary.

(Reason: To ensure compliance with the terms of this development consent)

**Dust Emission and Air Quality**

- E6. The following must be complied with at all times:

(a) Materials must not be burnt on the site.

(b) Vehicles entering and leaving the site with soil or fill material must be covered.

(c) Dust suppression measures must be carried out to minimise wind-borne emissions in accordance with the NSW Department of Housing's 1998 guidelines - Managing Urban Stormwater: Soils and Construction.

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- (d) Odour suppression measures must also be carried out where appropriate so as to prevent nuisance occurring at adjoining properties.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

**Noise and Vibration**

- E7. The works must be undertaken in accordance with the "Interim Construction Noise Guideline" published by the NSW Environment Protection Authority, to ensure excessive levels of noise and vibration do not occur so as to minimise adverse effects experienced on any adjoining land.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

**No Work on Public Open Space**

- E8. No work can be undertaken within adjoining public lands (i.e., Parks, Reserves, Roads etc) without the prior written consent of Council. In this regard the developer is to liaise with Council prior to the commencement of any design works or preparation of a Construction and Traffic Management Plan.

(Reason: Protection of existing public infrastructure and land and to ensure public safety and proper management of public land)

**Applicant's Cost of Work on Council Property**

- E9. The Applicant or the person, company or other entity that is acting upon this consent, must bear the cost of all works associated with the development that occurs on Council's property, including the restoration of damaged areas.

(Reason: To ensure the proper management of public land and funds)

**No Removal of Trees on Public Property**

- E10. No trees on public property (footpaths, roads, reserves, etc.) unless specifically approved by this consent shall be removed or damaged during construction including for the erection of any fences, hoardings or other temporary works.

(Reason: Protection of existing environmental infrastructure and community assets)

**Protection of Trees**

- E11. All trees required to be retained, as part of this consent must be protected from any damage during construction works in accordance with AS4970-2009. All recommendations contained within the tree report prepared by Complete Arborcare dated 2 August 2023 must be implemented for the duration of the works.



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In the event that any tree required to be retained is damaged during works on the site, notice of the damage must be given to Council forthwith.

Notes:

- a. If the nominated tree is damaged to a significant degree or removed from the site without prior written approval being obtained from Council, the issuing of fines or legal proceedings may be commenced for failure to comply with the conditions of this consent.
- b. An application to modify this consent pursuant to Section 4.55 of the Environmental Planning and Assessment Act 1979 will be required to address the non-compliance with any of the conditions of consent relating to the retention of nominated trees, and Council may require tree replenishment.

(Reason: Protection of existing environmental infrastructure and community assets)

**Trees to be Removed**

- E12. All trees on the site must be protected and retained save for those expressly identified below as being approved for removal:

Trees that are acceptable to remove	Location	Height
4x <i>Grevillea robusta</i>	Western boundary-9 Oak Street	To 6m

(Reason: To ensure compliance with the terms of this development consent)

**Benchmarks**

- E13. All permanent survey markers must be retained, undamaged, and not relocated.

(Reason: Protection of existing environmental infrastructure and community assets)

**Special Permits**

- E14. Unless otherwise specifically approved in writing by Council, all works, processes, storage of materials, loading and unloading associated with the development must occur entirely on the property.

The developer, owner or builder may apply for specific permits available from Council's Customer Service Centre for the undermentioned activities on Council's property. In the event that a permit is granted by Council for the carrying out of works, processes, storage of materials, loading and unloading associated with the development on Council's property, the development must be carried out in accordance with the requirements of the permit. A minimum of forty-eight (48) hours' notice is required for any permit:

**1) On-street mobile plant**

Eg. cranes, concrete pumps, cherry-pickers, etc., - restrictions apply to the hours of operation, the area of operation, etc. Separate permits are required for each occasion and each piece of equipment. It is the developer's, owner's and builder's responsibilities to take whatever steps are necessary to ensure that the use of any equipment does not violate adjoining property owner's rights.

(Reason: Proper management of public land)

**2) Hoardings**

Permits are required to erect Class A and Class B hoardings. If an 'A' Class hoarding is to alienate a section of Council's property, that section will require a permit for the occupation of Council's property.

(Reason: Proper management of public land)

**3) Storage of building materials and building waste containers (skips) on Council's property**

Permits to utilise Council property for the storage of building materials and building waste containers (skips) are required for each location. Failure to obtain the relevant permits will result in the building materials or building waste containers (skips) being impounded by Council with no additional notice being given. Storage of building materials and waste containers on open space reserves and parks is prohibited.

(Reason: Proper management of public land)

**4) Kerbside restrictions, construction zones**

Attention is drawn to the existing kerbside restrictions adjacent to the development. Should alteration of existing kerbside restrictions be required, or the provision of a construction zone, the appropriate application must be made and the fee paid to Council. Alternatives to such restrictions may require referral to Council's Traffic Committee and may take considerable time to be resolved. An earlier application is suggested to avoid delays in construction programs.

(Reason: Proper management of public land)

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**Construction Hours**

- E15. Construction activities and works approved under this consent must be restricted to within the hours stipulated in the following table:

Standard Construction Hours		
Location	Day	Hours
All zones	Monday - Friday	7.00am - 5.00pm
	Saturday	8.00am - 1.00pm
	Sunday Public holiday	No work permitted

Construction activities for development approved under this consent must be carried out in accordance with the standard construction hours above, the EPA Noise Policy for Industry 2017 and any Construction Noise Management Plan required under this consent.

In the event of breach to the approved hours of construction Council take may take enforcement action under Part 9 of the EP & A Act 1979 and in accordance with Council's adopted Compliance & Enforcement Policy.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

**Out of hours' Work Permits**

- E16. Where it is necessary for works to occur outside those hours allowed by these conditions, an application may be made to Council's Customer Services Centre for a permit to carry out works outside of the approved hours. If a permit is issued the works approved must be carried out in accordance with any requirements specified in the permit. Permits will only be approved if **public safety is at risk**. Applications which seek a variation to construction hours solely to benefit the developer will require the lodgement and favourable determination of a modification application pursuant to the provisions of Section 4.55 of the Environmental Planning and Assessment Act 1979.

Notes:

- 1) Failure to obtain a permit for work outside of the approved hours will result in on the spot fines being issued, or Council pursuing any action required (including legal proceedings) to have the out of hours work cease, without prior warning.
- 2) Applications for out of hour's works should be lodged with Council no later than seven (7) calendar days prior to the date of the intended works.
- 3) Examples of activities for which permits may be granted include:
  - the erection of awnings,
  - footpath, road and other infrastructure works which cannot be carried out for public convenience reasons within normal hours,
  - the erection and removal of hoardings and site cranes, and
  - craneage of materials which cannot be done for public convenience reasons within normal working hours.

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- 4) Examples of activities for which permits WILL NOT be granted include:
- extended concrete pours
  - works which are solely to convenience the developer or client, and
  - catch up works required to maintain or catch up with a construction schedule.
- 5) Further information on permits can be obtained from the Council website at [www.northsydney.nsw.gov.au](http://www.northsydney.nsw.gov.au).

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

**Installation and Maintenance of Sediment Control**

- E17. Erosion and sediment controls must be installed and maintained at all times in accordance with the Sediment and erosion control plan submitted and approved with the Construction Certificate.

Erosion and sediment measures must be maintained in accordance with the publication Managing Urban Stormwater: Soils and Construction (4th Edition, Landcom, 2004), commonly referred to as the "Blue Book" and can only be removed when development activities have been completed and the site fully stabilised.

(Reason: To protect the environment from the effects of sedimentation and erosion from development sites)

**Sediment and Erosion Control Signage**

- E18. A durable sign must be erected during building works in a prominent location on site, warning of penalties should appropriate erosion and sedimentation control devices not be maintained. A sign of the type referred to in this condition is available from Council.

(Reason: To protect the environment from the effects of sedimentation and erosion from development sites)

**Site Amenities and Facilities**

- E19. Where work involved in the erection and demolition of a building is being carried out, amenities which satisfy applicable occupational health and safety and construction safety regulations, including any WorkCover Authority requirements, must be provided and maintained at all times. The type of work-place determines the type of amenities required.

Further information and details can be obtained from the Internet at [www.workcover.nsw.gov.au](http://www.workcover.nsw.gov.au)

(Reason: To ensure the health and safety of the community and workers on the site)

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**Health and Safety**

- E20. All work undertaken must satisfy applicable occupational health and safety and construction safety regulations, including any WorkCover Authority requirements to prepare a health and safety plan. Site fencing must be installed sufficient to exclude the public from the site. Safety signs must be erected that warn the public to keep out of the site and provide a contact telephone number for enquiries.

Further information and details regarding occupational health and safety requirements for construction sites can be obtained from the internet at [www.workcover.nsw.gov.au](http://www.workcover.nsw.gov.au).

(Reason: To ensure the health and safety of the community and workers on the site)

**Community Information**

- E21. Reasonable measures must be undertaken at all times to keep nearby residents informed about the proposed work, such as by way of signs, leaflets, public meetings and telephone contact numbers, to ensure that adjoining residents are aware of the likely duration of the construction works on the site.

(Reason: To ensure that residents are kept informed of activities that may affect their amenity)

**Prohibition on Use of Pavements**

- E22. Building materials must not be placed on Council's footpaths, roadways, parks or grass verges, (unless a permit is obtained from Council beforehand). A suitable sign to this effect must be erected adjacent to the street alignment.

(Reason: To ensure public safety and amenity on public land)

**Plant and Equipment Kept Within Site**

- E23. All plant and equipment used in the undertaking of the development/ works, including concrete pumps, wagons, lifts, mobile cranes, hoardings etc, must be situated within the boundaries of the site (unless a permit is obtained from Council beforehand) and so placed that all concrete slurry, water, debris and the like must be discharged onto the building site, and is to be contained within the site boundaries.

Details of Council requirements for permits on public land for standing plant, hoardings, storage of materials and construction zones and the like are available on Council's website at [www.northsydney.nsw.gov.au](http://www.northsydney.nsw.gov.au).

(Reason: To ensure public safety and amenity on public land)

### **Asbestos Removal**

- E24. All demolition works involving the removal and disposal of asbestos cement must only be undertaken by contractors who hold a current WorkCover Asbestos or "Demolition Licence" and a current WorkCover "Class 2 (Restricted) Asbestos Licence and removal must be carried out in accordance with National Occupational Health and Safety Commission.

(Reason: To ensure works are carried out in accordance with relevant WorkCover requirements)

### **Service Adjustments**

- E25. The adjustment or inclusion of any new utility service or facilities must be carried out by an appropriately contractor in accordance with the requirements of the relevant utility authority.

These works shall be at no cost to Council. It is the Applicant's responsibility to contact the relevant utility authorities to ascertain the impacts of the proposal upon utility services prior to the commencement of any work, including demolition (including water, phone, gas and the like).

Council accepts no responsibility for any impact on or influence upon utility services provided by another authority.

(Reason: To ensure the service requirements are met)

### **F. *Prescribed Conditions imposed under EP&A Act and Regulations and other relevant Legislation***

#### **National Construction Code**

- F1. All building work must be carried out in accordance with the provisions of the National Construction Code.

(Reason: Prescribed - Statutory)

#### **Home Building Act**

- F2. 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) for which the *Home Building Act 1989* requires there to be a contract of insurance under Part 6 of that Act must not be carried out unless the Principal Certifier for the development to which the work relates has given North Sydney Council written notice of the contract of insurance being issued and of the following:

- a) in the case of work for which a principal contractor is required to be appointed:

- i) the name and licence number of the principal contractor, and
  - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
- (b) in the case of work to be done by an owner-builder:
  - (i) the name of the owner-builder, and
  - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress such that the information submitted to Council in accordance with this condition is out of date, work must cease, and no further work may be carried out unless the Principal Certifier for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

(Reason: Prescribed - Statutory)

#### **Appointment of Principal Certifying Authority (PCA)**

- F3. Building work, **demolition** or excavation in accordance with the development consent must not be commenced until the developer has appointed a Principal Certifier for the building work in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory; To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

#### **Construction Certificate**

- F4. Building work, demolition or excavation in accordance with the development consent must not be commenced until a Construction Certificate for the relevant part of the building work has been issued in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory; To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

**Occupation Certificate**

- F5. A person must not commence occupation or use of the whole or any part of a new building (new building includes an altered portion of, or an extension to, an existing building) unless an Occupation Certificate has been issued in relation to the building or part. Only the Principal Certifier appointed for the building work can issue an Occupation Certificate.

(Reason: Statutory)

**Critical Stage Inspections**

- F6. Building work must be inspected by the Principal Certifier on the critical stage occasions prescribed by the EP&A Act and its Regulations, and as directed by the appointed Principal Certifier.

(Reason: Statutory)

**Commencement of Works'**

- F7. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence the erection of the building.

(Reason: Statutory; To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

**Excavation/Demolition**

- F8. 1) All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
- 2) All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- 3) Demolition work must be undertaken in accordance with the provisions of AS2601- Demolition of Structures.

(Reason: To ensure that work is undertaken in a professional and responsible manner and protect adjoining property and persons from potential damage)

**Protection of Public Places**

- F9. 1) A hoarding and site fencing must be erected between the work site and adjoining public place.



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- 2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- 3) The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- 4) Any such hoarding, fence or awning is to be removed when the work has been completed.
- 5) No access across public reserves or parks is permitted.

Note: Prior to the erection of any temporary fence or hoarding over property owned or managed by Council, written approval must be obtained. Any application needs to be accompanied by plans indicating the type of hoarding and its layout. Fees are assessed and will form part of any approval given. These fees must be paid prior to the approval being given. Approval for hoardings will generally only be given in association with approved building works, maintenance or to ensure protection of the public. An application form for a Hoarding Permit can be downloaded from Council's website.

(Reason: To ensure public safety and the proper management of public land)

**Site Sign**

- F10. 1) A sign must be erected in a prominent position on the site
- a) stating that unauthorised entry to the work site is prohibited;
  - b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
  - c) showing the name, address and telephone number of the Principal Certifier for the work.
- 2) Any such sign must be maintained while to building work or demolition work is being carried out but must be removed when the work has been completed.

(Reason: Prescribed - Statutory)

**G. Prior to the Issue of an Occupation Certificate**

**Infrastructure Repair and Completion of Works**

- G1. Prior to the issue of any Occupation Certificate any and all works relating to the development:

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- a. in the road reserve must be fully completed; and
- b. to repair and make good any damaged public infrastructure caused as a result of any works relating to the development (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concrete vehicles) must be fully repaired;

to the satisfaction of Council Engineers at no cost to Council. Council's development engineer must be contacted to arrange inspections of the completed works in the Public Domain.

(Reason: Maintain quality of Public assets)

**Damage to Adjoining Properties**

- G2. All precautions must be taken to prevent any damage likely to be sustained to adjoining properties. Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.

(Reason: To ensure adjoining owner's property rights are protected)

**Utility Services**

- G3. All utility services shall be adjusted to the correct levels and/or location/s required by this consent, prior to issue of an occupation certificate. This shall be at no cost to Council.

(Reason: To ensure compliance with the terms of this consent)

**Certification of Tree Condition**

- G4. Prior to the issue of an Occupation Certificate, a report prepared by an appropriately qualified person (being an arborist or the like) must be submitted to the Principal Certifier, describing the health of the tree(s) specifically nominated below: -

Tree	Location	Height
<i>T1 Ficus benjamina</i>	Rear setback -11 Oak Street	6m
<i>T2 Syzigium smithii</i>	Rear setback -9 Oak Street	6m
<i>T3 Photinia sp.</i>	Rear setback -7 Oak Street	5m
<i>7x Viburnum odoratissimum</i>	Front setback -9 Oak Street	To 5m
<i>1 x Melaleuca bracteata</i>	Front setback -11 Oak Street	8x8m

The report must detail the condition and health of the nominated tree(s) upon completion of the works, and shall certify that the tree(s) has/have not been significantly damaged during the works on the site, and has/have reasonable prospects for survival.

(Reason: To ensure compliance with the terms of this consent)

**BASIX Completion Certificate**

- G5. In accordance with Section 45 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, prior to issuing a final occupation certificate the Principal Certifier must provide a BASIX completion receipt.

(Reason: To ensure compliance with the Regulations)

**Landscaping**

- G6. The landscaping shown in the approved landscape plan prepared by Plan Source dated 24 October 2023 must be completed prior to the issue of any Occupation Certificate.

(Reason: To ensure compliance)

**Damage to Adjoining Properties**

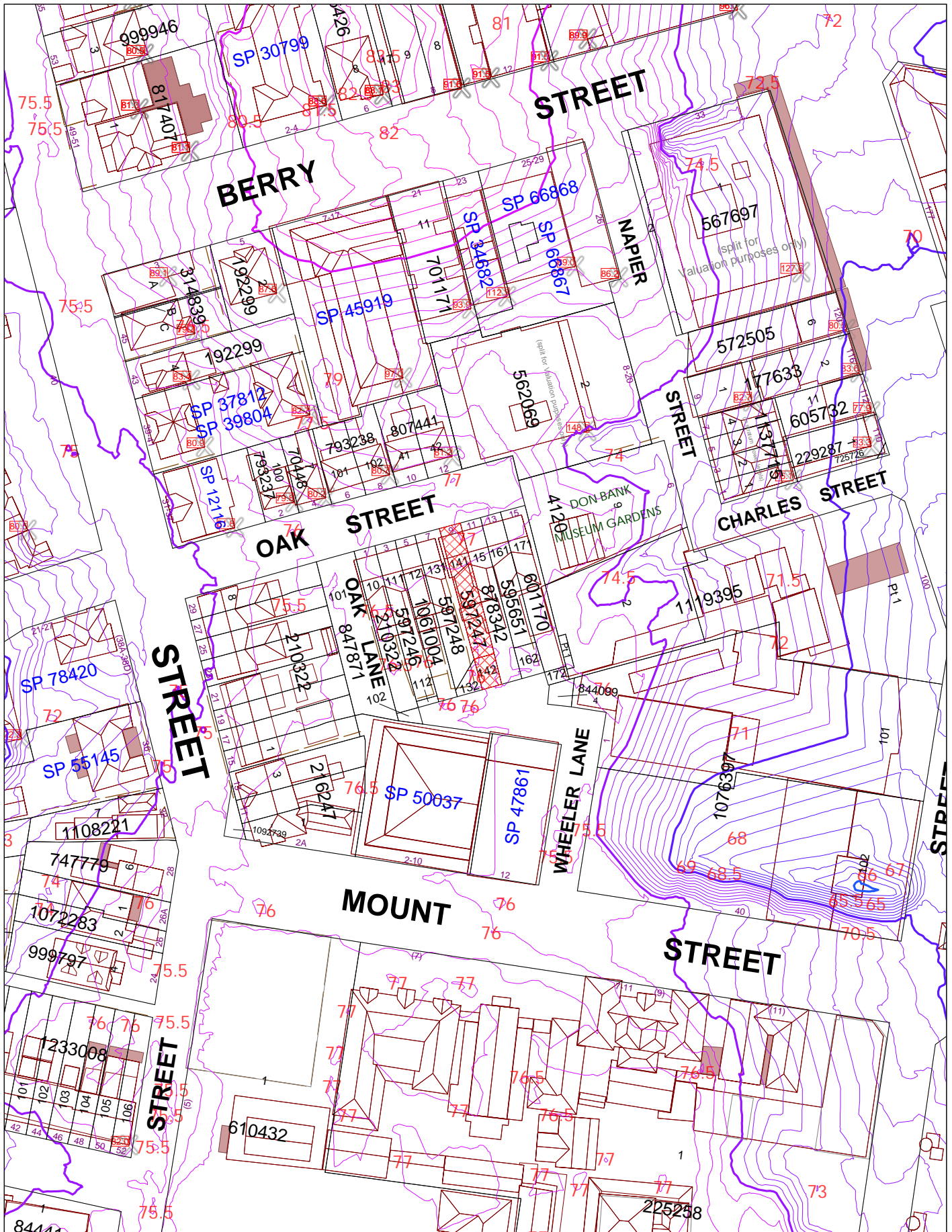
- G7. On completion of the development the subject of this consent and prior to the issue of the Occupation Certificate, a report is to be prepared by an appropriately qualified consultant and is to be provided to the Principal Certifier (and a copy to Council if it is not the Principal Certifier) certifying:

- a) whether any damage to adjoining properties has occurred as a result of the development;
- b) the nature and extent of any damage caused to the adjoining property as a result of the development;
- c) the nature and extent of works required to rectify any damage caused to the adjoining property as a result of the proposed development;
- d) the nature and extent of works carried out to rectify any damage caused to the adjoining property as a result of the development; and
- e) the nature and extent of any agreements entered into for rectification of any damage caused to the adjoining property as a result of the development.

The report and certification must reference the dilapidation survey and reports required to be provided to the Principal Certifier in accordance with this consent.

A copy of the report and certification required by this condition must be submitted to Council with the Final Occupation Certificate. All costs incurred in achieving compliance with this condition shall be borne by the developer.

(Reason: To record the condition of adjoining properties prior to completion of the development and to facilitate claims against damage)



**North Sydney Council**

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Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.

Scale: 1:1200 approx.



## DRAWING REGISTER

NO.	REV	TITLE
A000	-	DRAWING REGISTER & NOTES
A001	-	OVERALL SURVEY
A002	-	SURVEY DETAIL AT SIDE PASSAGE
A003	-	EXTERIOR FINISHES SCHEDULE
A010	-	SITE ANALYSIS
A011	-	EXISTING SERVICES PLAN
A012	-	ENLARGED SITE ANALYSIS
A020	-	EXISTING / DEMO SITE PLAN
A021	-	PROPOSED SITE & LANDSCAPE PLAN
A022	-	SITE AREA CALCULATIONS
A023	-	IMPERVIOUS AREA PLANS
A030	-	EXISTING WINTER SHADOW STUDY
A031	-	PROPOSED WINTER SHADOW DIAGRAMS
A032	-	PROPOSED WINTER SHADOW DIAGRAMS
A033	-	PROPOSED EQUINOX SHADOW DIAGRAMS
A034	-	PROPOSED EQUINOX SHADOW DIAGRAMS
A035	-	PROPOSED SUMMER SHADOW DIAGRAMS
A036	-	PROPOSED SUMMER SHADOW DIAGRAMS
A100	-	EXISTING GROUND FLOOR PLAN
A101	-	GROUND FLOOR DEMOLITION PLAN
A102	-	PROPOSED GROUND FLOOR PLAN
A110	-	EXISTING ROOF PLAN
A111	-	DEMO & PROPOSED ROOF PLANS
A200	-	EXISTING NORTH ELEVATION (FRONT STREETScape)
A201	-	EXISTING SOUTH ELEVATION (REAR)
A202	-	SOUTH ELEVATION (REAR) DEMOLITION
A203	-	PROPOSED SOUTH ELEVATION (REAR)
A204	-	EXISTING WEST ELEV (SIDE) & WHEELER LANE STREETScapeS
A205	-	WEST ELEVATION (SIDE) DEMOLITION
A206	-	PROPOSED WEST ELEVATION (SIDE)
A300	-	EXISTING LONG SECTION Y1
A301	-	LONG SECTION Y1 DEMOLITION
A302	-	PROPOSED LONG SECTION Y1
A303	-	EXISTING CROSS SECTION X1 & DEMO X2
A304	-	PROPOSED CROSS SECTIONS X1 & X2
A305	-	CROSS SECTIONS X3 & X4 DEMOLITION
A306	-	PROPOSED CROSS SECTIONS X3 & X4

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

## EXTERIOR DOOR &amp; WINDOW SCHEDULE

TAG	ORIENTATION	TYPE	LEVEL	DESCRIPTION	HEIGHT	WIDTH	SILL HEIGHT	FRAME AREA	GLASS	U VALUE	SHGC	INSECT SCREEN	SHADING DEVICE
D01	SOUTH	H2217	GROUND FLOOR	DOUBLE LEAF HINGED DOOR	2170	1680	0	3.65 m2	SINGLE GLAZED CLEAR	7.63	0.75	NO	ROOF EAVE
W01	WEST	AF1308	GROUND FLOOR	AWNING / FIXED	1370	850	720	1.16 m2	SINGLE GLAZED OBSCURE	7.63	0.75	YES	AWNING 600W x 1750L
W02	WEST	F0618	GROUND FLOOR	FIXED	600	1800	880	1.08 m2	SINGLE GLAZED CLEAR	7.63	0.75	YES	AWNING 450W x 2400L
W03	WEST	AF1318	GROUND FLOOR	AWNING / FIXED	1370	1810	800	2.48 m2	SINGLE GLAZED CLEAR	7.63	0.75	YES	AWNING 600W x 3000L
W04	WEST	AF1318	GROUND FLOOR	AWNING / FIXED	1370	1810	800	2.48 m2	SINGLE GLAZED CLEAR	7.63	0.75	YES	AWNING 600W x 3000L
W05	SOUTH	L1306	GROUND FLOOR	LOUVRE	1370	610	800	0.84 m2	SINGLE GLAZED CLEAR	7.63	0.75	YES	ROOF EAVE
W06	SOUTH	L1306	GROUND FLOOR	LOUVRE	1370	610	800	0.84 m2	SINGLE GLAZED CLEAR	7.63	0.75	YES	ROOF EAVE

## BASIX COMMITMENTS

DRAWINGS SHALL BE READ IN CONJUNCTION WITH BASIX CERTIFICATE No. A502562\_04.

## HOT WATER SYSTEM TYPE

ELECTRIC HEAT PUMP THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER THE (COMMONWEALTH) RENEWABLE ENERGY (ELECTRICITY) REGULATIONS 2001.

## LIGHTING TYPE

A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES MUST BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING DIODE (LED) LAMPS.

## NEW OR ALTERED FIXTURE REQUIREMENTS

SHOWERHEADS MUST HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING. TOILETS MUST HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING. TAPS MUST HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A MINIMUM 3 STAR WATER RATING.

## MINIMUM INSULATION REQUIREMENTS

CONCRETE SLAB ON GROUND FLOOR: NIL ADDITIONAL INSULATION.

SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR: FRAMED (R0.7), R0.60 (DOWN) (OR R1.30 INCLUDING CONSTRUCTION).

EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD) (R0.40) R1.30 (OR R1.70 INCLUDING CONSTRUCTION).

FLAT CEILING, PITCHED ROOF: CEILING: R1.20 (UP), ROOF: FOIL BACKED BLANKET (55 mm).

## WINDOWS AND GLAZED DOORS

REFER TO SCHEDULE ABOVE.

## GENERAL NOTES

- MATERIALS AND FINISHES SHALL BE AS SPECIFIED ON THE DRAWINGS. NO CHANGES TO THE PLANS & SPECIFICATIONS WILL BE PERMITTED WITHOUT APPROVAL FROM THE OWNER.
- ALL WORKS SHALL BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING, BUT NOT LIMITED TO:
  - BUILDING CODE OF AUSTRALIA (BCA),
  - PLUMBING CODE OF AUSTRALIA (PCA),
  - AUSTRALIAN STANDARDS AS NOTED,
  - OTHER REGULATORY AUTHORITIES
- ALL DIMENSIONS SHALL BE IN MILLIMETRES UNLESS OTHERWISE STATED.
- USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.
- ALL WORKS SHALL BE UNDERTAKEN BY A LICENSED BUILDER & LICENSED SUB-CONTRACTOR(S).
- THE BUILDER SHALL CHECK ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
- THIS SET OF DRAWINGS IS SUBJECT TO COPYRIGHT AND MAY NOT BE USED OR COPIED WITHOUT THE CONSENT OF PLAN SOURCE.

## INSULATION &amp; WALL WRAP TO BE INSTALLED

ZONE	DESCRIPTION
EXTERNAL WALLS	KNAUF EARTHWOOL WALL BATT R2.7 SHD SOUNDSHIELD PLUS, 90mm THICK.
ROOF	KNAUF SPACE BLANKET, EARTHWOOL WITH FOIL BACKING R1.3, 55mm THICK.
CEILING	KNAUF EARTHWOOL CEILING BATT R3.5, 175mm THICK.
VAPOUR PERMEABLE WALL WRAP TO THE OUTSIDE OF THE FRAME FOR ALL PROPOSED EXTERNAL WALLS.	SUITABLE PRODUCT: BRADFORD ENVIROSEAL PROCTORWRAP RW. ANY SUBSTITUTE PRODUCT MUST HAVE EQUIVALENT VAPOUR PERMEABILITY.

# ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT

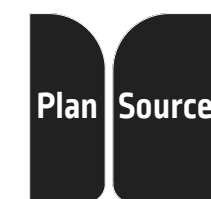
R. &amp; N. JUFAS

ISSUE

DEVELOPMENT APPLICATION

ISSUE DATE

24/10/2023



PO BOX 124 QUAKERS  
HILL NSW 2763  
M 0425 362 043

MICHAEL SANDEL, M 0425 362 043  
MICHAEL.S@PLANSOURCE.COM.AU

DRAWN / CHECKED

M.S.

DRAWING  
TITLEDRAWING REGISTER,  
NOTES & SCHEDULES

CONTACT DETAILS

SCALE

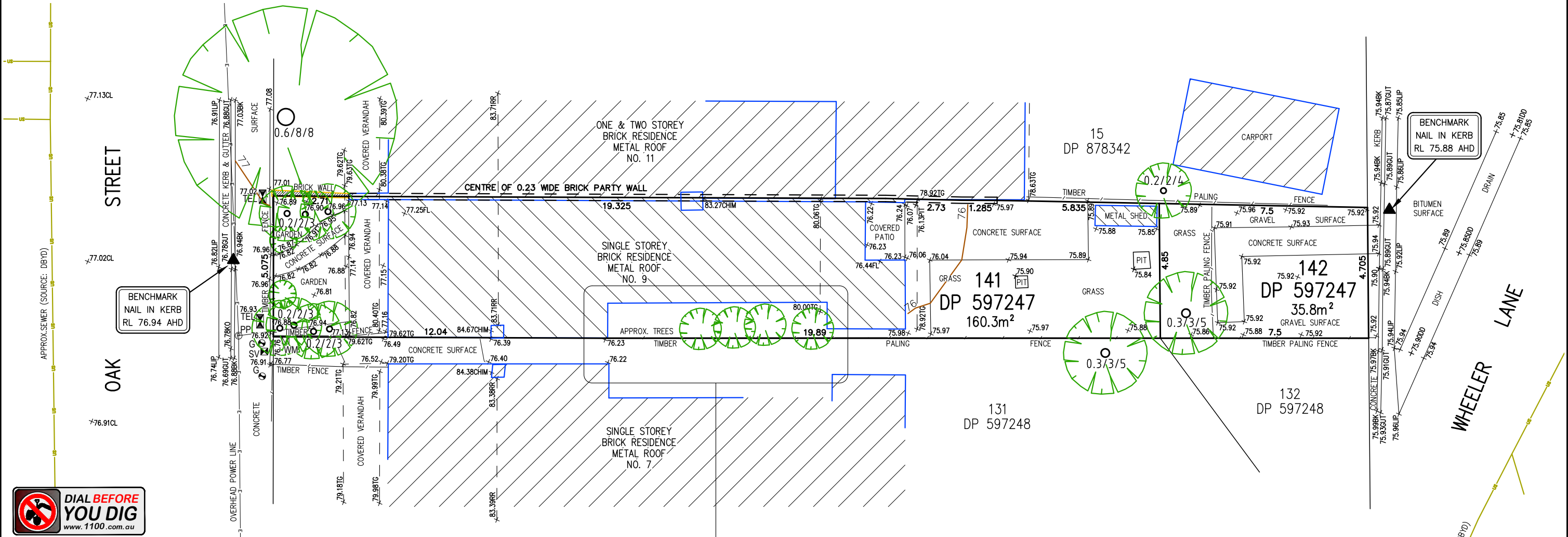
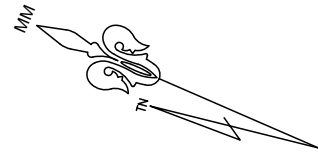
1:1 A3 SHEET

DRAWING  
NUMBER

A000 -

ISSUE DEVELOPMENT APPLICATION ISSUE DATE 24/10/2023  
 DRAWN / CHECKED AP / BH SCALE 1:100 A2 SHEET  
 DRAWING TITLE OVERALL SURVEY DRAWING NUMBER A001 -

BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.



**LEGEND**

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM

**NOTE:**  
 THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017" AND IS ACCURATE TO ABOUT ±0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 14671 WITH RL 74.05 (AHD).

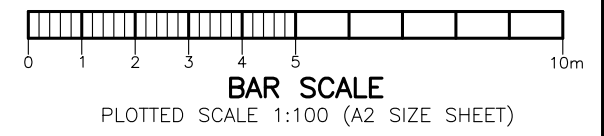
RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

**NOTATIONS ON THE TITLE TO THE LAND.**  
 CROSS EASEMENTS (S.181B CONVEYANCING ACT, 1919) AFFECTING THE PARTY WALLS SHOWN ON THE COMMON BOUNDARY OF LOT 141 AND LAND IN DP595650 (Q971576)

**LEGEND**

CL - CENTERLINE
LIP - LIP LINE
TK - TOP OF KERB
GUT - GUTTER OF KERB
KO - KERB OUTLET
TG - TOP OF GUTTER
RR - ROOF RIDGE
CHIM - CHIMNEY
FL - FLOOR LEVEL
0.4/10/16 - DIAMETER/SPREAD/HEIGHT



**NOTE:**  
 INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

REVISION No.	REVISION DATE:	COMMENT:

**PLAN SHOWING DETAIL & LEVELS OVER LOTS 141 & 142 IN DP597247**

CLIENT: REBECCA JUFAS  
 PROJECT: NORTH SYDNEY  
 ADDRESS: 9 OAK STREET, NORTH SYDNEY

JOB No.: 230146	LGA: NORTH SYDNEY
PLAN No.: 230146-1	DATUM: AHD
DATE: 09/03/2023	SCALE: 1:100@A2
DRAWN: AP	CONT. INTERVAL: 0.2m
CHK: BH	SHEET 1 OF 1

ISSUE DEVELOPMENT APPLICATION  
 DRAWN / CHECKED M.S.  
 DRAWING TITLE SURVEY DETAIL AT SIDE PASSAGE

ISSUE DATE 24/10/2023  
 SCALE 1:50 A3 SHEET  
 DRAWING NUMBER A002 -

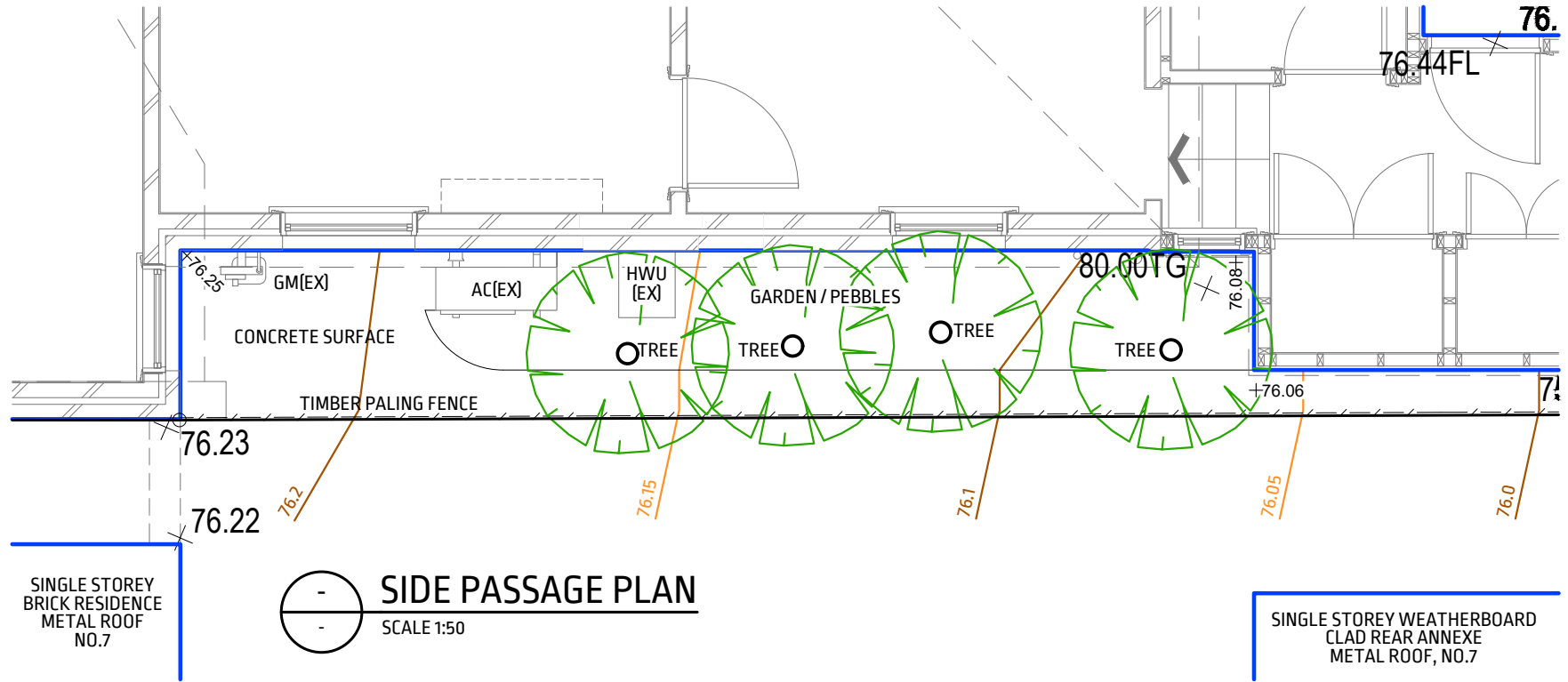


**LEGEND**

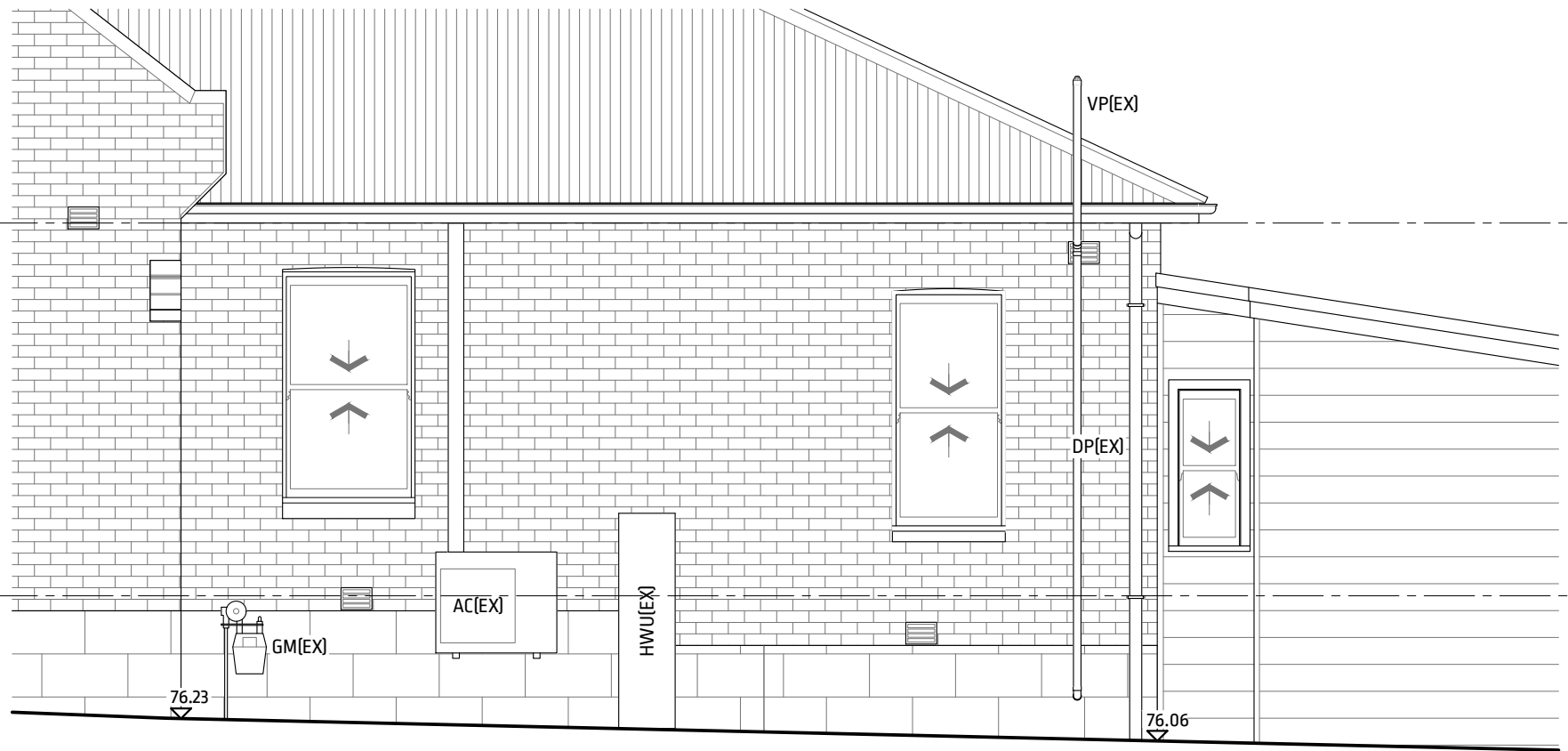
- AC(EX) EXISTING AIR CONDITIONING UNIT.
- DP(EX) EXISTING DOWNPIPE.
- GM(EX) EXISTING GAS METER.
- HWU(EX) EXISTING HOT WATER UNIT.
- VP(EX) EXISTING VENT PIPE.

**NOTES**

1. EXISTING GROUND LEVELS, SURFACE TREATMENT & LOCATION OF FIXTURES & VEGETATION CONFIRMED BY SITE MEASURE UNDERTAKEN 31/03/2023.
2. REFER TO SEPARATE ARBORIST REPORT FOR TRUNK DIAMETER, CANOPY SPREAD & HEIGHT OF EXISTING TREES.



**SIDE PASSAGE PLAN**  
 SCALE 1:50




**SIDE PASSAGE ELEVATION**  
 SCALE 1:50

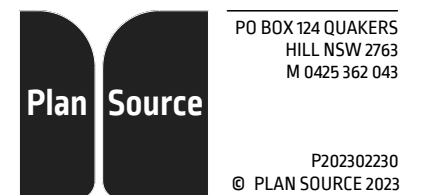
0m 0.5 1.0 1.5 2.5

## EXTERIOR FINISHES SCHEDULE

IMAGE / SWATCH	ITEM	DESCRIPTION	RATIONALE
	CLEAN & REPAINT EXISTING PAINTED BRICK WALLS & PAINTED TIMBER WINDOWS TO ALL PARTS OF THE DWELLING.	PAINT FINISH. DULUX NATURAL WHITE™ 228158_201009.	A WARM WHITE IN KEEPING WITH THE PAINT TECHNOLOGY OF THE PERIOD, BUT AT THE LIGHTER END OF THE WARM WHITE SCALE.
	NEW DOOR & WINDOW EXTERNAL ARCHITRAVES. ARCHITRAVES SHALL BE JAMES HARDIE™ AXENT™ TRIM 89 x 38mm, PRODUCT CODE: 405262. NEW TIMBER FASCIA.		
	NEW ALUMINIUM DOOR & WINDOW FRAMES. NEW ALUMINIUM WINDOW AWNINGS.	POWDERCOAT FINISH. DURALLOY SOLID COLOUR RANGE, DURALLOY® NATURAL WHITE™ MATT 2721380M.	
	NEW WEATHERBOARD CLADDING TO ADDITIONS BEHIND THE MAIN RIDGE LINE OF THE EXISTING DWELLING.	PAINT FINISH. DULUX SEED PEARL 228175_201026.	PROVIDE A MODERATE CONTRAST TO THE SIGNIFICANT AREAS OF WHITE ROOF CLADDING TO THE GROUP OF DWELLINGS No's 7, 9, 11 & 13.  ALSO PROVIDE CONTRAST TO THE DOORS, WINDOWS & EXTERNAL ARCHITRAVES.
	NEW CORRUGATED METAL ROOFING.	COLORBOND METAL. COLOUR: SURFMIST® CLASSIC FINISH.	TO MATCH THE EXISTING DWELLING & OTHER DWELLINGS IN THE GROUP SHARING A COMMON ROOF (No's 9, 11 & 13).
	NEW GUTTERS & DOWNPIPES.		
	NEW TIMBER DECK.	STAINED HARDWOOD.	

## EXTERIOR FINISHES SCHEDULE

IMAGE / SWATCH	ITEM	DESCRIPTION	RATIONALE
	NEW FOOTPATH TO REAR YARD.	RECYCLED BRICK PAVING.	



ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

CLIENT **R. & N. JUFAS**

ISSUE **DEVELOPMENT APPLICATION**

DRAWN / CHECKED **M.S.**

DRAWING TITLE **EXTERIOR FINISHES SCHEDULE**

ISSUE DATE **24/10/2023**

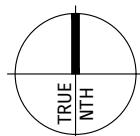
SCALE **1:1 A3 SHEET**

DRAWING NUMBER **A003 -**




# LEGEND

(X) NOTE REFERENCE.



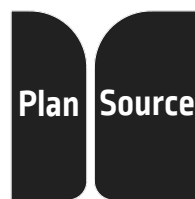
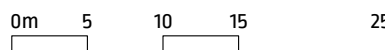
# NOTES

1. LOT 141 SITE AREA = 160.3m<sup>2</sup>. LOT 142 = 35.8m<sup>2</sup>. TOTAL SITE AREA = 196.1m<sup>2</sup>.
2. NORTH SYDNEY COUNCIL. LAND ZONED R2 - LOW DENSITY RESIDENTIAL.
3. SINGLE STOREY SEMI-DETACHED RESIDENCE SHARING A COMMON WALL WITH DWELLING AT No.11 OAK STREET. FULL MASONRY CONSTRUCTION ON SANDSTONE BLOCK FOUNDATION WALLS. CORRUGATED METAL ROOF.
4. TIMBER FRAMED & WEATHERBOARD CLAD REAR ANNEXE ON A CONCRETE SLAB. CORRUGATED METAL ROOF.
5. NEIGHBOURING DWELLINGS AT No's 1, 3, 5, 7, 11 & 13 ARE OF SIMILAR CONSTRUCTION, BEING BUILT AT THE SAME TIME. DWELLINGS ARE DESIGNED IN THE VICTORIAN GEORGIAN STYLE.
6. DWELLING MAY CONTAIN ASBESTOS CLADDINGS & LININGS (T.B.C. PRIOR TO CONSTRUCTION). 
7. FIRST FLOOR / ATTIC ADDITIONS TO No's 1, 5, 11 & 13.
8. TIMBER PERGOLA WITH OPERABLE SHADE CLOTH COVER.
9. SINGLE CAR PORT WITH PITCHED ROOF IN TRANSLUCENT SHEET (TREE SHOWN IN THE AERIAL PHOTO HAS BEEN REMOVED).
10. APPROXIMATELY 20 STOREY BUILDING TO THE NORTH EAST (AUSTRALIAN CATHOLIC UNIVERSITY 8-20 NAPIER STREET CAMPUS). CAUSES SIGNIFICANT SHADING BEFORE MIDDAY AEST.
11. APPROXIMATELY 19 STOREY OFFICE BUILDING TO THE EAST (100 PACIFIC HIGHWAY). CAUSES SIGNIFICANT SHADING UNTIL MID MORNING.
12. 6 STOREY COMMERCIAL BUILDING TO THE SOUTH EAST (1 WHEELER LANE, TELSTRA EXCHANGE).
13. 9 STOREY OFFICE BUILDING TO THE SOUTH (12 MOUNT STREET). OVERLOOKING ISSUES TO No.9 FROM NORTH FACING WINDOWS.
14. 8 STOREY RESIDENTIAL APARTMENT BLOCK TO THE SOUTH (10 MOUNT STREET). OVERLOOKING ISSUES TO No.9 FROM NORTH FACING WINDOWS.
15. LIMITED VIEW OPPORTUNITIES FROM No.9. VIEWS WEST TO BALLS HEAD BAY BLOCKED BY EXISTING VEGETATION & NEIGHBOURING FIRST FLOOR ADDITIONS.
16. ANTICIPATED NOISE SOURCES ARE VEHICULAR TRAFFIC TO LOCAL ROADS (MODERATE). OAK STREET IS A NO THROUGH ROAD APART FROM EXITING TRAFFIC FROM ACU UNDERGROUND CAR PARK AT 8-20 NAPIER STREET CAMPUS.
17. EXISTING SERVICES TO THE SITE: GAS, NBN, POWER (OVERHEAD), SEWER & TOWN WATER. SERVICE LOCATIONS OBTAINED FROM A BEFORE YOU DIG AUSTRALIA SEARCH. EXACT LOCATION OF ALL SERVICES SHALL BE CONFIRMED ON SITE.
18. STORMWATER DRAINAGE PROVISIONS: SITE FALLS MODERATELY TOWARDS WHEELER LANE. 1 x SW KERB OUTLET OBSERVED IN OAK STREET 600mm WEST OF THE POWER POLE. SW PITS & DRAINAGE LINES LOCATED IN WHEELER LANE. EXPECT THAT ALL SW LINES SOUTH OF THE FRONT ROOF RIDGE DISCHARGE TO THE REAR OF THE SITE. KERB AT THE REAR OF THE LOT IS A LOW LAYBACK TYPE WHICH DOESN'T PERMIT A SW KERB OUTLET. ASSUME DRAINAGE SYSTEM CONNECTS DIRECTLY TO ONE OF THE SW PITS OR DRAINAGE LINES LOCATED IN WHEELER LANE. ALL DRAINAGE PROVISIONS SHALL BE CONFIRMED ON SITE.
19. CROSS EASEMENTS (S.181B CONVEYANCING ACT, 1919) AFFECT THE PARTY WALL SHOWN ON THE COMMON BOUNDARY OF LOT 141 AND LAND IN DP595650 (Q971576). THE SITE IS NOT BURDENED BY ANY OTHER KNOWN EASEMENTS.
20. SUMMARY OF SECTION 10.7 PLANNING CERTIFICATE(S) DATED 22/03/2023: BOTH LOTS ARE WITHIN A HERITAGE CONSERVATION AREA. LOT 141 CONTAINS A HERITAGE LISTED ITEM (LOCAL SIGNIFICANCE). THE SUBJECT LAND DOES NOT INCLUDE OR COMPRISE AN AREA OF OUTSTANDING BIODIVERSITY VALUE, COUNCIL IS NOT AWARE OF ANY AFFECTED BUILDING NOTICE, BUILDING PRODUCT RECTIFICATION ORDER OR INTENTION TO MAKE A BUILDING PRODUCT RECTIFICATION ORDER, IS NOT SUBJECT TO ANY RESERVATION FOR LAND ACQUISITION, NOT AFFECTED BY ANY ROAD WIDENING OR ROAD REALIGNMENT, NOT LOCATED WITHIN A FLOOD PLANNING AREA AND NOT SUBJECT TO FLOOD RELATED DEVELOPMENT CONTROLS, NOT AFFECTED BY LANDSLIP, BUSHFIRE, TIDAL INUNDATION, SUBSIDENCE, ACID SULPHATE SOILS, CONTAMINATION, AIRCRAFT NOISE, COASTAL HAZARDS, SEA LEVEL RISE OR ANY OTHER RISK, NOT BUSHFIRE PRONE LAND, NOT IDENTIFIED AS CONTAINING LOOSE-FILL ASBESTOS INSULATION, NOT PROCLAIMED AS A MINE SUBSIDENCE DISTRICT.



AERIAL PHOTO OBTAINED COURTESY OF NSW SPATIAL SERVICES, SIX MAPS VIEWER. IMAGE CAPTURED 07/04/2018.

**SITE ANALYSIS**  
SCALE 1:500



PO BOX 124 QUAKERS HILL NSW 2763  
M 0425 362 043

P202302230  
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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

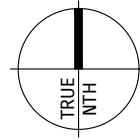
CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	SITE ANALYSIS

ISSUE DATE	24/10/2023
SCALE	1:500 A3 SHEET
DRAWING NUMBER	A010 -

**LEGEND**

- X NOTE REFERENCE.
- GAS EXISTING GAS SERVICE.
- NBN EXISTING NBN SERVICE.
- OHP EXISTING OVERHEAD POWER.
- S EXISTING SEWER SERVICE.
- SW EXISTING STORMWATER DRAINAGE.
- - - EXISTING TELECOMMUNICATION SERVICE.

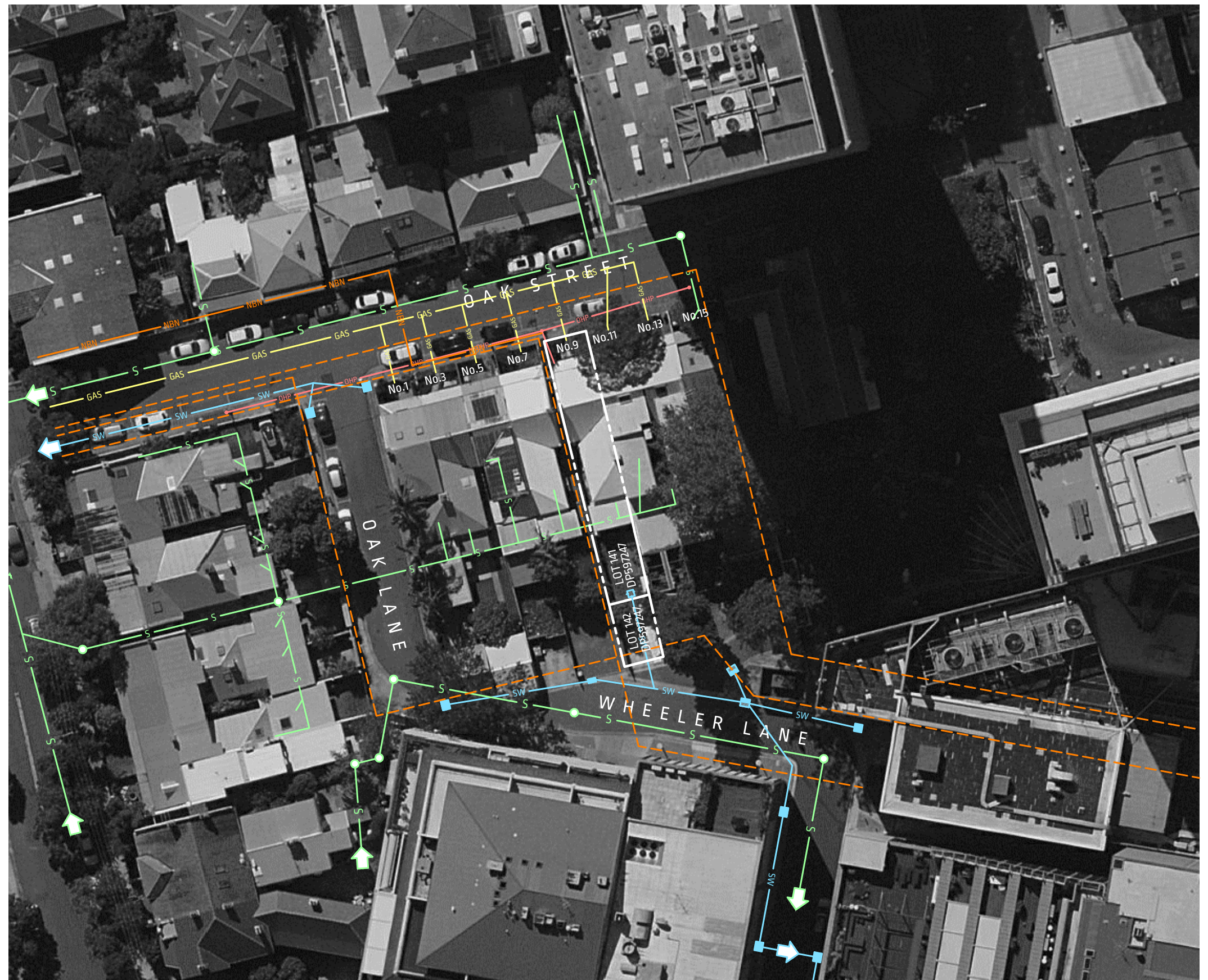


**NOTES**

1. SERVICE LOCATIONS OBTAINED FROM A BEFORE YOU DIG AUSTRALIA SEARCH. EXACT LOCATION OF ALL SERVICES SHALL BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. SYDNEY WATER MAPS INDICATE A WATER MAIN IN THE FOOTPATH ON THE NORTH SIDE OF OAK STREET. NO CONNECTION POINTS TO INDIVIDUAL RESIDENCES ARE SHOWN. WATER MAINS HAVE BEEN OMITTED FOR CLARITY.

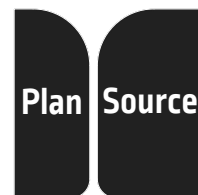
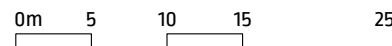


EXISTING STORMWATER PIT CLOSE TO BOUNDARY BETWEEN LOTS 141 & 142.



AERIAL PHOTO OBTAINED COURTESY OF NSW SPATIAL SERVICES, SIX MAPS VIEWER. IMAGE CAPTURED 07/04/2018.

**SERVICES PLAN**  
SCALE 1:500



PO BOX 124 QUAKERS HILL NSW 2763  
M 0425 362 043

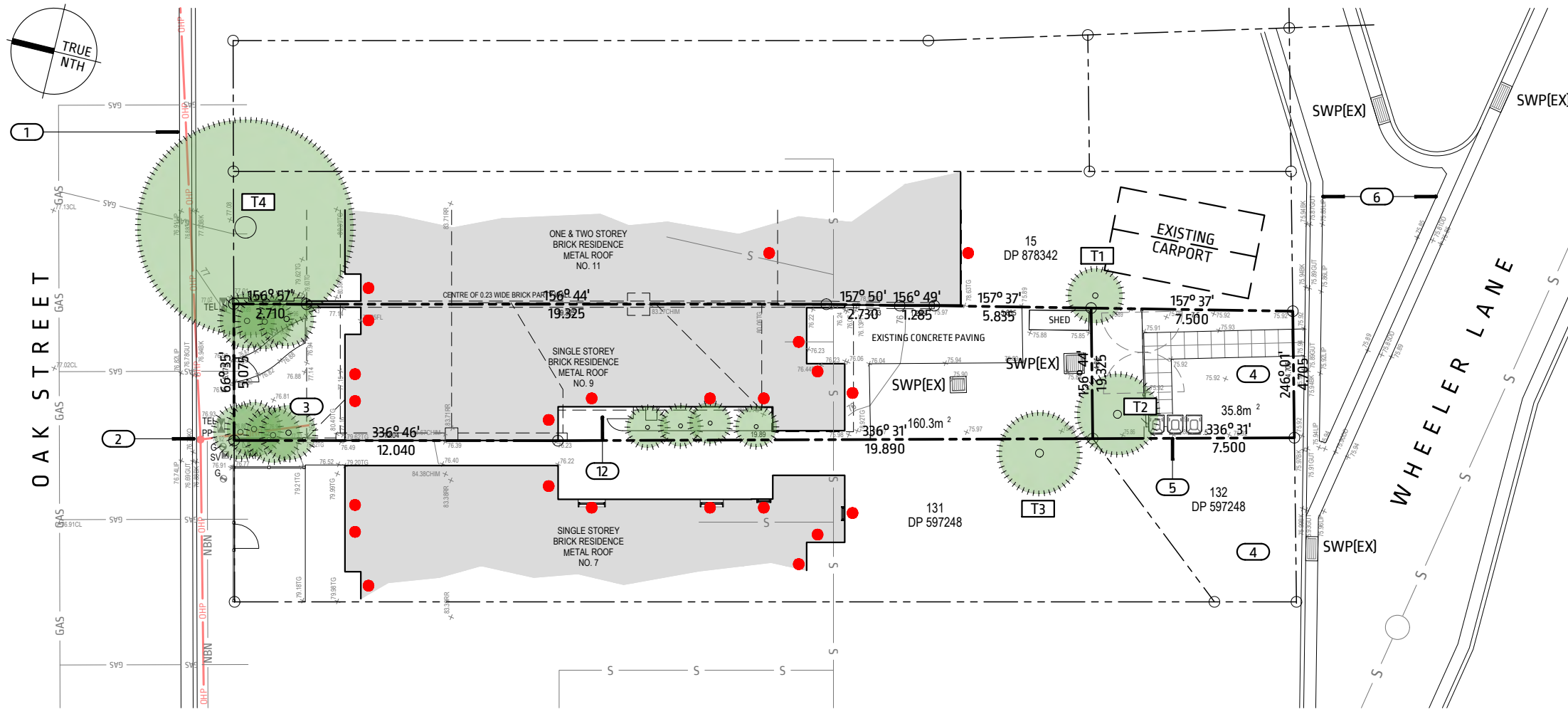
P202302230  
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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT **R. & N. JUFAS**

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	EXISTING SERVICES PLAN

ISSUE DATE	24/10/2023
SCALE	1:500 A3 SHEET
DRAWING NUMBER	<b>A011 -</b>



**LEGEND**

- (X) NOTE REFERENCE.
- T1 TREE TAG.
- GAS — EXISTING GAS SERVICE.
- NBN — EXISTING NBN SERVICE.
- OHP — EXISTING OVERHEAD POWER.
- S — EXISTING SEWER SERVICE.
- EXISTING DOOR OR WINDOW OPENINGS.
- SWP(EX) EXISTING STORMWATER PIT.

**NOTES**

1. EXISTING CONCRETE KERB & GUTTER.
2. EXISTING POWER POLE.
3. EXISTING POINT OF ATTACHMENT FOR ELECTRICAL SUPPLY.
4. OFF STREET PARKING ACCESSIBLE FROM THE REAR LANE.
5. EXISTING BIN STORAGE AREA. BINS WHEELED TO THE KERB FOR COLLECTION.
6. LAYBACK KERBS & DISH DRAINS.
7. LAND FALLS MODERATELY FROM NORTH TO SOUTH (0.97m FALL) WITH MINIMAL CROSSFALL.
8. EXISTING TREE (T1). DATA FROM THE SURVEY CAD FILE NOMINATES HEIGHT 4m, SPREAD 2m, TRUNK DIAMETER 0.2m.
9. EXISTING TREE (T2). DATA FROM THE SURVEY CAD FILE NOMINATES HEIGHT 5m, SPREAD 3m, TRUNK DIAMETER 0.3m.
10. EXISTING TREE (T3). DATA FROM THE SURVEY CAD FILE NOMINATES HEIGHT 5m, SPREAD 3m, TRUNK DIAMETER 0.3m.
11. EXISTING MATURE TREE (T4). DATA FROM THE SURVEY CAD FILE NOMINATES HEIGHT 8m, SPREAD 8m, TRUNK DIAMETER 0.6m.
12. ACCESS TO THIS AREA IS OBSTRUCTED BY THE EXISTING REAR ANNEXE. ONLY METHOD TO MOVE LARGE ITEMS IN & OUT OF THIS AREA IS OVER THE FENCE OR THROUGH A WINDOW. THIS AREA WAS SITE MEASURED BY PLAN SOURCE 31/03/2023.
13. THE LAND IS IN CLIMATE ZONE 5 AS DESCRIBED IN THE BUILDING CODE OF AUSTRALIA, AND NATHERS CLIMATE ZONE 17.

**ENLARGED SITE ANALYSIS**  
SCALE 1:200

**HERITAGE NOTES**

- A. SIGNIFICANCE: LOCAL
- B. ITEM No: I0948
- C. ONE OF A TERRACE OF SEVEN HOUSES (No's. 1, 3, 5, 7, 9, 11, 13 OAK STREET) BUILT AS TWO SEPARATE BUILDINGS WHICH ARE LINKED BY SHORT BRICK SEGMENTAL ARCHES OVER A NARROW PASSAGE BETWEEN No's 7 AND 9.
- D. EACH HOUSE IS IDENTICAL IN IT'S ORIGINAL FORM, WITH EACH PAIR SYMMETRICALLY ARRANGED AND GABLE ROOFS OF CORRUGATED IRON ARE CONTINUOUS OVER EACH OF THE TWO BUILDINGS.
- E. SKILLION VERANDAH ROOF IS HIPPED ON EACH END AND CONTINUOUS FOR EACH GROUP. THIS ROW IS VIRTUALLY IDENTICAL TO No's 15-29 EDWARD STREET. THIS BUILDING IS DESIGNED IN THE VICTORIAN GEORGIAN STYLE.



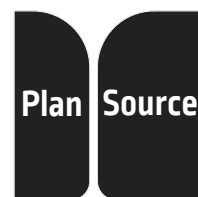
OAK STREET ELEVATION.



VIEW FROM CENTRE CHIMNEY LOOKING SOUTH.



VIEW FROM WHEELER LANE LOOKING NORTH.



PO BOX 124 QUAKERS HILL NSW 2763 M 0425 362 043

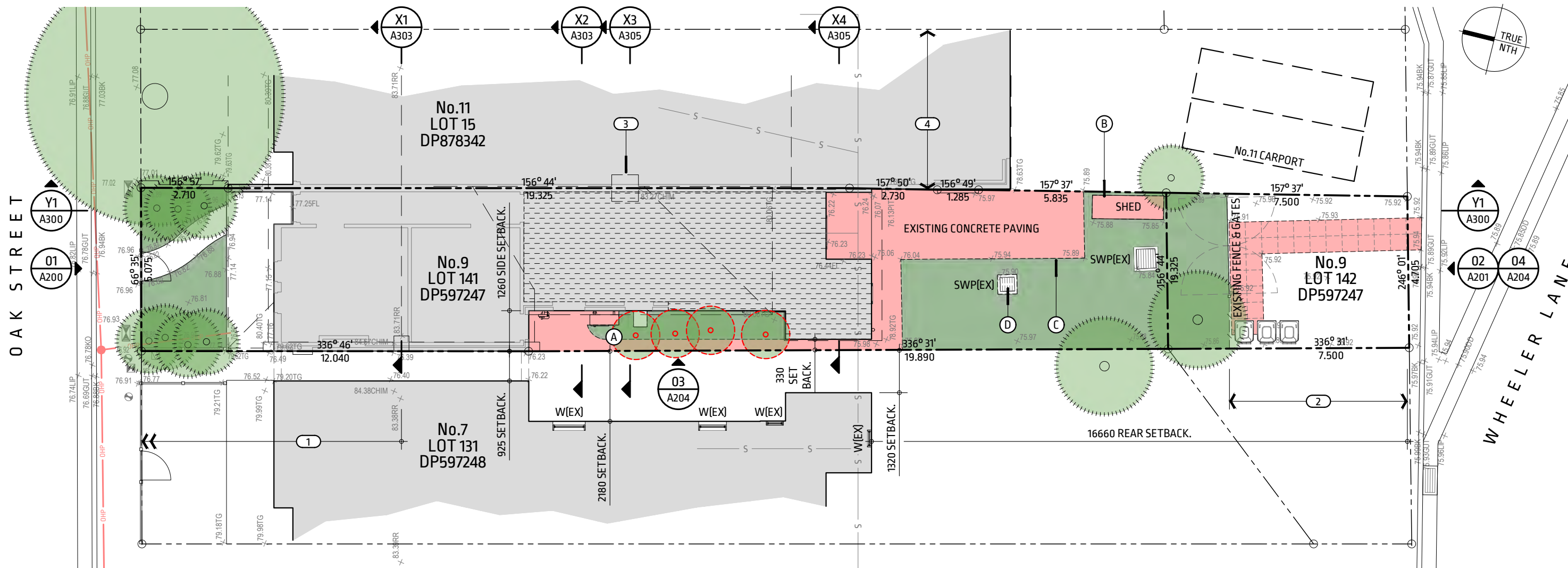
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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	ENLARGED SITE ANALYSIS

ISSUE DATE	24/10/2023
SCALE	1:200 A3 SHEET
DRAWING NUMBER	A012 -



**EXISTING / DEMO SITE PLAN**  
SCALE 1:125

**LEGEND**

- C.O.S. CONFIRM ON SITE.
- SWP(EX) EXISTING STORMWATER PIT.
- U.N.O. UNLESS NOTED OTHERWISE.
- W(EX) EXISTING WINDOW.
- × 159.97 EXISTING SPOT LEVEL.
- [Grey Box] FOOTPRINT OF EXISTING BUILDINGS.
- [Hatched Box] AREA OF EXISTING FLOOR & WALLS TO BE DEMOLISHED & REBUILT (PARTIALLY).
- [Green Box] LANDSCAPE AREA.
- [Red Line] EXISTING OVERHEAD POWER.
- [S Line] EXISTING SEWER SERVICE.
- [Green Circle] EXISTING TREE TO BE RETAINED.
- [Red Circle] EXISTING TREE TO BE REMOVED.
- [Red Dashed Box] AREA OF EXISTING PAVING OR OUTBUILDINGS TO BE DEMOLISHED.

**NOTES**

1. NO CHANGES ARE PROPOSED TO THE OAK STREET FRONTAGE FORWARD OF THE MAIN RIDGE LINE APART FROM REPAIRS TO A BROKEN PANE OF GLASS IN ONE OF THE STAINED GLASS WINDOWS, REPAIRS TO THE TIMBER PICKET FENCE AND REPAINTING IN ACCORDANCE WITH THE EXTERIOR FINISHES SCHEDULE. ANY DAMAGED ELEMENTS SHALL BE MADE GOOD TO MATCH EXISTING.
2. NO BUILDING WORKS ARE PROPOSED BETWEEN THE EXISTING REAR FENCE & WHEELER LANE APART FROM REMOVAL OF PAVING AS SHOWN.
3. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023.
4. PREVIOUS ALTERATIONS & ADDITIONS TO No's 11 & 13 HAVE BEEN BUILT FROM BDY TO BDY AT THE REAR OF THE LOT.

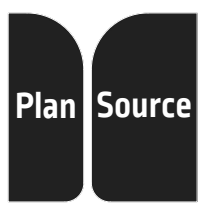
**SCOPE OF WORKS**

- A. DISCONNECT & REMOVE EXISTING GAS STORAGE HOT WATER UNIT & AC CONDENSER.
- B. REMOVE EXISTING METAL SHED.
- C. REMOVE EXISTING PAVING WHERE SHOWN.
- D. REMOVE EXISTING STORMWATER PIT, AS WELL AS UPSTREAM & DOWNSTREAM LINES.

**REFERENCES**

- PROPOSED SITE & LANDSCAPE PLAN [REFER DWG | A021](#)
- SITE AREA CALCULATIONS [REFER DWG | A022](#)
- SHADOW DIAGRAMS [REFER DWG | A030](#)
- EXISTING FLOOR PLAN [REFER DWG | A100](#)
- DEMOLITION FLOOR PLAN [REFER DWG | A101](#)
- EXISTING ROOF PLAN [REFER DWG | A110](#)

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

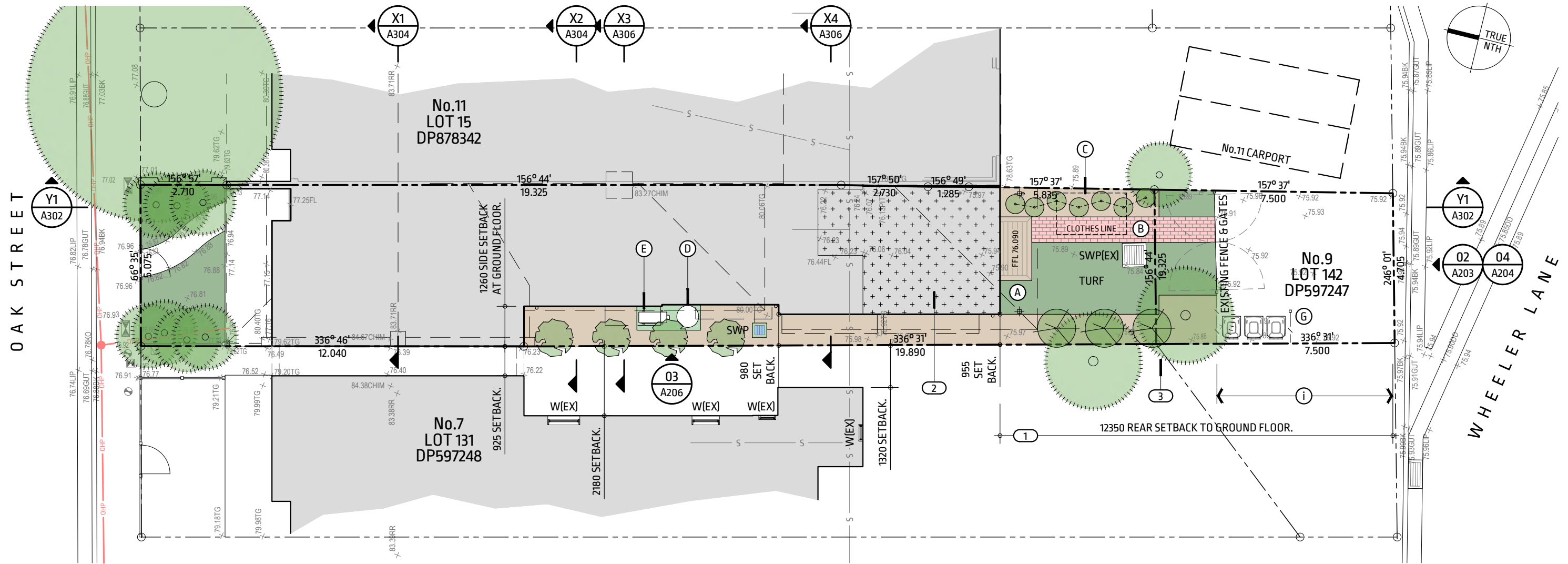


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**ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247**  
CLIENT **R. & N. JUFAS**

ISSUE **DEVELOPMENT APPLICATION**  
DRAWN / CHECKED **M.S.**  
DRAWING TITLE **EXISTING / DEMO SITE PLAN**

ISSUE DATE **24/10/2023**  
SCALE **1:125 A3 SHEET**  
DRAWING NUMBER **A020 -**



**PROPOSED SITE & LANDSCAPE PLAN**  
SCALE 1:125

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

**PLANT SCHEDULE**

- SYZYGIUM AUSTRALE RESILIENCE, LILLY PILLY RESILIENCE, 15 LITRE POT, PRUNED TO APPROXIMATELY 2.5m MATURE HEIGHT.
- CALLISTEMON VIMALIS, CALLISTEMON SLIM, 15 LITRE POT, PRUNED TO APPROXIMATELY 2.5m MATURE HEIGHT.
- OPHIPOGON JAPONICUS, MONDO GRASS, 5 LITRE POT.

**LEGEND**

- C.O.S. CONFIRM ON SITE.
- FFL FINISHED FLOOR LEVEL.
- SWP PROPOSED STORMWATER PIT.
- SWP(EX) EXISTING STORMWATER PIT.
- U.N.O. UNLESS NOTED OTHERWISE.
- W(EX) EXISTING WINDOW.
- × 159.97 EXISTING SPOT LEVEL.
- FOOTPRINT OF EXISTING BUILDINGS.
- AREA OF PROPOSED ADDITIONS.
- CONCRETE.
- LANDSCAPE AREA.
- MULCHED GARDEN BED.
- METAL.
- EXISTING OVERHEAD POWER.
- EXISTING SEWER SERVICE.
- EXISTING TREE TO BE RETAINED.
- PROPOSED TIMBER DECK.
- PROPOSED BRICK PAVING.

**NOTES**

1. GROUND FLOOR ADDITIONS ALIGNED WITH PREVIOUS ADDITIONS TO No.11.
2. THE PROPOSAL DOES NOT CHANGE THE EXISTING SITE LEVELS OR GRADIENTS BEYOND INCIDENTAL STRIPPING OF THE SITE FOR SLAB ON GROUND CONSTRUCTION TO THE GROUND FLOOR ADDITIONS.
3. THIS TREE SHALL BE RETAINED TO MAINTAIN VISUAL PRIVACY TO THE OFFICE BUILDING & RESIDENTIAL APARTMENT BLOCK ON THE SOUTH SIDE OF WHEELER LANE.

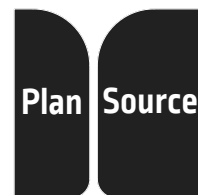
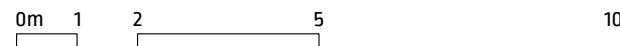
**SCOPE OF WORKS**

- A. CONSTRUCT A TIMBER DECK OUTSIDE PROPOSED LIVING ROOM DOORS.
- B. CONSTRUCT A FOOTPATH TO THE REAR FENCE & GATES.
- C. SUPPLY & INSTALL A LARGER FOLDING CLOTHESLINE TO REPLACE EXISTING. SUITABLE PRODUCT: HILLS HOME LIVING FOLDING FRAME SINGLE 26m / 2.2m x 1.3m, COLOUR: WOODLAND GREY, PRODUCT CODE: 101060 + FOLDING FRAME POST KIT, COLOUR: WOODLAND GREY, CODE: 101080.
- D. SUPPLY & INSTALL A NEW HEAT PUMP STORAGE HOT WATER UNIT.
- E. SUPPLY & INSTALL A NEW AC CONDENSER UNIT TO FUTURE SPECIFICATION.
- F. INSTALL NEW STORMWATER PITS & DRAINAGE LINES IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.

- G. CONSTRUCT A TIMBER SCREEN TO THE BIN STORAGE AREA AS SHOWN. SCREEN SHALL BE NO HIGHER THAN THE EXISTING PALING FENCES TO THE REAR YARD.
- H. INSTALL NEW LANDSCAPING COMPRISING TURF & PLANTINGS AS SCHEDULED.
- I. REPLENISH & MAKE GOOD LOOSE GRAVEL TO THE PARKING AREA ON COMPLETION OF THE WORKS.

**REFERENCES**

- SITE AREA CALCULATIONS [\(REFER DWG | A022\)](#)
- SHADOW DIAGRAMS [\(REFER DWG | A030\)](#)
- PROPOSED FLOOR PLAN [\(REFER DWG | A102\)](#)
- DEMO & PROPOSED ROOF PLANS [\(REFER DWG | A111\)](#)



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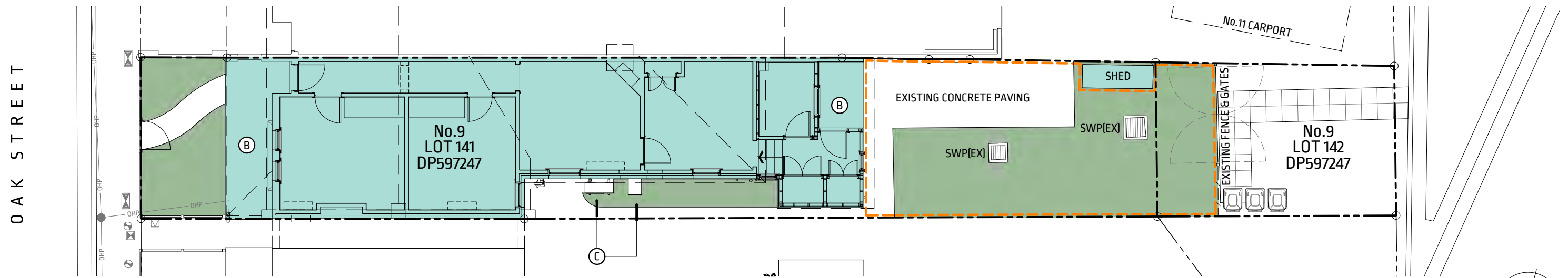
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**ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247**

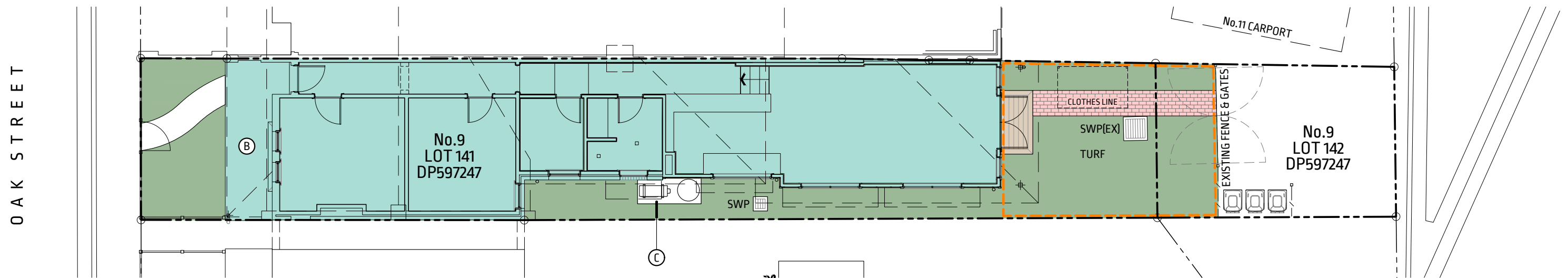
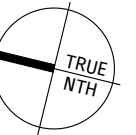
CLIENT **R. & N. JUFAS**

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	PROPOSED SITE & LANDSCAPE PLAN

ISSUE DATE	24/10/2023
SCALE	1:125 A3 SHEET
DRAWING NUMBER	<b>A021 -</b>



**EXISTING SITE PLAN**  
SCALE 1:125



**PROPOSED SITE PLAN**  
SCALE 1:125

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

**NOTES**

- A. CONSOLIDATION OF LOTS 141 & 142 IS PROPOSED & AREA CALCULATIONS ARE BASED ON THE COMBINED AREA OF BOTH LOTS IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT: "CALCULATIONS MUST BE AGAINST THE SITE AREA OF LOT 141 ONLY UNLESS THE DEVELOPMENT APPLICATION PROPOSES AN AMALGAMATION OF THE TWO (2) LOTS."
- B. THE EXISTING VERANDA & EXISTING PATIO HAVE BEEN INCLUDED IN THE AREA FOR SITE COVERAGE TO REFLECT ADVICE IN THE PRE-APPLICATION MEETING MINUTES THAT: "SITE COVERAGE INCLUDES ROOFED TERRACES AND UNENCLOSED VERANDAHS AND BALCONIES."
- C. HOT WATER UNIT & AC CONDENSER HAVE BEEN DEDUCTED FROM LANDSCAPED AREA.

**LEGEND**

- SITE COVERAGE.
- LANDSCAPE AREA.
- PRIVATE OPEN SPACE (POS).

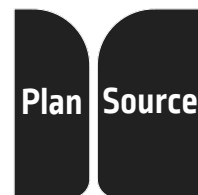
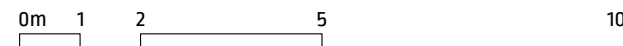
**AREA CALCULATIONS**

TOTAL SITE AREA m <sup>2</sup>	196.1		
TYPE	REQ'D	EXISTING	PROPOSED
MAXIMUM SITE COVERAGE %	60	47.0	54.1 <span style="color: green;">✔</span>
MINIMUM LANDSCAPE AREA %	20	25.9	26.5 <span style="color: green;">✔</span>
MAXIMUM UN-BUILT UPON AREA %	20	27.0	19.5 <span style="color: green;">✔</span>
MINIMUM POS m <sup>2</sup>	40	52.7	33.1 <span style="color: red;">✘</span>

**LAND CONSOLIDATION**

PLANS OF CONSOLIDATION MUST BE PREPARED BY A REGISTERED SURVEYOR, INCLUDING & NOT LIMITED TO:

1. ATTEND SITE & LOCATE SURVEY MARKS, OCCUPATIONS AND STRUCTURES AS NECESSARY.
2. LOCATE MAP GRID OF AUSTRALIA (MGA) CONTROL MARKS.
3. PLACE SURVEY MARKS AT THE CORNERS OF THE LAND AND REFERENCE MARKS AS REQUIRED.
4. PREPARE A PLAN OF SURVEY SUITABLE FOR LODGEMENT WITH LAND REGISTRY SERVICES NSW (LRS).
5. ELECTRONICALLY LODGE (eplan) THE COMPLETED SUBDIVISION WITH NSWLRS.



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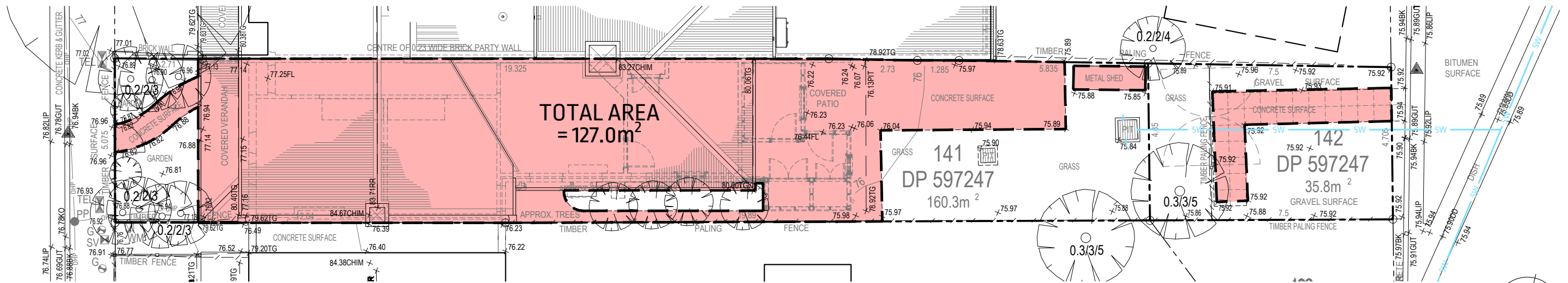
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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

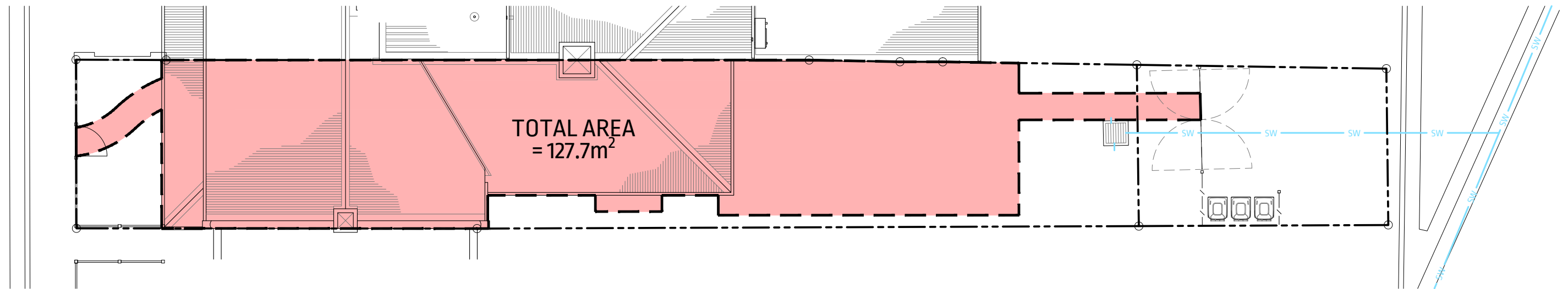
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE SITE AREA CALCULATIONS

ISSUE DATE 24/10/2023  
SCALE 1:125 A3 SHEET  
DRAWING NUMBER A022 -



**EXISTING IMPERVIOUS AREA PLAN**  
SCALE 1:125

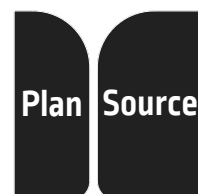
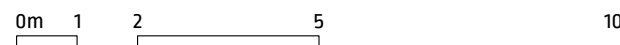


**PROPOSED IMPERVIOUS AREA PLAN**  
SCALE 1:125

**AREA CALCULATIONS**

TOTAL SITE AREA m <sup>2</sup>	196.1
EXISTING IMPERVIOUS AREA %	64.7
PROPOSED IMPERVIOUS AREA %	65.1

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION

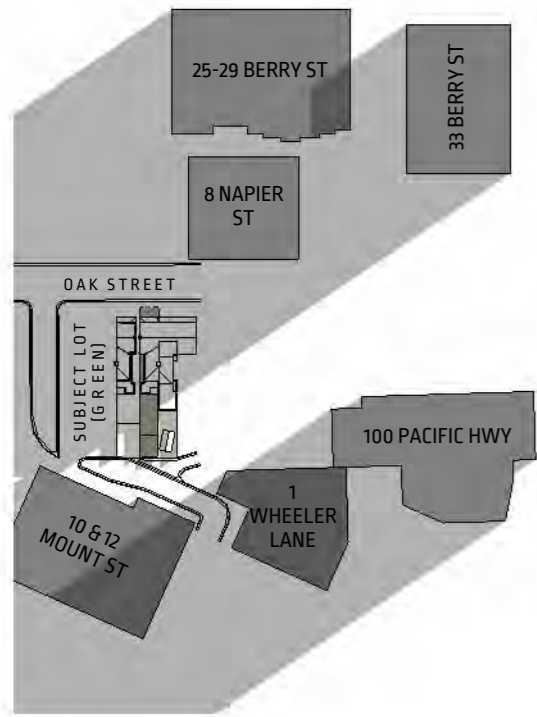
DRAWN / CHECKED M.S.

DRAWING TITLE IMPERVIOUS AREA PLANS

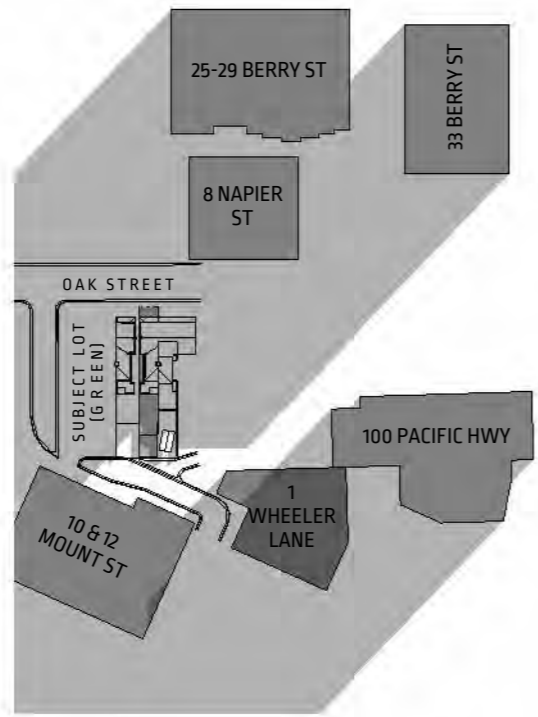
ISSUE DATE 24/10/2023

SCALE 1:125 A3 SHEET

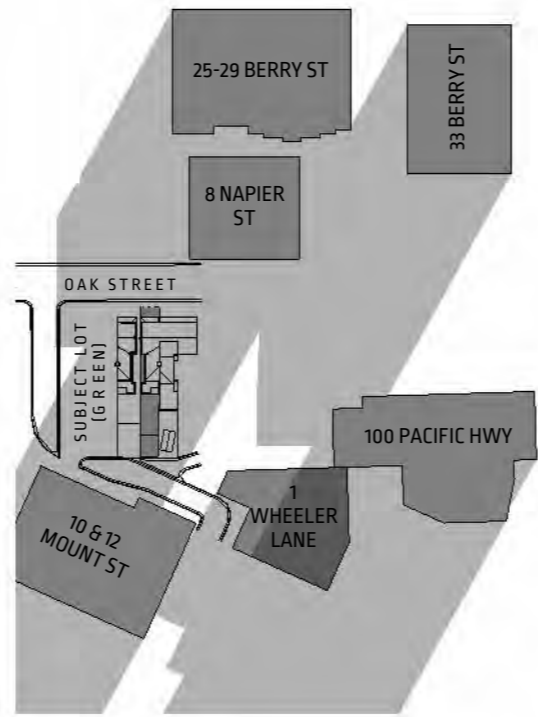
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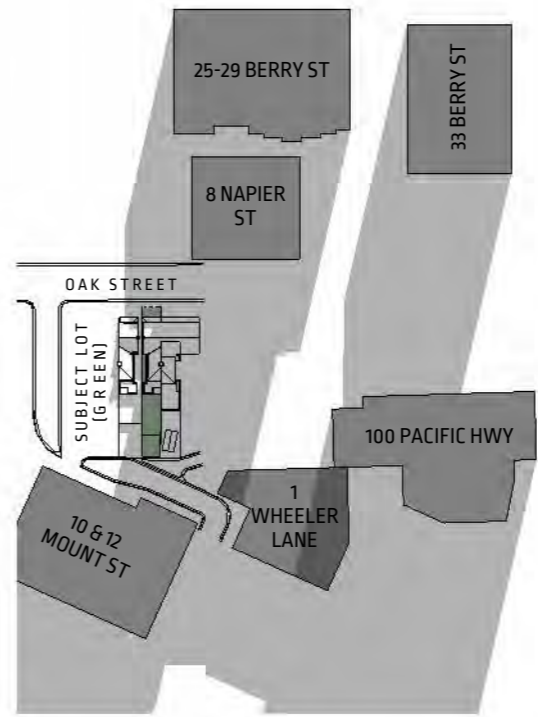
1 9:00AM, 21ST JUNE  
A030



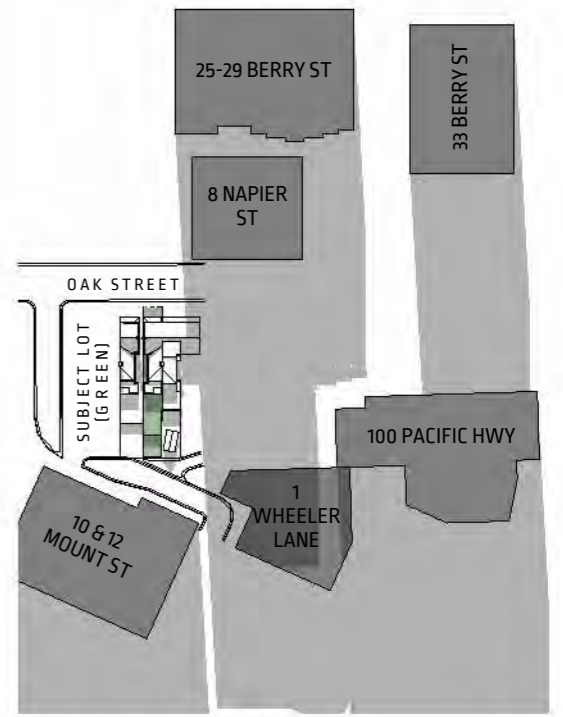
2 10:00AM, 21ST JUNE  
A030



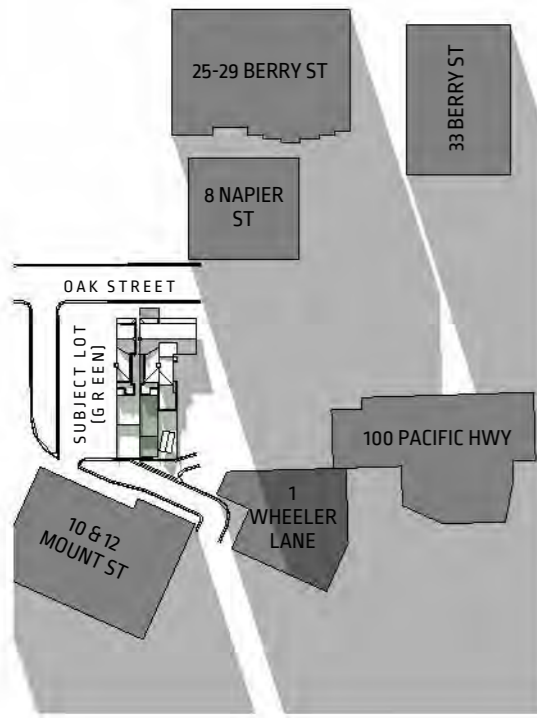
3 11:00AM, 21ST JUNE  
A030



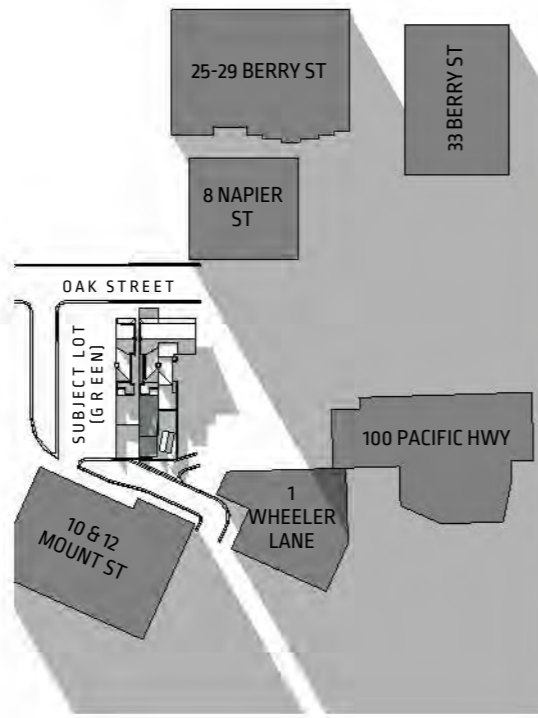
4 MIDDAY, 21ST JUNE  
A030



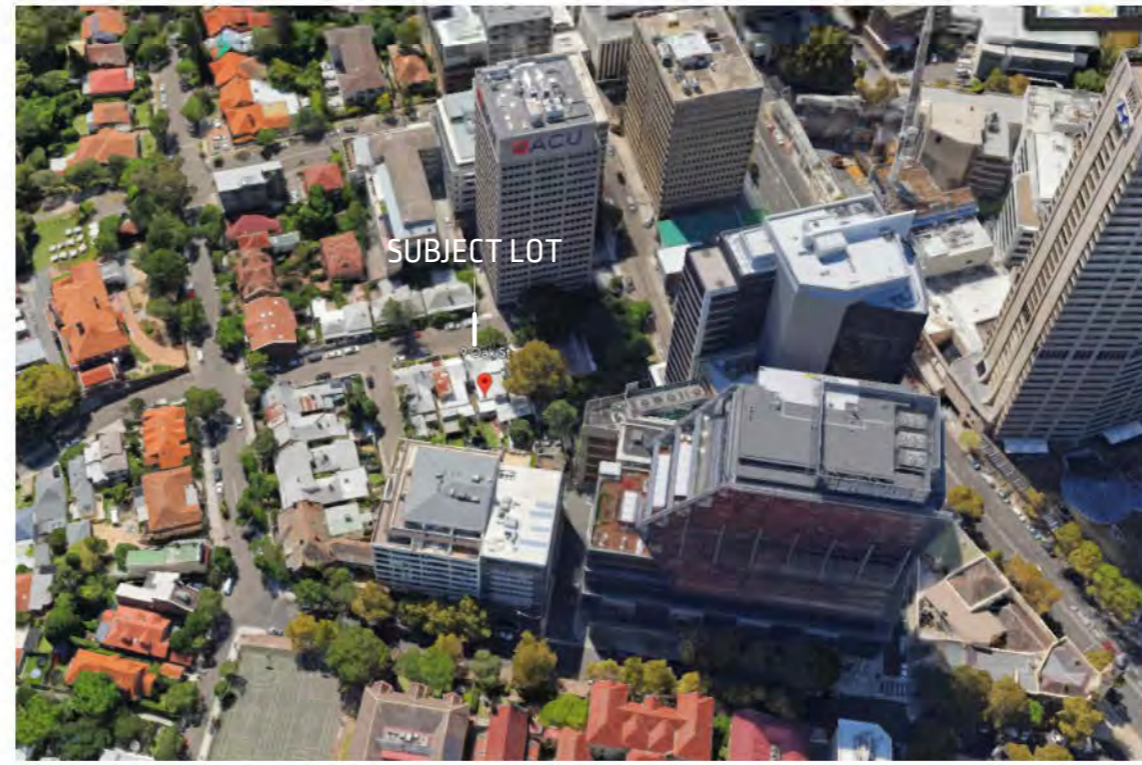
5 1:00PM, 21ST JUNE  
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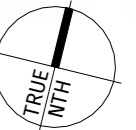
6 2:00PM, 21ST JUNE  
A030



7 3:00PM, 21ST JUNE  
A030



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**NOTES**

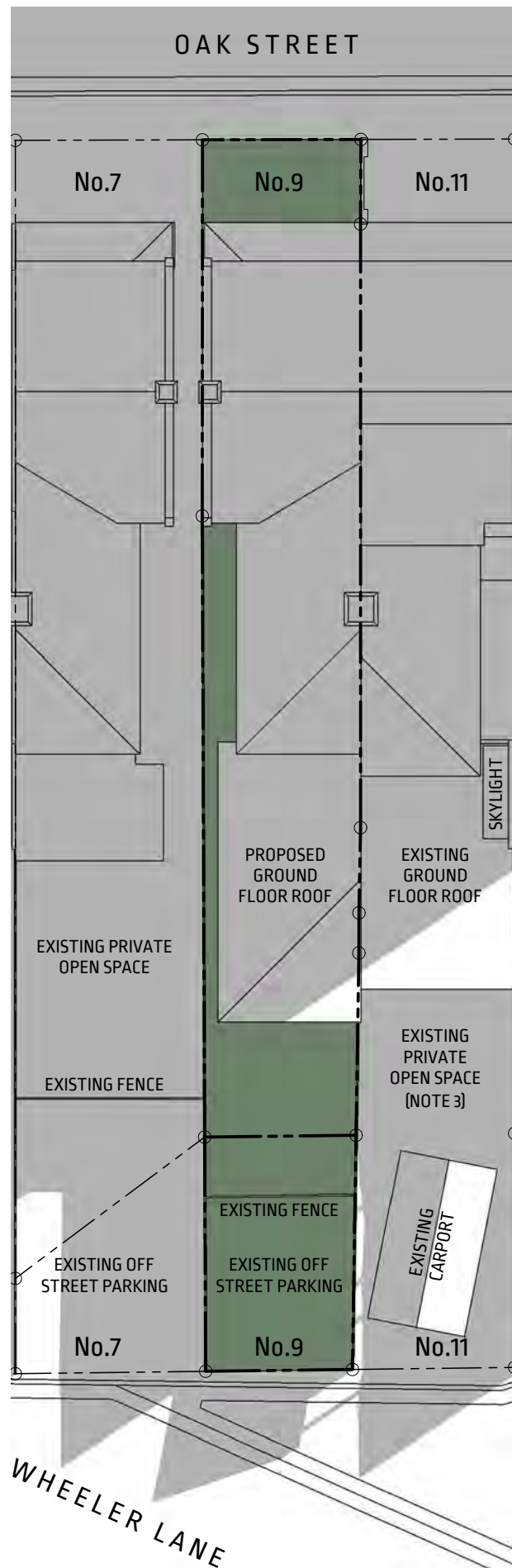
1. HEIGHT AND LOCATION OF HIGH RISE DEVELOPMENT MODELLED IN THESE DIAGRAMS IS INDICATIVE ONLY.
2. GROUND LEVELS ARE ONLY ACCURATE IN THE AREA COVERED BY THE DETAIL SURVEY PREPARED FOR THIS APPLICATION.

**Plan Source**  
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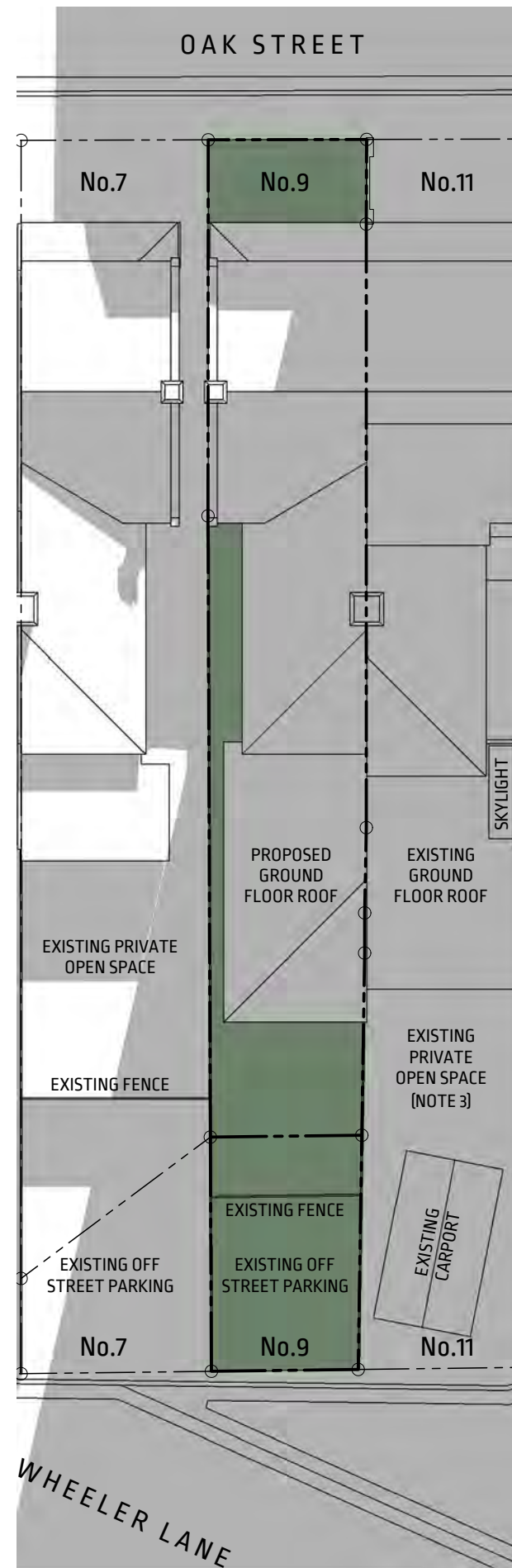
ALTERATIONS & ADDITIONS TO  
 9 OAK STREET,  
 NORTH SYDNEY NSW 2060  
 LOTS 141 & 142, DP597247

CLIENT	R. & N. JUFAS
DRAWN	M.S.
CHECKED	M.S.
DRAWING TITLE	EXISTING WINTER SHADOW STUDY
DATE	22/9/2023
SCALE	1:2000 A3 SHEET
DRAWING NUMBER	<b>A030</b>

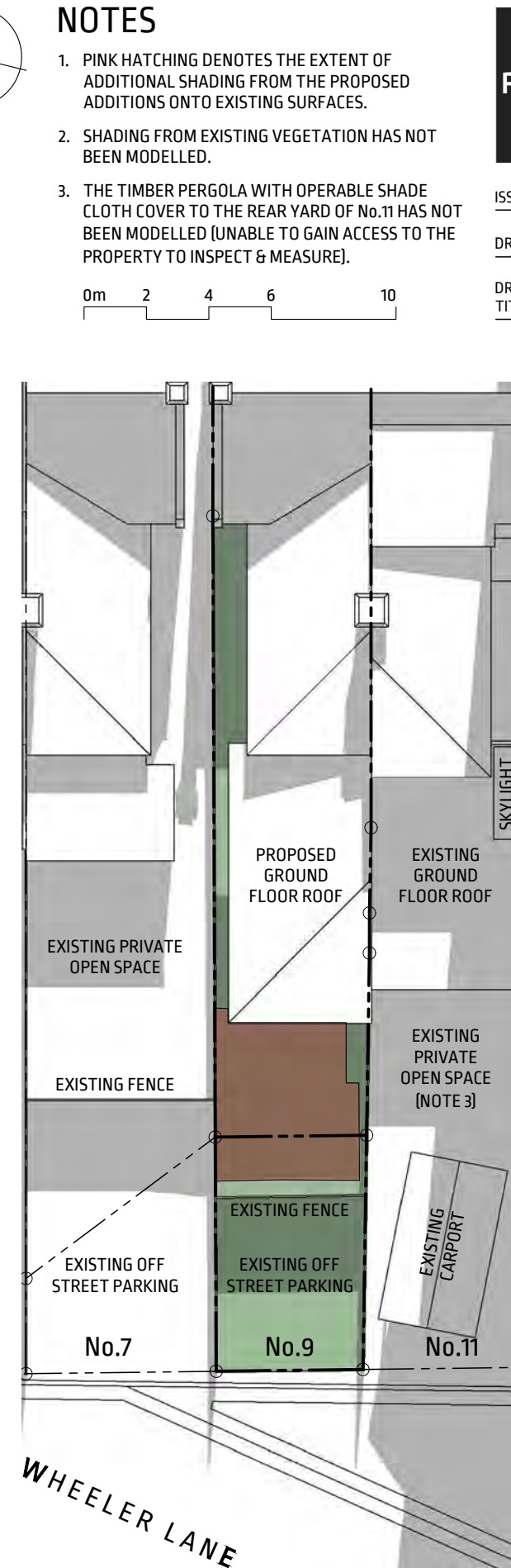




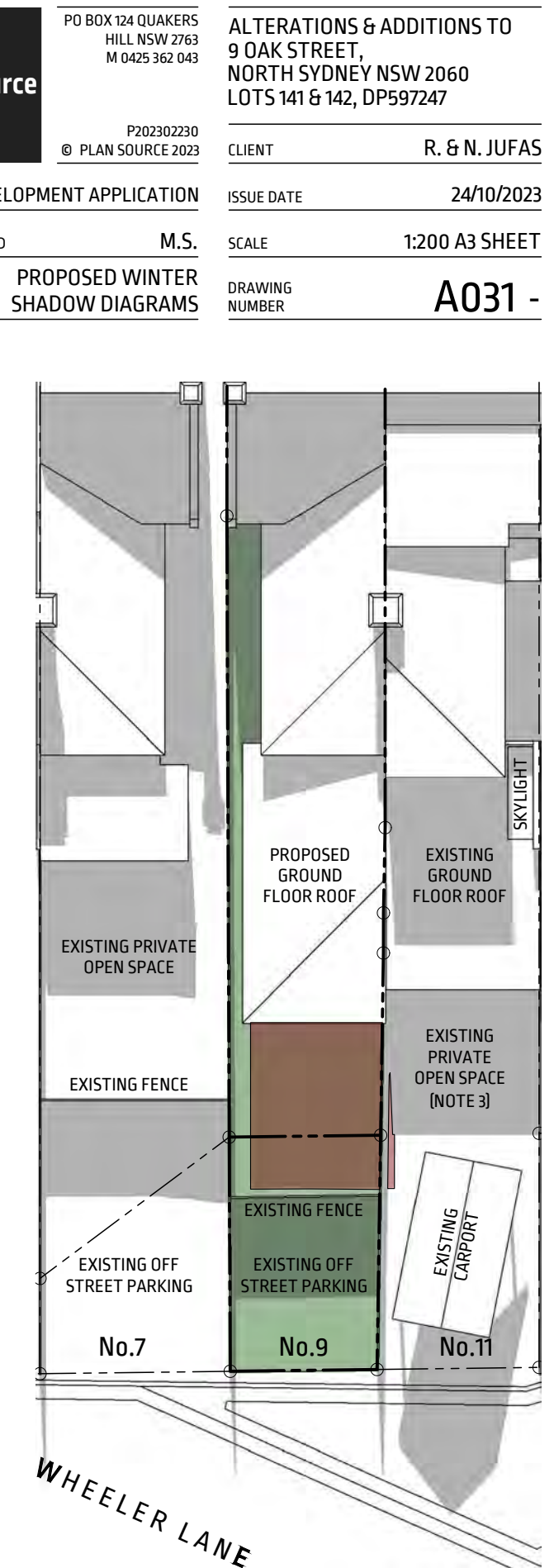
PROPOSED 9:00AM 21ST JUNE  
SCALE 1:200



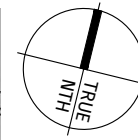
PROPOSED MIDDAY 21ST JUNE  
SCALE 1:200



PROPOSED 12:30PM 21ST JUNE  
SCALE 1:200

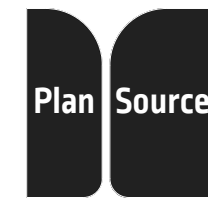
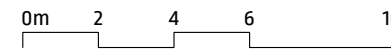


PROPOSED 1:00PM 21ST JUNE  
SCALE 1:200



**NOTES**

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
2. SHADING FROM EXISTING VEGETATION HAS NOT BEEN MODELLED.
3. THE TIMBER PERGOLA WITH OPERABLE SHADE CLOTH COVER TO THE REAR YARD OF No.11 HAS NOT BEEN MODELLED (UNABLE TO GAIN ACCESS TO THE PROPERTY TO INSPECT & MEASURE).



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ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE PROPOSED WINTER SHADOW DIAGRAMS

ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

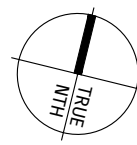
ISSUE DATE 24/10/2023

SCALE 1:200 A3 SHEET

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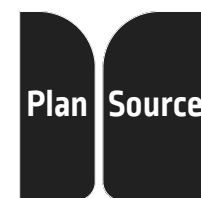
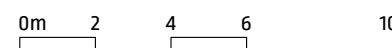
OAK STREET

OAK STREET



**NOTES**

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
2. SHADING FROM EXISTING VEGETATION HAS NOT BEEN MODELLED.
3. THE TIMBER PERGOLA WITH OPERABLE SHADE CLOTH COVER TO THE REAR YARD OF No.11 HAS NOT BEEN MODELLED (UNABLE TO GAIN ACCESS TO THE PROPERTY TO INSPECT & MEASURE).



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NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DATE 24/10/2023

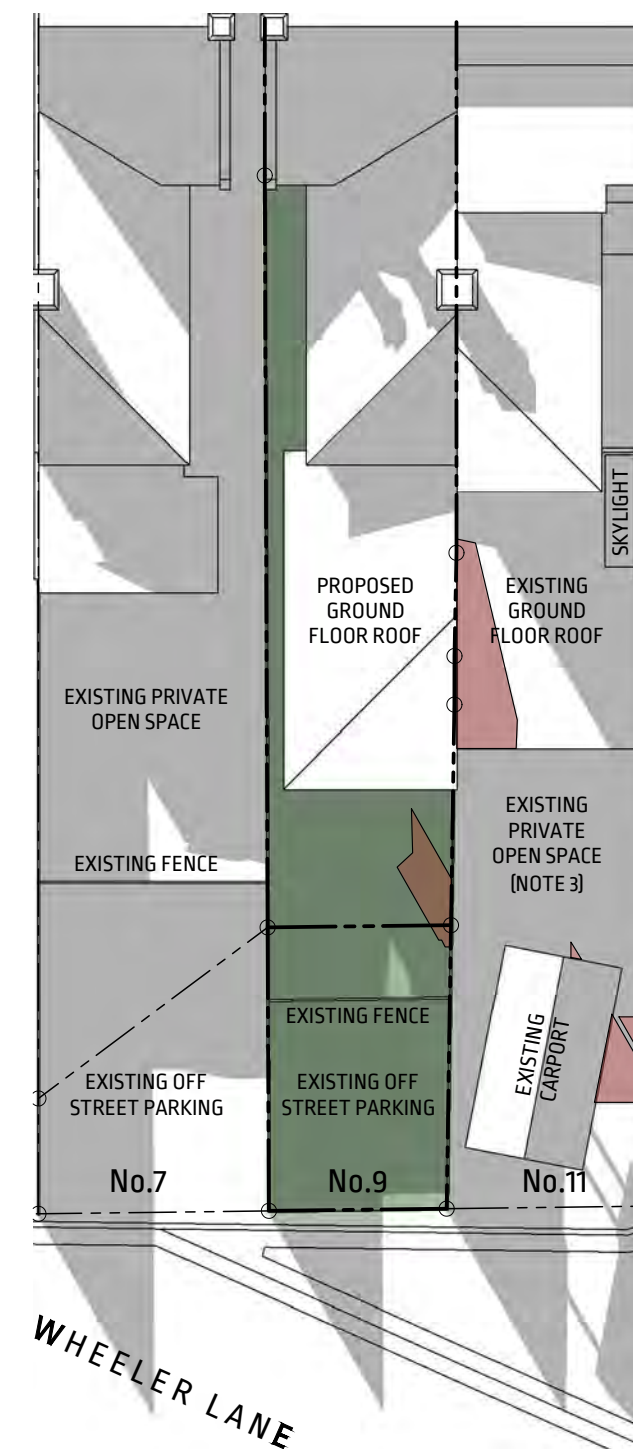
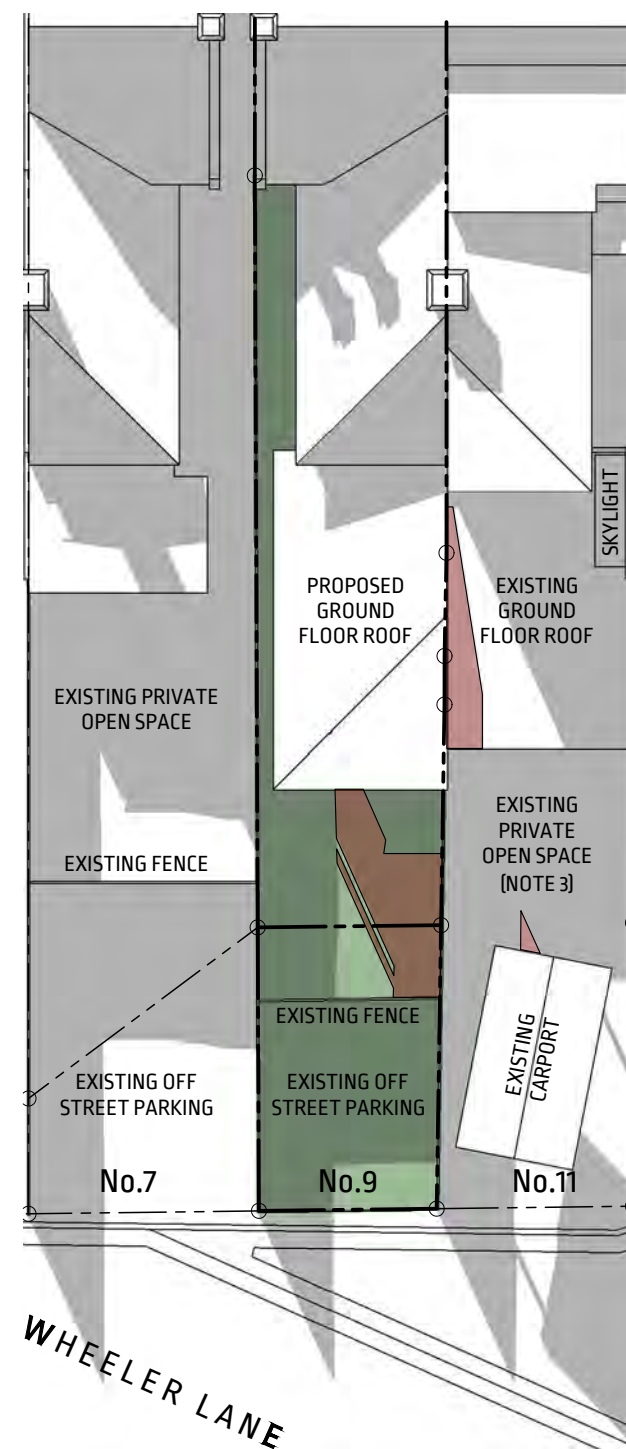
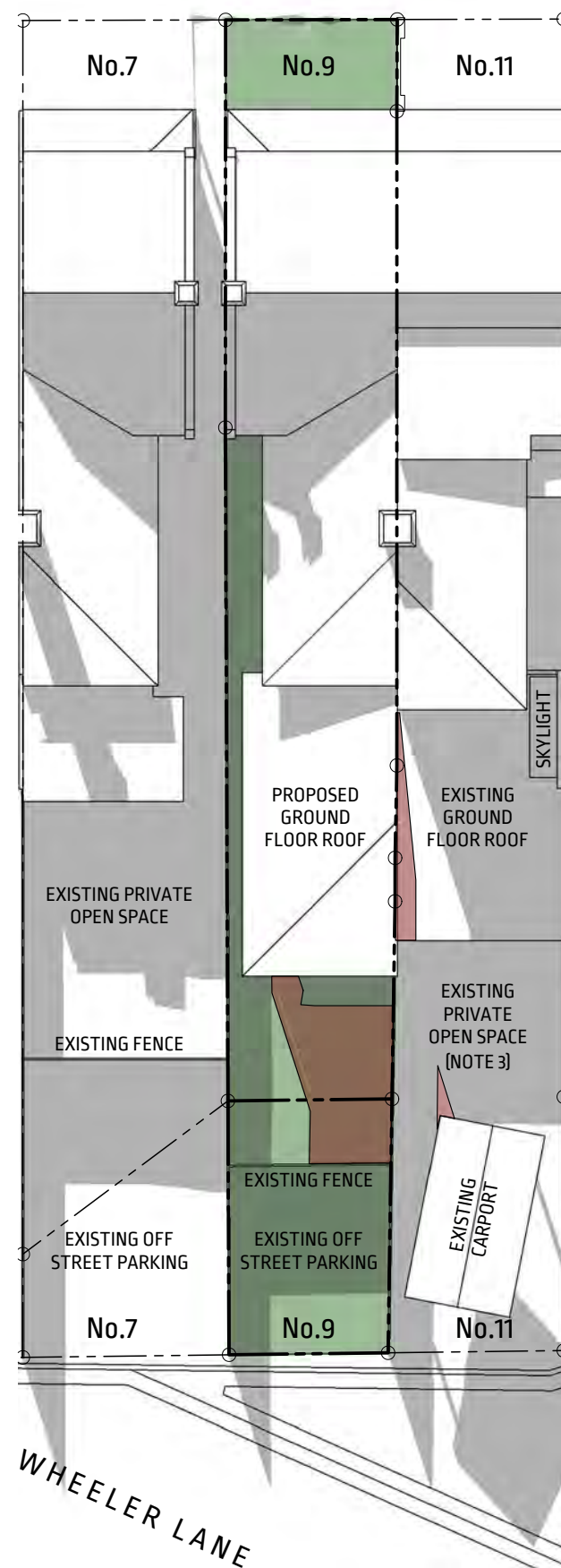
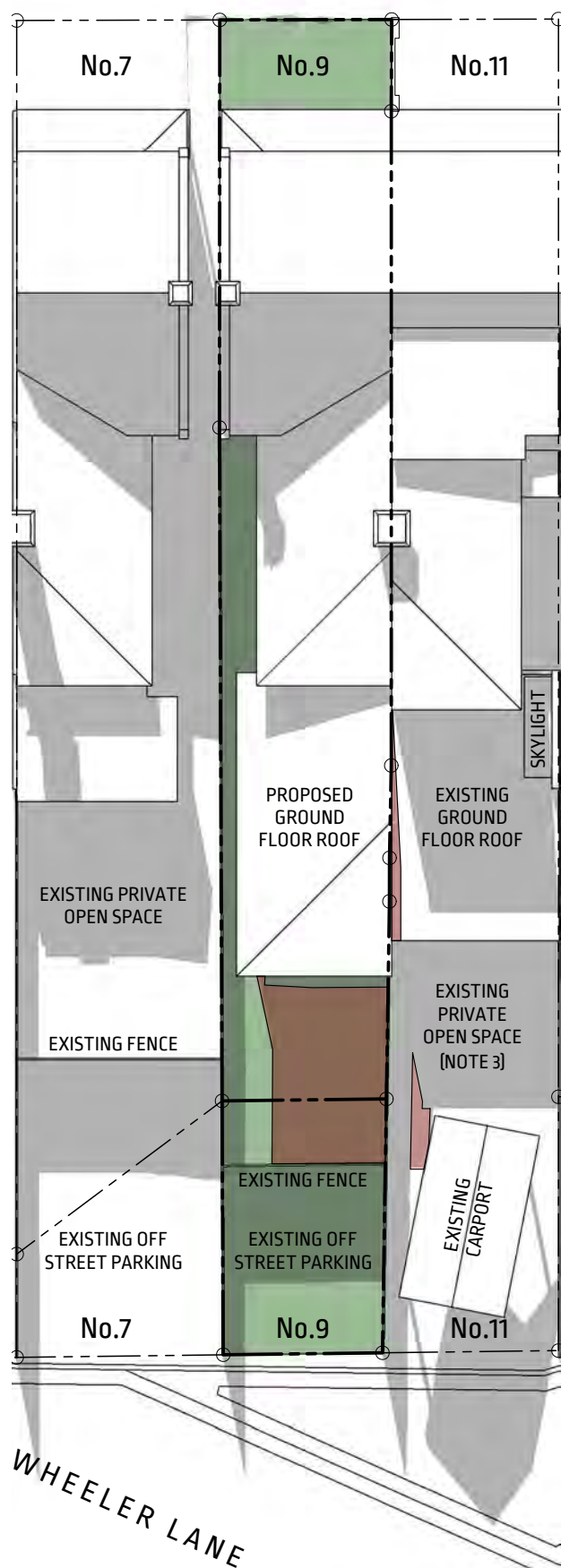
ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

SCALE 1:200 A3 SHEET

DRAWING TITLE PROPOSED WINTER SHADOW DIAGRAMS

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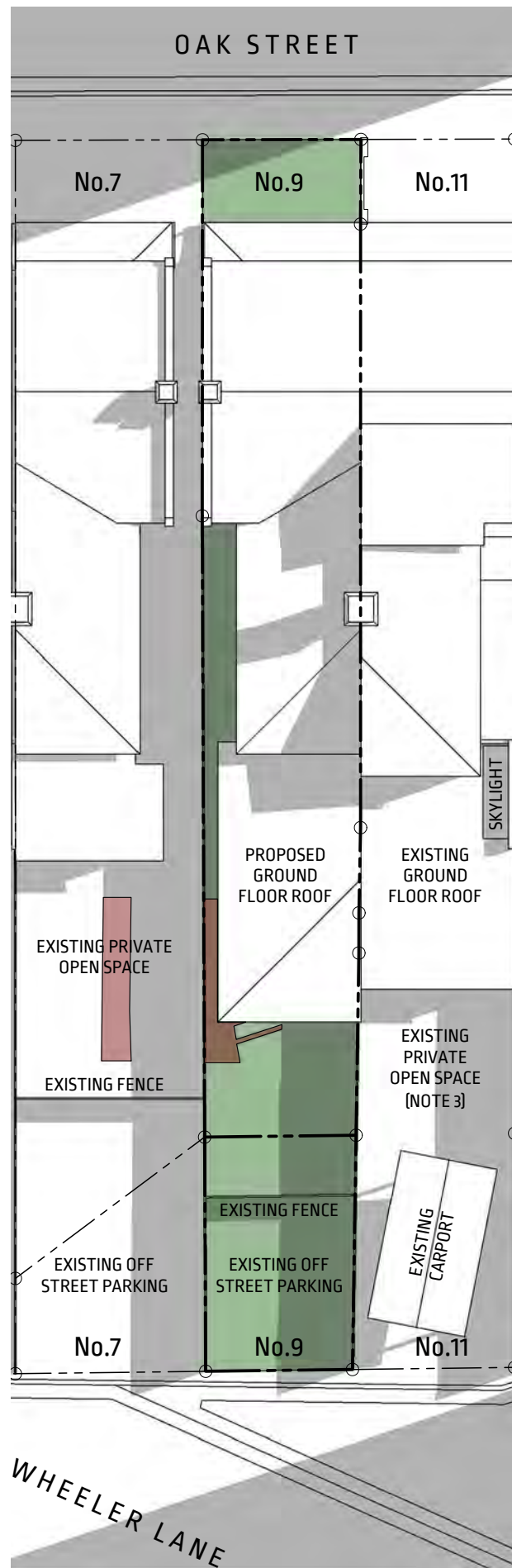


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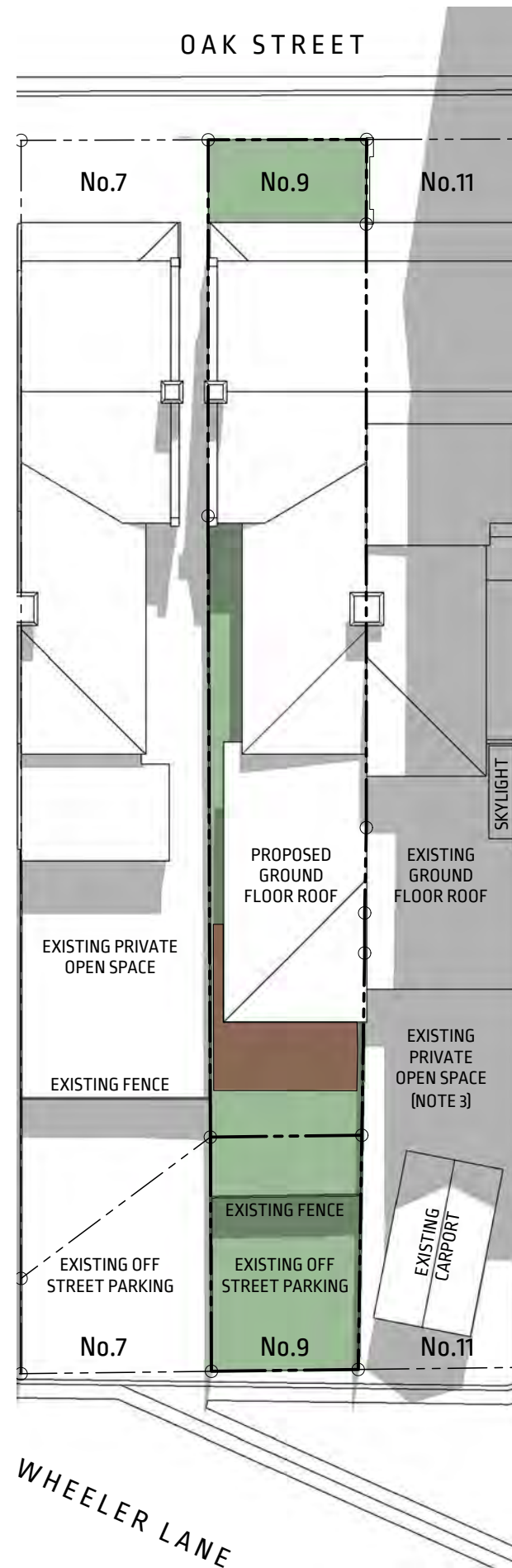
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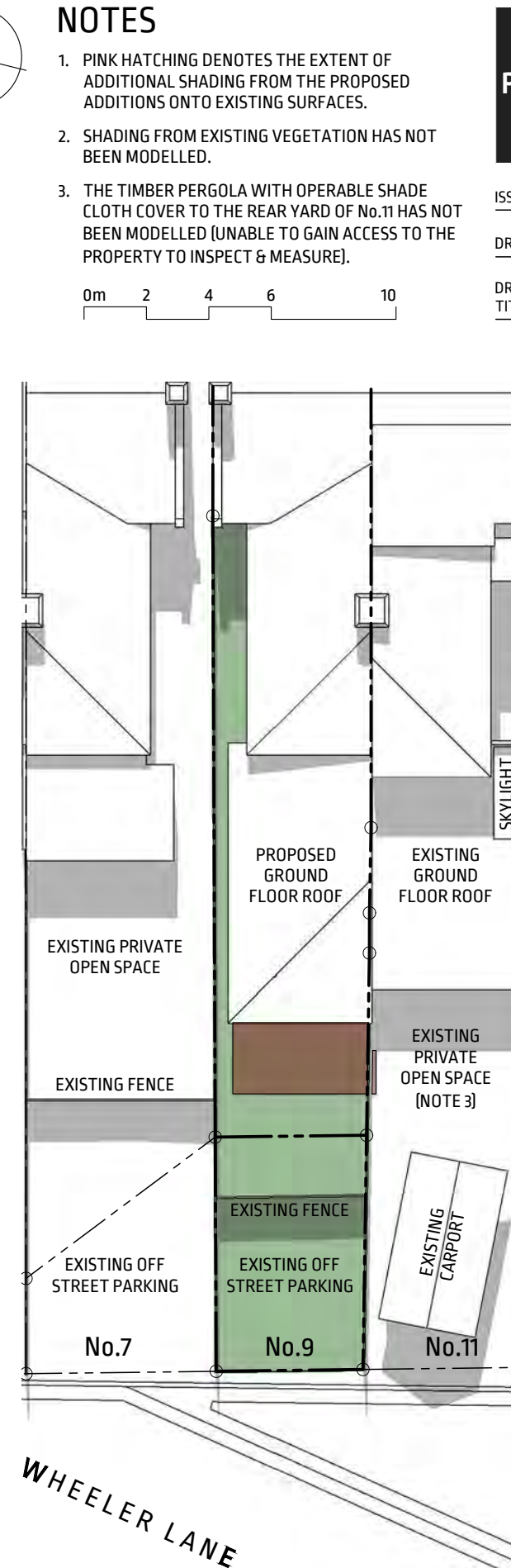
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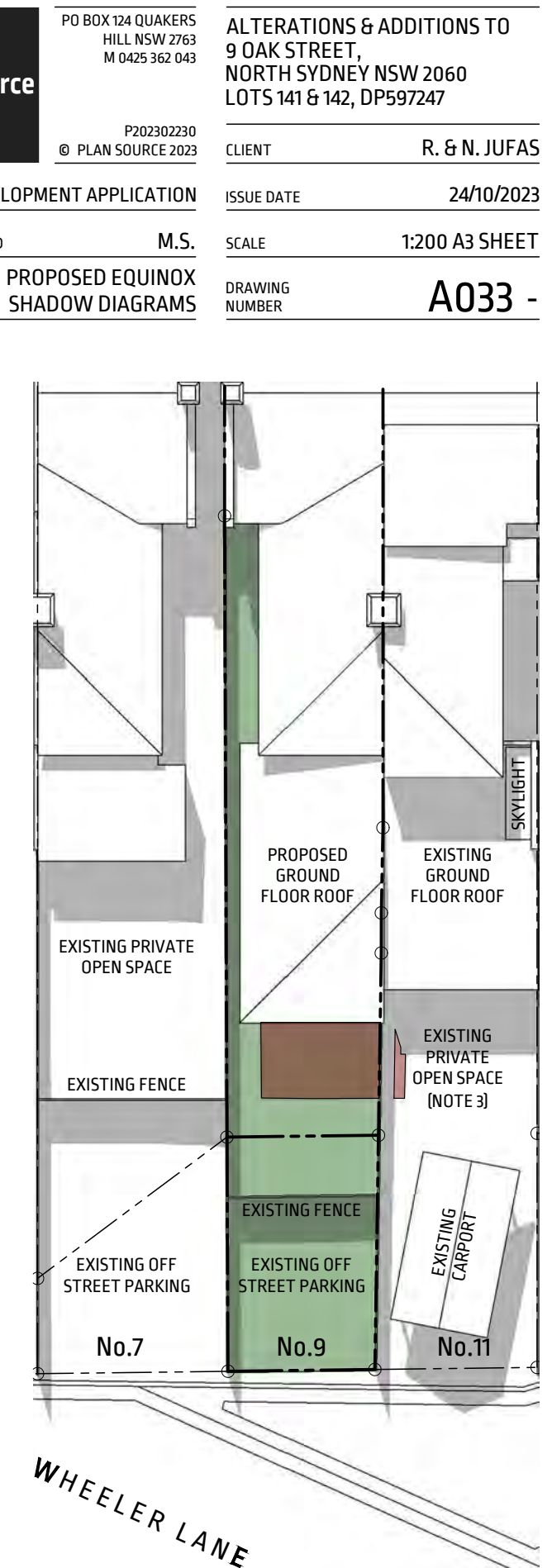
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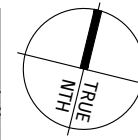
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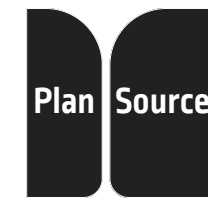
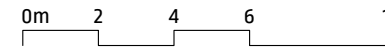


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**NOTES**

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
2. SHADING FROM EXISTING VEGETATION HAS NOT BEEN MODELLED.
3. THE TIMBER PERGOLA WITH OPERABLE SHADE CLOTH COVER TO THE REAR YARD OF No.11 HAS NOT BEEN MODELLED (UNABLE TO GAIN ACCESS TO THE PROPERTY TO INSPECT & MEASURE).



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9 OAK STREET,  
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LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DATE 24/10/2023

SCALE 1:200 A3 SHEET

DRAWING NUMBER A033 -

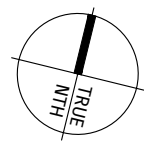
ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE PROPOSED EQUINOX SHADOW DIAGRAMS

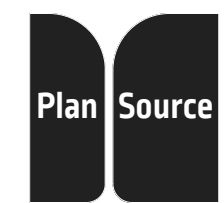
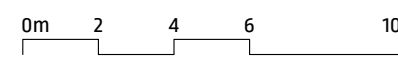
OAK STREET

OAK STREET



**NOTES**

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
2. SHADING FROM EXISTING VEGETATION HAS NOT BEEN MODELLED.
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LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DATE 24/10/2023

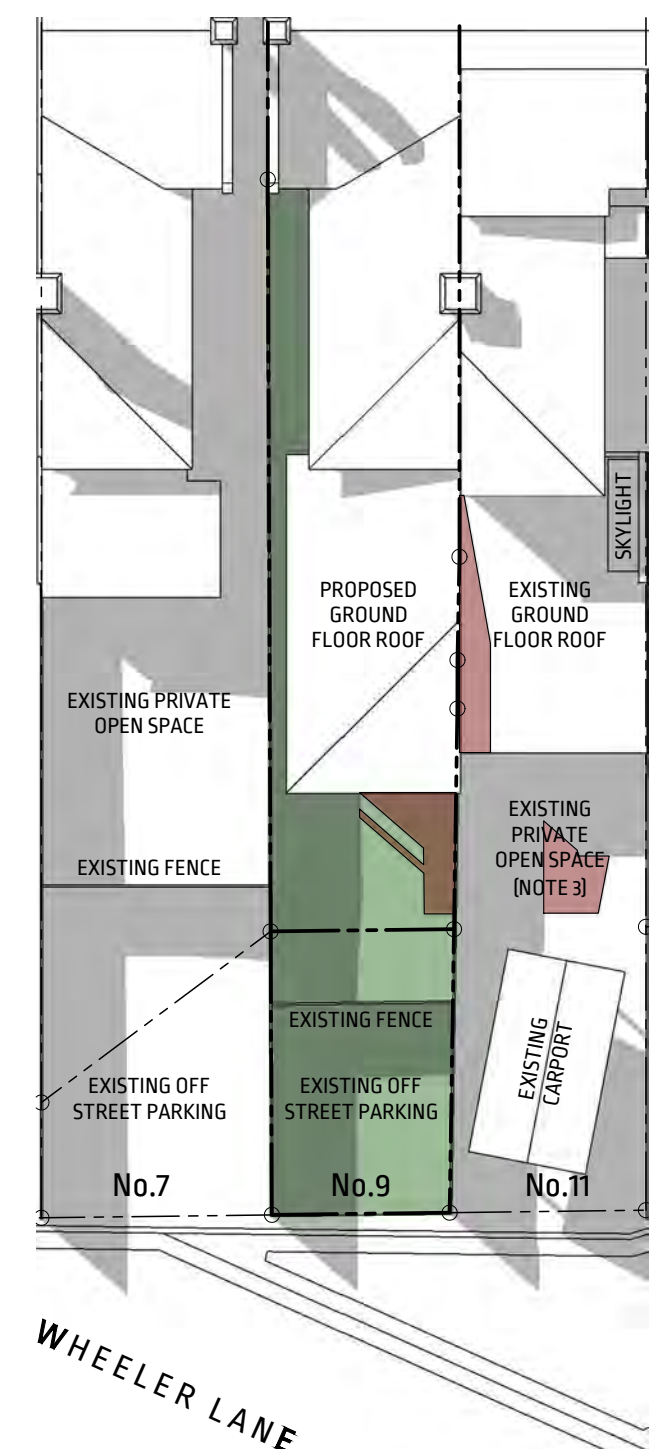
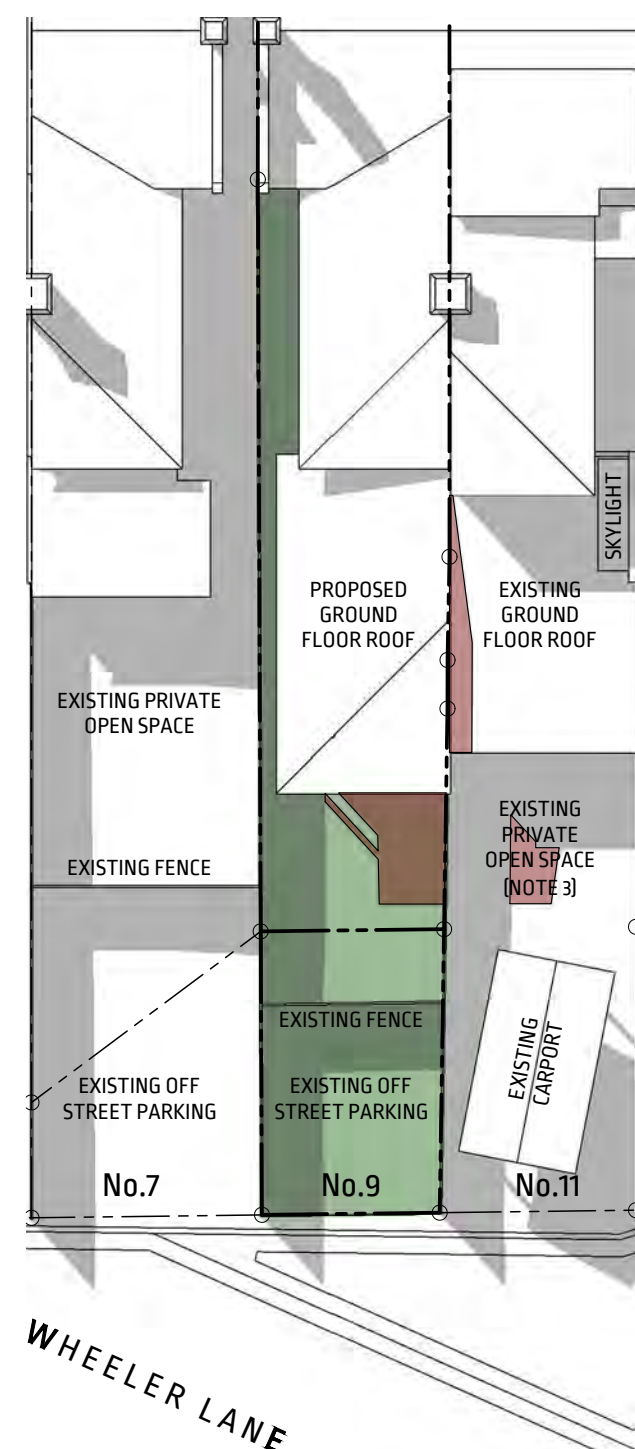
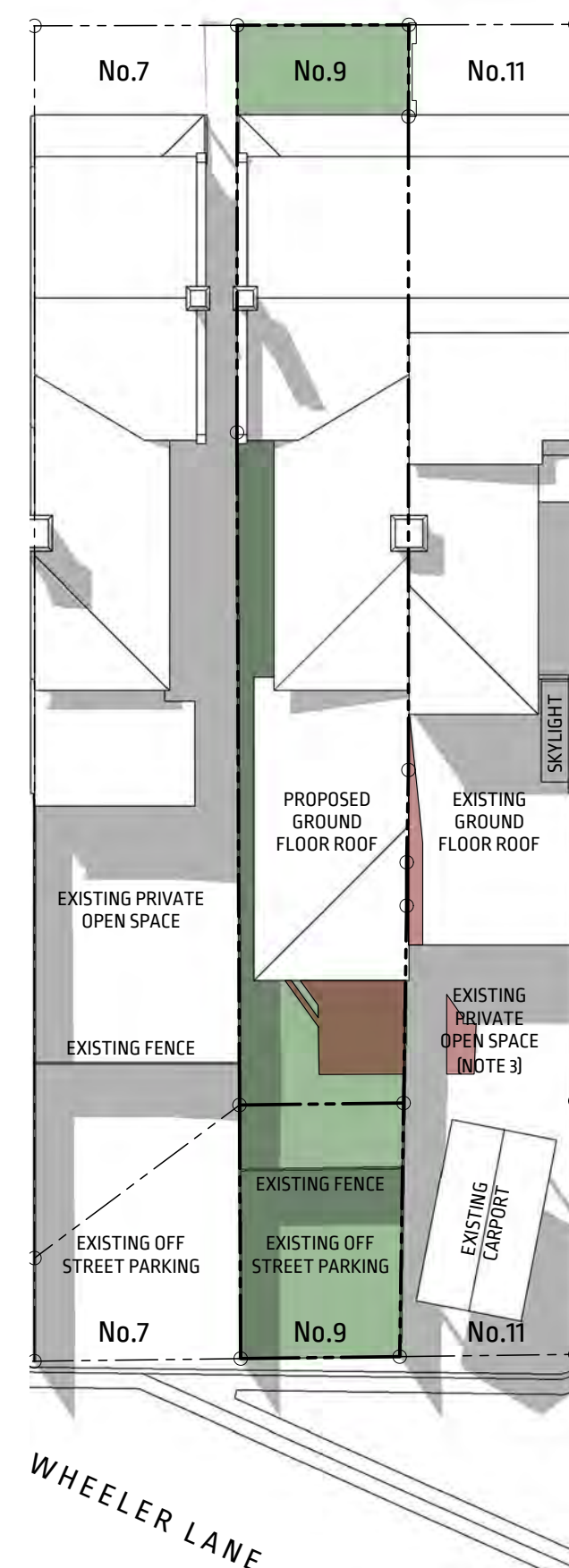
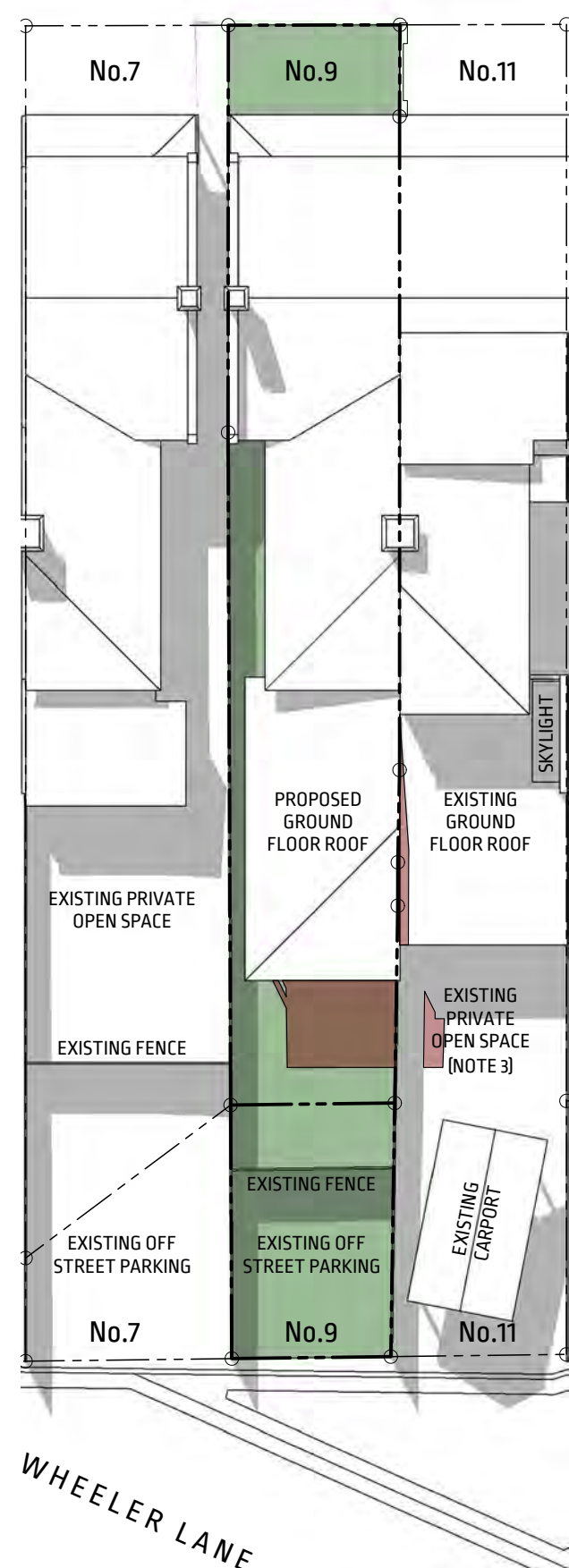
ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

SCALE 1:200 A3 SHEET

DRAWING TITLE PROPOSED EQUINOX SHADOW DIAGRAMS

DRAWING NUMBER A034 -



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SCALE 1:200

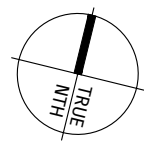
PROPOSED 2:00PM 21ST SEP  
SCALE 1:200

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SCALE 1:200

PROPOSED 3:00PM 21ST SEP  
SCALE 1:200

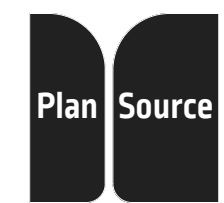
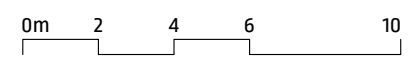
OAK STREET

OAK STREET



### NOTES

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
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ALTERATIONS & ADDITIONS TO  
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ISSUE DATE 24/10/2023

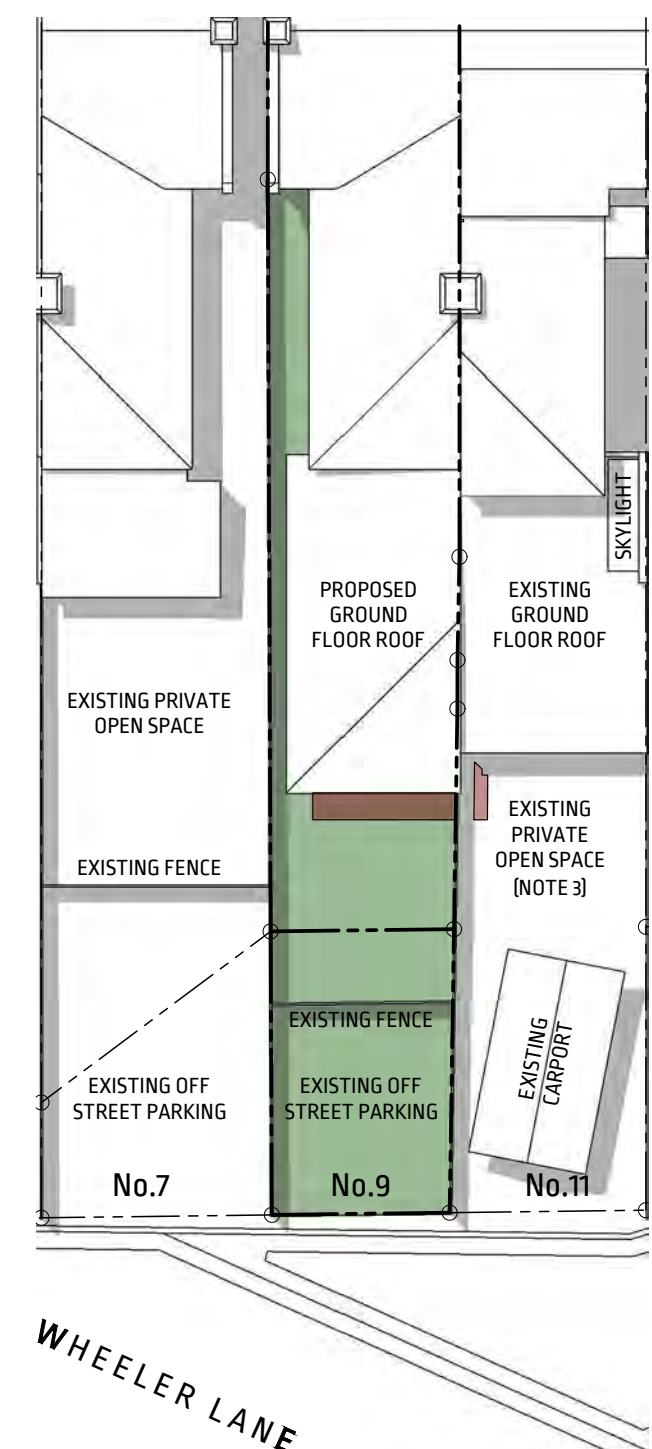
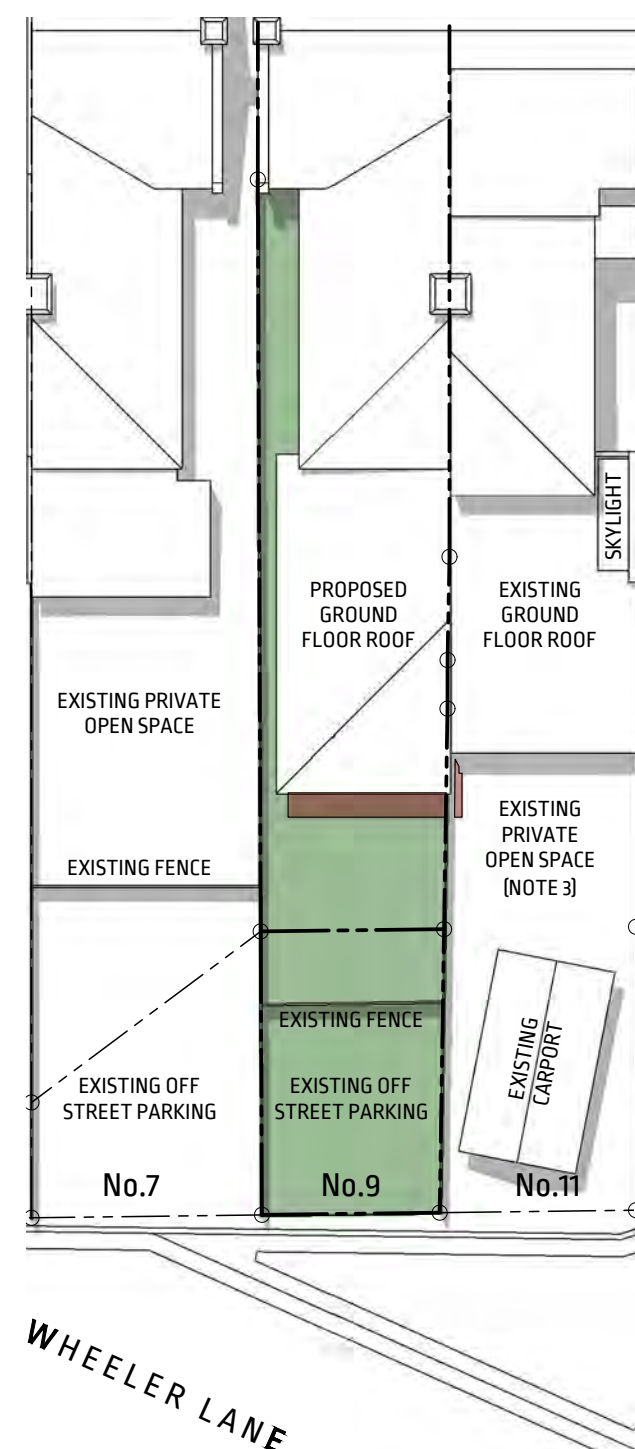
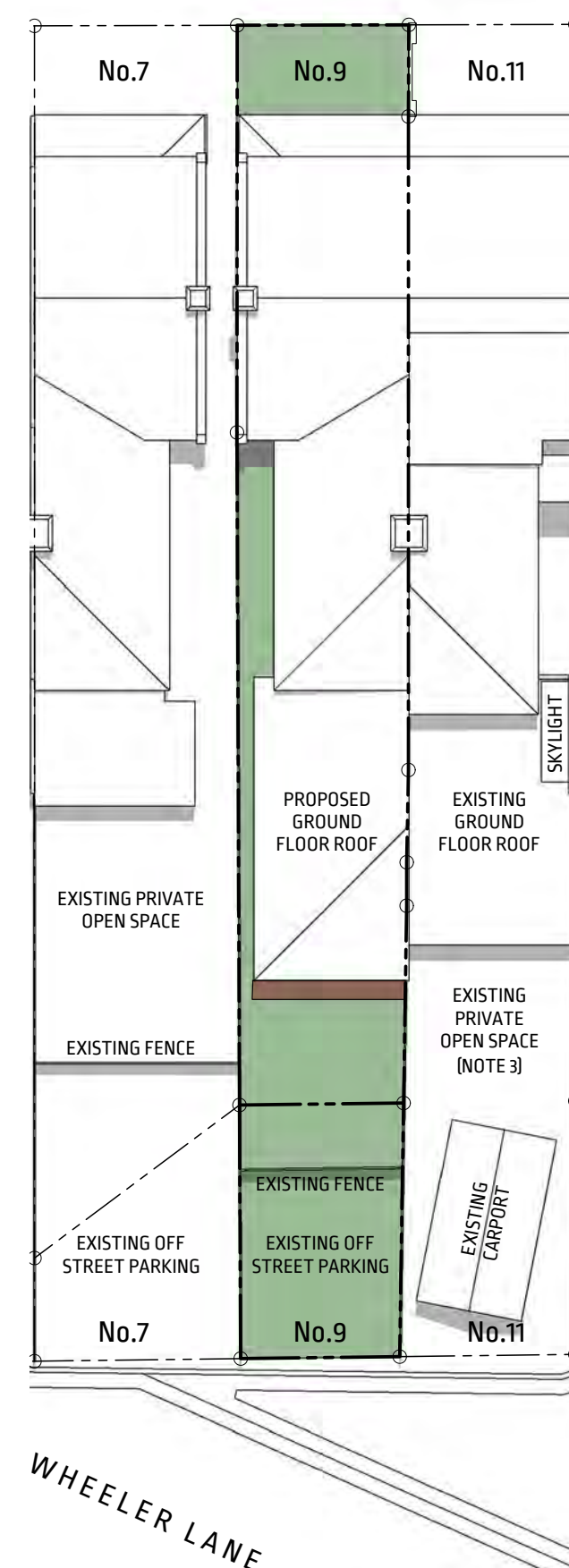
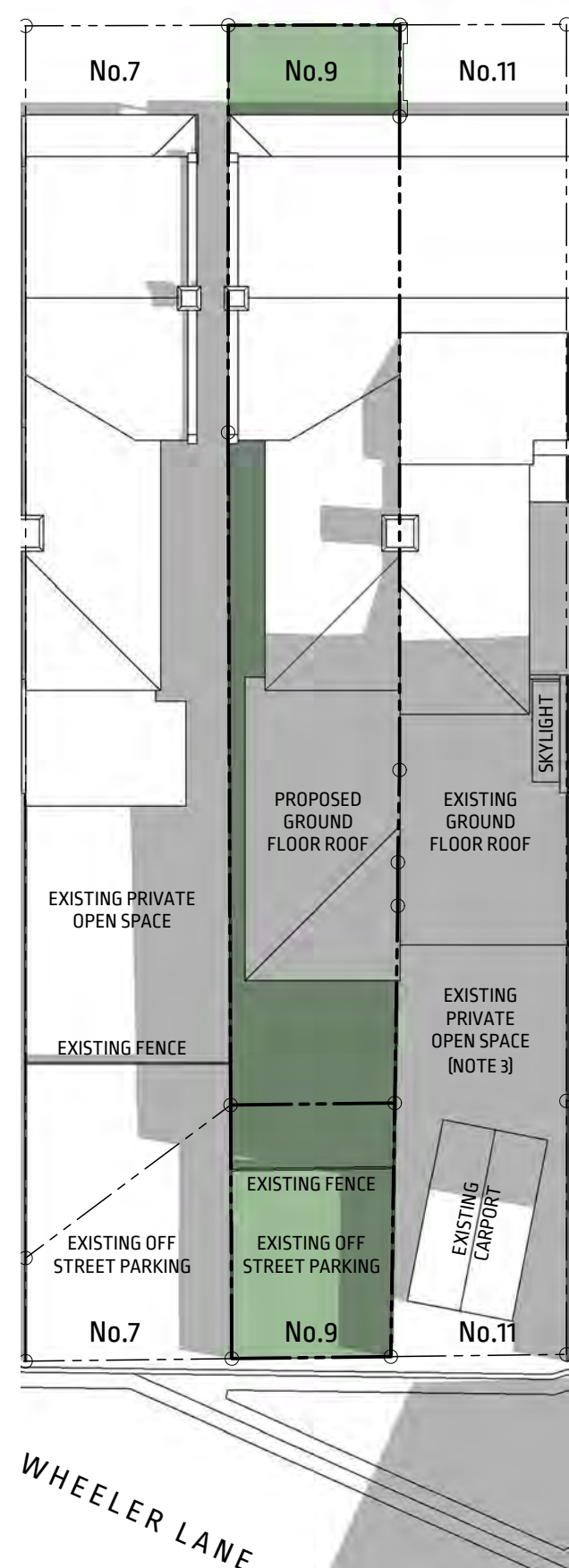
ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

SCALE 1:200 A3 SHEET

DRAWING TITLE PROPOSED SUMMER SHADOW DIAGRAMS

DRAWING NUMBER A035 -

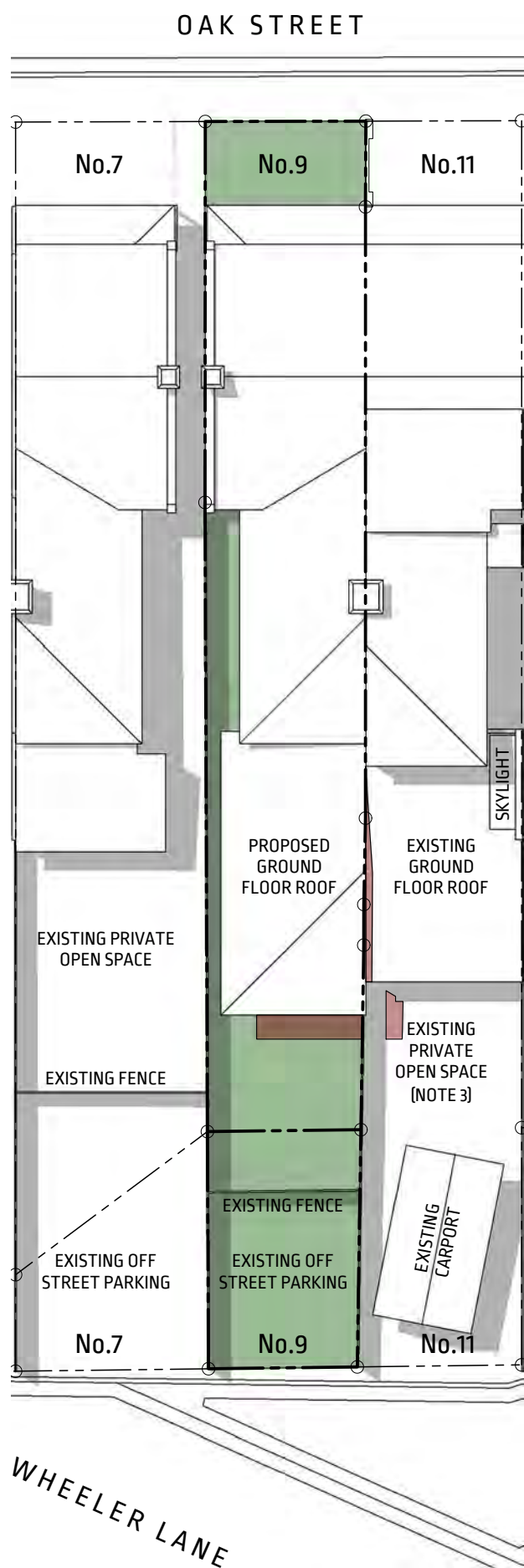


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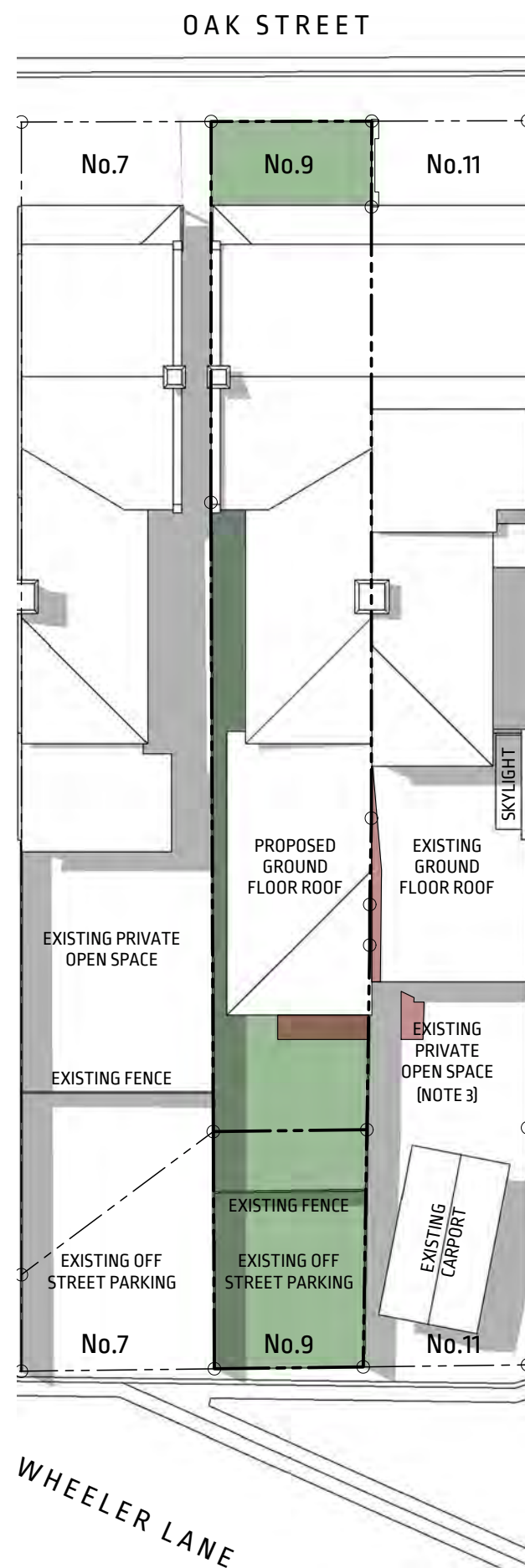
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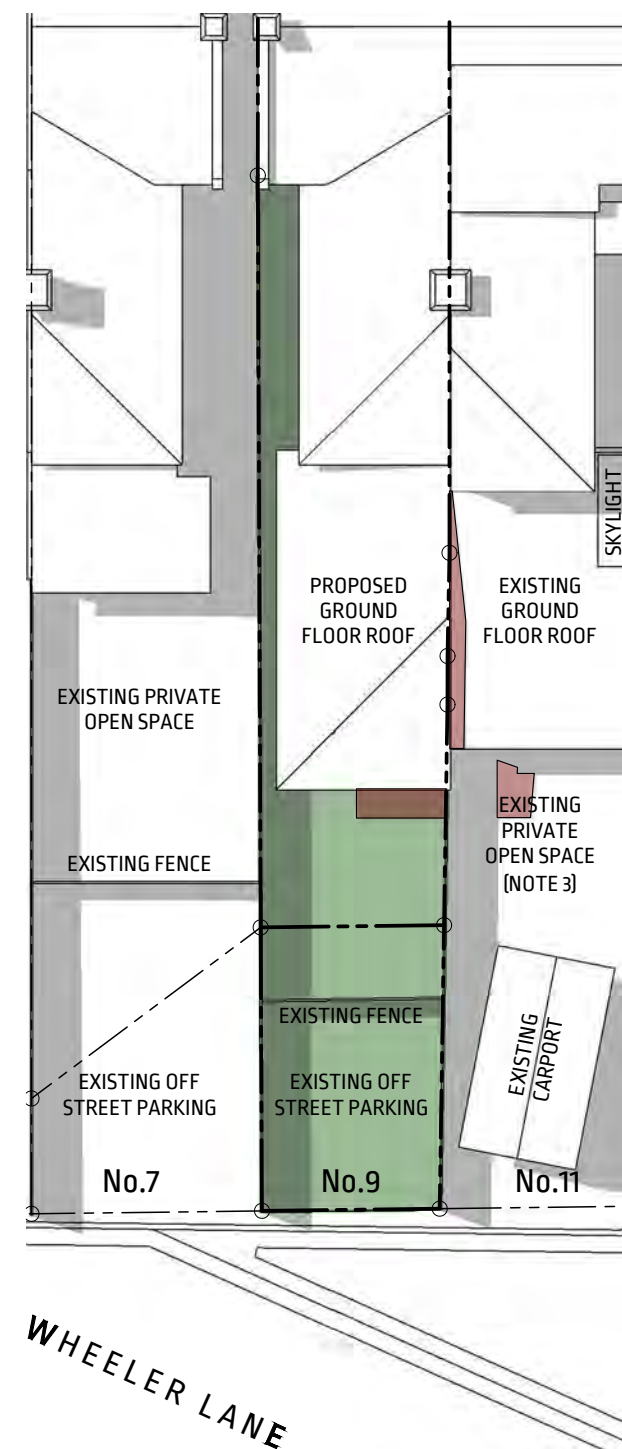
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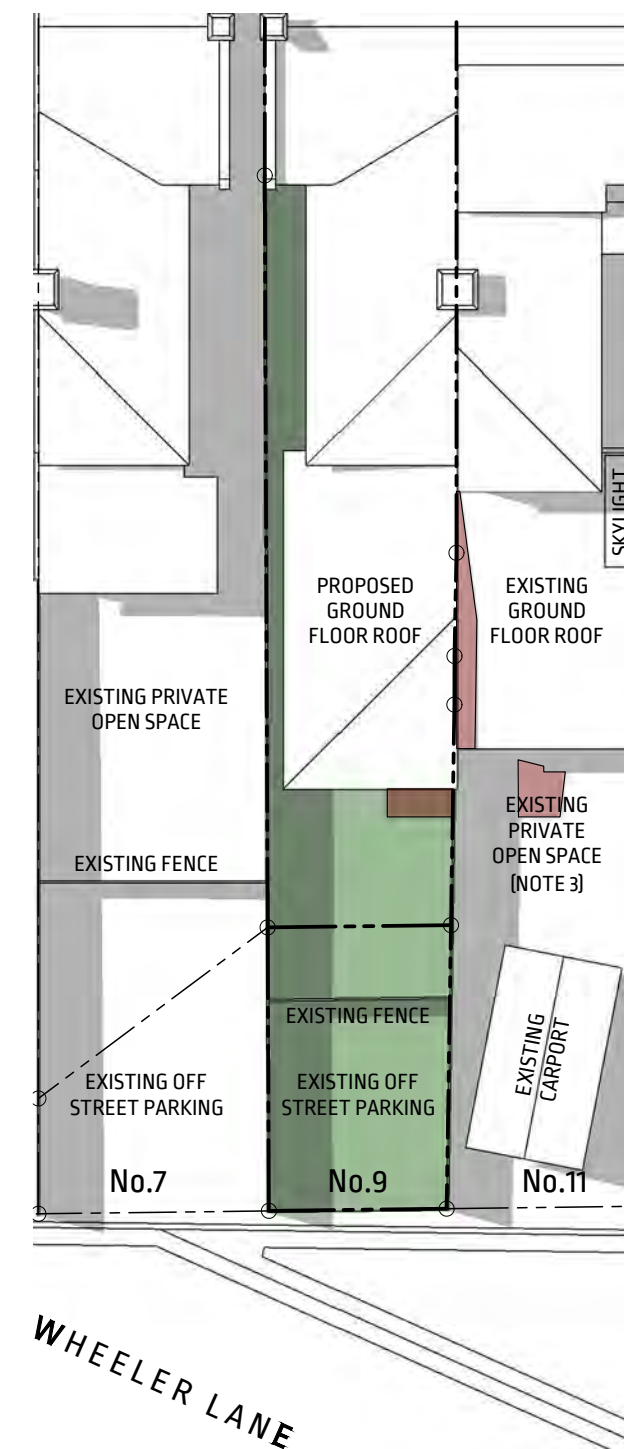
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PROPOSED 2:00PM 21ST DEC  
SCALE 1:200



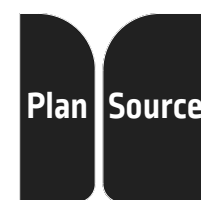
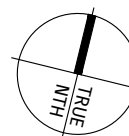
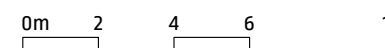
PROPOSED 2:30PM 21ST DEC  
SCALE 1:200



PROPOSED 3:00PM 21ST DEC  
SCALE 1:200

NOTES

1. PINK HATCHING DENOTES THE EXTENT OF ADDITIONAL SHADING FROM THE PROPOSED ADDITIONS ONTO EXISTING SURFACES.
2. SHADING FROM EXISTING VEGETATION HAS NOT BEEN MODELLED.
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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DATE 24/10/2023

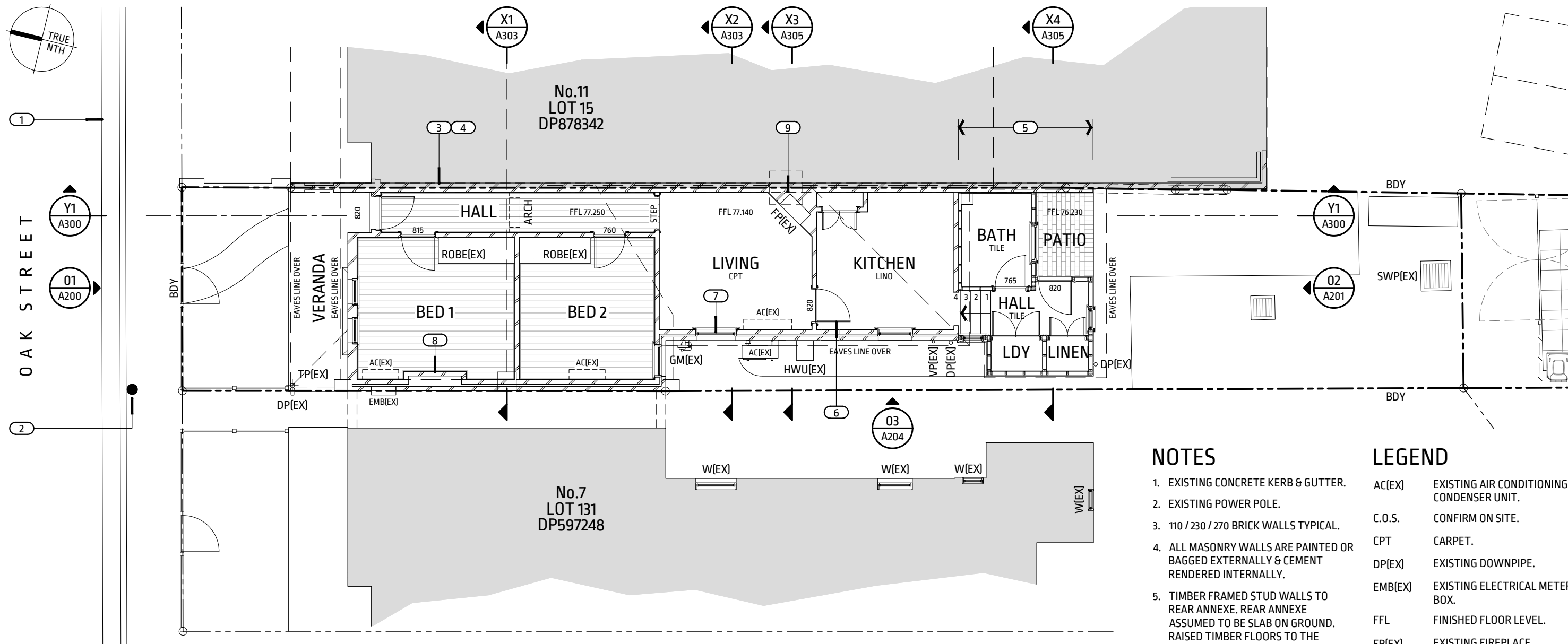
ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

SCALE 1:200 A3 SHEET

DRAWING TITLE PROPOSED SUMMER SHADOW DIAGRAMS

DRAWING NUMBER A036 -



**EXISTING GROUND FLOOR PLAN**  
SCALE 1:100

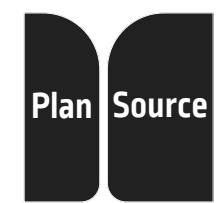
**NOTES**

1. EXISTING CONCRETE KERB & GUTTER.
2. EXISTING POWER POLE.
3. 110 / 230 / 270 BRICK WALLS TYPICAL.
4. ALL MASONRY WALLS ARE PAINTED OR BAGGED EXTERNALLY & CEMENT RENDERED INTERNALLY.
5. TIMBER FRAMED STUD WALLS TO REAR ANNEXE. REAR ANNEXE ASSUMED TO BE SLAB ON GROUND. RAISED TIMBER FLOORS TO THE REMAINDER.
6. TIMBER LEAF DOORS WITH TIMBER JAMBS THROUGHOUT.
7. DOUBLE HUNG, SINGLE GLAZED TIMBER FRAMED WINDOWS THROUGHOUT U.N.O. AWNING WINDOW TO BATHROOM.
8. BEDROOM 1 FIREPLACE NOT USED & BLOCKED UP.
9. LIVING ROOM FIREPLACE NOT USED (CHIMNEY CAPPED AT ROOF LEVEL).

**LEGEND**

- |         |   |
|---------|---|
| AC(EX)  | EXISTING AIR CONDITIONING CONDENSER UNIT. |
| C.O.S.  | CONFIRM ON SITE.                          |
| CPT     | CARPET.                                   |
| DP(EX)  | EXISTING DOWNPIPE.                        |
| EMB(EX) | EXISTING ELECTRICAL METER BOX.            |
| FFL     | FINISHED FLOOR LEVEL.                     |
| FP(EX)  | EXISTING FIREPLACE.                       |
| GM(EX)  | EXISTING GAS METER.                       |
| HWU(EX) | EXISTING HOT WATER UNIT.                  |
| T.B.C.  | TO BE CONFIRMED.                          |
| TP(EX)  | EXISTING TIMBER POST.                     |
| U.N.O.  | UNLESS NOTED OTHERWISE.                   |
| VP(EX)  | EXISTING VENT PIPE.                       |
|         | EXISTING TIMBER FLOORBOARDS.              |
|         | EXISTING CLAY PAVERS.                     |
|         | NOMINAL DOOR LEAF WIDTH.                  |

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

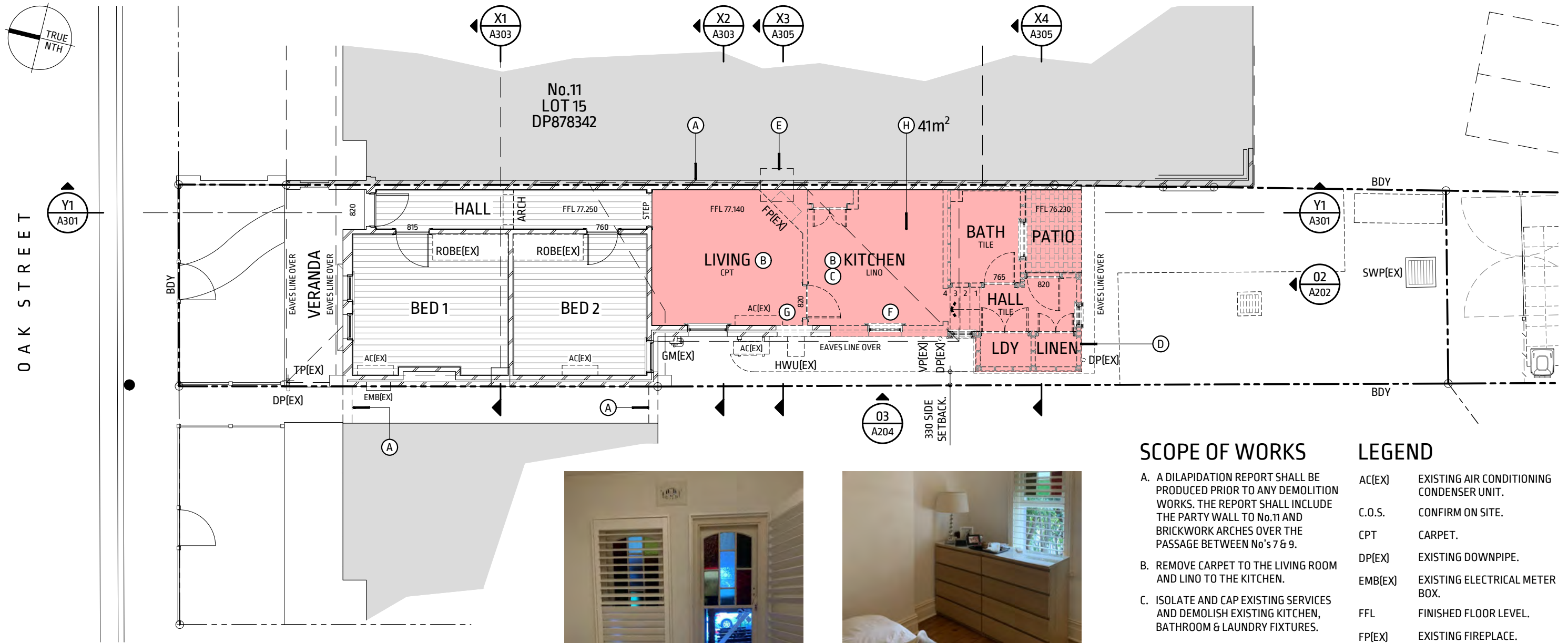


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**ALTERATIONS & ADDITIONS TO**  
9 OAK STREET,  
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LOTS 141 & 142, DP597247  
  
CLIENT **R. & N. JUFAS**

ISSUE **DEVELOPMENT APPLICATION**  
  
DRAWN / CHECKED **M.S.**  
  
DRAWING TITLE **EXISTING GROUND FLOOR PLAN**

ISSUE DATE **24/10/2023**  
  
SCALE **1:100 A3 SHEET**  
  
DRAWING NUMBER **A100 -**



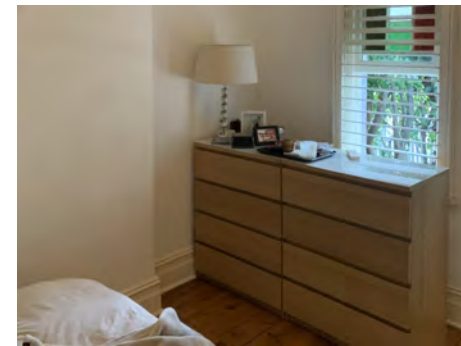
OAK STREET

**GROUND FLOOR DEMOLITION PLAN**  
SCALE 1:100

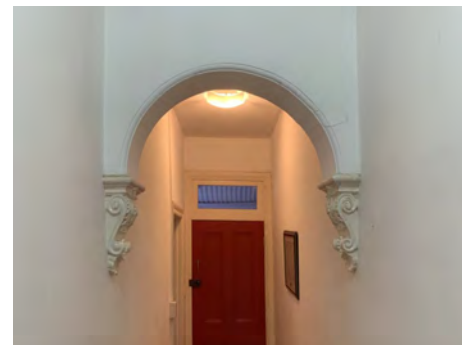
SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



EXISTING FRONT WINDOWS TO BE RETAINED.



BEDROOM 1 FIREPLACE TO BE RETAINED. FIREPLACE IS DISUSED AND HAS BEEN BLOCKED UP.



EXISTING HALLWAY ARCH TO BE RETAINED.



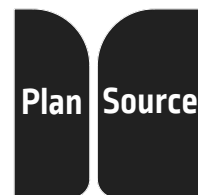
LIVING ROOM FIREPLACE TO BE DEMOLISHED TO PERMIT EXTENSION OF EXISTING HALLWAY ALONG THE PARTY WALL TO THE PROPOSED ADDITIONS.

**SCOPE OF WORKS**

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.
- B. REMOVE CARPET TO THE LIVING ROOM AND LINO TO THE KITCHEN.
- C. ISOLATE AND CAP EXISTING SERVICES AND DEMOLISH EXISTING KITCHEN, BATHROOM & LAUNDRY FIXTURES.
- D. TEMPORARILY BRACE & PROP THE EXISTING STRUCTURE TO THE SATISFACTION OF THE STRUCTURAL ENGINEER AND DEMOLISH ITEMS SHOWN DOTTED.
- E. LIVING ROOM FIREPLACE TO BE DEMOLISHED. CHIMNEY TO BE PARTIALLY DEMOLISHED. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- F. REMOVE & DISCARD EXISTING WINDOWS WHERE SHOWN.
- G. CREATE OPENING FOR PROPOSED WINDOW.
- H. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS IN THE AREA SHADED PINK.

**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- CPT CARPET.
- DP(EX) EXISTING DOWNPIPE.
- EMB(EX) EXISTING ELECTRICAL METER BOX.
- FFL FINISHED FLOOR LEVEL.
- FP(EX) EXISTING FIREPLACE.
- GM(EX) EXISTING GAS METER.
- HWU(EX) EXISTING HOT WATER UNIT.
- T.B.C. TO BE CONFIRMED.
- TP(EX) EXISTING TIMBER POST.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.
- [Hatched Box] EXISTING TIMBER FLOORBOARDS.
- [Grid Box] EXISTING CLAY PAVERS.
- [Door Symbol] NOMINAL DOOR LEAF WIDTH.



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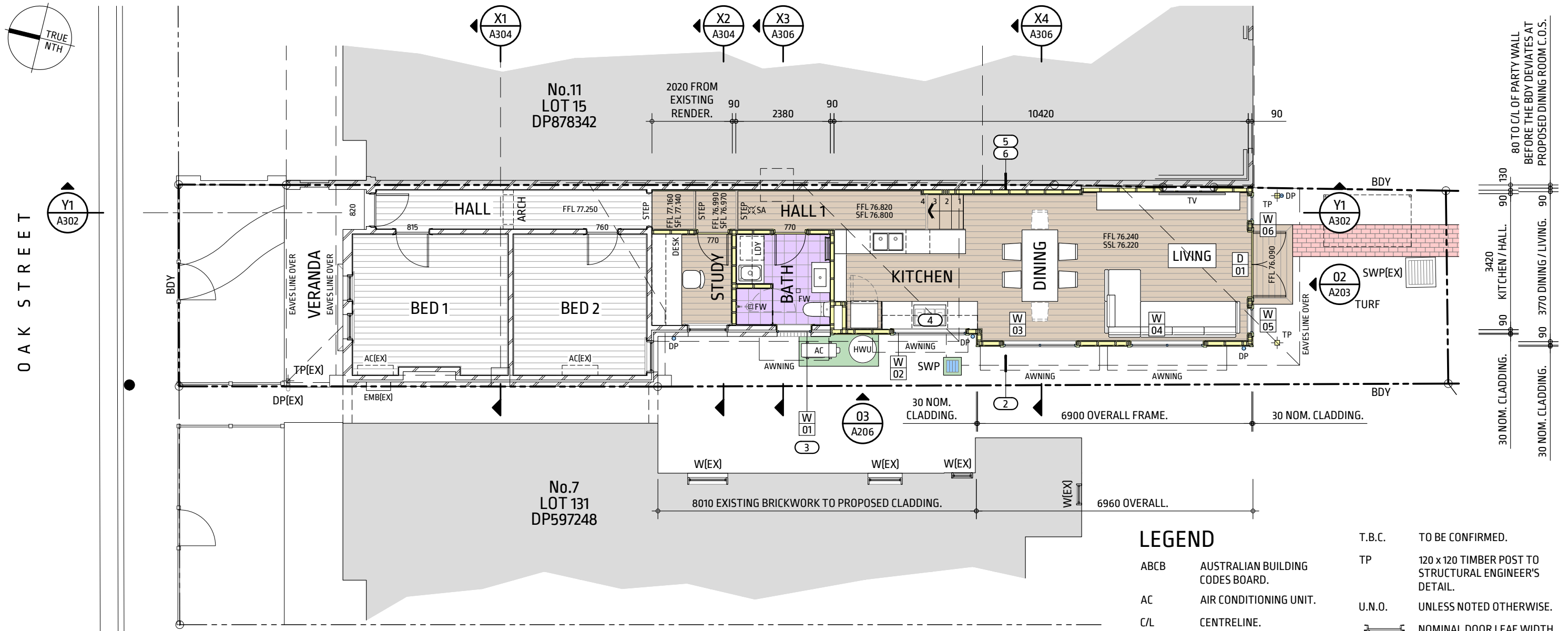
ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE GROUND FLOOR DEMOLITION PLAN

ISSUE DATE 24/10/2023  
SCALE 1:100 A3 SHEET  
DRAWING NUMBER A101 -





**PROPOSED GROUND FLOOR PLAN**  
SCALE 1:100

**REFERENCES**

ARCHITRAVE, CORNICE & SKIRTING DETAILS  
REFER DWG A302

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

**NOTES**

- U.N.O. DIMENSIONS ON THIS DRAWING ARE MEASURED TO THE RAW WALL FACE (EXCLUDING LININGS).
- PROPOSED SIDE SETBACK TO THE REAR WING IS INCREASED FOR ACOUSTIC PRIVACY & TO ENSURE THAT LANDSCAPED AREA IS COMPARABLE TO EXISTING.
- WINDOW W01 IS OBSCURE GLASS & IS OFFSET FROM EXISTING WINDOWS TO No.7 TO MAINTAIN VISUAL PRIVACY.
- WINDOW W02 HAS A HEAD HEIGHT OF 1480 WHICH IS LOWER THAN THE EXISTING TIMBER PALING FENCE HEIGHT TO MAINTAIN VISUAL PRIVACY.
- WALL AND ROOF CONSTRUCTION ALONG THE PARTY WALL SHALL COMPLY WITH ABCB HOUSING PROVISIONS PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS & PART 10.7 SOUND INSULATION.
- THE PROPOSED WORKS SHALL BE INDEPENDENTLY SUPPORTED AND SHALL NOT RELY ON THE PARTY WALL FOR LATERAL OR VERTICAL SUPPORT.

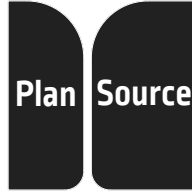
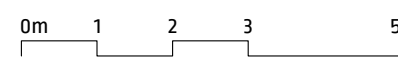
**SCOPE OF WORKS**

- INSTALL NEW SANITARY DRAINAGE PIPES FOR THE BATHROOM & KITCHEN, ALL CONNECTED TO THE EXISTING SANITARY DRAINAGE SYSTEM.
- CONSTRUCT REINFORCED CONCRETE SLAB ON GROUND & SUBFLOOR PIERS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL.
- CONSTRUCT TIMBER FLOOR, WALL & ROOF FRAMING IN ACCORDANCE WITH AS1684 & STRUCTURAL ENGINEER'S DETAIL.
- INSTALL EXTERIOR DOOR & WINDOWS.
- INSTALL WATER & ELECTRICAL SERVICES, INCLUDING EXHAUST FAN TO BATHROOM TO COMPLY WITH ABCB HOUSING PROVISIONS PART 10.6.

- INSTALL WEATHERBOARD EXTERIOR CLADDING AS SPECIFIED.
- INSTALL 10mm PLASTERBOARD WALL & CEILING LININGS, WITH CORNICE TO MATCH EXISTING. REFER SEPARATE DETAIL.
- INSTALL INTERIOR TIMBER SWING DOORS, ARCHITRAVES & SKIRTING TO MATCH EXISTING. REFER SEPARATE DETAIL.
- INSTALL WATERPROOFING & FLOOR TILING TO THE BATHROOM.
- SUPPLY & INSTALL FLOATING TIMBER FLOOR AS SHOWN.

**LEGEND**

ABCB	AUSTRALIAN BUILDING CODES BOARD.	T.B.C.	TO BE CONFIRMED.
AC	AIR CONDITIONING UNIT.	TP	120 x 120 TIMBER POST TO STRUCTURAL ENGINEER'S DETAIL.
C/L	CENTRELINE.	U.N.O.	UNLESS NOTED OTHERWISE.
C.O.S.	CONFIRM ON SITE.		NOMINAL DOOR LEAF WIDTH.
DP	PROPOSED 90 DIA. COLORBOND DOWNPIPE.		EXISTING TIMBER FLOORBOARDS.
DP(EX)	EXISTING DOWNPIPE.		FLOATING TIMBER FLOOR TO FUTURE SPECIFICATION.
EMB(EX)	EXISTING ELECTRICAL METER BOX.		CERAMIC FLOOR TILES TO FUTURE SPECIFICATION.
FFL	FINISHED FLOOR LEVEL.		BRICK.
FW	FLOOR WASTE.		CONCRETE.
HWU	HEAT PUMP HOT WATER UNIT.		METAL.
SA	SMOKE ALARM COMPLYING WITH ABCB HOUSING PROVISIONS PART 9.5 & AS 3786, & INTERCONNECTED WITH SMOKE ALARM(S) ON OTHER LEVELS.		TIMBER.
SFL	STRUCTURAL FLOOR LEVEL.		
SSL	STRUCTURAL SLAB LEVEL.		

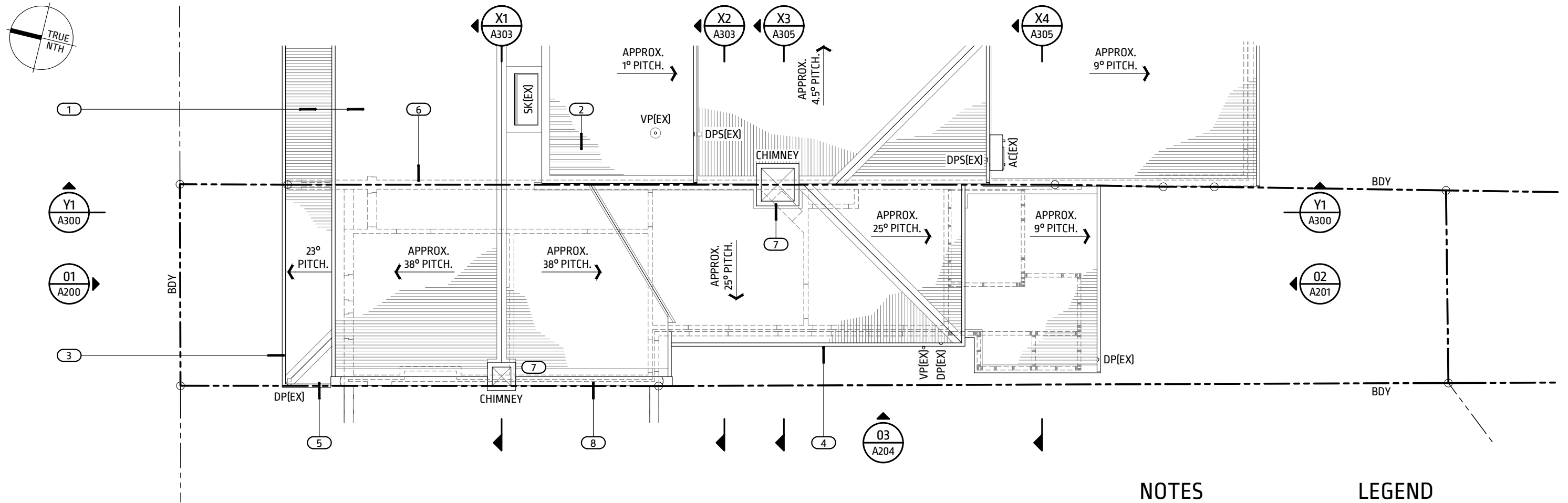


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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	PROPOSED GROUND FLOOR PLAN

ISSUE DATE	24/10/2023
SCALE	1:100 A3 SHEET
DRAWING NUMBER	A102 -



**EXISTING ROOF PLAN**  
SCALE 1:100

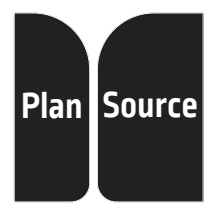
**NOTES**

1. U.N.O. EXISTING METAL ROOF CLADDING APPEARS TO BE COLORBOND FINISH CUSTOM ORB ACCENT 21 PROFILE OR SIMILAR. C.O.S.
2. EXISTING METAL ROOF CLADDING TO THIS PART OF No.11 APPEARS TO BE COLORBOND FINISH TRIMDEK PROFILE OR SIMILAR.
3. COLORBOND FINISH QUAD PROFILE GUTTERS TYPICAL.
4. U.N.O. ALL FASCIAS ARE 25 WIDE TIMBER PROFILE WITH BULLNOSE.
5. VERANDA GUTTERS ARE FIXED DIRECTLY TO 160 x 38 TIMBER VERANDA BEAMS.
6. WALLS BELOW SHOWN DOTTED.
7. EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
8. 280 WIDE BRICK PARAPET WITH ROUNDED MORTAR CAPPING.

**LEGEND**

- |         |   |
|---------|---|
| AC(EX)  | EXISTING AIR CONDITIONING CONDENSER UNIT. |
| C.O.S.  | CONFIRM ON SITE.                          |
| DP(EX)  | EXISTING DOWNPIPE.                        |
| DPS(EX) | EXISTING DOWNPIPE & SPREADER.             |
| SK(EX)  | EXISTING SKYLIGHT.                        |
| U.N.O.  | UNLESS NOTED OTHERWISE.                   |
| VP(EX)  | EXISTING VENT PIPE.                       |

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

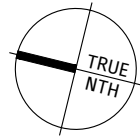


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**ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247**  
CLIENT **R. & N. JUFAS**

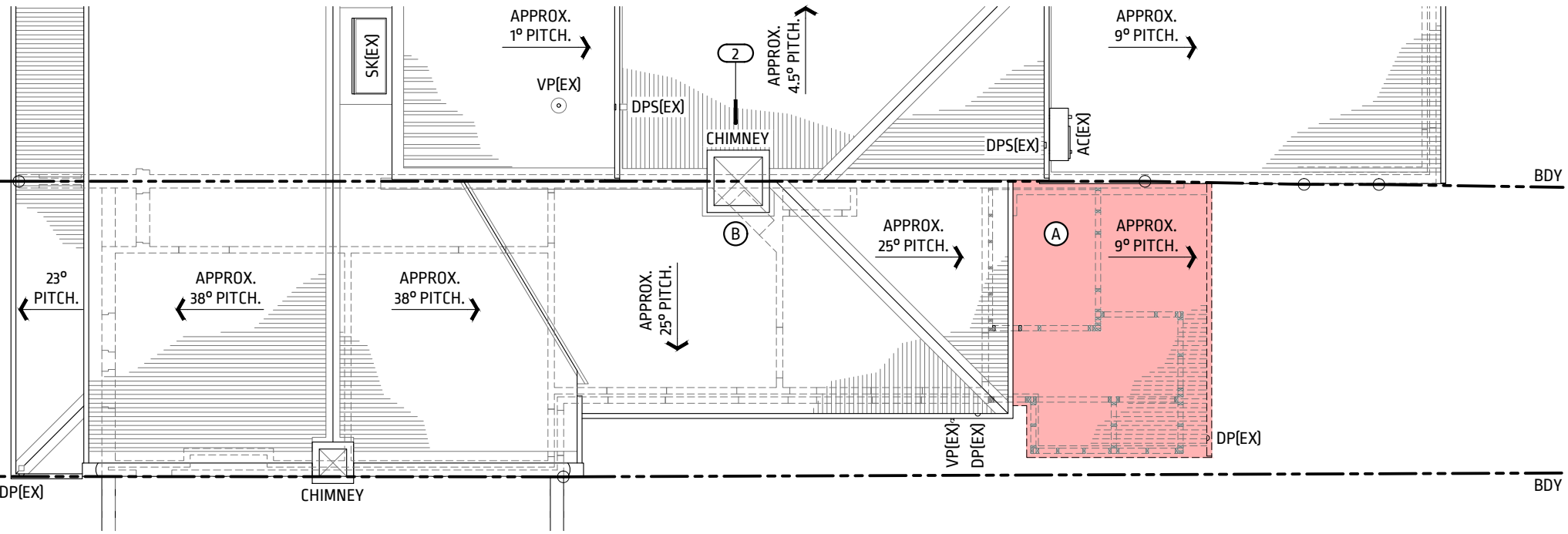
ISSUE **DEVELOPMENT APPLICATION**  
DRAWN / CHECKED **M.S.**  
DRAWING TITLE **EXISTING ROOF PLAN**

ISSUE DATE **24/10/2023**  
SCALE **1:100 A3 SHEET**  
DRAWING NUMBER **A110 -**

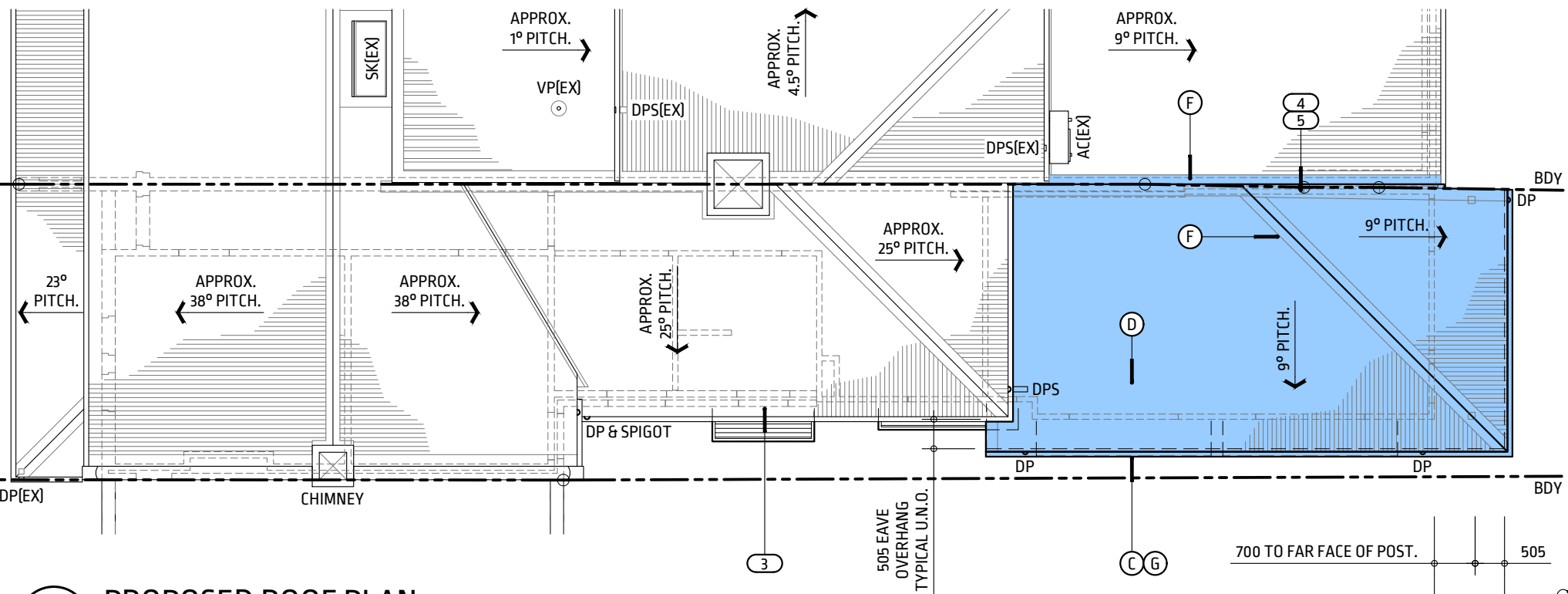


### SCOPE OF WORKS

- A. DEMOLISH EXISTING METAL CLAD & TIMBER FRAMED ROOF IN THE AREA SHADED PINK.
- B. TAKE CARE NOT TO DISTURB THE EXISTING CHIMNEYS TO BE RETAINED.
- C. SUPPLY & INSTALL 25 WIDE TIMBER FASCIA TO MATCH EXISTING.
- D. SUPPLY & INSTALL NEW LYSAGHT CUSTOM ORB ACCENT 21, 0.48mm BMT METAL DECK ROOF TO MATCH EXISTING.
- E. PRIOR TO TENDERS & CONSTRUCTION, SPECIFICATION OF THE ROOF CLADDING SHALL BE REVIEWED TO DETERMINE AN APPROPRIATE MATERIAL SPECIFICATION TO AVOID ANY LONG-TERM CORROSION ISSUES (CORROSION OBSERVED ON EXISTING ROOF CLADDING).
- F. SUPPLY & INSTALL COLORBOND FINISH CAPPING & FLASHING TO MATCH EXISTING.
- G. SUPPLY & INSTALL COLORBOND FINISH QUAD PROFILE GUTTERS & DOWNPIPES TO MATCH EXISTING.



**ROOF DEMOLITION PLAN**  
SCALE 1:100



**PROPOSED ROOF PLAN**  
SCALE 1:100

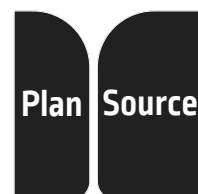
### LEGEND

- ABCB AUSTRALIAN BUILDING CODES BOARD.
- C.O.S. CONFIRM ON SITE.
- DP PROPOSED 90 DIA. COLORBOND DOWNPIPE.
- DPS PROPOSED 90 DIA. COLORBOND DOWNPIPE & SPREADER.
- DP(EX) EXISTING DOWNPIPE.
- DPS(EX) EXISTING DOWNPIPE & SPREADER.
- SK# PROPOSED SKYLIGHT.
- SK(EX) EXISTING SKYLIGHT.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.
- EXTENT OF DEMOLITION.
- COLORBOND METAL FINISH. COLOUR: SURFMIST.

### NOTES

1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT:  
*"REVISITING THE POTENTIAL TO STEP THE DEVELOPMENT DOWN TO ACHIEVE A LOWER OVERALL HEIGHT THAT IS COMPATIBLE WITH NO. 11 OAK STREET, NEEDS TO BE INVESTIGATED."*
2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.
3. WALLS BELOW SHOWN DOTTED TYPICAL.
4. WALL AND ROOF CONSTRUCTION ALONG THE PARTY WALL SHALL COMPLY WITH ABCB HOUSING PROVISIONS PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS & PART 10.7 SOUND INSULATION.
5. THE PROPOSED WORKS SHALL BE INDEPENDENTLY SUPPORTED AND SHALL NOT RELY ON THE PARTY WALL FOR LATERAL OR VERTICAL SUPPORT.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	DEMO & PROPOSED ROOF PLANS

ISSUE DATE	24/10/2023
SCALE	1:100 A3 SHEET
DRAWING NUMBER	A111 -

**NOTES**

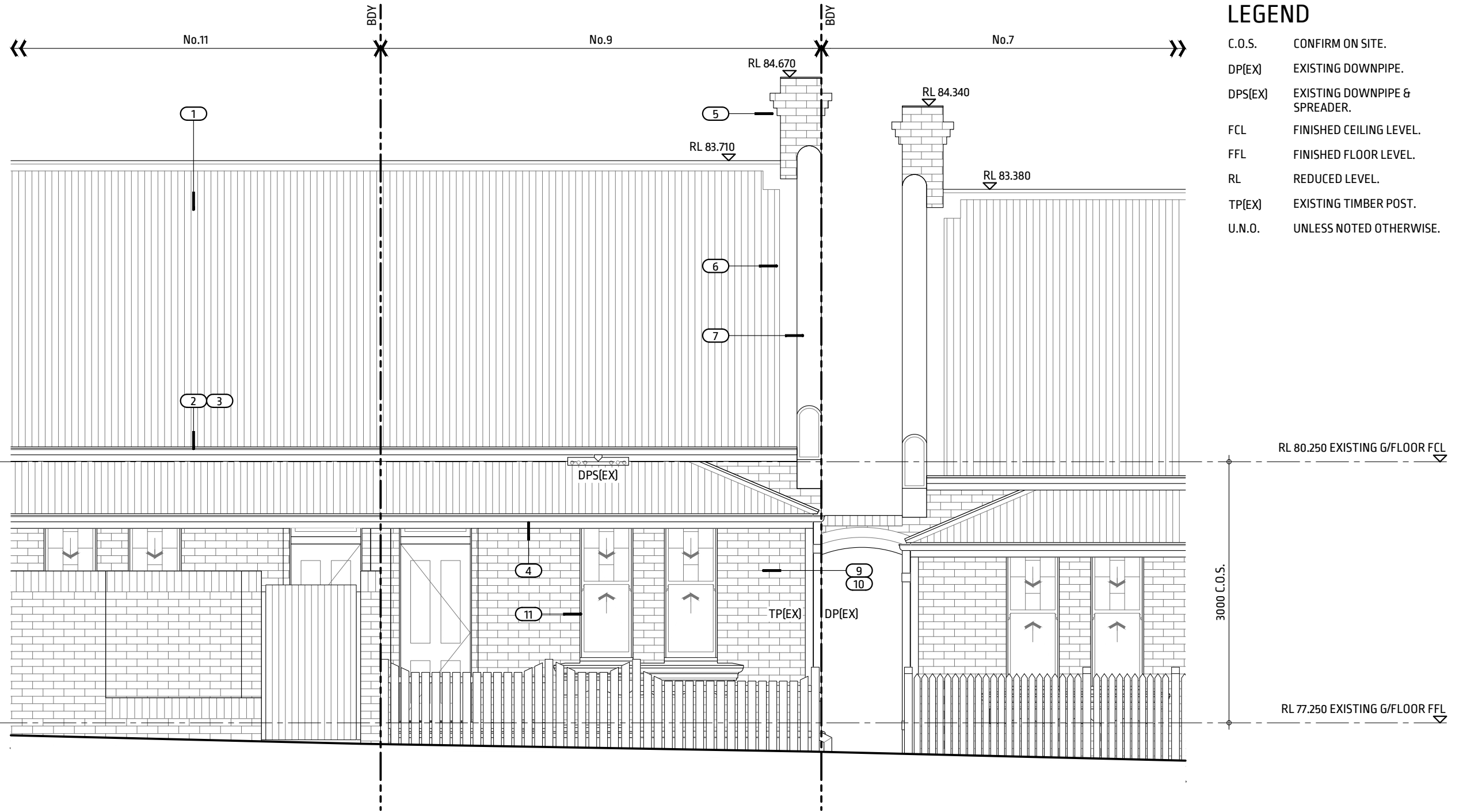
1. U.N.O. EXISTING METAL ROOF CLADDING APPEARS TO BE COLORBOND FINISH CUSTOM ORB ACCENT 21 PROFILE OR SIMILAR. C.O.S.
2. COLORBOND FINISH QUAD PROFILE GUTTERS TYPICAL.
3. U.N.O. ALL FASCIAS ARE 25 WIDE TIMBER PROFILE WITH BULLNOSE.
4. VERANDA GUTTERS ARE FIXED DIRECTLY TO 160 x 38 TIMBER VERANDA BEAMS.
5. EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
6. COLORBOND FINISH FLASHING & CAPPING TYPICAL.
7. 280 WIDE BRICK PARAPET WITH ROUNDED MORTAR CAPPING.
8. EXISTING POWER POLE & POINT OF ATTACHMENT OMITTED FOR CLARITY.
9. 110 / 230 / 270 BRICK WALLS TYPICAL.

RL 80.250 EXISTING G/FLOOR FCL

10. ALL MASONRY WALLS ARE PAINTED OR BAGGED EXTERNALLY & CEMENT RENDERED INTERNALLY.
11. DOUBLE HUNG, SINGLE GLAZED TIMBER FRAMED WINDOWS THROUGHOUT U.N.O.

RL 77.250 EXISTING G/FLOOR FFL

12. NO CHANGES ARE PROPOSED TO THE OAK STREET FRONTAGE FORWARD OF THE MAIN RIDGE LINE APART FROM REPAIRS TO A BROKEN PANE OF GLASS IN ONE OF THE STAINED GLASS WINDOWS, REPAIRS TO THE TIMBER PICKET FENCE AND REPAINTING IN ACCORDANCE WITH THE EXTERIOR FINISHES SCHEDULE. ANY DAMAGED ELEMENTS SHALL BE MADE GOOD TO MATCH EXISTING.

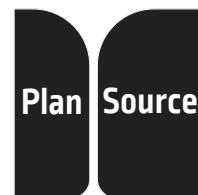
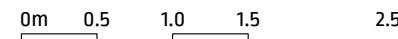


**LEGEND**

- C.O.S. CONFIRM ON SITE.
- DP(EX) EXISTING DOWNPIPE.
- DPS(EX) EXISTING DOWNPIPE & SPREADER.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- TP(EX) EXISTING TIMBER POST.
- U.N.O. UNLESS NOTED OTHERWISE.

**01** EXISTING NORTH ELEVATION (FRONT STREETSCAPE)  
A100 SCALE 1:50

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE EXISTING NORTH ELEVATION (FRONT)

ISSUE DATE 24/10/2023

SCALE 1:50 A3 SHEET

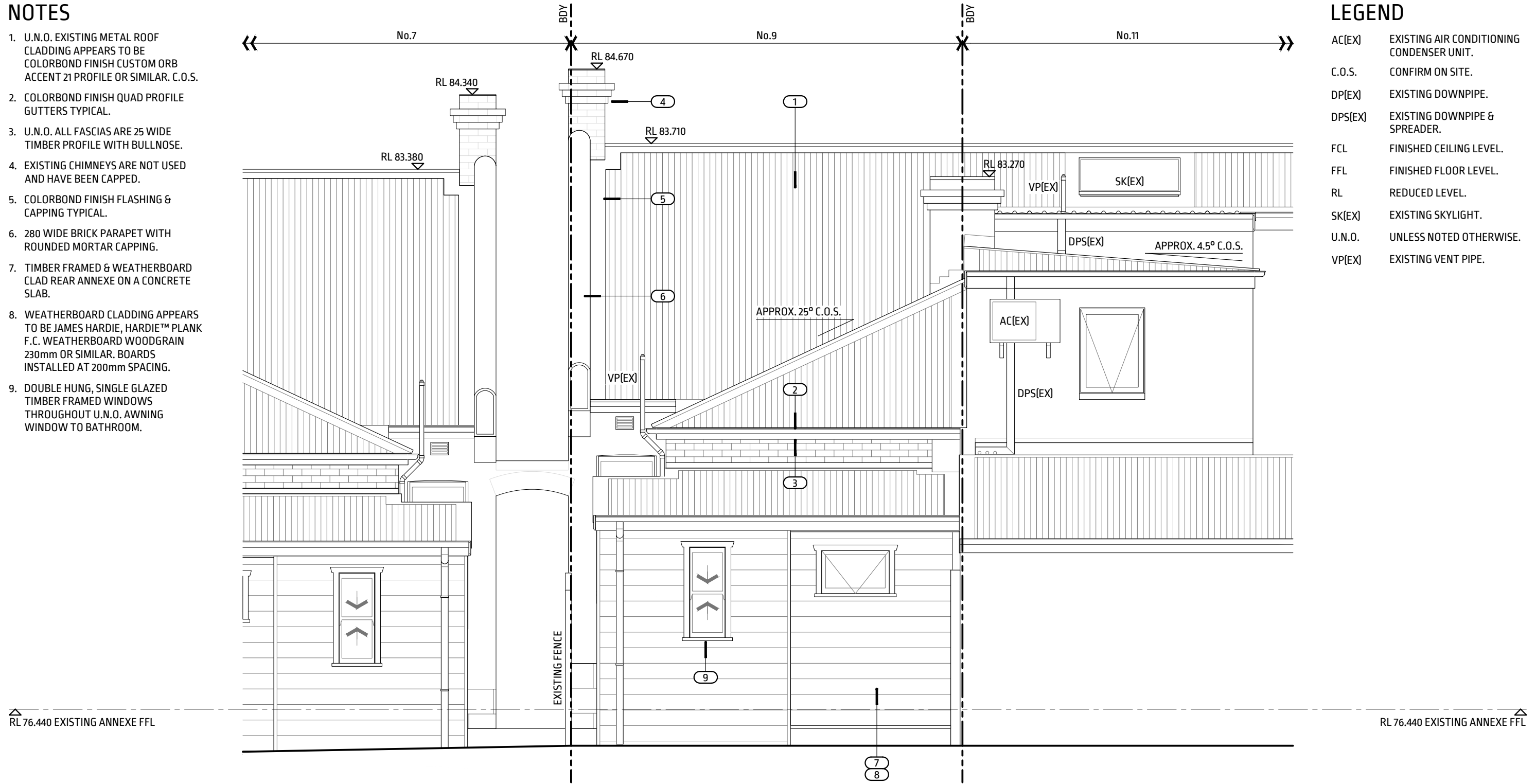
DRAWING NUMBER A200 -

**NOTES**

1. U.N.O. EXISTING METAL ROOF CLADDING APPEARS TO BE COLORBOND FINISH CUSTOM ORB ACCENT 21 PROFILE OR SIMILAR. C.O.S.
2. COLORBOND FINISH QUAD PROFILE GUTTERS TYPICAL.
3. U.N.O. ALL FASCIAS ARE 25 WIDE TIMBER PROFILE WITH BULLNOSE.
4. EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
5. COLORBOND FINISH FLASHING & CAPPING TYPICAL.
6. 280 WIDE BRICK PARAPET WITH ROUNDED MORTAR CAPPING.
7. TIMBER FRAMED & WEATHERBOARD CLAD REAR ANNEXE ON A CONCRETE SLAB.
8. WEATHERBOARD CLADDING APPEARS TO BE JAMES HARDIE, HARDIE™ PLANK F.C. WEATHERBOARD WOODGRAIN 230mm OR SIMILAR. BOARDS INSTALLED AT 200mm SPACING.
9. DOUBLE HUNG, SINGLE GLAZED TIMBER FRAMED WINDOWS THROUGHOUT U.N.O. AWNING WINDOW TO BATHROOM.

**LEGEND**

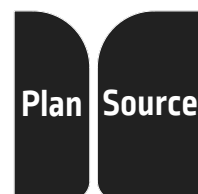
- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- DP(EX) EXISTING DOWNPIPE.
- DPS(EX) EXISTING DOWNPIPE & SPREADER.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- SK(EX) EXISTING SKYLIGHT.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.



**02** EXISTING SOUTH ELEVATION (REAR)  
A100 SCALE 1:50

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

0m 0.5 1.0 1.5 2.5



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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE EXISTING SOUTH ELEVATION (REAR)

ISSUE DATE 24/10/2023  
SCALE 1:50 A3 SHEET  
DRAWING NUMBER A201 -


**NOTES**

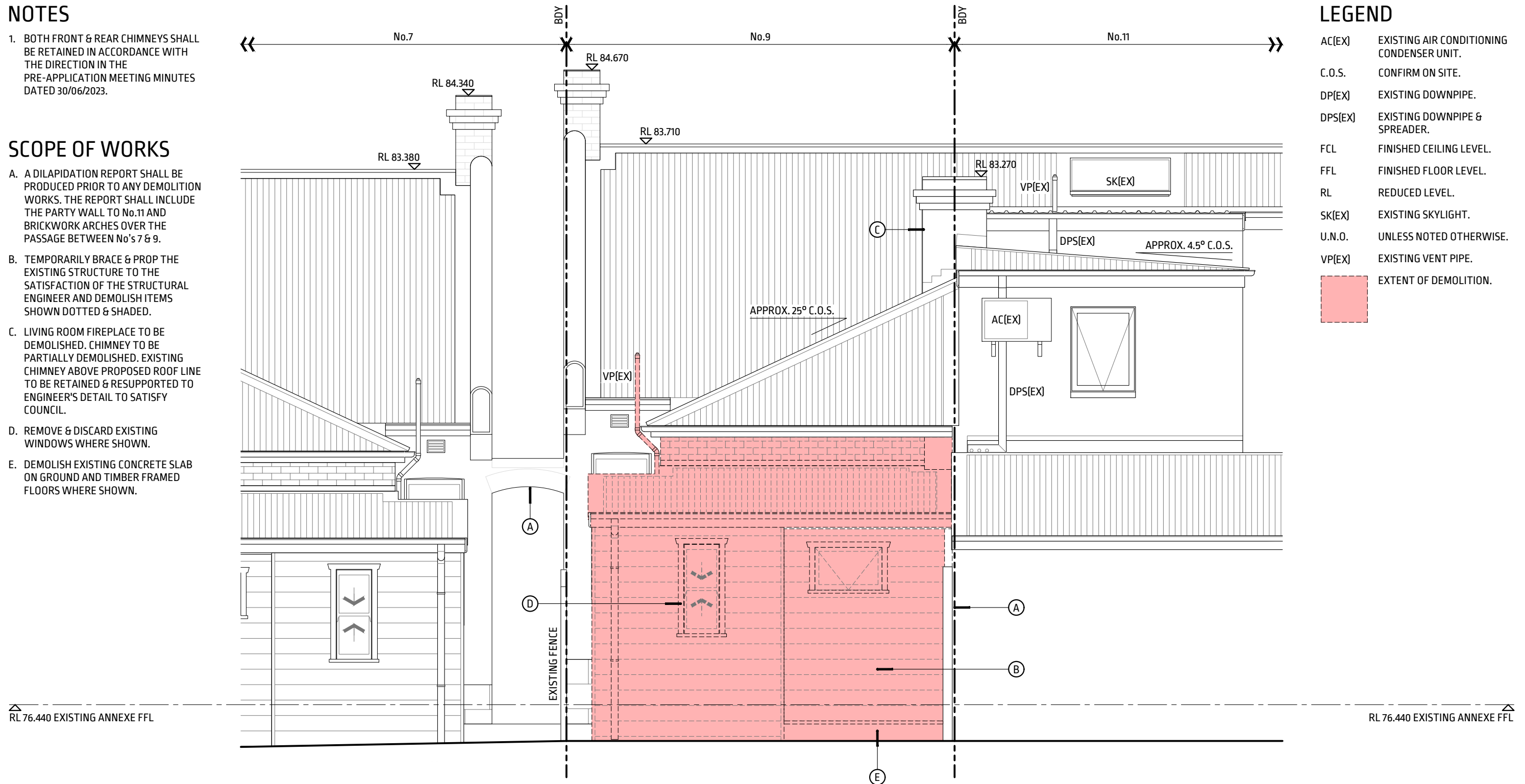
1. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023.

**SCOPE OF WORKS**

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.
- B. TEMPORARILY BRACE & PROP THE EXISTING STRUCTURE TO THE SATISFACTION OF THE STRUCTURAL ENGINEER AND DEMOLISH ITEMS SHOWN DOTTED & SHADED.
- C. LIVING ROOM FIREPLACE TO BE DEMOLISHED. CHIMNEY TO BE PARTIALLY DEMOLISHED. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- D. REMOVE & DISCARD EXISTING WINDOWS WHERE SHOWN.
- E. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS WHERE SHOWN.

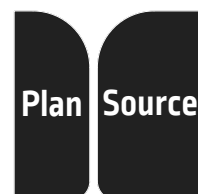
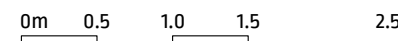
**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- DP(EX) EXISTING DOWNPIPE.
- DPS(EX) EXISTING DOWNPIPE & SPREADER.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- SK(EX) EXISTING SKYLIGHT.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.
-  EXTENT OF DEMOLITION.



**02 SOUTH ELEVATION (REAR) DEMOLITON**  
 A101 SCALE 1:50

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ALTERATIONS & ADDITIONS TO  
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 NORTH SYDNEY NSW 2060  
 LOTS 141 & 142, DP597247

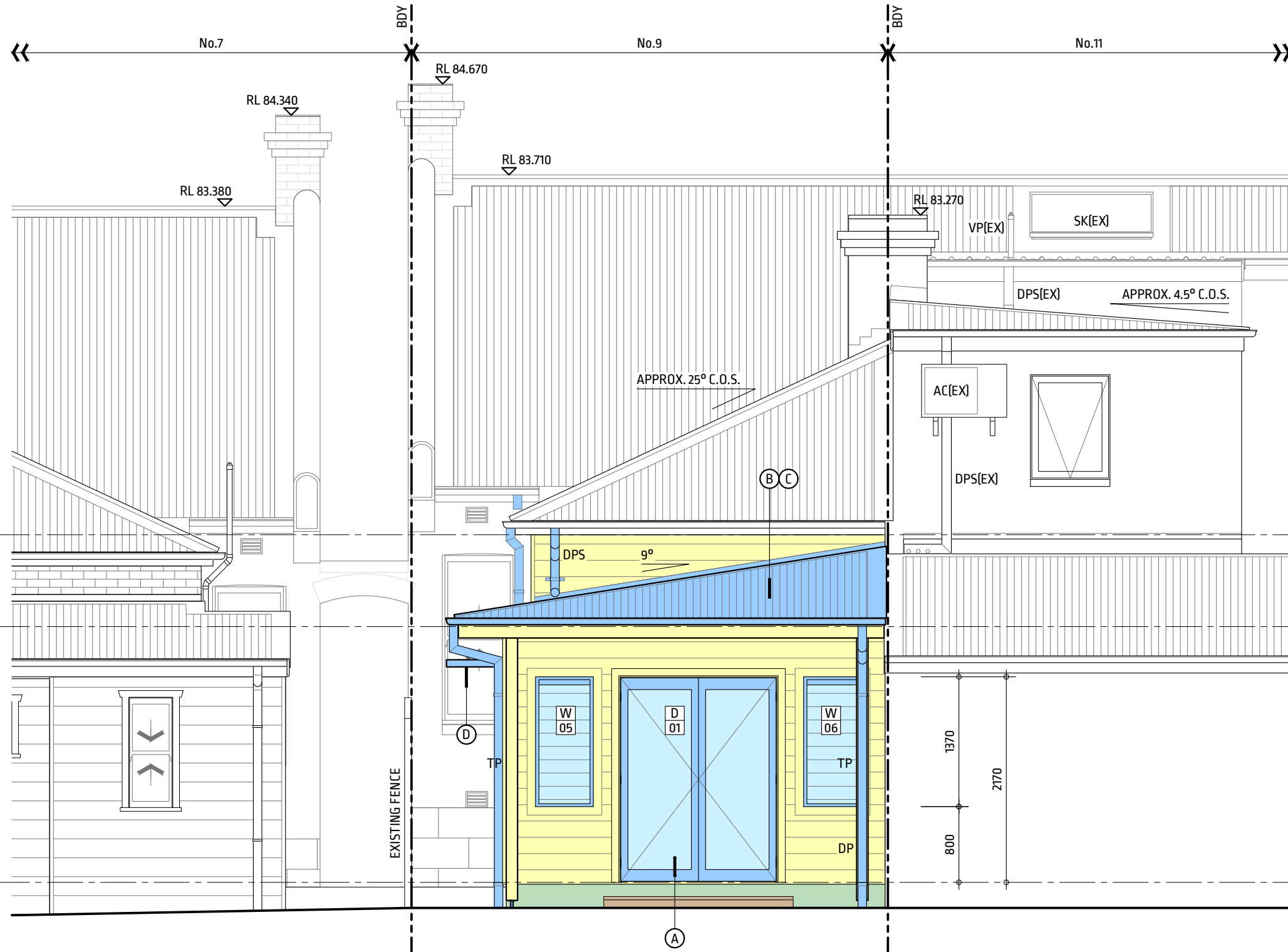
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
 DRAWN / CHECKED M.S.  
 DRAWING TITLE SOUTH ELEVATION (REAR) DEMOLITION

ISSUE DATE 24/10/2023  
 SCALE 1:50 A3 SHEET  
 DRAWING NUMBER A202 -

**NOTES**

1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION REGARDING BUILDING HEIGHT IN THE PRE-APPLICATION MEETING MINUTES.
2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.
3. PROPOSED SIDE SETBACK TO THE REAR WING IS INCREASED FOR ACOUSTIC PRIVACY & TO ENSURE THAT LANDSCAPED AREA IS COMPARABLE TO EXISTING.




**02 PROPOSED SOUTH ELEVATION (REAR)**  
A102 SCALE 1:50

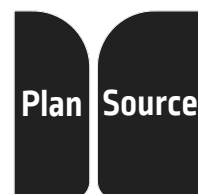
SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- D W DOOR / WINDOW TAG.
- DP PROPOSED 90 DIA. COLORBOND DOWNPIPE.
- DPS PROPOSED 90 DIA. COLORBOND DOWNPIPE & SPREADER.
- DP(EX) EXISTING DOWNPIPE.
- DPS(EX) EXISTING DOWNPIPE & SPREADER.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- SK(EX) EXISTING SKYLIGHT.
- TP 120 x 120 TIMBER POST TO STRUCTURAL ENGINEER'S DETAIL.
- VP(EX) EXISTING VENT PIPE.
- WEATHERBOARD CLADDING SHALL BE WEATHERTEX PRIMELOK SMOOTH 200 WITH CONCEALED JOINERS INSTALLED OVER WEATHERTEX CAVITY BATTENS FOR CONDENSATION MANAGEMENT.
- CONCRETE.
- GLASS.
- METAL.
- TIMBER.

**SCOPE OF WORKS**

- A. SUPPLY & INSTALL ALUMINIUM FRAMED DOORS & WINDOWS AS SCHEDULED.
- B. SUPPLY & INSTALL NEW LYSAGHT CUSTOM ORB ACCENT 21, 0.48mm BMT METAL DECK ROOF TO MATCH EXISTING.
-  C. PRIOR TO TENDERS & CONSTRUCTION, SPECIFICATION OF THE ROOF CLADDING SHALL BE REVIEWED TO DETERMINE AN APPROPRIATE MATERIAL SPECIFICATION TO AVOID ANY LONG-TERM CORROSION ISSUES (CORROSION OBSERVED ON EXISTING ROOF CLADDING).
- D. SUPPLY & INSTALL POWDERCOATED ALUMINIUM LOUVRE AWNINGS TO SATISFY BASIX REQUIREMENTS.



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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE PROPOSED SOUTH ELEVATION (REAR)

ISSUE DATE 24/10/2023

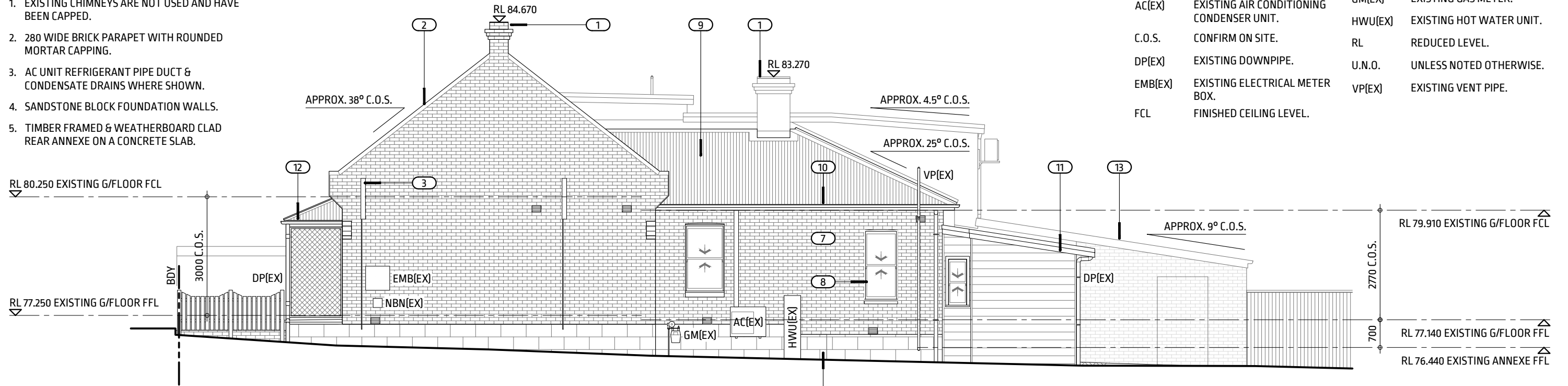
SCALE 1:50 A3 SHEET

DRAWING NUMBER A203 -

0m 0.5 1.0 1.5 2.5

**NOTES**

- EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
- 280 WIDE BRICK PARAPET WITH ROUNDED MORTAR CAPPING.
- AC UNIT REFRIGERANT PIPE DUCT & CONDENSATE DRAINS WHERE SHOWN.
- SANDSTONE BLOCK FOUNDATION WALLS.
- TIMBER FRAMED & WEATHERBOARD CLAD REAR ANNEXE ON A CONCRETE SLAB.



**LEGEND**

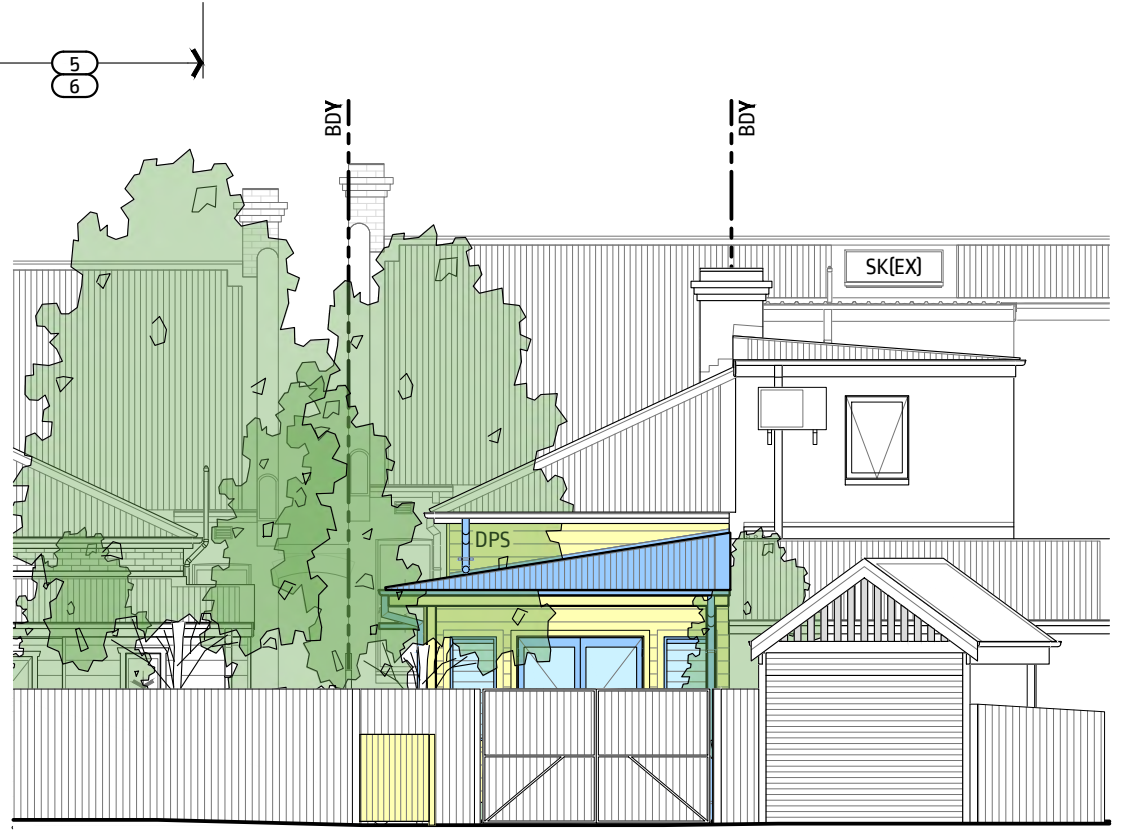
- |         |   |         |                          |
|---------|---|---------|--------------------------|
| AC(EX)  | EXISTING AIR CONDITIONING CONDENSER UNIT. | GM(EX)  | EXISTING GAS METER.      |
| C.O.S.  | CONFIRM ON SITE.                          | HWU(EX) | EXISTING HOT WATER UNIT. |
| DP(EX)  | EXISTING DOWNPIPE.                        | RL      | REDUCED LEVEL.           |
| EMB(EX) | EXISTING ELECTRICAL METER BOX.            | U.N.O.  | UNLESS NOTED OTHERWISE.  |
| FCL     | FINISHED CEILING LEVEL.                   | VP(EX)  | EXISTING VENT PIPE.      |

**03 EXISTING WEST ELEVATION (SIDE)**  
A100 SCALE 1:100

- WEATHERBOARD CLADDING APPEARS TO BE JAMES HARDIE, HARDIE™ PLANK F.C. WEATHERBOARD WOODGRAIN 230mm OR SIMILAR. BOARDS INSTALLED AT 200mm SPACING.
- ALL MASONRY WALLS ARE PAINTED OR BAGGED EXTERNALLY & CEMENT RENDERED INTERNALLY.
- DOUBLE HUNG, SINGLE GLAZED TIMBER FRAMED WINDOWS THROUGHOUT U.N.O. AWNING WINDOW TO BATHROOM.
- U.N.O. EXISTING METAL ROOF CLADDING APPEARS TO BE COLORBOND FINISH CUSTOM ORB ACCENT 21 PROFILE OR SIMILAR. C.O.S.
- COLORBOND FINISH QUAD PROFILE GUTTERS TYPICAL.
- U.N.O. ALL FASCIAS ARE 25 WIDE TIMBER PROFILE WITH BULLNOSE.
- VERANDA GUTTERS ARE FIXED DIRECTLY TO 160 x 38 TIMBER VERANDA BEAMS.
- PROFILE OF No.11 BEYOND.

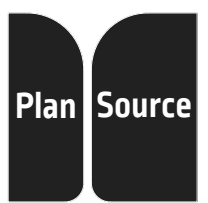


**04 EXISTING WHEELER LANE STREETSCAPE**  
A020 SCALE 1:100



**04 PROPOSED WHEELER LANE STREETSCAPE**  
A021 SCALE 1:100

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



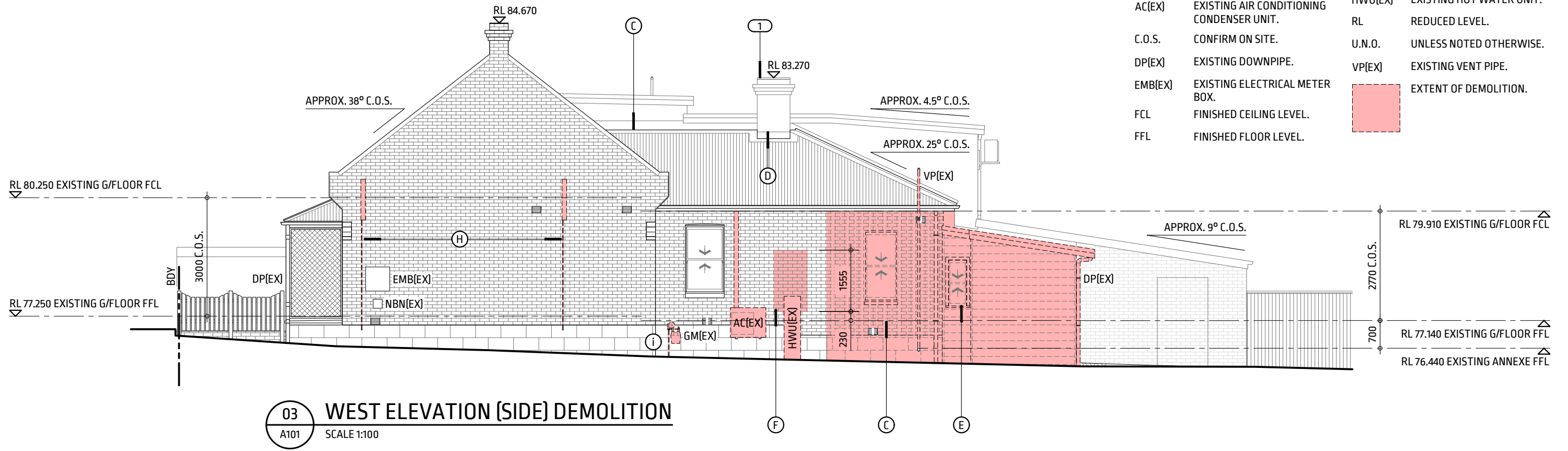
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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE EXISTING WEST ELEV (SIDE) & WHEELER LANE STREETSCAPES

ISSUE DATE 24/10/2023  
SCALE 1:100 A3 SHEET  
DRAWING NUMBER A204 -





**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- DP(EX) EXISTING DOWNPIPE.
- EMB(EX) EXISTING ELECTRICAL METER BOX.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- GM(EX) EXISTING GAS METER.
- HWU(EX) EXISTING HOT WATER UNIT.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.
- EXTENT OF DEMOLITION.

**03 WEST ELEVATION (SIDE) DEMOLITION**  
A101 SCALE 1:100

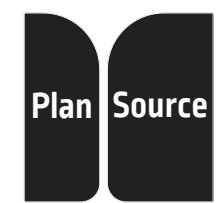
**NOTES**

1. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023.

**SCOPE OF WORKS**

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.
- B. ISOLATE AND CAP EXISTING SERVICES AND DEMOLISH EXISTING KITCHEN, BATHROOM & LAUNDRY FIXTURES.
- C. TEMPORARILY BRACE & PROP THE EXISTING STRUCTURE TO THE SATISFACTION OF THE STRUCTURAL ENGINEER AND DEMOLISH ITEMS SHOWN DOTTED & SHADED.
- D. LIVING ROOM FIREPLACE TO BE DEMOLISHED. CHIMNEY TO BE PARTIALLY DEMOLISHED. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- E. REMOVE & DISCARD EXISTING WINDOWS WHERE SHOWN.
- F. CREATE OPENING FOR PROPOSED WINDOW.
- G. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS WHERE SHOWN.
- H. REMOVE & MAKE GOOD AC UNIT REFRIGERANT PIPE DUCT & CONDENSATE DRAINS WHERE SHOWN.
- I. DISCONNECT EXISTING GAS SERVICE TO THE PROPERTY & INSTALL ELECTRIC OVEN & INDUCTION COOKTOP TO THE KITCHEN.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

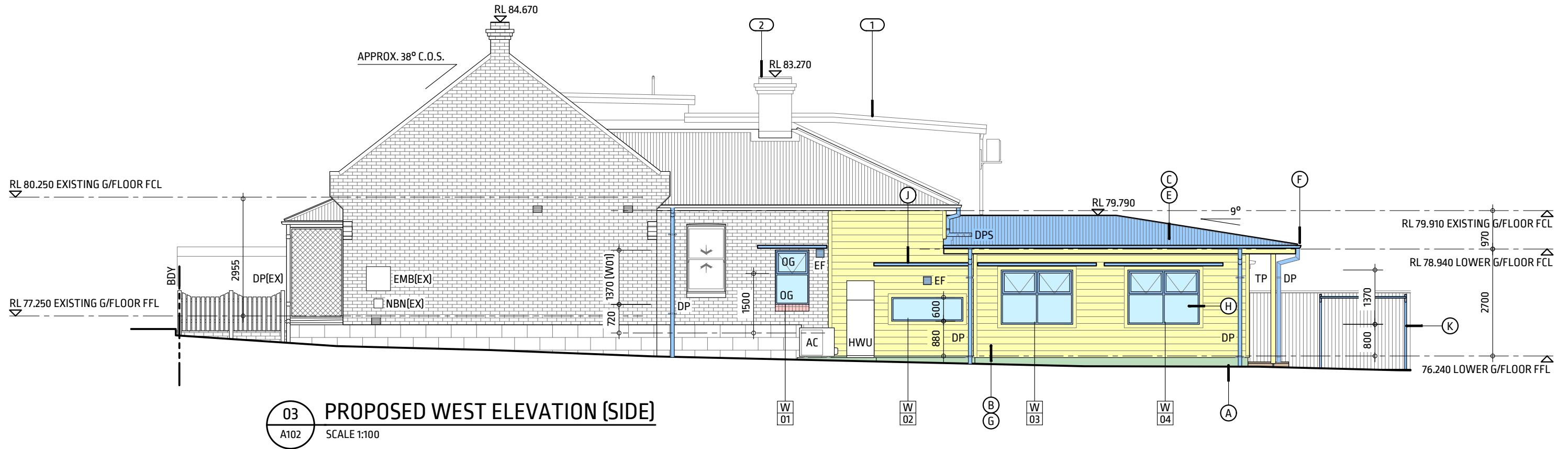


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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE WEST ELEVATION (SIDE) DEMOLITION

ISSUE DATE 24/10/2023  
SCALE 1:100 A3 SHEET  
DRAWING NUMBER A205 -




**NOTES**


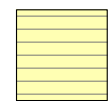
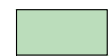

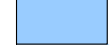

1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT:  
  
"REVISITING THE POTENTIAL TO STEP THE DEVELOPMENT DOWN TO ACHIEVE A LOWER OVERALL HEIGHT THAT IS COMPATIBLE WITH NO. 11 OAK STREET, NEEDS TO BE INVESTIGATED."
2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.

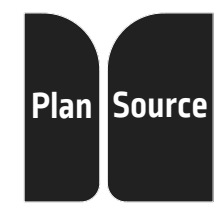
SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

**SCOPE OF WORKS**

- A. CONSTRUCT REINFORCED CONCRETE SLAB ON GROUND & SUBFLOOR PIERS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL.
- B. CONSTRUCT TIMBER FLOOR, WALL & ROOF FRAMING IN ACCORDANCE WITH AS1684 & STRUCTURAL ENGINEER'S DETAIL.
- C.  SUPPLY & INSTALL NEW LYSAGHT CUSTOM ORB ACCENT 21, 0.48mm BMT METAL DECK ROOF TO MATCH EXISTING. PRIOR TO TENDERS & CONSTRUCTION, SPECIFICATION OF THE ROOF CLADDING SHALL BE REVIEWED TO DETERMINE AN APPROPRIATE MATERIAL SPECIFICATION TO AVOID ANY LONG-TERM CORROSION ISSUES (CORROSION OBSERVED ON EXISTING ROOF CLADDING).
- D. SUPPLY & INSTALL NEW SKYLIGHTS AS SCHEDULED. SKYLIGHT SK2 IS WITHIN 900mm OF THE BOUNDARY AND IS REQUIRED TO BE NON-COMBUSTIBLE TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD 2022.
- E. SUPPLY & INSTALL COLORBOND FINISH ROOF CAPPING & FLASHING TO MATCH EXISTING.
- F. SUPPLY & INSTALL COLORBOND FINISH QUAD PROFILE GUTTERS & DOWNPIPES TO MATCH EXISTING.
- G. INSTALL WEATHERBOARD EXTERIOR CLADDING AS SPECIFIED.
- H. SUPPLY & INSTALL ALUMINIUM FRAMED DOORS & WINDOWS AS SCHEDULED.
- I. INSTALL WATER & ELECTRICAL SERVICES, INCLUDING EXHAUST FAN TO BATHROOM TO COMPLY WITH ABCB HOUSING PROVISIONS PART 10.6.
- J. SUPPLY & INSTALL POWDERCOATED ALUMINIUM LOUVRE AWNINGS TO SATISFY BASIX REQUIREMENTS.
- K. SUPPLY & INSTALL A LARGER FOLDING CLOTHESLINE TO REPLACE EXISTING. SUITABLE PRODUCT: HILLS HOME LIVING FOLDING FRAME SINGLE 26m / 2.2m x 1.3m, COLOUR: WOODLAND GREY, PRODUCT CODE: 101060 + FOLDING FRAME POST KIT, COLOUR: WOODLAND GREY, CODE: 101080.

**LEGEND**

ABCB	AUSTRALIAN BUILDING CODES BOARD.	RL	REDUCED LEVEL.
AC	AIR CONDITIONING CONDENSER UNIT.	TP	120 x 120 TIMBER POST TO STRUCTURAL ENGINEER'S DETAIL.
C.O.S.	CONFIRM ON SITE.	U.N.O.	UNLESS NOTED OTHERWISE.
	DOOR / WINDOW TAG.		WEATHERBOARD CLADDING SHALL BE WEATHERTEX PRIMELOK SMOOTH 200 WITH CONCEALED JOINERS INSTALLED OVER WEATHERTEX CAVITY BATTENS FOR CONDENSATION MANAGEMENT.
DP	PROPOSED 90 DIA. COLORBOND DOWNPIPE.		CONCRETE.
DPS	PROPOSED 90 DIA. COLORBOND DOWNPIPE & SPREADER.		GLASS.
DP(EX)	EXISTING DOWNPIPE.		METAL.
EF	EXHAUST FAN.		TIMBER.
FCL	FINISHED CEILING LEVEL.		
FFL	FINISHED FLOOR LEVEL.		
HWU	HEAT PUMP HOT WATER UNIT.		
OG	OBSCURE GLAZING.		

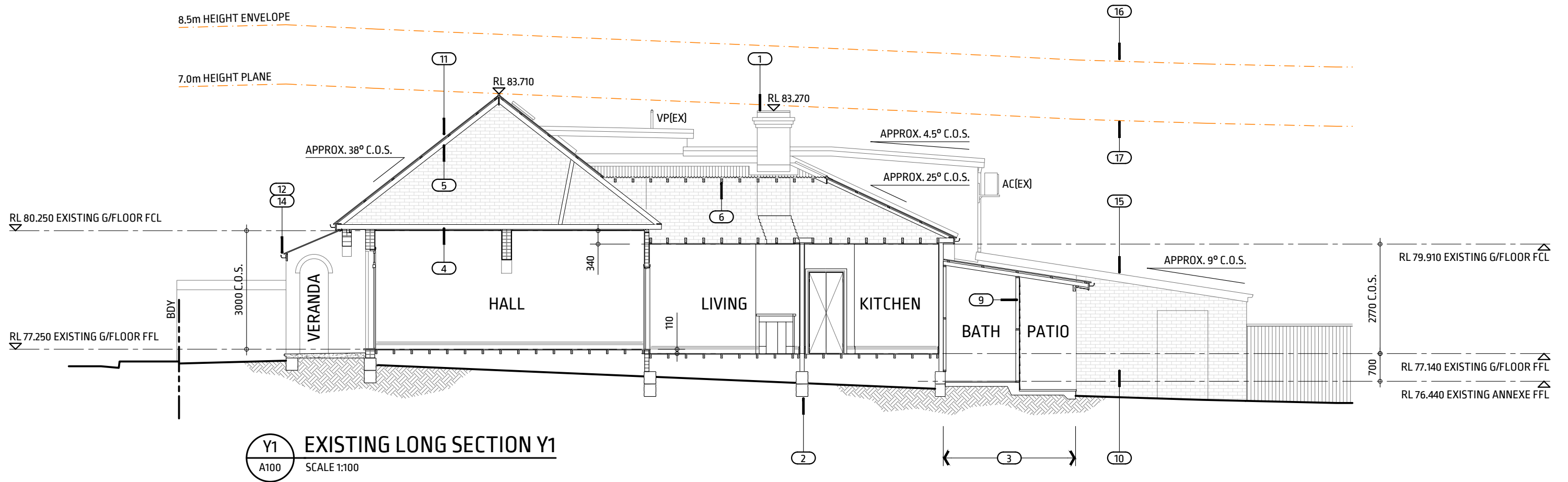


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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
  
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
  
DRAWN / CHECKED M.S.  
  
DRAWING TITLE PROPOSED WEST ELEVATION (SIDE)

ISSUE DATE 24/10/2023  
  
SCALE 1:100 A3 SHEET  
  
DRAWING NUMBER A206 -



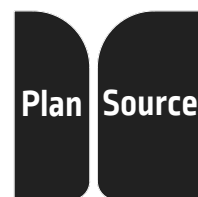
**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.

**NOTES**

1. EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
2. SANDSTONE BLOCK FOUNDATION WALLS.
3. TIMBER FRAMED & WEATHERBOARD CLAD REAR ANNEXE ON A CONCRETE SLAB.
4. 120 x 50 TIMBER CEILING JOISTS AT APPROXIMATELY 450 CTS. TYPICAL. 25 PACKER TO PLASTERBOARD CEILING BELOW.
5. 100 x 50 TIMBER RAFTERS TO FRONT ROOF ALIGNED WITH CEILING JOISTS.
6. 75 x 50 TIMBER RAFTERS TO MID SECTION ROOF.
7. 70 x 25 TIMBER ROOF BATTENS TYPICAL.
8. EXISTING ROOFS HAVE REFLECTIVE FOIL SARKING (NOT VAPOUR PERMEABLE). NO ROOF INSULATION BLANKET OR CEILING INSULATION.
9. WEATHERBOARD CLADDING APPEARS TO BE JAMES HARDIE, HARDIE™ PLANK F.C. WEATHERBOARD WOODGRAIN 230mm OR SIMILAR. BOARDS INSTALLED AT 200mm SPACING.
10. ALL MASONRY WALLS ARE PAINTED OR BAGGED EXTERNALLY & CEMENT RENDERED INTERNALLY.
11. U.N.O. EXISTING METAL ROOF CLADDING APPEARS TO BE COLORBOND FINISH CUSTOM ORB ACCENT 21 PROFILE OR SIMILAR. C.O.S.
12. COLORBOND FINISH QUAD PROFILE GUTTERS TYPICAL.
13. U.N.O. ALL FASCIAS ARE 25 WIDE TIMBER PROFILE WITH BULLNOSE.
14. VERANDA GUTTERS ARE FIXED DIRECTLY TO 160 x 38 TIMBER VERANDA BEAMS.
15. PROFILE OF No.11 BEYOND.
16. 8.5m HIGH MAXIMUM BUILDING HEIGHT ENVELOPE.
17. 7.0m HIGH BUILDING HEIGHT PLANE.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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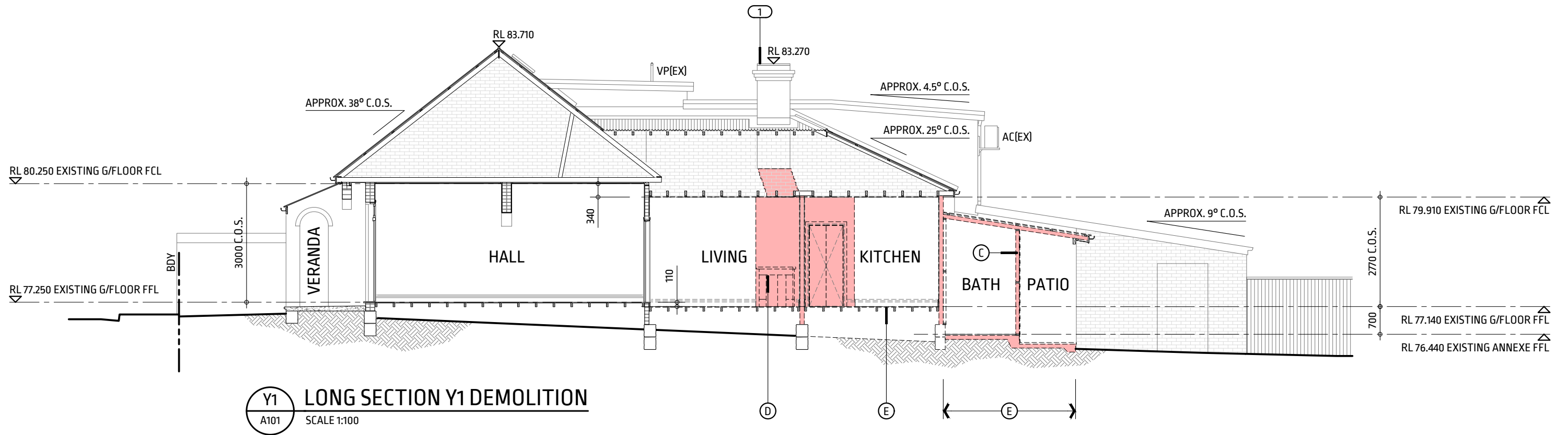
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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	EXISTING LONG SECTION Y1

ISSUE DATE	24/10/2023
SCALE	1:100 A3 SHEET
DRAWING NUMBER	A300 -



**Y1 LONG SECTION Y1 DEMOLITION**  
A101 SCALE 1:100

**LEGEND**

- AC(EX) EXISTING AIR CONDITIONING CONDENSER UNIT.
- C.O.S. CONFIRM ON SITE.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.
- VP(EX) EXISTING VENT PIPE.
- EXTENT OF DEMOLITION.

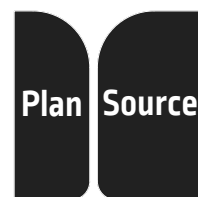
**NOTES**

1. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023.

**SCOPE OF WORKS**

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.
- B. ISOLATE AND CAP EXISTING SERVICES AND DEMOLISH EXISTING KITCHEN, BATHROOM & LAUNDRY FIXTURES.
- C. TEMPORARILY BRACE & PROP THE EXISTING STRUCTURE TO THE SATISFACTION OF THE STRUCTURAL ENGINEER AND DEMOLISH ITEMS SHOWN DOTTED & SHADED.
- D. LIVING ROOM FIREPLACE TO BE DEMOLISHED. CHIMNEY TO BE PARTIALLY DEMOLISHED. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- E. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS WHERE SHOWN.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



PO BOX 124 QUAKERS HILL NSW 2763 M 0425 362 043

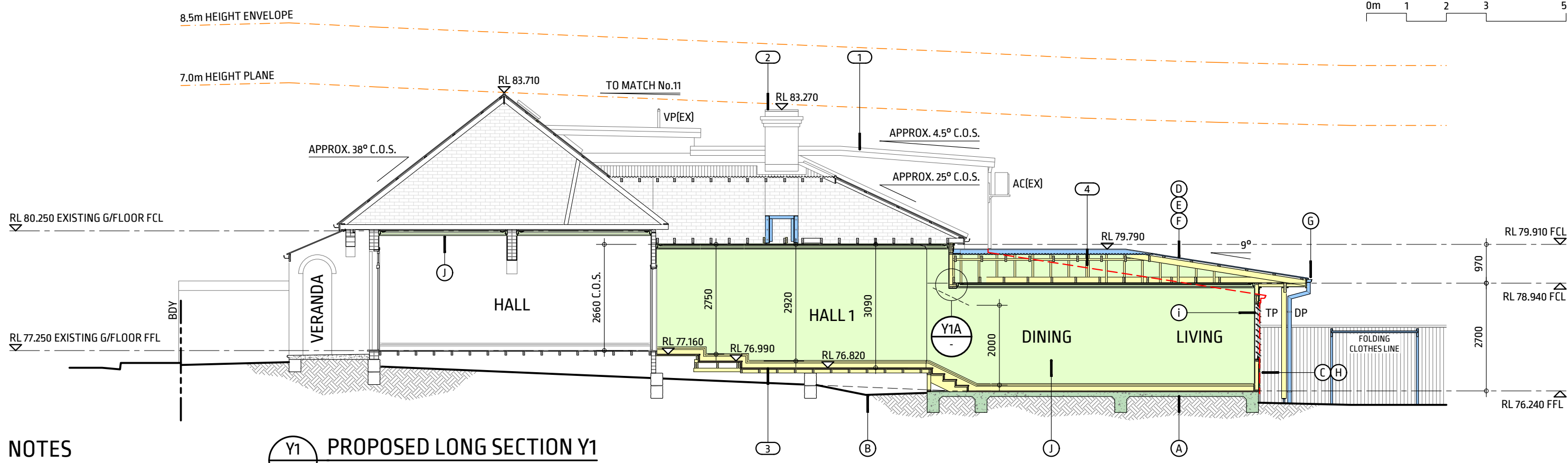
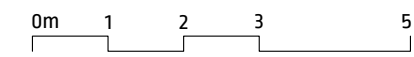
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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE	DEVELOPMENT APPLICATION
DRAWN / CHECKED	M.S.
DRAWING TITLE	LONG SECTION Y1 DEMOLITION

ISSUE DATE	24/10/2023
SCALE	1:100 A3 SHEET
DRAWING NUMBER	A301 -

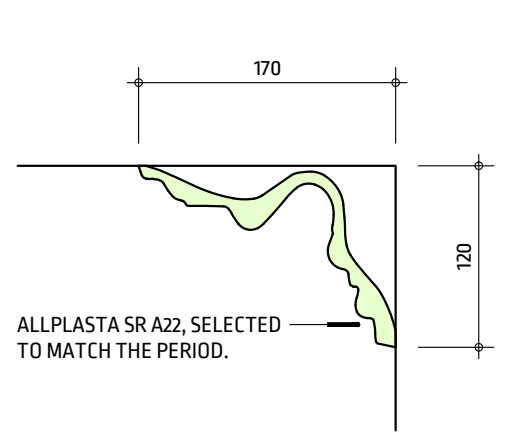


**NOTES**

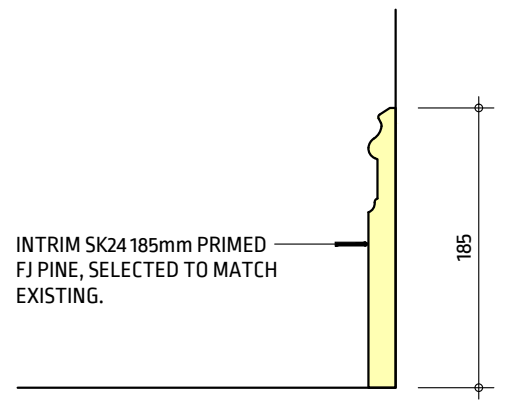
1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT:  
  
"REVISITING THE POTENTIAL TO STEP THE DEVELOPMENT DOWN TO ACHIEVE A LOWER OVERALL HEIGHT THAT IS COMPATIBLE WITH NO. 11 OAK STREET, NEEDS TO BE INVESTIGATED."
2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.
3. FLOOR LEVEL FOR THE STUDY, BATHROOM & HALL 1 HAS BEEN SET AT A HEIGHT THAT WILL SUIT A FUTURE FIRST FLOOR ADDITION, WHILST MINIMISING OVERALL BUILDING HEIGHT RELATIVE TO No.11.
4. PROFILE OF No.11 BEYOND (DOTTED RED).
5. WALL, ROOF & CEILING INSULATION OMITTED FOR CLARITY ON THIS DRAWING.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP

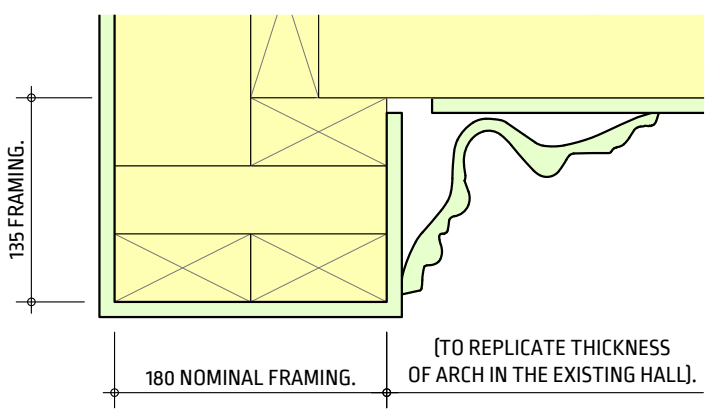
**Y1 PROPOSED LONG SECTION Y1**  
A102 SCALE 1:100



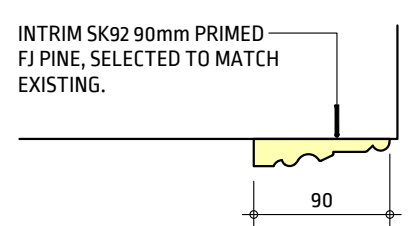
**PROPOSED CORNICE**  
SCALE 1:5



**PROPOSED SKIRTING**  
SCALE 1:5



**Y1A BULKHEAD DETAIL**  
SCALE 1:5



**PROPOSED ARCHITRAVE**  
SCALE 1:5

**SCOPE OF WORKS**

- A. CONSTRUCT REINFORCED CONCRETE SLAB ON GROUND, SUBFLOOR PIERS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL.
- B. RE-GRADE THE SUBFLOOR GROUND LEVEL TO FALL AWAY FROM PROPOSED SUBFLOOR WALLS & INSTALL SUBSOIL DRAINAGE CONNECTED TO THE EXISTING STORMWATER SYSTEM AS SHOWN.
- C. CONSTRUCT TIMBER FLOOR, WALL & ROOF FRAMING IN ACCORDANCE WITH AS1684 & STRUCTURAL ENGINEER'S DETAIL.
- D. SUPPLY & INSTALL NEW LYSAGHT CUSTOM ORB ACCENT 21, 0.48mm BMT METAL DECK ROOF TO MATCH EXISTING.
- E. PRIOR TO TENDERS & CONSTRUCTION, SPECIFICATION OF THE ROOF CLADDING SHALL BE REVIEWED TO DETERMINE AN APPROPRIATE MATERIAL SPECIFICATION TO AVOID ANY LONG-TERM CORROSION ISSUES.

- F. SUPPLY & INSTALL COLORBOND FINISH ROOF CAPPING & FLASHING TO MATCH EXISTING.
- G. SUPPLY & INSTALL COLORBOND FINISH QUAD PROFILE GUTTERS & DOWNPIPES TO MATCH EXISTING.
- H. INSTALL WEATHERBOARD EXTERIOR CLADDING AS SPECIFIED.
- I. SUPPLY & INSTALL ALUMINIUM FRAMED DOORS & WINDOWS AS SCHEDULED.
- J. INSTALL 10mm PLASTERBOARD WALL & CEILING LININGS, WITH CORNICE TO MATCH EXISTING. REFER SEPARATE DETAIL.
- K. INSTALL INTERIOR TIMBER SWING DOORS, ARCHITRAVES & SKIRTING TO MATCH EXISTING. REFER SEPARATE DETAIL.
- L. INSTALL WATERPROOFING & FLOOR TILING TO THE BATHROOM.

**LEGEND**

AC(EX)	EXISTING AIR CONDITIONING CONDENSER UNIT.
C.O.S.	CONFIRM ON SITE.
DP	PROPOSED 90 DIA. COLORBOND DOWNPIPE.
FCL	FINISHED CEILING LEVEL.
FFL	FINISHED FLOOR LEVEL.
RL	REDUCED LEVEL.
TP	120 x 120 TIMBER POST TO STRUCTURAL ENGINEER'S DETAIL.
U.N.O.	UNLESS NOTED OTHERWISE.
	CONCRETE.
	FIBRE CEMENT, PLASTERBOARD.
	METAL.
	TIMBER.

**REFERENCES**

INSULATION SPEC. REFER DWG A000

**Plan Source**  
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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE PROPOSED LONG SECTION Y1

ISSUE DATE 24/10/2023  
SCALE 1:100, 1:5 A3 SHEET  
DRAWING NUMBER A302 -

**NOTES**

1. EXISTING CHIMNEYS ARE NOT USED AND HAVE BEEN CAPPED.
2. 280 WIDE BRICK PARAPET WITH ROUNDED MORTAR CAPPING.
3. DOUBLE HUNG, SINGLE GLAZED TIMBER FRAMED WINDOWS THROUGHOUT U.N.O. AWNING WINDOW TO BATHROOM.
4. 120 x 50 TIMBER CEILING JOISTS AT APPROXIMATELY 450 CTS. TYPICAL. 25 PACKER TO PLASTERBOARD CEILING BELOW.
5. 100 x 50 TIMBER RAFTERS TO FRONT ROOF ALIGNED WITH CEILING JOISTS.
6. 75 x 50 TIMBER RAFTERS TO MID SECTION ROOF ALIGNED WITH CEILING JOISTS.
7. 70 x 25 TIMBER ROOF BATTENS TYPICAL.

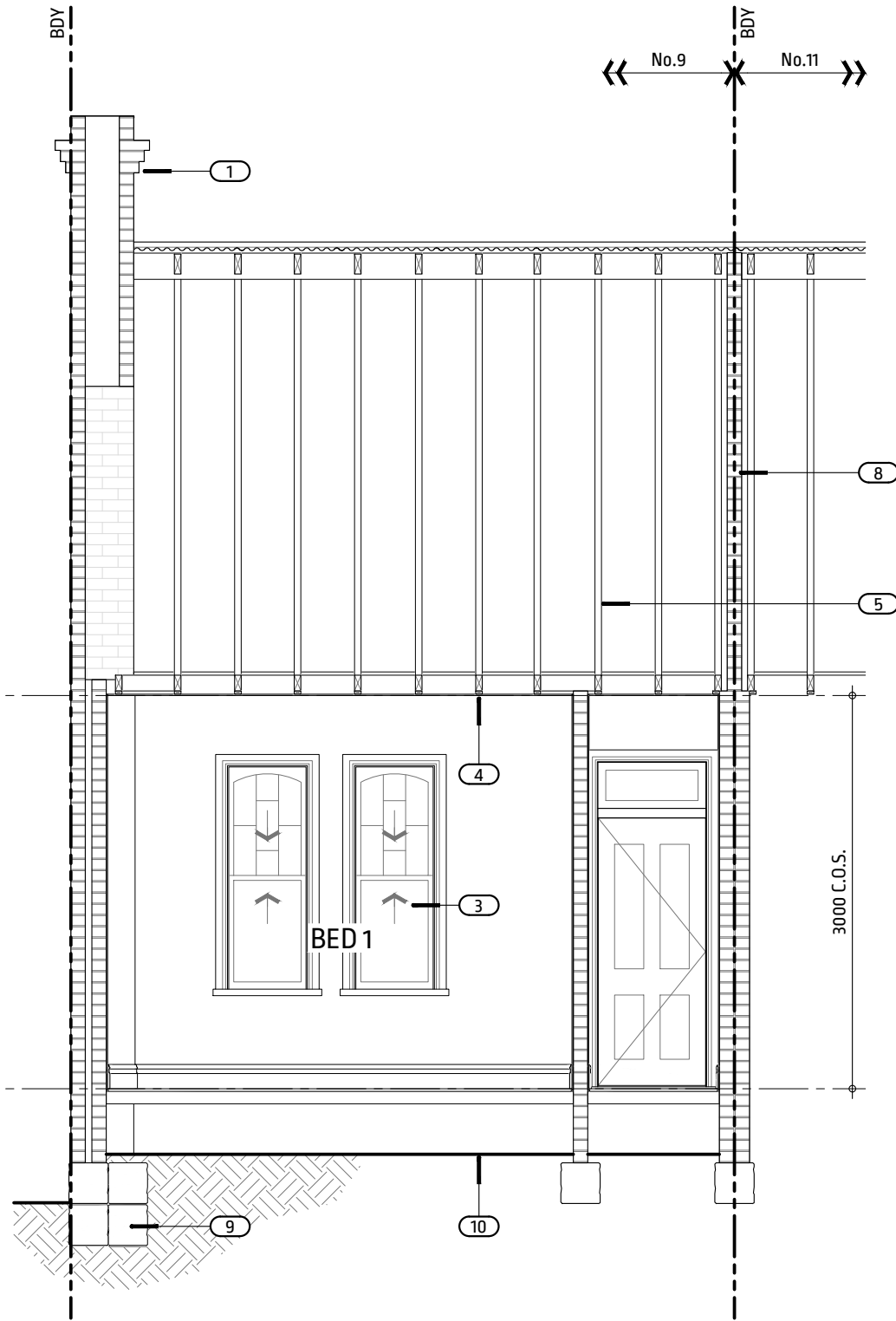
RL 80.250 EXISTING G/FLOOR FCL

8. ALIGNMENT & CONSTRUCTION OF THE BRICKWORK PARTY WALL ABOVE CEILING LEVEL HAS BEEN DRAWN BASED ON OBSERVATION & SITE MEASUREMENTS FROM THE ROOF SPACE. ALIGNMENT IN RELATION TO THE PROPERTY BOUNDARY SHOULD BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

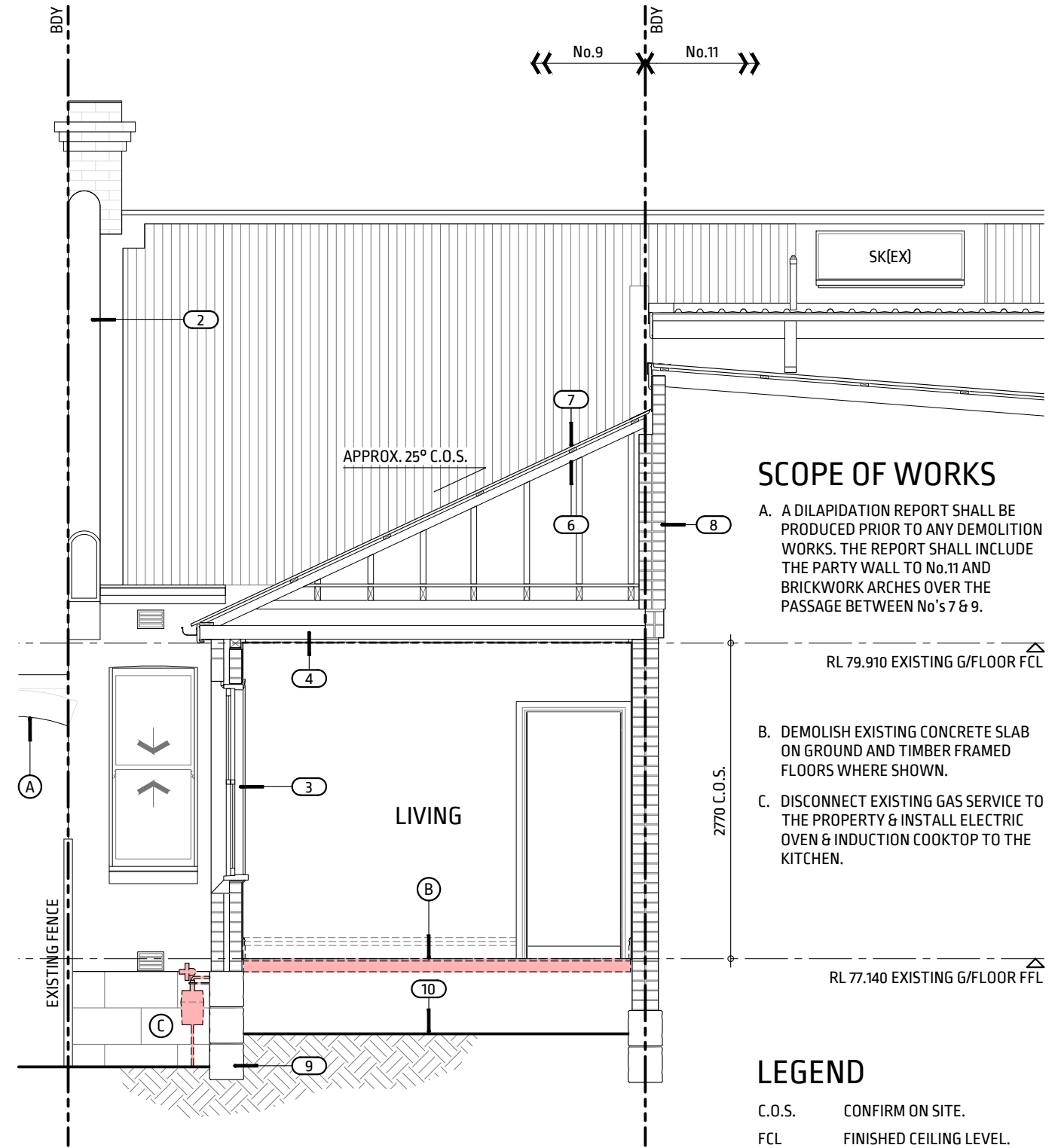
9. SANDSTONE BLOCK FOUNDATION WALLS.

RL 77.250 EXISTING G/FLOOR FFL

10. ACCESS TO THE SUBFLOOR COULD NOT BE FOUND AND GROUND LEVELS TO THE SUBFLOOR ARE INDICATIVE ONLY.



**X1** EXISTING CROSS SECTION X1  
A100 SCALE 1:50



**X2** CROSS SECTION X2 DEMOLITION  
A100 SCALE 1:50

**SCOPE OF WORKS**

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.

RL 79.910 EXISTING G/FLOOR FCL

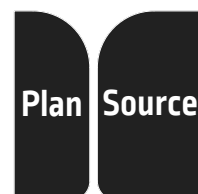
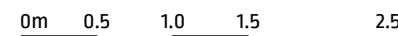
- B. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS WHERE SHOWN.
- C. DISCONNECT EXISTING GAS SERVICE TO THE PROPERTY & INSTALL ELECTRIC OVEN & INDUCTION COOKTOP TO THE KITCHEN.

RL 77.140 EXISTING G/FLOOR FFL

**LEGEND**

- C.O.S. CONFIRM ON SITE.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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M 0425 362 043

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ALTERATIONS & ADDITIONS TO  
9 OAK STREET,  
NORTH SYDNEY NSW 2060  
LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE EXISTING CROSS SECTION X1 & DEMO X2

ISSUE DATE 24/10/2023

SCALE 1:50 A3 SHEET

DRAWING NUMBER A303 -

**NOTES**

1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT:

"REVISITING THE POTENTIAL TO STEP THE DEVELOPMENT DOWN TO ACHIEVE A LOWER OVERALL HEIGHT THAT IS COMPATIBLE WITH NO. 11 OAK STREET, NEEDS TO BE INVESTIGATED."

2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.

3. THE PROPOSED WORKS SHALL BE INDEPENDENTLY SUPPORTED AND SHALL NOT RELY ON THE PARTY WALL FOR LATERAL OR VERTICAL SUPPORT.



RL 80.250 EXISTING G/FLOOR FCL

**LEGEND**

- C.O.S. CONFIRM ON SITE.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.

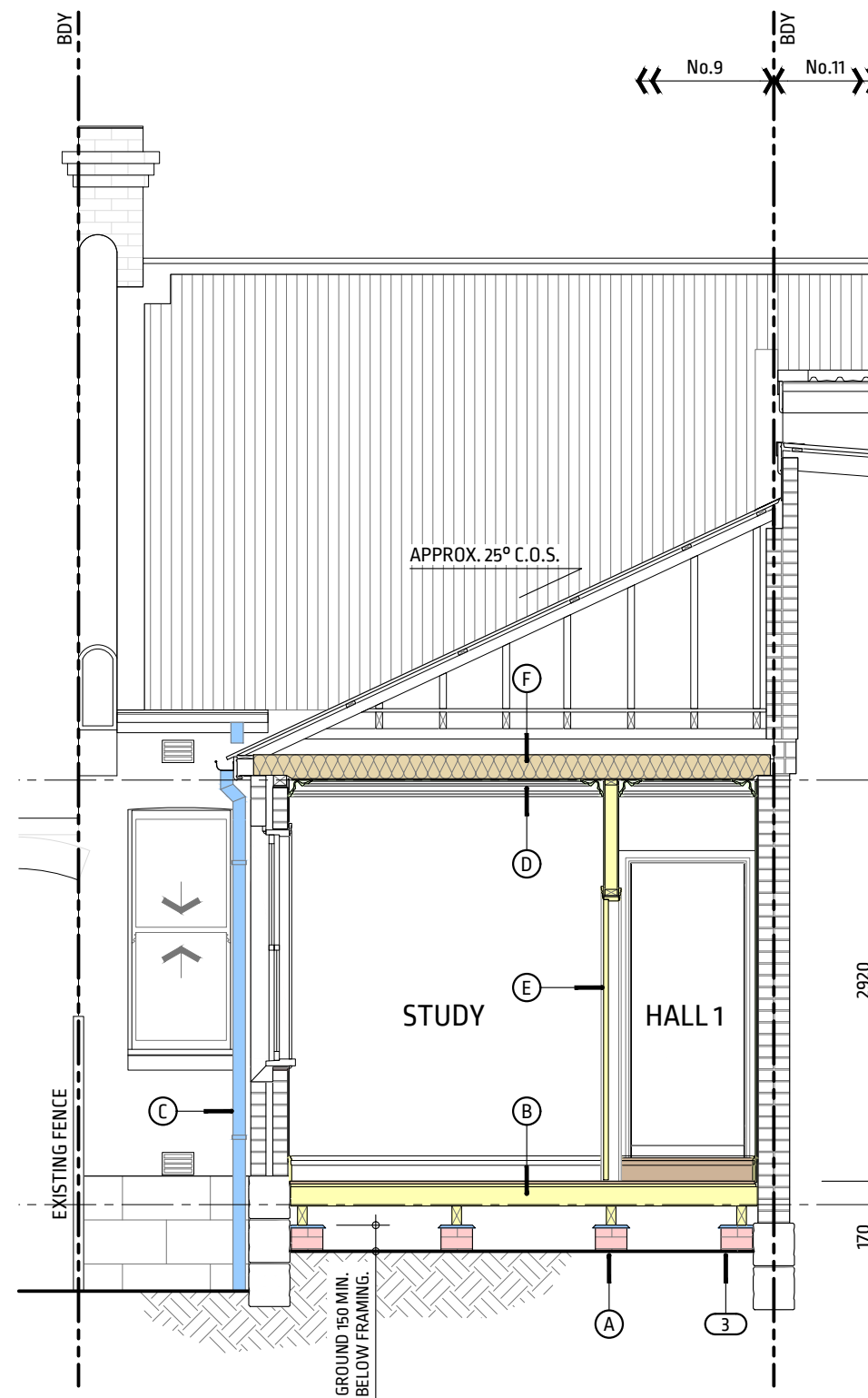
RL 77.250 EXISTING G/FLOOR FFL

- BRICK.
- FIBRE CEMENT, PLASTERBOARD.
- METAL.
- TIMBER.



**X1** PROPOSED CROSS SECTION X1  
A100 SCALE 1:50

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



**X2** PROPOSED CROSS SECTION X2  
A100 SCALE 1:50

**SCOPE OF WORKS**

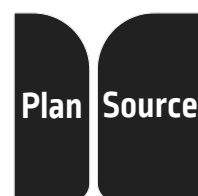
- A. CONSTRUCT SUBFLOOR PIERS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL.
- B. CONSTRUCT TIMBER FLOOR, WALL & ROOF FRAMING IN ACCORDANCE WITH AS1684 & STRUCTURAL ENGINEER'S DETAIL.
- C. SUPPLY & INSTALL COLORBOND FINISH QUAD PROFILE GUTTERS & DOWNPIPES TO MATCH EXISTING.
- D. INSTALL 10mm PLASTERBOARD WALL & CEILING LININGS, WITH CORNICE TO MATCH EXISTING. REFER SEPARATE DETAIL.
- E. INSTALL INTERIOR TIMBER SWING DOORS, ARCHITRAVES & SKIRTING TO MATCH EXISTING. REFER SEPARATE DETAIL.
- F. INSTALL CEILING INSULATION AS SPECIFIED.

RL 79.910 EXISTING G/FLOOR FCL

RL 76.820 MIDDLE G/FLOOR FFL

**REFERENCES**

- INSULATION & WALL WRAP SPEC. (REFER DWG A000)
- ARCHITRAVE, CORNICE & SKIRTING DETAILS (REFER DWG A302)



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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247

CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION

DRAWN / CHECKED M.S.

DRAWING TITLE PROPOSED CROSS SECTIONS X1 & X2

ISSUE DATE 24/10/2023

SCALE 1:50 A3 SHEET

DRAWING NUMBER A304 -

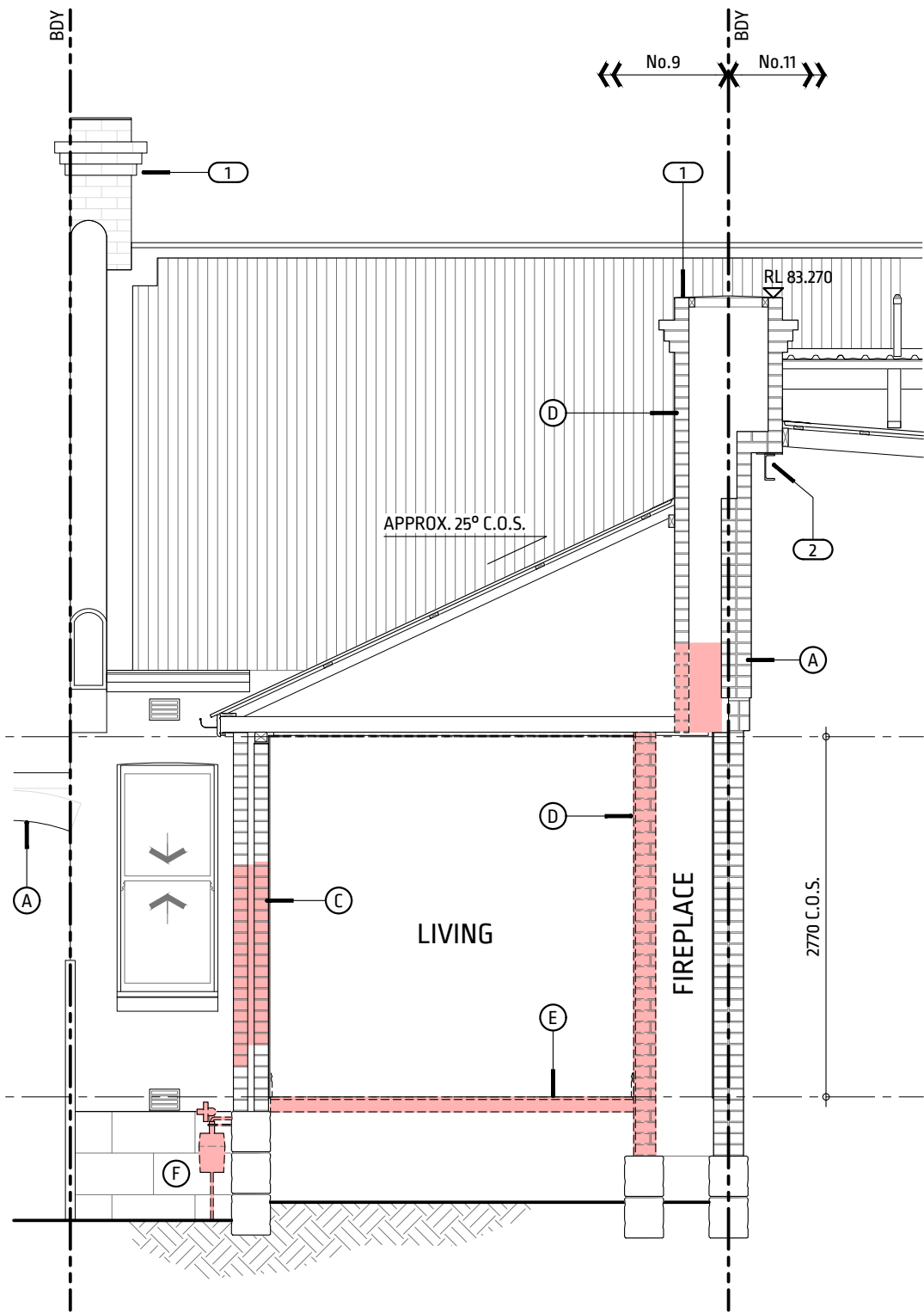
### SCOPE OF WORKS

- A. A DILAPIDATION REPORT SHALL BE PRODUCED PRIOR TO ANY DEMOLITION WORKS. THE REPORT SHALL INCLUDE THE PARTY WALL TO No.11 AND BRICKWORK ARCHES OVER THE PASSAGE BETWEEN No's 7 & 9.
- B. ISOLATE AND CAP EXISTING SERVICES AND DEMOLISH EXISTING KITCHEN, BATHROOM & LAUNDRY FIXTURES.
- C. TEMPORARILY BRACE & PROP THE EXISTING STRUCTURE TO THE SATISFACTION OF THE STRUCTURAL ENGINEER AND DEMOLISH ITEMS SHOWN DOTTED & SHADED.
- D. LIVING ROOM FIREPLACE TO BE DEMOLISHED. CHIMNEY TO BE PARTIALLY DEMOLISHED. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- E. DEMOLISH EXISTING CONCRETE SLAB ON GROUND AND TIMBER FRAMED FLOORS WHERE SHOWN.

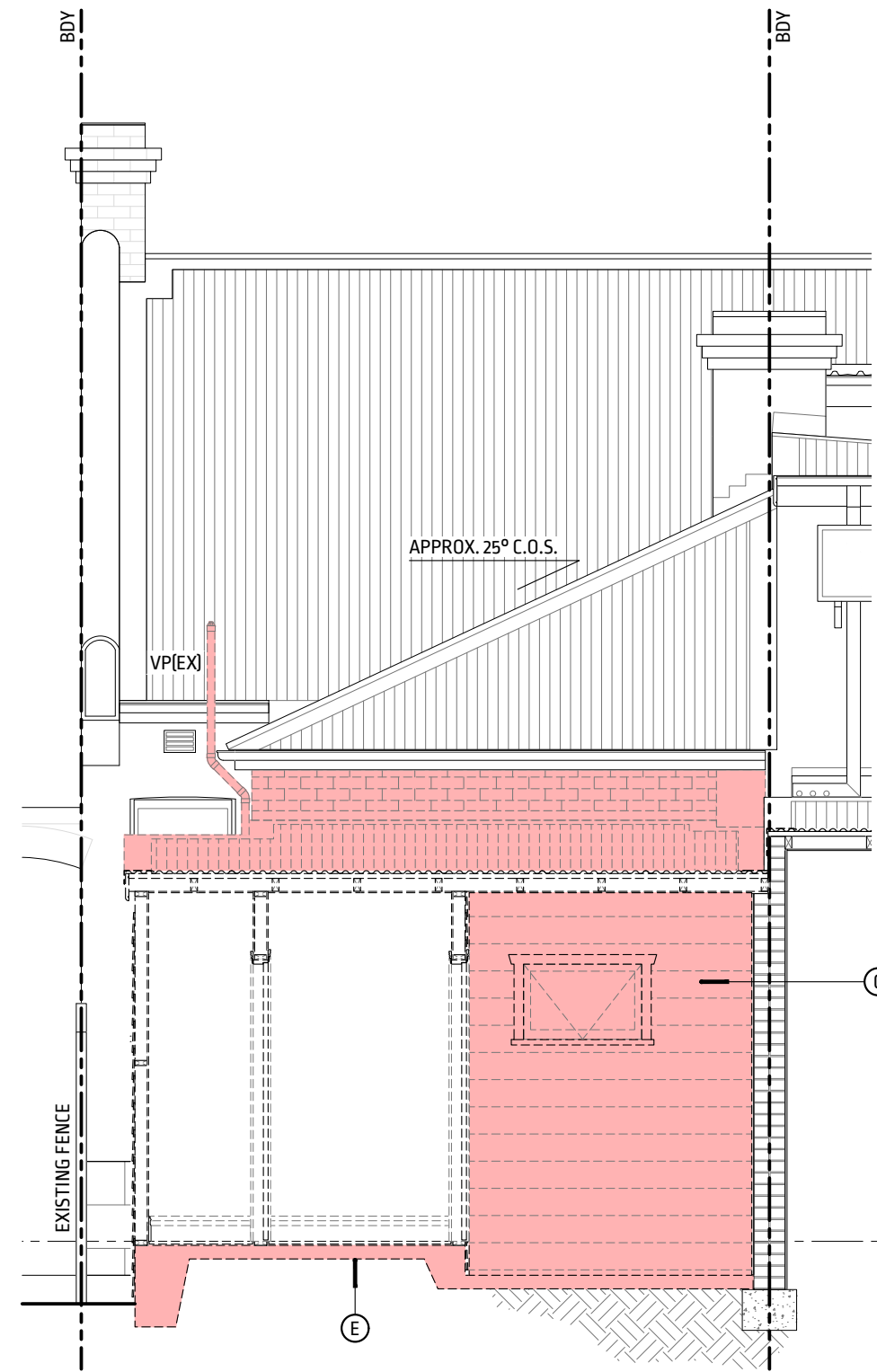
RL 79.910 EXISTING G/FLOOR FCL

- F. DISCONNECT EXISTING GAS SERVICE TO THE PROPERTY & INSTALL ELECTRIC OVEN & INDUCTION COOKTOP TO THE KITCHEN.

RL 77.140 EXISTING G/FLOOR FFL



**X3 CROSS SECTION X3 DEMOLITION**  
A102 SCALE 1:50



**X4 CROSS SECTION X4 DEMOLITION**  
A100 SCALE 1:50

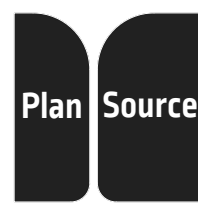
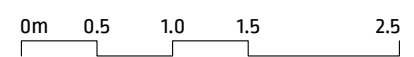
### NOTES

- 1. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023.
- 2. METHOD OF SUPPORT TO THE CHIMNEY ON THE No.11 SIDE UNKNOWN. THIS DRAWING IS DIAGRAMMATIC ONLY. INTERNAL PHOTOS OF No.11 CONFIRM THAT THE ORIGINAL FIREPLACE & CHIMNEY HAS BEEN REMOVED UP TO ROOF LEVEL.

### LEGEND

- C.O.S. CONFIRM ON SITE.
- FCL FINISHED CEILING LEVEL.
- FFL FINISHED FLOOR LEVEL.
- RL REDUCED LEVEL.
- U.N.O. UNLESS NOTED OTHERWISE.

SPACE BELOW RESERVED FOR COUNCIL APPROVAL STAMP



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ALTERATIONS & ADDITIONS TO 9 OAK STREET, NORTH SYDNEY NSW 2060 LOTS 141 & 142, DP597247  
CLIENT R. & N. JUFAS

ISSUE DEVELOPMENT APPLICATION  
DRAWN / CHECKED M.S.  
DRAWING TITLE CROSS SECTIONS X3 & X4 DEMOLITION

ISSUE DATE 24/10/2023  
SCALE 1:50 A3 SHEET  
DRAWING NUMBER A305 -



**NOTES**

1. THE PROPOSED FIRST FLOOR ADDITIONS HAVE BEEN REMOVED FROM THE SCOPE OF WORKS DUE TO BUDGETARY CONSTRAINTS AND TO ADDRESS THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES DATED 30/06/2023 THAT:

"REVISITING THE POTENTIAL TO STEP THE DEVELOPMENT DOWN TO ACHIEVE A LOWER OVERALL HEIGHT THAT IS COMPATIBLE WITH NO. 11 OAK STREET, NEEDS TO BE INVESTIGATED."

2. BOTH FRONT & REAR CHIMNEYS SHALL BE RETAINED IN ACCORDANCE WITH THE DIRECTION IN THE PRE-APPLICATION MEETING MINUTES.

3. WALL AND ROOF CONSTRUCTION ALONG THE PARTY WALL SHALL COMPLY WITH ABCB HOUSING PROVISIONS PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS & PART 10.7 SOUND INSULATION.

4. THE PROPOSED WORKS SHALL BE INDEPENDENTLY SUPPORTED AND SHALL NOT RELY ON THE PARTY WALL FOR LATERAL OR VERTICAL SUPPORT.

RL 79.910 EXISTING G/FLOOR FCL

**LEGEND**

FCL FINISHED CEILING LEVEL.

FFL FINISHED FLOOR LEVEL.

BRICK.

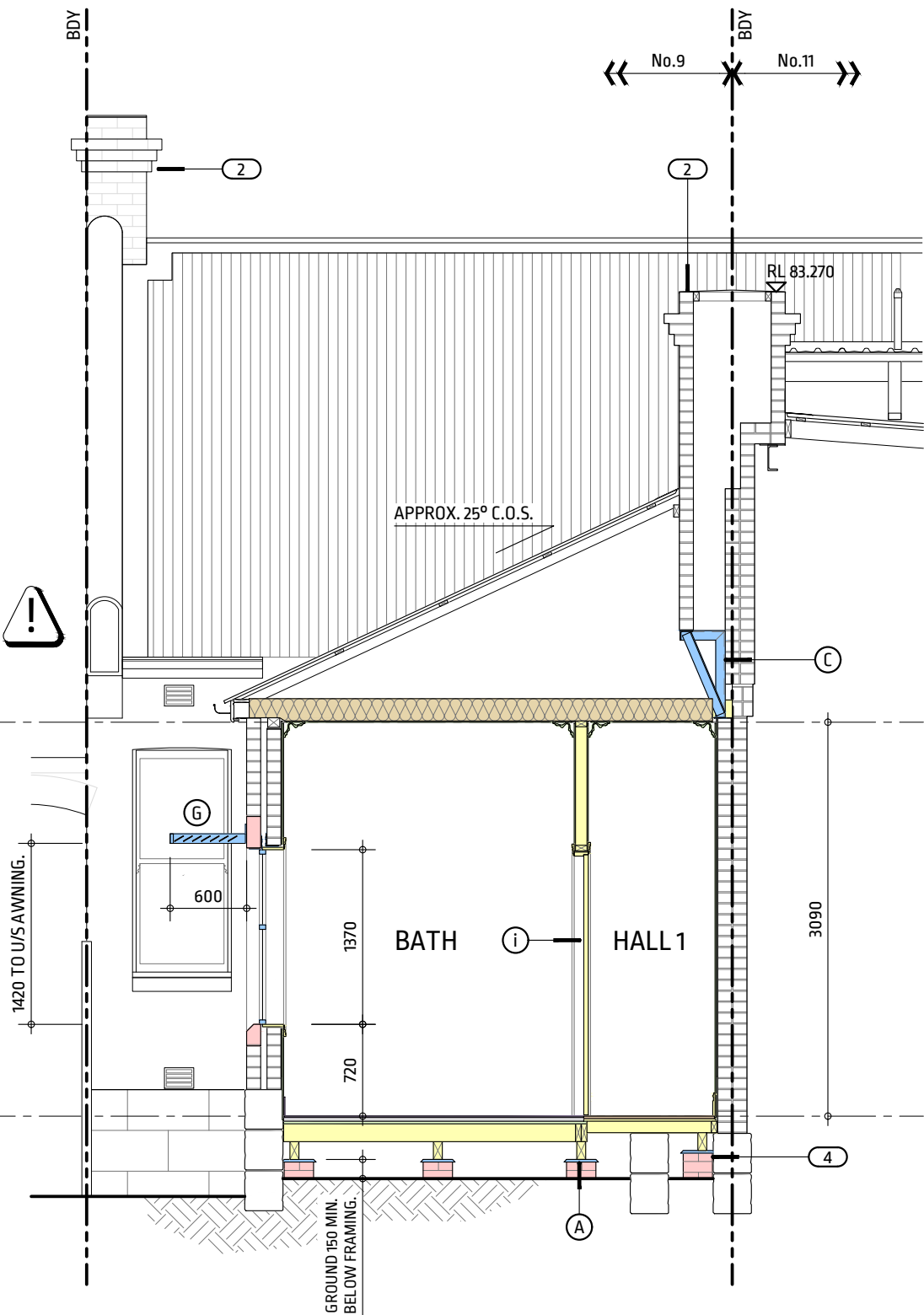
CONCRETE.

RL 76.820 MIDDLE G/FLOOR FFL

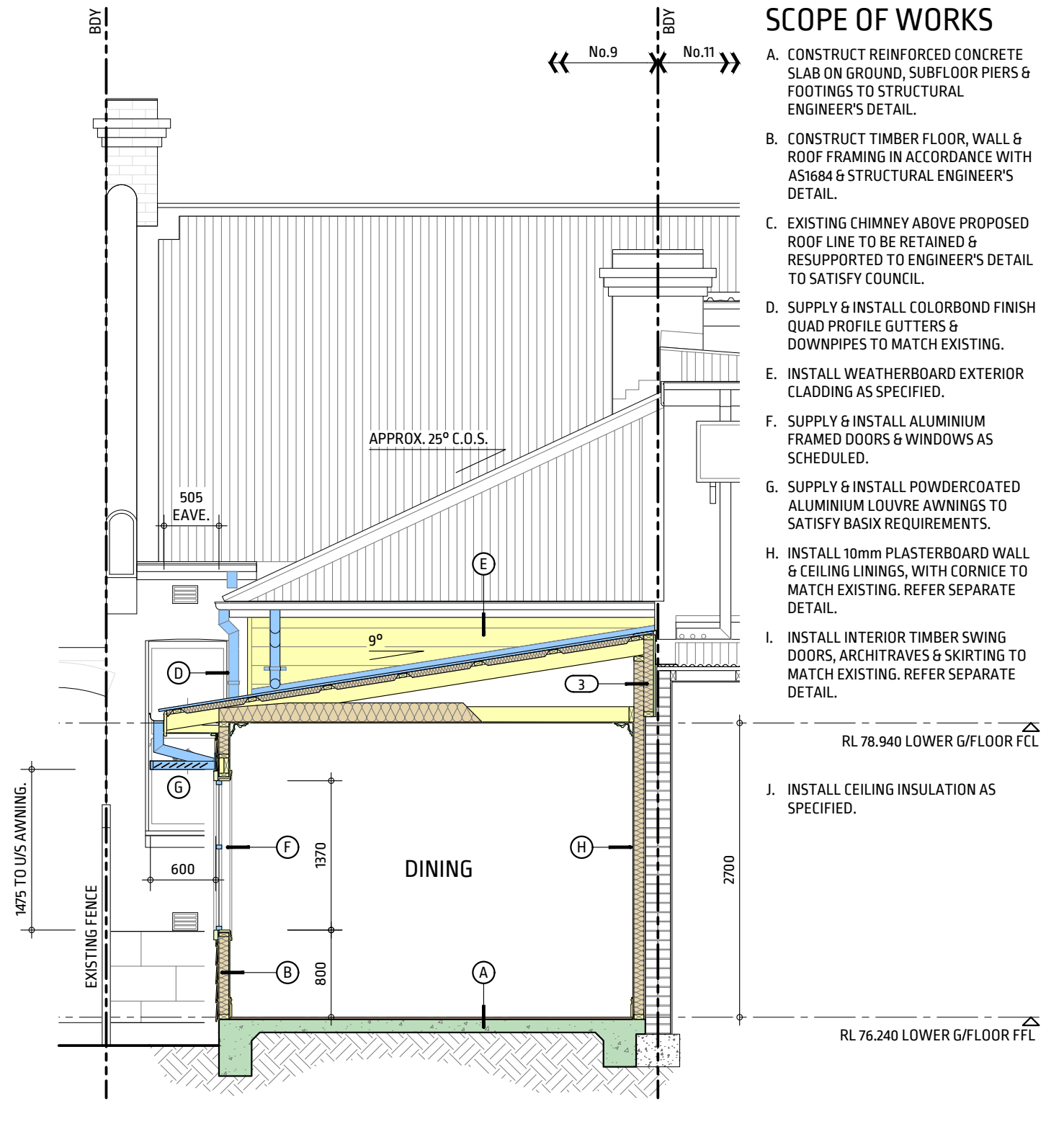
FIBRE CEMENT, PLASTERBOARD.

METAL.

TIMBER.



**X3** PROPOSED CROSS SECTION X3  
A100 SCALE 1:50



**X4** PROPOSED CROSS SECTION X4  
A100 SCALE 1:50

**SCOPE OF WORKS**

- A. CONSTRUCT REINFORCED CONCRETE SLAB ON GROUND, SUBFLOOR PIERS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL.
- B. CONSTRUCT TIMBER FLOOR, WALL & ROOF FRAMING IN ACCORDANCE WITH AS1684 & STRUCTURAL ENGINEER'S DETAIL.
- C. EXISTING CHIMNEY ABOVE PROPOSED ROOF LINE TO BE RETAINED & RESUPPORTED TO ENGINEER'S DETAIL TO SATISFY COUNCIL.
- D. SUPPLY & INSTALL COLORBOND FINISH QUAD PROFILE GUTTERS & DOWNPIPES TO MATCH EXISTING.
- E. INSTALL WEATHERBOARD EXTERIOR CLADDING AS SPECIFIED.
- F. SUPPLY & INSTALL ALUMINIUM FRAMED DOORS & WINDOWS AS SCHEDULED.
- G. SUPPLY & INSTALL POWDERCOATED ALUMINIUM LOUVRE AWNINGS TO SATISFY BASIX REQUIREMENTS.
- H. INSTALL 10mm PLASTERBOARD WALL & CEILING LININGS, WITH CORNICE TO MATCH EXISTING. REFER SEPARATE DETAIL.
- I. INSTALL INTERIOR TIMBER SWING DOORS, ARCHITRAVES & SKIRTING TO MATCH EXISTING. REFER SEPARATE DETAIL.

RL 78.940 LOWER G/FLOOR FCL

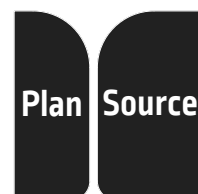
J. INSTALL CEILING INSULATION AS SPECIFIED.

RL 76.240 LOWER G/FLOOR FFL

**REFERENCES**

- INSULATION & WALL WRAP SPEC. (REFER DWG A000)
- ARCHITRAVE, CORNICE & SKIRTING DETAILS (REFER DWG A302)

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SCALE 1:50 A3 SHEET

DRAWING NUMBER A306 -

# STUDIO AALMA

Heritage, Design and Planning

Heritage Consultants & Architectural Design

## HERITAGE IMPACT STATEMENT

9 Oak Street, North Sydney NSW 2049

June 2023



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**9 OAK STREET, NORTH SYDNEY**

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ISSUE	DESCRIPTION	DATE	ISSUED BY
A	DA Submission	01/06/23	AA

---

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# 1.0

## INTRODUCTION

### 1.1 REPORT OVERVIEW

This report has been prepared to accompany a development application for the proposed alterations and additions at the subject site, 9 Oak Street, North Sydney. The proposed alterations pertain to a listed item of significance. The consent authority is to consider the affect of the proposal on the significance of the item with respect to Schedule 5 of the North Sydney local environmental plan (NSLEP 2013).

### 1.2 SITE IDENTIFICATION

The subject site is located on the south side of Oak Street, with the facade facing north. The dwelling is located mid way down a street of other period dwellings, forming a heritage pocket (or row). The site is located within the wider vicinity of other listed items of Local Heritage Significance. The subject site at 9 Oak Street, North Sydney is legally described by NSW Land and Registry Services (LRS) as Lot 141 & Lot 142 DP 597247.

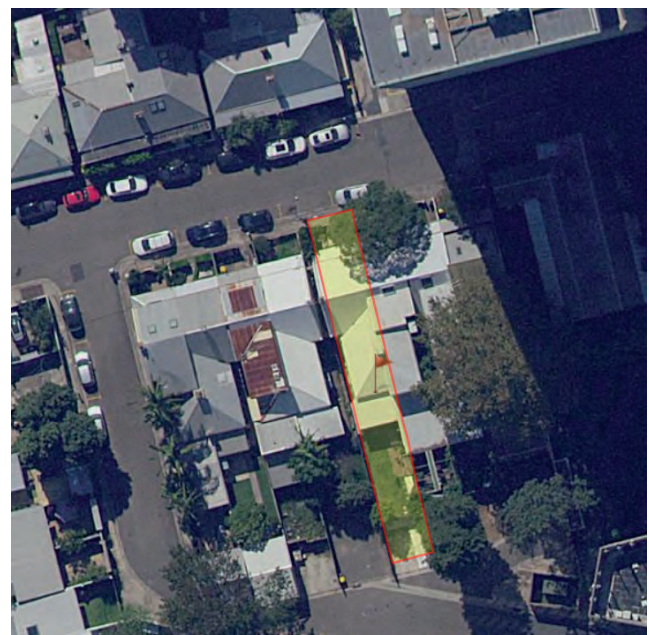
### 1.3 DOCUMENTS REVIEWED

The following documents have been reviewed in the preparation of this report:

- North Sydney Local Environmental Plan 2013
- North Sydney Development Control Plan 2013
- Architectural drawing package by the applicant's building designer, plan source
- Historical studies and archival material related to the history of the area (reviewed digitally).



**Figure 1.1**  
Location map showing the subject site outlined in yellow  
Source: NSW LRS SIX Maps website



**Figure 1.2**  
Aerial photograph showing the subject site outlined in yellow.  
Source: NSW LRS SIX Maps website

## 1.4 REPORT OBJECTIVES

The overall objective of this Statement of heritage impact is to determine the heritage impact of the proposal in relation to the provisions established by North Sydney Council and by the NSW Department of Premier and Cabinet, Heritage Division guidelines.

## 1.5 AUTHORSHIP

This report has been prepared by Alin Almasan, heritage consultant and director of Studio Aalma Heritage. The author of this heritage report is an experienced Heritage Consultant with qualifications in Architecture and heritage conservation. The author of this report has experience in local government heritage advisory roles working with Ku-ring-gai Council and Strathfield Council. The author also has previous architectural experience in private architectural practices across Sydney.

Terminology, principles, and methodology utilised within this HIS are consistent with best-practice conservation approaches and general principles for new work in heritage contexts, namely as expressed by the Australia ICOMOS Charter for Places of Cultural Significance, The Burra Charter (rev. 2013) and NSW Heritage Manual<sup>1</sup>. Unless otherwise noted, all of the photographs and drawings in this report are by Studio Aalma Heritage.

## 1.6 REPORT LIMITATIONS

While this report is limited to the analysis of European cultural heritage values, Studio Aalma Heritage recognises that for over forty thousand years or more Aboriginal people occupied the land that was later to be claimed as a European settlement.

Recommendations have been made on the basis of documentary evidence viewed and inspection of the existing fabric.

Archaeological assessment of the subject site is outside the scope of this report.

This report only addresses the relevant heritage planning provisions and does not address general planning or environmental management considerations.

Recommendations have been made on the basis of documentary evidence viewed and inspection of the existing fabric. Evaluation of the building fabric was made without physical intervention and was limited to inspection of areas readily visible where access was made available.

## 1.7 HERITAGE MANAGEMENT FRAMEWORK

Under the Environmental Planning and Assessment Act 1979, North Sydney Council must take into consideration the impact of any proposed development on the significance of the heritage item and any listed items in the vicinity.

The subject property at 9 Oak Street, North Sydney is listed as an Item of Heritage Significance in a Statutory Instrument (Lep ) and is also located in the Edward Street HCA. The subject site is also located in the wider vicinity of several items of heritage significance along the street.

## 1.8 COPYRIGHT

Copyright of this report remains with the author, Alin Almasan of Studio Aalma Heritage.

<sup>1</sup> Including Assessing Heritage Significance (rev. 2001), Statement of Heritage Impact (rev. 2002) and Altering Heritage Assets (1996). n.b. as of July 2019, the functions of the NSW Office of Environment and Heritage Office have been subsumed within the NSW Department of Planning, Industry and Environment.

# 2.0

## HISTORICAL SUMMARY

### 2.1 EARLY HISTORICAL SUMMARY

prior to European occupation, the area was occupied by the Cammeraygal people and Wallumedegal clan who were part of the larger Kuringgai tribe<sup>1</sup>.

The settlement of North Sydney initially known as "huntershill" and township of St Leonards, was centred about the present Miller, Walker and Lavender Streets which were laid out in 1836. By 1846 over 100 houses occupied the area and over the next decade the commercial centre extended from Miller and Mount Streets to Milsons Point.

Bus services were established to connect the area, however, it was the establishment of tram services in the 1880s and later the north shore train line in the 1890s which contributed to the early development of the area. The municipality was incorporated in 1890 when the name North Sydney was adopted<sup>2</sup>.

The site is part of 524 acres (portion 323 of the parish) originally granted to Edward Wollstonecraft in June 1825. Wollstonecraft, after whom the suburb of the same name was derived, was an early Sydney merchant and director of the Bank of NSW, Bank of Australia and Sydney Chamber of Commerce.

He died in 1832 leaving his land to his sister Elizabeth and his brother-in-law and business partner Alexander Berry<sup>3</sup>. The grant was subdivided and the subject site was part of Lot 3 of Wollstonecraft's grant sold by Berry to Gotherman in 1853.

Lot 3 was transferred to James Norton in 1873 and in 1876 to William Massey<sup>4</sup>. It is assumed that Massey, who is listed in the Sands Directory as a produce merchant on Lane Cove Road (now Pacific Highway) subdivided and developed the land from this time and by c. 1890.

A Sydney water block plan based on a survey done in 1890 and dated 1891 shows the building had been constructed by this time. The early footprint of the building is clear.

A verandah is shown on the front of the main form with a small rear wing also attached to the rear with access gained via a long thin breezeway. A small timber outbuilding is also shown in the rear, south eastern corner.

The building is clearly one of two pairs of attached dwellings. A single dwelling is also shown to the east of no. 12 and two dwellings, nos. 2 and 4 are also shown. Oak Street occupants are first listed in the Sands in 1894 at which time there are six listings and building tenants including a painter, bricklayer and a builder.

<sup>1</sup> North Sydney Council, *North Sydney's Aboriginal Past*.

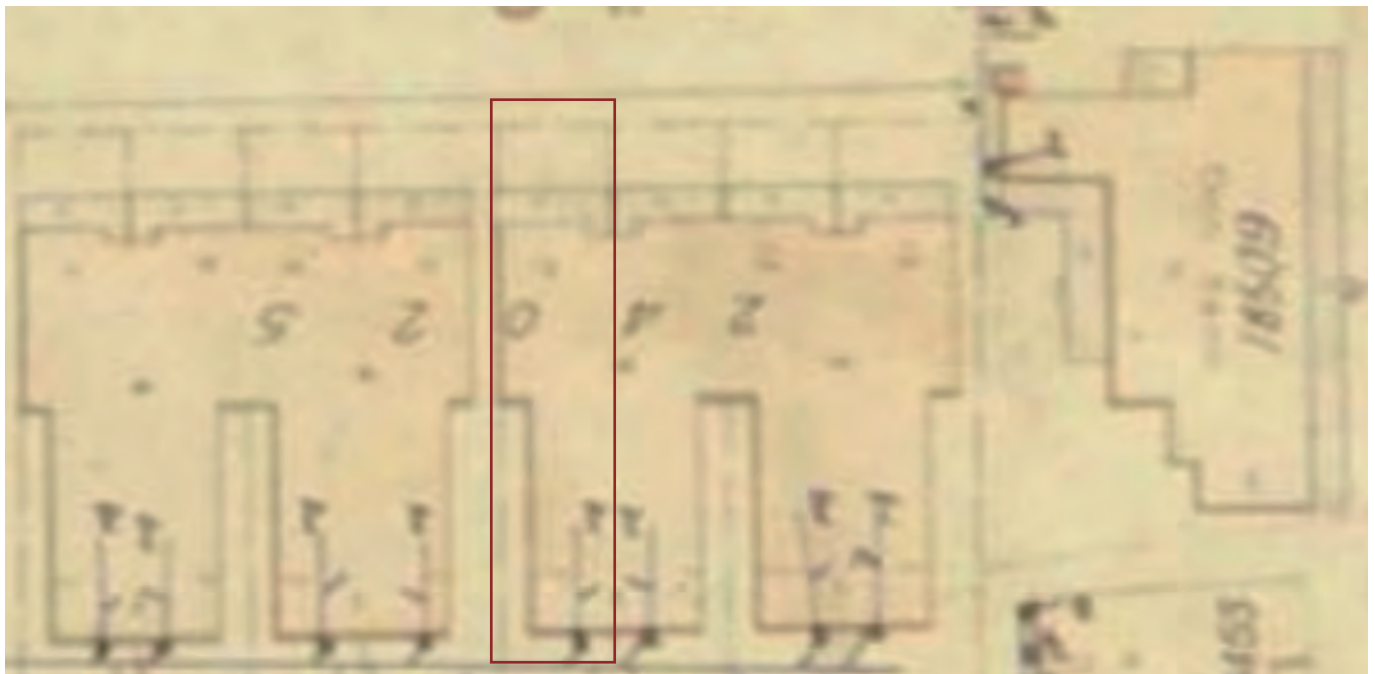
<sup>2</sup> Pollon, F. *The Book of Sydney Suburbs*, (1988), p. 190-193

<sup>3</sup> Land and property information, Primary Application 61574 & Pollon, F. *The Book of Sydney Suburbs*, (1988), p. 190-193

<sup>4</sup> NSW Land and Property Information, Old Systems, book 163 no. 465 & book 1209 no. 675



**Figure 2.1**  
1891 plan of the subject site (highlighted) (Sydney Water Archives, PWDS-1544-S.844P)



**Figure 2.2**  
Sydney Water plan dated 1930. Subject site Highlighted. (Sydney Water Archives, Blackwattle 6060\_0F2(2))





**Figure 2.3**  
1943 Six maps aerial imagery of the site and surrounds. [www.sixmaps.com](http://www.sixmaps.com)



**Figure 2.4**  
Contemporary imagery of the subject site. Subject site Highlighted. (Sixmaps)

# 3.0

## SITE DESCRIPTION

### 3.1 URBAN CONTEXT (OAK STREET)

The subject site is located on the southern side of Oak Street which is a relatively short, dual carriageway and no through road which terminates just east of the site.

The street has sealed verges and car parking on both sides. The street is largely characterised by low scale residential development largely dating from the late 19th century set amongst a backdrop of larger, modern multi-storey commercial and educational buildings. The rear of the historic Don Bank Museum is visible at the south eastern end of the street. The early dwellings have been listed as local items. Most of the early residential buildings have also undergone some visible modifications, alterations and additions.

Nos. 2 and 4 Oak Street are two single storey, timber boarded dwellings with hipped main roofs clad in corrugated steel, brick chimneys and open verandahs facing the street. The front verandahs of both dwellings are constructed to the street frontage. Several steps extend up from the street verge and pedestrian footpath up to the verandah and building entries which are elevated above street level.

To the immediate north of the site, nos. 6 and 8 Oak Street are a pair of late 19th century timber weatherboard attached houses with shared, main hipped roof clad in corrugated steel brick chimneys and open verandahs with flat roofs facing the street. Constructed as one of a matching pair (with nos. 10 and 12 Oak Street), the buildings are setback from the street frontage. Painted brick planter boxes with plantings, painted and concrete steps and landings are located in front of the buildings and access the verandahs and building entries which are also elevated above street level.

The collection of heritage dwellings in the street are neighboured by several other modern multi-storey buildings. On the southern side of the street, nos. 1-13 Oak Street are groups of single storey attached dwellings with continuous gabled roofs clad in corrugated steel, rendered end walls with chimneys and open verandahs with hipped roofs also clad in corrugated steel facing the street.



**Figure 3.1**  
Front facade of the dwelling at 9 Oak Street. The dwelling is flanked by heritage listed dwellings of a similar era  
Source: Real Estate.com



**Figure 3.2**  
Shot of the subject site as viewed from the public domain. The works are not interpretable from the streetscape and will be largely obscured by vegetation.  
Source: Google



**Figure 3.3**  
Image taken showing the rear of the site's laneway access and associated car parking. Note the neighbouring dwelling's double storey addition.  
Source: Studio Aalma

### 3.2 DESCRIPTION OF THE SUBJECT DWELLING

The subject site features a gabled roof clad in corrugated steel, painted brick end walls with chimneys and an open verandah with a hipped roof clad in corrugated steel facing the street.

The house is setback from the street frontage. The street has a mix of low timber picket, palisade steel and high masonry and timber and rendered walls and gates with trees and plantings located between. Rear vehicular access to the dwelling is via a rear lane.

The interior has timber floors, with original decorative skirting boards and architraves surviving. The plasterwork to the ceiling appears to have been changed throughout the dwelling. There were no decorative roses and the ceilings featured square set corning to the top of the wall.

The main internal archway with decorative plaster reliefs to the hallway have survived and are intact. The kitchen consists of later addition fabric. The bathroom and laundry sit within a lean-to addition and contain fit outs that were installed in the 1980s.

The floorplan consists of two bedrooms at the front of the dwelling, flanked by a hallway to the eastern side of the house, which leads into a loungeroom (with an original fireplace).



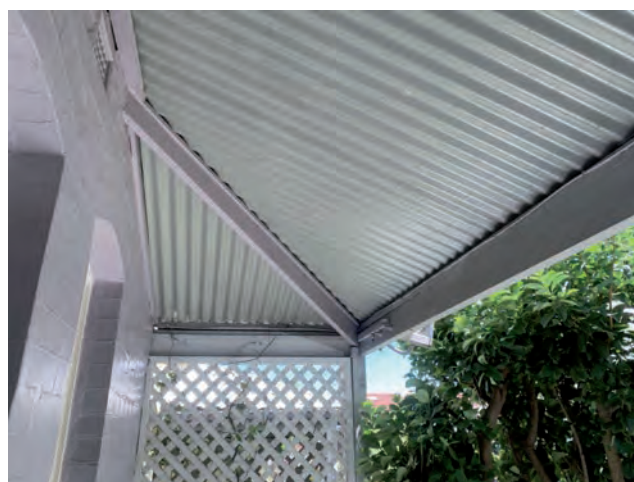
**Figure 3.5**  
Original floorboards, skirting and architraves survive.  
Source: Studio Aalma



**Figure 3.6**  
Internal shot of the living room showing intact fireplace.  
Source: Studio Aalma



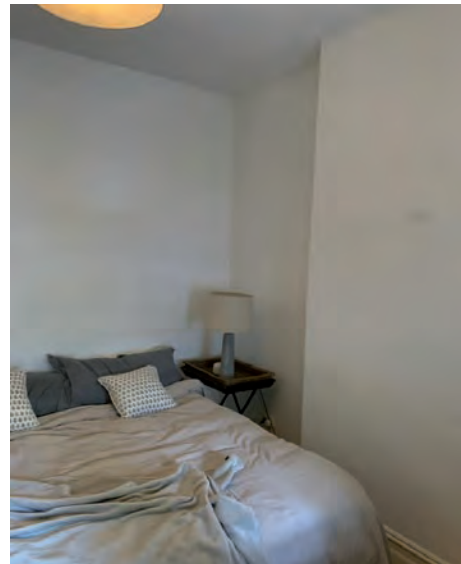
**Figure 3.4**  
Image taken facing north within the rear yard of the subject site towards the rear elevation.  
Source: Studio Aalma



**Figure 3.7**  
Image of the intact front verandah and painted brick of the dwelling's front facade.  
Source: Studio Aalma



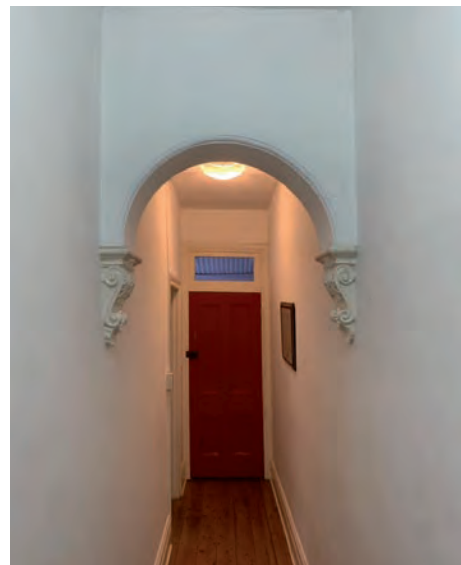
**Figure 3.8**  
main hallway looking towards front door. note lack of decorative cornicing and ceilings.



**Figure 3.11**  
fabric from the room appears to have been removed/stripped in subsequent renovations



**Figure 3.9**  
view from within bedroom looking towards oak Street through the intact timber double hung window.



**Figure 3.12**  
view north down the dwellings main hallway to the front door. note the ornate intact archway and plaster scrolls



**Figure 3.10**  
Door seems to be the original one pertaining to the home. This room also features square set ceilings



**Figure 3.13**  
Note retrofitted sarking and new ridgeboard denoting roof repairs conducted recently.

# 4.0

## ESTABLISHED HERITAGE SIGNIFICANCE

### 4.1 ESTABLISHED SIGNIFICANCE OF THE SUBJECT SITE

The subject site pertaining to the Development Application at 9 Oak Street, North Sydney is listed as an item of Significance in the North Sydney LEP. The property is also located within the Edward Street heritage conservation Area. The State heritage inventory provides the following Statement of Significance for the subject site:

*See under Don Bank Group NSHS0797. Important relics of early township development in North Sydney, which with 'Don Bank' house form an enclave of the smallest form of terrace houses in the middle of large modern commercial buildings. Relic of one of the earliest private subdivisions on the North Shore. Important relationship with 'Don Bank' in creation of an intimate nineteenth century atmosphere and context for this early house.*

### 4.2 HERITAGE ITEMS IN THE VICINITY OF THE SUBJECT SITE

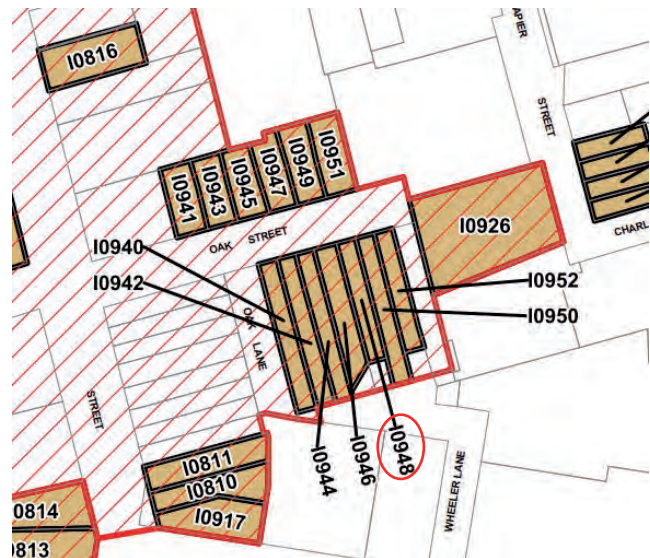
For the following, 'within the vicinity' has been determined with reference to physical proximity, existing and potential view corridors and the nature of the proposed works. There is one State heritage item listed on the State Heritage Register within the vicinity of the site as identified by the NSW Heritage Act 1977:

- 'Don bank' 6 Napier Street, North Sydney. State listed item number: ShR0031. Don bank is also listed on the register of the national estate.

It is located directly to the east of the subject site and is separated from it by intermediate dwellings, but is within direct viewshot.

Local listings:

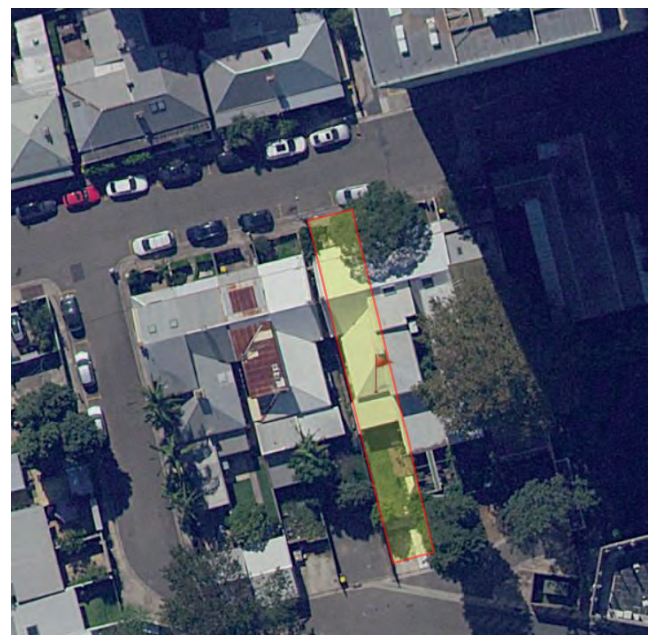
There are 10 other local heritage items within the vicinity of the site as identified by Schedule 5 of the nSlep which form part of the Don bank group of early dwellings.



**Figure 4.1**

Detail showing heritage items and conservation Areas in relation to the subject site 10948 shown in red.

Source: NSLEP Heritage Map HER\_002A.



**Figure 4.2**

Aerial of the subject site showing the remnant heritage items in its midst. The subject site is highlighted yellow.

Source: SixMaps NSW

### 4.3 DESCRIPTION OF THE PROPOSAL

- The proposal should be read in conjunction with the plans prepared by the project draftsman, plan source and entails the alteration of the subject site to include:
- The floor plan required some replanning and results in the proposal seeking to demolish and modernise the kitchen, bathroom and laundry. The proposed addition shall consist of a new study bathroom/ laundry, kitchen and dining space and a living room.

# 5.0

## ASSESSMENT OF HERITAGE IMPACT

### 5.1 INTRODUCTION

This Statement of heritage impact has been prepared in relation to the following impact assessment criteria, the north Sydney local environmental plan (lep) 2013, the north Sydney Development control plan (Dcp) 2013 and NSW heritage guidelines, Altering heritage Assets and Statements of heritage impact.

This section of the report provides an analysis on the statutory controls applying to this site, with regard to the proposed works impact upon the heritage listed subject property as well as the potential impact to the significance of the Edward Street HCA.

### 5.2 HERITAGE OBJECTIVES OF THE NORTH SYDNEY LEP 2013

As per clause 5.10(4) of the nSlep, north Sydney council must before granting consent, consider the effect of the proposed alterations and additions upon the Edward Street heritage conservation Area and the contribution the subject site makes to the HCA, as well as adjacent heritage items. The assessment within this document seeks to satisfy the requirement of clause 5.10(5) within the nSlep. This document also seeks to furnish council with information that would assist their assessment of the application to consider the effect of the proposal on the contributory nature of the subject site and heritage conservation Area as per clause 5.10(4) of the nSlep.

The proposed development is considered to be compliant with the objectives of 5.10(1) within the nSlep for the following reasons:

- The proposed alterations are unlikely to adversely affect the contribution the property makes to the streetscape and wider HCA. The presentation to the street remains unaffected as the works do not exceed the height of the ridgeline and are not readily visible from Oak Street.
- The proposal does seek to alter intact portions of the dwelling. The disturbance of original fabric is

only interpretable from direct nearby view of the dwelling, or in the rear laneway. This is deemed acceptable as other houses in the row also feature rear additions which seek to upgrade dwellings to contemporary living standards.

- The other aspects of the proposal pertain to fabric and areas of the site that have been previously modified, or are not original and as such pose an acceptable impact to the contributory nature of the subject site and are compliant with the provisions of the lep.

### 5.3 HERITAGE GUIDELINES OF THE NORTH SYDNEY DCP 2013

#### 13.4 Development in the vicinity of heritage items

*O1 Ensure that new work is designed and sited so as to not detrimentally impact upon the heritage significance of the heritage item and its setting.*

**Reply:** the proposal is sited in a way where the works are not interpretable from the public domain. there are no proposed built forms which will detract from the Oak Street orientation and diminish the group value of the 'Don bank' group of dwellings.

#### 13.5.1 Protecting Heritage Significance

*O1 Ensure changes to heritage items are based on an understanding of the heritage significance of the heritage item.*

*O3 Ensure significant features of heritage items are retained and that development is sympathetic to these features with particular regard to bulk, form, style, character, scale, setbacks and materials.*

*O6 Allow changes to the rear of heritage items where the new work does not impact the heritage significance of the heritage item*

**Reply:** the proposal is compliant with this part of the Dcp as the proposal entails contemporary additions to a listed terrace which do not adversely affect or remove significant parts of the building. The rear addition is to be built off areas of the dwelling that have previously been extended/modified. The overall form of the building is retained as well as roof ridgeline and front facade remaining consistent. The extension of the dwelling in general does not seek to extend beyond the height of the dwelling to detract from the contribution the dwelling makes to the listed group of dwellings forming the Don bank group.

### 13.5.2 Form, Massing, Scale

*O1 To allow alterations and additions to heritage items, where the new work does not impact on the heritage significance of the heritage item.*

*O2 To maintain and promote the original built form of the heritage item as viewed from the public domain.*

**Reply:** the intactness of the dwelling' s front portion extending north towards oak Street remains unaffected. The proposal seeks consent to construct alterations and additions with an extension rearward at the ground floor level seeking to create extra living space in the previously modified rear section of the house. the proposal also features on-site parking with rear lane access.

### 13.5.3 Additional Storeys.

*O1 To minimise the visual dominance of any new work from public places*

**Reply:** the proposal retains the single storey form and design language as the original house. the proposed extension will be interpretable as a later addition due to its lightweight cladded material differentiating itself from the materiality of the original building. the proposal will not be readily visible from the public domain, as the works retain the single storey nature of the site. there will be no visual dominance over any other listed item. the proposed addition poses no impact to the significance of the site, hcA and neighbouring listed items

### 13.5.4 Roofs

*O1 To ensure that original roofs, their hierarchy and materials are retained.*

**Reply:** the roof has had work done internally . it seems that there was damage that was repaired internally because there is evidence of visibly new roof battens and ridgeboards within the roofspace. the lack of any decorative ceilings or cornicing at all within the dwelling also denotes a significant removal of fabric previously. the form and detailing of the addition at the rear of the terrace house complies with this section of the Dcp . it is understood that council will assess the merits of alterations and additions on a case by case basis.

the proposal does maintain the elements which are typical to a terrace house, being a low slung lean-to or skillion roofed addition and breezeway behind the main building mass of the dwelling, which is not an uncommon feature to the locality and not an uncommon feature to the architectural style of the subject site.

### 13.5.5. Interior layouts

*The floor plan of a heritage item is normally intrinsic to its built form. Retaining internal elements is often a good way to ensure structural security. Council seeks the retention of significant interior elements, as a building that retains its traditional layout and features is more likely to retain its significance than a building that has been extensively changed inside.*

*O1 To ensure that significant interior elements are retained and preserved*

**Reply:** the proposed works are believed to retain the substantive qualities that would contribute to the significance of the house. The internals of the dwelling have largely been changed/removed. there is of course an exception with regard to the original archway and a few other original features that survive. there is no doubt as to the building's significance, however the heritage item is not significant for its intact interiors. The layout and relationship of the original front two rooms survives and will remain unaffected in this proposal. the proposal seeks to reinstate and re-interpret decorative cornicing that has been lost. the significance of the property is tied into its connection with the early establishment of the area and being connected in constructed to Don bank which alongside the subject site form some of the earliest housing examples in the area. the connection the house has with the aforementioned associative significance is completely retained in this proposal.

### 13.6.2 (HCA) Form, Mass, Scale

*O1 To retain and if possible enhance the contribution of the property to the streetscape.*

*O2 To ensure any change in the HCA is sympathetic to the Victorian Italianate or Victorian Filigree style values of the property and its ability to contribute to the identified heritage values of the area.*

*O3 To retain the curtilage and setting – including front setbacks - free of car parking.*

*O4 To keep original roof forms and materials and the scale of the building as presenting to the street.*

*O5 To retain or reinstate front facade proportions, materials and open verandahs and balconies.*

*O6 To protect, maintain and recover original details of the house, front yard and fence.*

**Reply:** the intactness of the dwelling' s front portion extending north towards oak Street remains unaffected. The Heritage Conservation Area is not affected along the Oak Street frontage with respect to the proposed works. there will be an impact to the rear laneway, however, residential property featuring rear extensions in Sydney is highly common, and is not seen to pose an undue impact in this instance.



## 5.4 CONSIDERATIONS OF THE HERITAGE NSW GUIDELINES

Heritage NSW has previously published a series of criteria for the assessment of heritage impact. The relevant questions to be answered in the NSW heritage manual 'Statements of heritage impact' have been considered in the preparation of our assessment.

### ALTERATIONS PERTAINING TO A HERITAGE ITEM OR ADJACENT TO HERITAGE ITEMS

- How is the impact of the new development on the heritage significance of the item or area to be minimised?
- Why is the new development required to be adjacent to a heritage item?
- How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?
- How does the new development affect views to and from the heritage item?
- Is the new development sympathetic to the heritage item?
- Will the public, and users of the item, still be able to view and appreciate its significance?

### COMMENT

The proposed alterations development complies with the guidelines of Heritage NSW. There will be a very minimal change of viewlines to the listed terrace from the public domain as viewed from the rear lane as there will be the inclusion of a new visible rear extension.

The proposal is of a very modest scale and is located in the general vicinity of several heritage items, however, the proposal has demonstrated to not pose an impact to the curtilage and fabric of any vicinity items of local significance.

The proposal does seek to modify the floorplan of the dwelling. The disturbance of original fabric is only interpretable from select views at the very rear of the property.

The significance of the property is tied into its connection with the early establishment of the area and for being connected to the construction of 'Don bank' which alongside the subject site forms some of the earliest housing examples in the area. The connection the house has with the aforementioned associative significance is completely retained in this proposal.

## 5.5 CONCLUSION AND RECOMMENDATIONS

- The proposed development will have no physical impact on the heritage items in the vicinity of the site.
- The proposed development at the subject site does not generate any adverse impact, as existing views and the setting of the heritage conservation Area and heritage item are retained.
- The proposed alterations to the terrace largely pertain to later fabric in the previously extended rear section, which is of little heritage significance and not interpretable from the hCA.
- The proposed development is consistent with the heritage requirements and guidelines of the *North Sydney LEP 2013* and the *North Sydney DCP 2013*.
- Should any unexpected relics be disturbed during excavation of the site, they must be managed under the archaeological provisions of the *NSW Heritage Act*.
- Council should have no hesitation, from a heritage perspective in approving the application.

# 6.0

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