tem <b>LPP03</b>	- REPORTS -	05/06/24	
tem <b>LPP03</b>	- REPORTS -	05/06/24	



#### NORTH SYDNEY COUNCIL REPORTS

# **NSLPP MEETING HELD ON 05/06/24**

**Attachments:** 

1. Site Plan
2. Architectural Plans
3. Statement of Heritage Impact
4. Statement of Environmental Effects

5. Survey Plan

ADDRESS: 114 Atchison Street, Crows Nest

**APPLICATION NO**: DA 355/23

PROPOSAL: Alterations and additions to an existing dwelling including two

storey rear addition and alterations to an existing outbuilding

'Barn'

**PLANS REF:** 

Plan No.	Rev	Description	Prepared by	Dated
DA03	В	Site / Roof Plan	O'Keefe Architects	15/12/2023
DA04	В	Demolition Plan	O'Keefe Architects	15/12/2023
DA05	В	Ground Floor Plan	O'Keefe Architects	15/12/2023
DA06	В	First Floor Plan	O'Keefe Architects	15/12/2023
DA07	В	Elevations Sheet 1	O'Keefe Architects	15/12/2023
DA08	В	Elevations Sheet 2	O'Keefe Architects	15/12/2023
DA09	В	Section AA	O'Keefe Architects	15/12/2023
DA10	В	Barn Elevations	O'Keefe Architects	15/12/2023
DA15	Α	Area Calculations	O'Keefe Architects	15/12/2023

**OWNER**: Kylie Louise Maddern

**APPLICANT**: The Trustee for Paul O'Keefe Architects Trust

**AUTHOR**: Report of Thomas Holman, Senior Assessment Officer

**DATE OF REPORT**: 09 April 2024

**DATE LODGED**: 28 December 2023

**RECOMMENDATION**: Refusal

# **EXECUTIVE SUMMARY**

This development application seeks consent for alterations and additions to a heritage listed dwelling including a two storey rear addition, alterations to an existing two storey 'Barn' outbuilding and landscaping works. The works sought are to 114 Atchison Street, Crows Nest which is a Local Heritage Item situated within the Holtermann Estate A Conservation Area.

The application is reported to the North Sydney Local Planning Panel for determination as the proposal involves part demolition/removal of building fabric within a heritage listed item which requires determination by the Panel in accordance with the Minister of Planning's Directions issued under s.9.1 of the EP & A Act 1979.

Council's Conservation Planner has considered the proposal and concludes that the development would not conserve the heritage significance of the heritage item and would involve excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The proposed two storey addition is of excessive scale, height and massing compared to the existing single storey, has insufficient separation with the single storey cottage, requires excessive demolition and would detract from the conservation area due to its visibility above the roof of the cottage. The over scaled two storey addition is an uncharacteristic element for the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

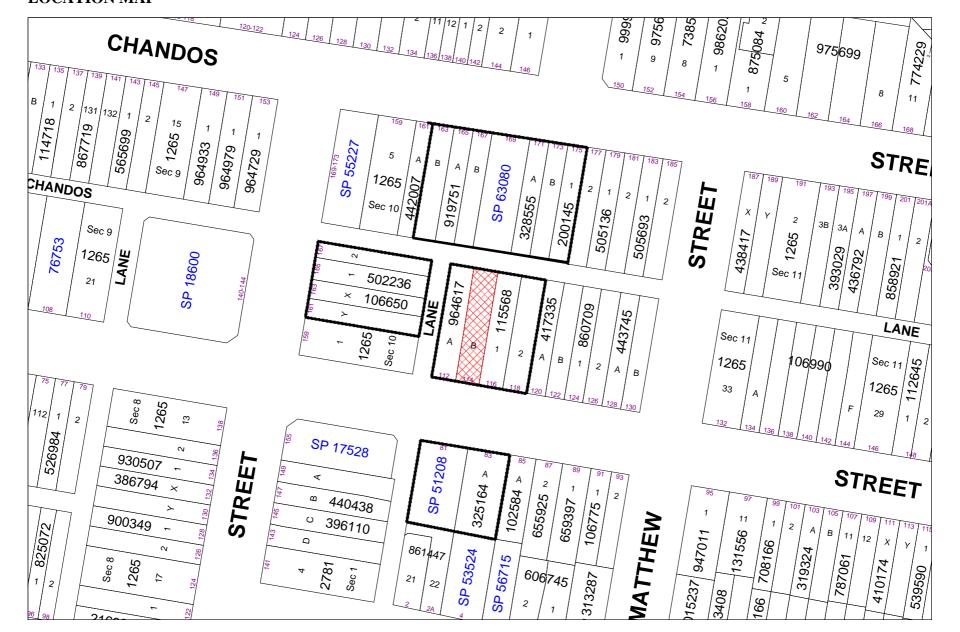
The additions are also non-compliant with minimum side setback requirements and substantially exceeds maximum permissible site coverage. The resultant development does not comply with key development controls within the North Sydney DCP that concerns bulk and scale and site density. The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

No information has been provided in support of the use of the Barn as a secondary dwelling, or to confirm the use of this premises is lawful given secondary dwellings are prohibited in the R2 Low Density Residential Zone.

Insufficient detail is provided regarding proposed landscaping and tree canopy. Further reduction of current landscaping within the front setback and loss of tree canopy is not appropriate for the site.

The applicant has been requested to withdraw the application pending submission of a revised proposal, however at the time of writing, has not agreed to this request. An assessment of the development application has now been completed and the development recommended for refusal for the reasons detailed within the report.

# **LOCATION MAP**

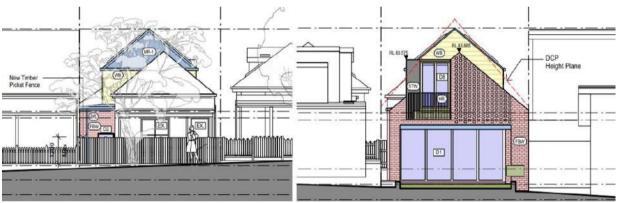


#### **DESCRIPTION OF PROPOSAL**

The applicant is seeking development consent for alterations and additions to a detached dwelling including alterations to an existing two storey 'Barn' outbuilding adjoining Chandos Lane. Below is a full description of the scope of works:

Alterations and Additions to the Dwelling – Ground Level FFL 78.80 and First Floor FFL 81.250

- The existing front boundary wall and retaining bed is sought for demolition and a 1.2m timber picket fence is proposed to replace the front boundary wall.
- A side wall for the second ground floor room is to be demolished as well as the corridor entry and a new bathroom is proposed with fixtures and fittings. A staircase is proposed from the former second bedroom within the heritage core of the single storey heritage item providing access to the rear two storey extension.
- The existing single storey addition is to be demolished and replaced with a two storey extension providing an open living area on the ground level and the first floor will comprise of two bedrooms and an ensuite.



Figures 1 & 2 - South Elevation (left) and North Elevation (right)



Figure 3 - West Elevation, DA07 Issue B



Figure 4 - East Elevation, DA08 Issue B

Alterations to the Barn - Ground Level FFL 78.48 and First Floor FFL 81.450

- Demolition of existing partitions on the ground level and construction of new partitions, fixtures and fittings for the ground floor providing a garage, an open plan living area with kitchen and stairs to the first floor.
- New partitions and fixtures and fittings for the first floor providing a bathroom and stair landing.
- New window and door openings to the South Elevation of the Barn.

# Landscaping

• Removal of brick paving between the dwelling and barn and landscaping proposed including side boundary shrubs (plant species unspecified).

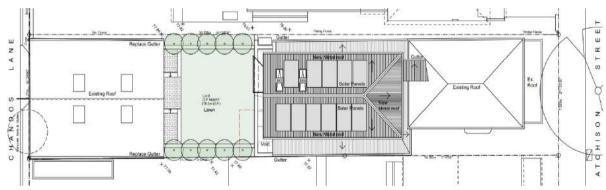


Figure 5 - Site / Roof Plan, DA03 Issue B

#### **STATUTORY CONTROLS**

North Sydney LEP 2013

- Zoning R2 Low Density Residential
- Item of Heritage Yes 'I0140'
- In Vicinity of Item of Heritage No
- Conservation Area CA07
- FSBL No

Environmental Planning & Assessment Act 1979 Environmental Planning and Assessment Regulation 2021 SEPP (Biodiversity and Conservation) 2021

- Chapter 2 Vegetation in non-rural areas
- Chapter 6 Water Catchments

SEPP (Building Sustainability Index: BASIX) 2004

SEPP (Resilience and Hazards) 2021

- Chapter 4 Remediation of Land

SEPP (Housing) 2021

- Chapter 3 Diverse Housing, Part 1 Secondary Dwellings

#### **POLICY CONTROLS**

NORTH SYDNEY DCP 2013 North Sydney Local Infrastructure Contributions Plan 2020

# **DESCRIPTION OF LOCALITY**

The site is legally described as Lot B DP 964617 and is also known as 114 Atchison Street. The site is rectangular in shape with a site area of 278.2m<sup>2</sup>. The site is located on the northern side of Atchison Street and the rear boundary of the site adjoins Chandos Lane.

The property is a local heritage item comprising of a single storey Victorian rendered detached dwelling with a two storey barn style outbuilding to the rear facing Chandos Lane.



Figures 6 & 7 – Photo of site from footpath of Atchison Street (left) and photo of dwelling from first floor of Barn outbuilding (right)



Figures 8 & 9 – Photo of South Elevation of Barn (left) and photo of existing Barn from Chandos Lane (right)

The site is situated within an R2 Low Density Residential Zone, subject to a maximum 8.5m height of building and situated within a Conservation Area.

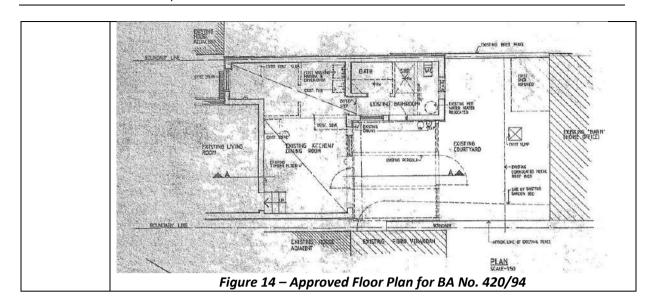


Figures 10, 11 & 12 – Land Zoning Map (left), Heritage Map (middle) and Height of Building Map (right) with site hatched in red

# **RELEVANT HISTORY**

# **Previous applications**

Date	Action
24/08/1987	Building Application No. 683/87 was approved on 24 August 1987 for alterations and additions to an existing building creating a living, dining and kitchen area on the ground floor and sleeping area and bathroom on the upper floor of the Barn building to the
	rear of 114 Atchison Street.
	SECTION AS SECTION BB WEST ELEVATION
	SECTION AA PURETEUR SECTION BB WEST ELEWICK
	SOUTH ELEVATION  LIVING WIDOWN ME THANKS
	Deed In Alterators to Limit House and Limit Ho
	GROUND FLOOR PLAN SITE PLA
	Figure 13 – Approved alterations to rear outbuilding of 114 Atchison Street (BA No. 683/87)
21/06/1994	Building Application No. 420/94 was approved on 21 June 1994 for internal alterations comprising a new kitchen and bathroom as well as external changes to doors and windows.



# **Current Application**

Date	Action
28/12/2023	Development Application No. 355/23 was lodged on 28 December 2023.
05/04/2024	A site visit was completed by the Assessment and Heritage Officer.
18/04/2024	Following completion of a preliminary assessment a letter was issued via the Portal requesting the application be withdrawn within 14 days from the date of the letter because the proposed development was unsupportable for the following reasons:
	Heritage – The two storey addition scale is excessive and visible from Atchison Street. The proposed demolition to parts of the original dwelling was not supported including demolition works to accommodate a staircase between the dwelling and two storey addition.
	Bulk and Scale of the Rear Addition – the two storey addition non-compliant side setbacks, site coverage and excessive floor to ceiling heights do not control the bulk and scale of the building.
	Use of the Barn – The SEE referred to the Barn as containing an existing secondary dwelling therefore supporting evidence was required confirming whether the existing use of the Barn as a secondary dwelling has existing use rights.
	Landscaping – a detailed Landscape Plan was required including tree retention, plant screening and planting of 1 x canopy tree.
	No response was received or withdrawal was received within 14 days therefore the report was written recommending refusal.
03/05/2024 20/05/2024	& Emails were received sent by the Applicant requesting an extension of time and a meeting. Further, it was the Applicant's intention to provide additional information along with minor modifications in response to concerns raised in Council's letter.
	The Assessment Officer in response sought greater change to satisfy concerns stipulated in the preliminary assessment letter and recommended the application be withdrawn.

#### **INTERNAL REFERRALS**

#### **BUILDING**

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

#### **HERITAGE**

The application has been referred to Council's Heritage Officer who provided the following comments:

## 1. Heritage status and significance

Number 114 Atchison Street is identified as a heritage item [I 0140] and is significant as a single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance. The site is described as a single storey dwelling that contributes positively to the streetscape as well as a barn. The barn is a one and a half storey rectangular brick building with gable roof of corrugated iron. Lower floor has large opening now filled by roller shutter, as well as a person door. Upper level, within gable, has timber loading door with cathead above.

The site is also located within the Holtermann Estate A conservation area. It is significant:

- (a) as a late 19th century subdivision for speculative housing.
- (b) For its regular grid of streets, rear lanes and cross lanes.
- (c) For its consistent late 19th and early 20th century residential character and the unity of its low scale, built form that derives from its regular grid subdivision pattern and its single storey, detached and attached dwelling houses in a mixture of late Victorian and early Federation styles.







A site inspection was undertaken on 5 April 2024.

#### 2. Heritage Assessment and Recommendations

An assessment of the proposed alterations and additions to create a two storey rear addition has been undertaken with reference to the relevant provisions under NSDCP 2013 Part B:s13 Heritage and Conservation, set out below to ensure the development meets the objectives of NSLEP 2013 Clause 5.10 (1)(a) and (b) Heritage conservation.

The topography of the site slopes downwards towards the rear whereby the rear secondary wing of the dwelling has a step-down. The primary roof retains its form, and the principal building form retains its early layout. It is noted that the dwelling has had previous updates to the rear and are distinctly contemporary in their expression.

s13.5.1 Heritage Items - Objective O1 Ensure changes to heritage items are based on an understanding of the heritage significance of the heritage item.

Provision P5 Locate change away from original areas of the heritage item that are intact s13.5.2 Form, Massing and Scale - Objective O1 - To ensure new development has a compatible and complimentary building form and scale to that which characterises the conservation area.

s13.5.3 Additional Storeys – Objective O1 To minimise the visual dominance of any new work from public places.

s13.5.4 Roofs — Objective O1 To ensure that original roofs, their hierarchy and materials are maintained.

s13.5.5 Interior Layouts – Objective O1 To ensure that significant interior elements are retained and preserved.

The proposed addition to the principal dwelling, although set to the rear, is contrary to the objectives and the provisions set out in s13.5.2 Form, massing and scale being that there is no clear separation between the existing and new, two storey addition. Further, the overall scale of the two storey addition is excessive and is higher than the roof ridge of the existing dwelling making it visible from the public domain as viewed from Atchison Street. Additionally, the provision for the staircase to service the two storey addition within the existing dwelling is not supported. It is recommended that the following revisions are made:

- relocate and design the staircase to service the two storey addition be integrated as part of the new work;
- ii. ensure that the impact on the existing principle rooms (that is, bedroom 1 and 2; the living room and fireplace + chimney structures) are retained as part of the interpretation of the original dwelling; and
- iii. ensure the scale of the new works are set clear of the existing principal roof and with an overall height which is compatible with the height of the existing roof ridge be investigated.

It is noted that the barn has been adapted for residential purposes. Whilst the proposed alterations to the existing barn are supported in principle, the construction of the proposed internal walls are to be of a lightweight construction that ensure this work is reversible and enables the ongoing interpretive qualities of the barns' construction, including the roofing structures to remain legible and for the retention of the fenestration openings to be retained. The installation of utilities relating to the proposed kitchen and bathroom facilities are to be from below the floors and clear of the painted brick walls etc to minimise impact on fabric.

The proposed changes to the front fence and the general maintenance and conservation focussed works to the street facing elevation are supported. These works will make a positive impact on the character and significance of the Atchison Street streetscape and the Holtermann Estate A conservation area.

In conclusion, the potential to reduce the heritage impact from the proposed new works has not been optimised and was not sufficiently justified in the HIS. The proposed alterations within the existing dwelling are not supported on heritage grounds for their adverse impact on heritage significance and revisions to reduce this impact are recommended.

#### 3. Conclusions and Recommendations

With reference to the above, the proposal as submitted does NOT satisfy the objectives of NSLEP 2013 Clause 5.10 Heritage conservation and NSDCP 2013 - Part B Section13 Heritage and conservation and in particular, is contrary to the following objectives: s13.5.1 Heritage Items -O1/P5; s13.5.2 Form, Massing and Scale - O1; s13.5.4 Roofs - O1; s13.5.5 Interior Layouts - O1 and therefore does not satisfy the objectives of NSLEP 2013 cl 5.10 (1) (a) and (b).

**Planning Comment:** the issues of concern stipulated in the heritage referral is supported particularly the scale of the two storey addition, insufficient separation between the dwelling and addition and loss of heritage fabric to the single storey Victorian cottage.

## **ENGINEERING**

The application has been referred to Council's Development Engineers Team who raised no objections subject to recommending standard conditions of consent. Conditions of Consent recommended include a Dilapidation Report to Public Infrastructure, a bond for damage and completion of infrastructure works, a structural report certifying the property is able to withstand the works and stormwater disposal condition requiring appropriate disposal and stormwater management.

#### **LANDSCAPING**

The application has been referred to Council's Development Engineer who required the following amendments:

- A detailed Landscape Plan is required inclusive of species, pot size and number of species. The plan shall include plant screening as indicated in the lodged plans and include 1 x canopy tree (45I) capable of attaining a mature height of 7m within the rear setback.
- The Landscape Plan must detail the retention and protection of the existing palms (species to be identified) located within the western setback of the site, retention and protection of 1 x Magnolia 'Little Gem' within the front setback of the site and retention/protection of the street trees (1 x Photina sp. & 1 x Lophostemon confertus) on the Council verge in front of 114 & 116 Atchison Street.

#### **SUBMISSIONS**

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

#### **CONSIDERATION**

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act* 1979 (as amended), are assessed under the following headings:

**Environmental Planning and Assessment Act 1979 (as amended) Environmental Planning and Assessment Regulation 2021** 

### SEPP (Housing) 2021

Chapter 3 Diverse Housing

Division 2 of Part 1 in Chapter 3 of the SEPP (Housing) 2021 states development consent must not be granted subject to compliance with the following criteria:

(a) no dwellings, other than the principal dwelling and the secondary dwelling, will be located on the land, and

**Comment:** the development complies with only the principal dwelling and secondary dwelling located on the land.

(b) the total floor area of the principal dwelling and the secondary dwelling is no more than the maximum floor area permitted for a dwelling house on the land under another environmental planning instrument, and

**Comment:** not applicable because the site is not subject to a maximum floor area under the North Sydney Local Environmental Plan 2013.

- (c) the total floor area of the secondary dwelling is -
  - (i) no more than 60m<sup>2</sup>, or
  - (ii) if a greater floor area is permitted for a secondary dwelling on the land under another environmental planning instrument the greater floor area.

**Comment:** the floor area of the secondary dwelling exceeds the maximum 60m<sup>2</sup> and is greater than 30% of the total floor area of the principal dwelling stipulated in cl. 5.4 'Controls relating to miscellaneous permissible uses' of NSLEP 2013.

The secondary dwelling has a large floor area which is more than 60m<sup>2</sup> and greater than 30% of the total floor area of the principal dwelling therefore the development cannot rely on Division 2, Cl. 52(2)(c) of SEPP (Housing) 2021.

## SEPP (Biodiversity and Conservation) 2021

Chapter 2 Vegetation in non-rural areas

Section 2.6 of the Policy specifies that a person must not clear declared vegetation in a non-rural area of the State without consent of Council. The Policy confers the ability for Council to declare vegetation that consent is required in a Development Control Plan. Section 16 of Part B in NSDCP 2013 specifies declared trees for the purpose of the SEPP which includes trees over 5m in height or canopy. The existing front and rear garden contain a mixture of grasses, shrubs, and small trees. The trees within the site are not detailed in the Survey Plan prepared by N.K. Bennett & O'Donnell dated 08 August 2023, however upon the review of Council's Landscape Development Officer the rear garden contains a Bougainvillea (climber) and assorted shrubs and climbers. The 1 x Frangipani to be removed does not have a height or canopy greater than 5m.





Figures 15 & 16 – Photos of the rear garden detailing existing landscaping including Franjipani within the subject site

# SEPP (Biodiversity & Conservation) 2021

- Chapter 6 Water Catchments

Having regard to Chapter 6 of the SEPP (Biodiversity and Conservation) 2021 the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the site's inland location. The proposed development would not adversely affect the quantity or quality of water entering Sydney Harbour, being a regulated catchment for the purpose of Section 6.6 of the Policy. The application satisfies the requirements of the Policy.

## SEPP (Resilience and Hazards) 2021

## - Chapter 4 Remediation of Land

Section 4.6 of the SEPP requires the consent authority to consider whether the land is contaminated, and if so whether the land is suitable for the intended use or any remediations measures required. Council's records indicate that the site has historically been used for residential development therefore, the site is unlikely to contain any contamination. The subject site is therefore considered suitable for the proposed use given that contamination is unlikely.

# SEPP (Building Sustainability Index: BASIX) 2004

A valid BASIX Certificate (A494327\_02) dated 05 July 2023 for alterations and additions has been submitted to satisfy the Policy.

# **NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)**

## 1. Permissibility

The site is zoned R2 Low Density Residential Zone under the provisions of the North Sydney Local Environmental Plan 2013 (NSLEP 2013). Development for the purposes of alterations and additions to a dwelling house is permissible with the consent of Council.

The Barn is described within the supporting Statement of Environmental Effects (SEE) as containing an existing secondary dwelling. Secondary dwellings are prohibited in the R2 Low Density Residential Zone. No additional information is provided in support of the existing use of the Barn as a secondary dwelling confirming the use is lawful pursuant to Division 4.65 – 4.67 'Existing uses' of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) and whether the alterations is permitted with consent pursuant to directions in Part 7 'Existing uses' of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation 2021).

# 2. Objectives of the zone

The objectives for a R2 Low Density Residential Zone are stated below:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To encourage development of sites for low density housing, including dual occupancies, if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.
- To ensure that a high level of residential amenity is achieved and maintained.

The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone. The development therefore does not contribute a low density residential property contrary to objective (bullet point one) of the R2 Low Density Residential Zone.

Part 4 - Principal Development Standards

COMPLIANCE TABLE Principal Development Standards				
North Sydney Local Environmental Plan 2013				
Site Area – 278.2m <sup>2</sup> Proposed Control Complies				
Clause 4.3 – Heights of Building 7m 8.5m YES				

# 3. Height of Building

The following objectives for the permissible height limit of 8.5m pursuant to clause 4.3 in NSLEP 2013 are stated below:

- (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,
- (b) to promote the retention and, if appropriate, sharing of existing views,
- (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,
- (d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,
- (e) to ensure compatibility between development, particularly at zone boundaries,
- (f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.
- (g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone C4 Environmental Living.

The proposed works would have varying heights with the greatest height being the roof ridge of the two storey rear addition measuring 7m that complies with the permissible height limit of 8.5m in accordance with clause 4.3 in NSLEP 2013.

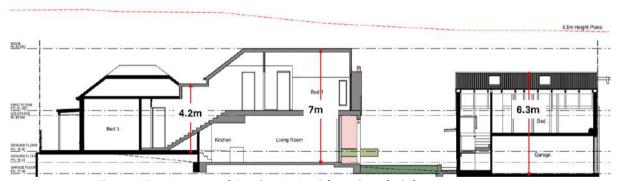


Figure 17 – Annotated Section A-A with various height measurements

**Note:** although a long section has been provided it is not annotated on the floor plans or roof plan where the long section is taken.

#### 4. Heritage Conservation

The subject site is listed as a Heritage Item located in the Holtermann Estate A Conservation Area under Schedule 5 in NSLEP 2013 so the following planning objectives apply to the site:

- (a) to conserve the environmental heritage of North Sydney,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

The proposed development does not satisfy Objective (b) in Cl. 6.10 of NSLEP 2013 because the proposed rear addition requires excessive demolition of existing principal rooms of the heritage item and the overall scale of the two storey addition is excessive and prominent when viewed from Atchison Street streetscape and the *Holtermann Estate A* conservation area.

#### 5. Earthworks

The application involves excavation however the earthworks are considered modest limited to the floor slab and footings of the extension and regrading of the rear garden.

Conditions if the development is supportable can be applied to manage stormwater and sediment control and conditions such as dilapidation and structural reports can minimise the likelihood of an impact from the development to adjoining properties.

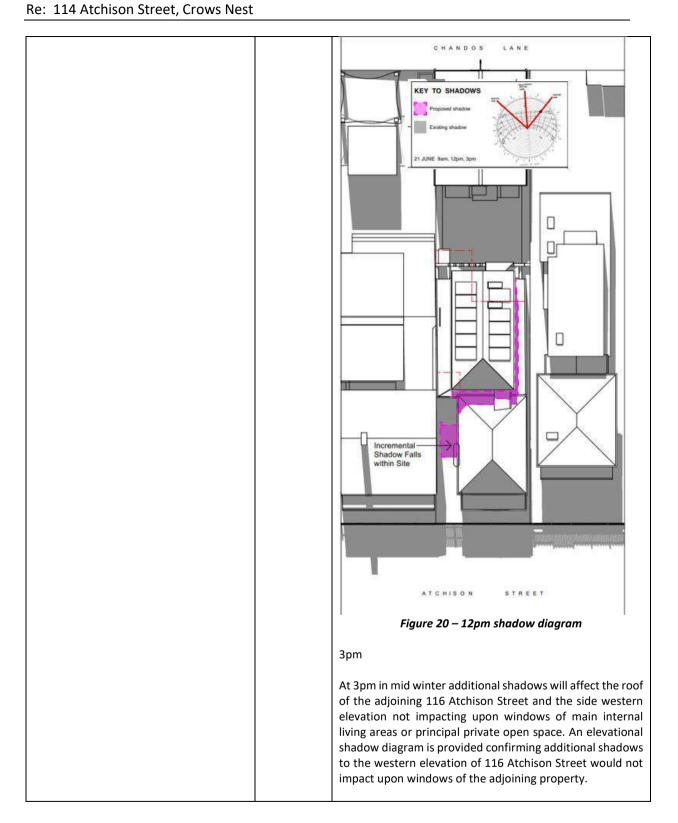
Overall, the scope of earthworks is unlikely to have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items on surrounding land.

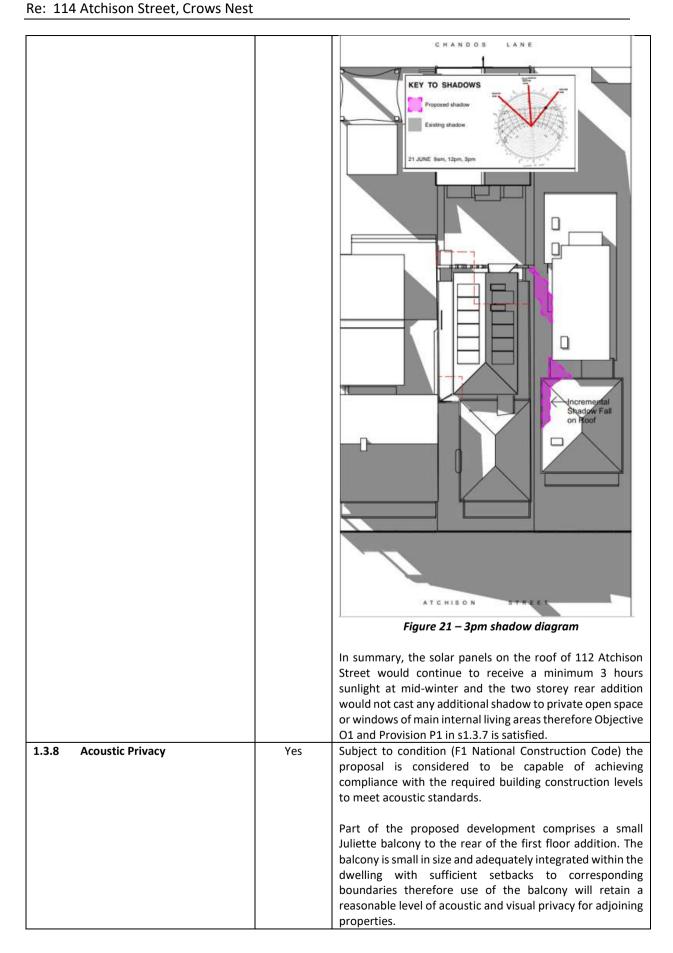
#### **NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013**

The proposal has been assessment under the following heading within NSDCP 2013:

	Part B Section 1 - Residential Development			
		complies	Comments	
1.2	Social Amenity			
1.2.2	Maintaining Residential Accommodation	Yes	The proposal comprising of alterations and additions would not reduce residential density on the site compliant with Provision P1, s1.2.2 of NSDCP 2013.	
1.3	<b>Environmental Criteria</b>			
1.3.1	Topography	Yes	The two storey addition has a nil side setback to the western side boundary and a 430mm side setback to the eastern side boundary. Provision P4 in s1.3.1 of NSDCP 2013 states where excavation is required within 500mm of a property boundary Council must not grant development consent unless satisfied that the proposed excavation will not result in an adverse impact upon the structural integrity of adjoining properties.  The two storey addition referring to the Long Section (Section A-A) appears to step with the topography of the site and the necessary excavation is limited to the floor slab and footings of the extension.	

1.3.2 1.3.3 1.3.4 1.3.6	Bushland  Bush Fire Prone Land  Foreshore Frontage  Views	N/A N/A N/A Yes	Conditions if the development is supportable can be applied requiring a dilapidation report of neighbouring structures (Dilapidation Report Private Property) and the preparation of a report by a structural engineer detailing the structural adequacy of adjoining properties (C6 Structural Adequacy of Adjoining Properties – Excavation Works).  The site is not in proximity to bushland therefore Section 15 – Bushland of the DCP does not apply.  The site is not designated as bush fire prone land.  The site is not adjacent to the foreshore.  The site and adjoining properties on Atchison Street comprise of single storey detached and semi-detached dwellings with views that are primarily either to the streetscape or rear gardens therefore the proposed alterations and additions would not impact upon existing views from neighbouring dwellings.
1.3.7	Solar Access	Yes	Shadow context & Analysis
			9am  The 9am shadow diagram for mid-winter confirms additional shadow impact would affect the metal roof of the adjoining property at 112 Atchison Street. The impact would not affect windows of habitable rooms or private open space and the shadow cast would have an insignificant impact affecting approximately four solar panels on the roof of 114 Atchison Street (refer to below).
			Figures 18 & 19 – 9am shadow diagram (left) and Nearmaps aerial photo of 112 Atchison Street and solar
			panels
			12pm
			At midday in mid-winter there are incremental additional shadows cast falling within the subject site not affecting the amenity of adjoining properties.





		T	T_,
1.3.9	Vibration	Yes	The site is not adjacent to a road with an annual average daily traffic volume of more than 20,000 vehicles therefore consideration of the likely impact of a road noise or vibration is not required pursuant to Cl. 2.120 'Impact of road noise or vibration on non-road development' in the State Environmental Planning Policy (Transport and Infrastructure) 2021.
1.3.10	Visual Privacy	Yes	The development proposes new window and door openings with the potential for an impact to the visual privacy of adjoining properties therefore below is consideration of the potential privacy impact.
			Front (South) Elevation
			No new openings are proposed apart from a door entry to the Barn therefore no discernible privacy impact is identified.
			Rear (North) Elevation
			Large glazed doors are proposed for the ground floor of the rear two storey addition and a glazed two pane door is proposed for the first floor providing access to a Juliette balcony. The openings on the rear of the two storey addition primarily provide an outlook to the rear of the site and Barn not providing direct or close views into the windows or private open space.
			Side (East) Elevation
			Minimal openings are proposed other than 2 x skylights and a modest sized first floor window (W5). The window is appropriately sited to not provide direct or close views to the adjoining property at 116 Atchison Street.
			Side (West) Elevation
			Four windows are proposed to the first floor side elevation. The windows most capable of impacting upon the privacy of the rear private open space of 112 Atchison Street are frosted which is a supportable outcome.
			In summary, the proposed development including new windows/glazed doors are considered acceptable, avoiding direct or close views into windows or private open space of adjoining properties and therefore maintains a reasonable level of visual privacy between neighbours.
1.4	Quality built form		
1.4.1	Context	No	The two storey rear addition is not designed to respond to the constraints of the site being an over scaled addition too prominent as viewed from Atchison Street and the Holtermann Estate A Conservation Area.
			The development therefore does not comply with Objective O1 and Provision P1 in s1.4.1 of NSDCP 2013.
1.4.2	Subdivision Pattern	Yes	The proposed work would not alter the existing lot size, shape or orientation of the site.
1.4.3	Streetscape	Yes	No works are proposed within the road reserve. If the application is supportable conditions can apply requiring a dilapidation report of public infrastructure and a corresponding bond for damage and completion of infrastructure works as security for potential damages.

		One street tre	e is located op	posite the subje	ect site in the
				path. A tree b	
				ion of this stree	
1.4.4 Laneways	Yes			adjacent to Charge. The building	
				cance for Herita	
			_	f a utilitarian ou	_
		suburban envi		i a utilitarian ou	itbullullig ili a
		Suburban envi	omment.		
		The Barn nor remain. The Bathe building fac	rem thern elevation arn and retention cing Chandos La	arn facing Chandain  n facing Chandon of the physicine is supported of the lanew	os Lane will al features of adding to the
1.4.5 Cities	Van		1.4.4 of NSDCP		
1.4.5 Siting	Yes	_	the aweiling the s	vould remain v	with a single
1.4.6 Setback – Front	Yes			in in alignment	with nrimary
21.110 Settaten 116.110			dings on adjoin	_	with primary
1.4.6 Setback – Side	No		ntial (R2 & R3 zo		
General Residential (R2 & R3 zones)		Proposed Side	Setbacks		
1st storey (up to 4m) – 900mm			Existing	Proposed	Complies
2nd storey (up to 7m) – 1.5m		Ground	East	East	No
3rd storey (>7m) – 2.5m		floor	430mm	430mm	
Relates to: Attached dwellings; Boarding			West	West	No
houses; Dual occupancies; Dwelling houses;			Nil	Nil	
Group houses; Multi dwelling housing;					
Secondary dwellings; Semidetached dwellings; Seniors housing		First floor	East	East	No
uwenings, seniors nousing			N/A	1.28m	
			West	West	No
			N/A	1.3m	1
			,		
		side setback to setback to the minimum 900m 1.5. The first flo from the west boundary not c	o the western leastern side boom setback requor also has non tern boundary compliant with the	addition is designoundary and a undary not compirement stipulating and 1.28m from the minimum 1.5m of NSDCP 2013.	430mm side diant with the ed in Table B- setbacks 1.3m on the eastern

			Although it is noted the two storey addition replaces an existing single storey rear addition with non-compliant side setbacks the demolition presents an opportunity to design a more compliant addition.  The two storey addition and associated non-compliant setbacks do not control the bulk and scale of the building resulting in a built form which would be visible from Atchison Street and a dominant building in context with the primary single storey dwelling. The development therefore does not comply with Objective O2 in s1.4.6 of NSDCP 2013.  The two storey addition does not provide sufficient separation between adjoining buildings and this is of importance particularly in lesser dense zones such as R2 Low Density Residential Zones which is the zoning for the					
			site and surrounding locality. The development therefore does not comply with Objective O3 in s1.4.6 of NSDCP 2013.  The two storey rear addition is therefore not supportable due to the non compliant side setbacks on both levels and resulting insufficient separation and excessive bulk and scale.					
1.4.6	Setback – Rear	Yes	Rear Setback					
			The proposed rear setback is reasonably consistent with the rear boundary line of the adjoining properties and is therefore considered to be acceptable in this regard.					
			It is noted the site has a large outbuilding referred to as 'The Barn' which necessitates a rear building setback that does not project as deep within the lot compared to adjoining properties.					
P7	Laneways	No, but	*	-	-	No, but supportable	-	The existing Barn has an existing nil rear setback to Chandos Lane not complying with the required 1.2m setback stipulated in Provision P7, s1.4.6 of NSDCP 2013.
		on merit	The setback is supported noting the Barn is an existing building and any substantial alterations to the design and siting of the Barn would affect its heritage significance.					
1.4.7	Form Massing Scale	No	The single storey form of the cottage to the front of the site facing Atchison Street will remain consistent with the character of properties in the Holtermann Estate A Conservation Area and compliant with Provision P2, s1.4.7 of NSDCP 2013.					
			The floor to ceiling height for the two storey rear addition are detailed below:					
			Ground Floor: 2.8m First Floor: 3.7m					
			The proposed ridge height for the rear addition is RL84.95 which is '1.01m' above the ridge of the cottage.					
			The floor to ceiling heights exceeds the minimum 2.7m stipulated in P4, s1.4.7 of NSDCP 2013.					
			No additional glazing is proposed to the principal façade facing Atchison Street satisfying P5, s1.4.7 of NSDCP 2013.					

		Provision P6, s1.4.7 of NSDCP 2013 requires ancillary buildings to be much smaller in scale than the residential building.
		The outbuilding to the rear of the site is a large Barn style building and although not much smaller in size compared to the dwelling the size of the Barn will remain and is subject to primarily internal alterations only.
1.4.8 Built Form Character	No	The existing dwelling shares a uniformity with adjoining properties on Atchison Street having a single storey form. Although the two storey addition is appropriately located to the rear it has a bulk and scale which does not minimise its visibility from the street.
		The two storey addition is excessive in height and amendments could be made to ensure a more sympathetic and subordinate addition which is less visible from the street such as proposing reduced floor to ceilings heights especially the first floor which currently has a 3.7m floor to ceiling height. Additionally, the two storey addition does not have compliant side setbacks for either the ground or first floor and improvements to the side setbacks would also assist in reducing the bulk and scale and visibility of the rear addition from Atchison Street.
		The current bulk and scale of the rear addition is excessive for the site would be visible from the street and surrounding conservation area and is contrary to P1, s1.4.8 of NSDCP 2013. A reduced built form which achieves a more recessive and lowered design is necessary for this site.
1.4.9 Dwelling Entry	Yes	The existing front door and window on the principal façade facing Atchison Street will remain generally complying with the Objectives and Provisions in s1.4.9 of NSDCP 2013.
1.4.10 Roofs	Yes	The pitched hipped roof form of the existing single storey dwelling will remain and it is noted the two storey addition proposes a pitched roof with a hipped roof facing Atchison Street and a gable roof to the rear of the site.  The retention of a pitched roof for the main dwelling is supported by Provision P1, s1.4.10 of NSDCP 2013.
		The character statement for the Holtermann Estate A Conservation Area in Part C of NSDCP 2013 identifies skillion roofs to rear extensions as characteristic. The site visit revealed differing pitched roof forms for rear additions of adjoining properties and there is considered potential flexibility with the choice of roof form, but the emphasis is on achieving an appropriate bulk and scale, minimal impact to the surrounding conservation area and more subservience to the single storey dwelling fronting Atchison Street.
1.4.12 Colours and Materials	Yes	The original rendered wall of the single storey cottage will remain which is a characteristic external material noted in the character statement within Part C of the DCP.  The external materials for the two storey addition are generally supported utilising characteristic materials such as face brick for the ground floor, weather boards for the first floor and the roof is to comprise of corrugated metal.

		The colours and materials generally satisfy Objective O1
1.4.14 Front Fences	Yes	and Provision P1 in s1.4.12 of NSDCP 2013.  The existing low painted brick front boundary fence is being sought for demolition to be replaced with a 1.2m high timber picket fence.  Figure 23 – Brick front boundary wall to be demolished
		Figure 24 – Proposed front boundary fence  The height and style of fencing is considered compatible
		with characteristic fencing detailed within the character statement in Part C of NSDCP 2013.
1.5 Quality Urban Environment		
1.5.4 Vehicle Access and Parking	Yes	The development would retain vehicular parking with access to and from Chandos Lane.
		The Barn already has a garage space which will remain with internal alterations sought to provide a suitably sized parking space.
		The continued vehicular access from the laneway is a supported outcome.

#### 1.5.5 Site Coverage

Attached/ detached/ semi-detached dwelling

Site area =  $278.2m^2$ 

Table B-1.6 Coverage	: Max Site
Lot Size	Cover (max)
0-229	60%
230-499	50%
500-749	40%
750-999	35%
1000+	30%

Control	Existing	Proposed
Site	173m <sup>2</sup>	177m²
coverage	(62.1%)	(63.6%)
Max 50%		

No

The proposal involves a total site coverage of 63.6% (177m²) including the existing barn and dwelling subject to alterations and additions.

A maximum site coverage of **50**% applies to the proposed development in accordance with exclusions expressed in P2 to s1.5.5 of DCP 2013. It is noted that in the Site Analysis/Development Summary table in the Area Calculations drawing (DA15 Issue A) a maximum permissible site coverage of 60% is stipulated. Furthermore, the covered verandah to the front of the dwelling is site coverage pursuant to the definition in P2, s1.5.5 of NSDCP 2013.

The proposed alterations and additions would increase the non-compliance by 4m2 beyond the existing site coverage.

The proposed site coverage of 63.6% is an exceedance of 13.6% more than the maximum 50% permitted and is a substantial exceedance in site coverage therefore amendments are required to have a net reduction in site coverage compared to the existing site coverage and ensure an improved site coverage outcome is achieved to control site density and limit the building footprint to ensure a development more commensurate to its Low Density Residential Zoning.

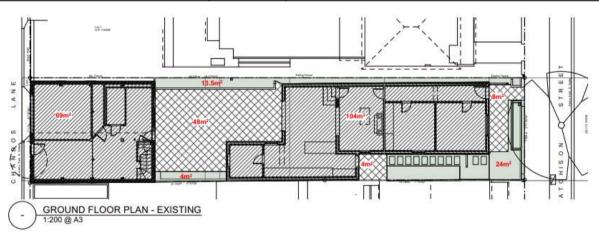


Figure 25 - Existing Compliance Diagram, DA15 Issue A

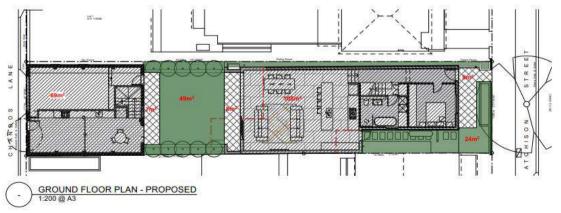


Figure 26 – Proposed Compliance Diagram, DA15 Issue A

1.5.6	Landsca	pe Area	(min)	&	Un-
built ur	on area (	max)			

# Attached/ detached/ semi-detached dwelling

Site area =  $278.2m^2$ 

Table B-1.7: Landscape requirements		
Lot size	Landscape	UBA
	(min)	(max)
0-229	20%	20%
230-499	30%	20%
500-749	40%	20%
750-999	45%	20%
1000+	50%	20%
All	40%	15%

**Note:** both the existing site coverage, landscaped and un-built upon areas and proposed site coverage, landscaped and un-built upon areas do not equate to the site area of 278.2m<sup>2</sup>.

The calculations within the Area Calculations table equate to 274.5m<sup>2</sup> which is a shortfall of 4m<sup>2</sup> for existing and 273m<sup>2</sup> for proposed which is a shortfall of 5.2m<sup>2</sup>.

Nonetheless, the existing/proposed site coverage calculations were calculated confirming the site coverage calculations are reasonably accurate in accordance with those detailed in the Area Calculations Diagram.

No, but landscaped area supportable on merit The proposed development has been assessed and the site coverage, landscaped area and un-built upon areas are as follows:

Control	Existing	Proposed	Compliance
Landscaped	41.5m <sup>2</sup>	73m <sup>2</sup>	No
area	(14.9%)	(26.3%)	
Min 30%			
Unbuilt-	60m²	23m <sup>2</sup>	Yes
upon area	(21.5%)	(8.3%)	
Max 20%			

#### Landscape area (30% min required)

The development seeks alterations removing large parts of the existing brick paved rear garden to be replaced with landscaping substantially improving the provision of landscaping despite the site not complying with the minimum 30% stipulated in Table B-1.7, P1, s1.5.6 of NSDCP 2013.

The additional landscaping within the rear garden contributes to a useable private open space, provides a landscaped buffer between adjoining properties subject to further detail required by Council's Landscape Development Officer and assists in the retention of and absorption of surface water drainage.

The improved landscaped area is a positive outcome generally satisfying the objectives in O1, s1.5.6 of NSDCP 2013.

#### Un-built upon area (20% max) permitted

The site has an existing un-built upon area (UBA) of 60m2 (21.5%) inclusive of paths and a rear brick paved garden. Amendments removing the brick paving results in a compliant un-built upon area complying with DCP 2013 requirements.

It is noted the un-built upon area is inaccurate calculating an existing/proposed covered verandah as un-built upon instead of site coverage.

1.5.7	Landscaping	No

Council's Landscape Development Officer requires a detailed Landscape Plan inclusive of species, pot size and number. The Landscape Plan should detail plant screening and include the planting of 1 x canopy tree.

No tree planting is proposed therefore no canopy cover is over the landscaped rear garden contrary to Provision P9 in s1.5.7 of NSDCP 2013.

The ground floor plan provides insufficient detail regarding landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site contrary to Objective O1, s1.5.7 of NSDCP 2013.

# 1.5.9 Front Gardens

No

The existing planter bed within the front setback is to be demolished along with the existing brick boundary wall as detailed in the Demolition Plan Issue B.

			It is unclear from the proposed plans whether the existing landscaping within the front garden would remain or be replaced. The development currently cannot be supported without further detail as to landscaping within the front garden.  Insufficient information is provided confirming landscaping within the front setback would soften the built form of the dwelling and complement the landscaped character of the street contrary to Objective O2 and Provisions P3, P4, P5 and P6 in s1.5.8 of NSDCP 2013.
1.5.9	Private and Communal Open	Yes	The rear garden is able to provide a minimum 40m² private
	Space		open space accessible from a main living area generally satisfying the Objectives and Provisions in s1.5.9 of NSDCP 2013.
1.5.13	Garbage Storage	Yes	It is unclear from the plans or the submitted Waste Management Plan where the garbage and recycling bins are to be located. Nonetheless, there is sufficient opportunity for storage within the site and the likely ongoing management of waste will remain.
1.6	Efficient Use of Resources		
1.6.1	Energy Efficiency	Yes	A valid BASIX Certification has been submitted as part of the development application documentation.
			The development incorporates on-site renewable energy proposing solar panels on the western and eastern roof slope of the two storey addition complying which assists in minimising the use of non-renewable energy.

# St Leonards / Crows Nest Planning Area (Holtermann Estate A Conservation Area) – Part C of NSDCP 2013

The proposed two storey addition is over scaled and an uncharacteristic element within the Holtermann Estate A Conservation Area. The two storey addition has non-compliant side setbacks and excessive floor to ceiling heights particularly the first floor with a floor to ceiling height of 3.7m resulting in a two storey addition which would be visible from the street and surrounding conservation area and a dominant addition in context with the primary single storey dwelling.

The over scaled two storey addition is an uncharacteristic element not supportable as stipulated in s3.4.7 in Part C of the NSDCP 2013.

In consideration of the appropriateness of the two storey addition regard was had to neighbouring properties on Atchison Street. It was notable that two storey additions were sited to the rear of neighbouring properties, however, they are designed and sited so as to generally minimise their visibility from Atchison Street. Below is a case study of the neighbouring property where a rear addition has been designed to not appear dominant or over scaled in context with the principal dwelling.

#### 116 Atchison Street

Development Application No. 155/15 was approved by the North Sydney Independent Planning Panel (NSIPP) for demolition of the dwelling and construction of a new part single part 2 storey dwelling. The part two storey element to the rear was designed with compliant side setbacks and modest floor to ceiling heights of approximately 2.7m so as to minimise height, bulk and scale and this is evident referring to site photographs and the South Street Elevation.



Figures 27 & 28 – Photo of site and adjoining property (left) and photo of two storey built form visible from Chandos Lane (right)



Figure 29 – South Elevation of subject site and adjoining properties, DA07 Issue B

# LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to payment of contributions towards the provision of local infrastructure. The contributions payable has been calculated in accordance with the Council's Contributions Plan as follows:

## Contribution amounts payable

Applicable contribution type		
s7.12 contribution details	Development cost:	\$750,000.00
(payment amount subject to	Contribution:	\$7,500.00
indexing at time of payment)		

Conditions requiring the payment of contributions at the appropriate time can be included if the development were supported.

#### ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIR	ONMENTAL APPRAISAL	CONSIDERED
1.	Statutory Controls	Yes
2.	Policy Controls	Yes
3.	Design in relation to existing building and natural environment	Yes
4.	Landscaping/Open Space Provision	Yes
5.	Traffic generation and Carparking provision	Yes
6.	Loading and Servicing facilities	N/A
7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	N/A
9.	All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

#### **SUBMITTERS CONCERNS**

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

#### **PUBLIC INTEREST**

The proposal is not considered to be in the public interest for the reasons stated throughout this report.

### **SUITABILITY OF THE SITE**

The proposal would be located in a R2 Low Density Residential Zone where alterations and additions to a dwelling house is a permissible form of development. However, the use of the Barn as a secondary dwelling is prohibited in the R2 Low Density Residential Zone and the secondary dwelling does not comply with the criteria for secondary dwellings stipulated in Part 1, Division 2 of SEPP (Housing) 2021.

# HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

#### **CONCLUSION**

The development would not conserve the heritage significance of the heritage item proposing excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The two storey addition has insufficient separation with the single storey cottage and requires excessive demolition to provide a staircase from the main dwelling to the two storey addition. The two storey rear addition is excessive in scale, height and massing compared to the existing single storey and too visible from the streetscape and conservation area. The over scaled two storey addition is an uncharacteristic element for the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

The two storey addition has non-compliant side setbacks and contributes to a substantial exceedance in site coverage therefore the development does not comply with key development controls within the North Sydney DCP that concerns bulk and scale and site density. The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

No additional information is provided in support of the existing use of the Barn as a secondary dwelling confirming the use is lawful given secondary dwelling are prohibited in the R2 Low Density Residential Zone and due to the size of the Barn the development cannot rely on Division 2, of Part 1 in Chapter 3 of the SEPP (Housing) 2021.

Insufficient detail is provided regarding proposed landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site. Insufficient information is also provided confirming retention or replacement landscaping within the front setback and whether the landscaping would soften the built form of the dwelling and complement the landscaped character of the street.

Having regard to the merits of the proposal, the application is recommended for refusal for the reasons provided below.

#### **RECOMMENDATION**

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

**THAT** the North Sydney Local Planning Panel, exercising the functions of Council as the consent authority, resolve to refuse development consent to Development Application No. 355/23 for development of alterations and additions including a two storey rear addition on land at 114 Atchison Street Crows Nest, as shown on plans DA00 – DA15, for the following reasons:-

# 1. Heritage Impact

The proposed development does not conserve the heritage significance of the heritage item proposing excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The two storey addition has insufficient separation with the single storey cottage and requires excessive demolition to provide a staircase to from the main dwelling to the two storey addition. The two storey rear addition is excessive in scale, height and massing compared to the existing single storey and too prominent from the streetscape and conservation area. The two storey addition would be uncharacteristic in the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

#### **Particulars**

- a) The site contains a single storey Victorian rendered cottage with a barn at the rear. The site is a local heritage item (I0140) which is sited within the Holtermann Estate A Conservation Area.
- b) The development proposes removal of fabric including partitions and partial demolition to the rear roof of the single storey dwelling to provide stair access between the principal dwelling and the rear addition.
- c) The works do not maintain the principal rooms and partitions of the single storey Victorian cottage not retaining significant fabric that represents the key period of the item's history contrary to Objective O1 and Provision P5 in Section 13.5.1 'Protecting Heritage Significance' of NSDCP 2013 and contrary to Objective O1 in Section 13.5.5 'Interior Layouts' of NSDCP 2013. Further, the proposed stairs would adversely alter and not retain the roof of the heritage item contrary to Section 13.5.4 'Roofs' of NSDCP 2013.
- d) Insufficient separation is provided between the single storey cottage and two storey addition and the scale of the two storey addition is excessive higher than the roof ridge of the existing dwelling impacting upon the heritage significance of the dwelling contrary to Objective O1 'Form, massing and scale' of NSDCP 2013.
- e) The overall scale of the two storey addition is excessive and is higher than the roof ridge of the existing dwelling making it visible from the conservation area as viewed from Atchison Street. The scale of the two storey addition does not minimise the visual dominance of when viewed from a public place contrary to Objective O1, Section 13.5.1 'Protecting Heritage Significance' of NSDCP 2013.
- f) The proposed two storey addition is over scaled and an uncharacteristic element within the Holtermann Estate A Conservation Area. The two storey addition has non-compliant side setbacks and excessive floor to ceiling heights particularly the first floor with a floor to ceiling height of 3.7m resulting in a two storey addition which would be visible from the street and surrounding conservation area and a dominant addition in context with the primary single storey dwelling. The over scaled two storey addition is an uncharacteristic element not supportable as stipulated in s3.4.7 in Part C of the NSDCP 2013.
- g) The proposed two storey addition and alterations to the single storey dwelling will detract from the significance of the heritage item and heritage conservation area contrary to Aims of Plan 1.2(2)(f), Objective 1(b) in Clause 5.10 in NSLEP 2013.

#### 2. Bulk and Scale of the Rear Addition

The two storey addition and associated non-compliant setbacks, site coverage and excessive floor to ceiling heights do not control the bulk and scale of the building resulting in a two storey addition which would be visible from the street and contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

# **Particulars**

- a) The proposed two storey rear addition is designed with a nil side setback to the western side boundary and a 430mm side setback to the eastern side boundary not compliant with the minimum 900mm setback requirement stipulated in Table B-1.5. The first floor also has non-compliant side setbacks 1.3m from the western boundary and 1.28m from the eastern boundary not compliant with the minimum 1.5m stipulated in Table B-1.5, Provision P2, s1.4.6 of NSDCP 2013. The two storey rear addition is therefore not supportable due to the non-compliant side setbacks on both levels and resulting insufficient separation and excessive bulk and scale contrary to Objectives O2 and O3 in s1.4.6 of NSDCP 2013.
- b) The two storey addition is excessive in height proposing reduced floor to ceilings heights especially the first floor which currently has a 3.7m floor to ceiling height. Additionally, the two storey addition does not have compliant side setbacks for either the ground or first floor. The bulk and scale of the rear addition is excessive and cannot be supported visible from the street and surrounding conservation area contrary to P1, s1.4.8 of NSDCP 2013.
- c) The proposal involves a total site coverage of 63.6% (177m²) including the existing barn and dwelling subject to alterations and additions. A maximum site coverage of **50**% applies to the proposed development in accordance with exclusions expressed in P2 to s1.5.5 of DCP 2013. The proposed site coverage of 63.6% is an exceedance of 13.6% more than the maximum 50% permitted and is a substantial exceedance in site coverage and is over development, not controlling site density and not promoting the low density character of the neighbourhood contrary to Objectives O1, O2 and O3 in s1.5.5 of NSDCP 2013.
- d) The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone. The development therefore does not contribute a low density residential property contrary to objective (bullet point one) of the R2 Low Density Residential Zone.

#### 3. Proposed Use of the Barn

Insufficient information has been provided to confirm the existing use of the rear Barn as a secondary dwelling or dual occupancy (detached). The proposed alterations and additions seek consent to alter the existing structure as a separate dwelling but has not established the existing use is lawful and not otherwise prohibited in the R2 Low Density Residential Zone.

# Particulars

- a) The Statement of Environmental Effects (SEE) refers to the Barn as containing an existing secondary dwelling and it appears this use is sought to remain for the Barn. Secondary dwellings are prohibited in the applicable R2 Low Density Residential Zone and although secondary dwellings are permitted with consent subject to Chapter 3, Part 1 of the State Environmental Planning Policy (Housing) 2021 the site area is less than 450m² and the floor area of the secondary dwelling is greater than that permitted. The secondary dwelling has a large floor area which is more than 60m² and greater than 30% of the total floor area of the principal dwelling therefore the development cannot rely on Division 2, CI. 52(2)(c) of SEPP (Housing) 2021.
- b) The development application contains insufficient information confirming whether the existing use of the Barn as a secondary dwelling is a lawful use pursuant to Division 4.65 4.67 'Existing uses' of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) and whether the alterations is permitted with consent pursuant to directions in Part 7 'Existing uses' of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation 2021).
- c) The size of the Barn the development excludes reliance on Division 2, of Part 1 in Chapter 3 of the SEPP (Housing) 2021 relating to secondary dwellings.

# 4. Landscaping

Insufficient detail is provided regarding proposed landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site. Insufficient information is also provided confirming retention or replacement landscaping within the front setback and whether the landscaping would soften the built form of the dwelling and complement the landscaped character of the street.

#### **Particulars**

- a) The existing front and rear garden contain a mixture of grasses, shrubs, and small trees proposed for removal to be replaced with a new landscaped rear garden. The ground floor plan provides insufficient detail regarding landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site contrary to Objective O1 and contrary to Provision P9 in s1.5.7 of NSDCP 2013.
- b) The existing planter bed within the front setback is to be demolished along with the existing brick boundary wall as detailed in the Demolition Plan Issue B. It is unclear from the proposed plans whether the existing landscaping within the front garden would remain or be replaced. Insufficient information is provided confirming landscaping within the front setback would soften the built form of the dwelling and complement the landscaped character of the street contrary to Objective O2 and Provisions P3, P4, P5 and P6 in s1.5.8 of NSDCP 2013.

# 5. Public Interest

a) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is not considered to be within the public interest and is likely to set an undesirable outcome due to the detrimental impact to the heritage item and heritage conservation area and due to the non-compliances with objectives and controls under Council policy including the NSLEP 2013 and NSDCP 2013.

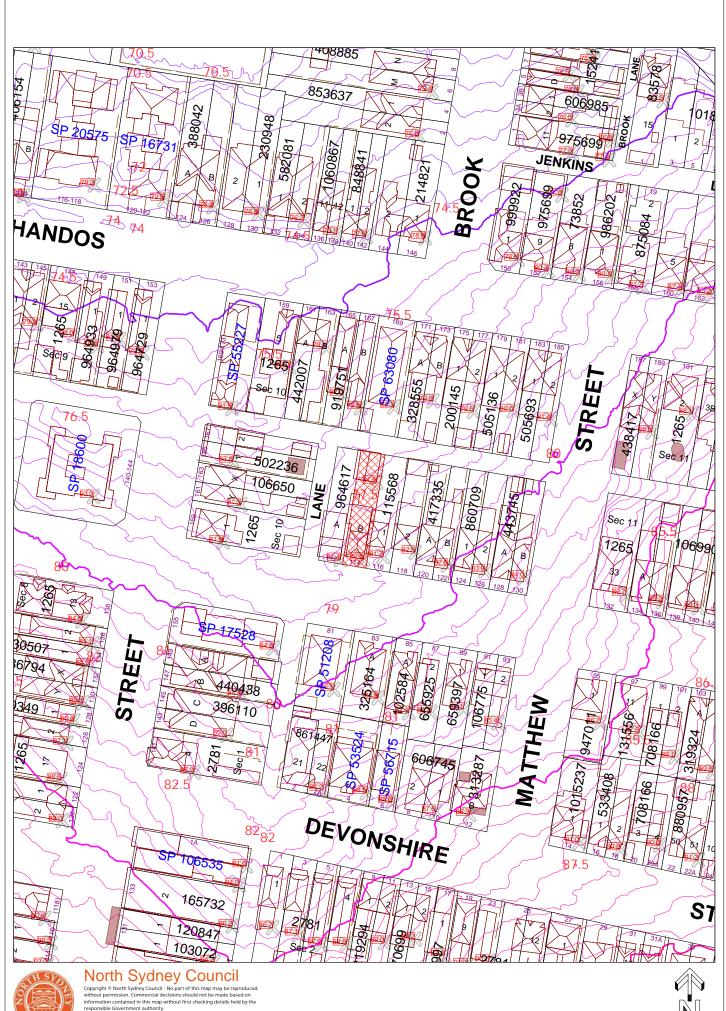
Thomas Holman SENIOR ASSESSMENT OFFICER

David Hoy TEAM LEADER

Date: 30 April 2024 Date: 22 May 2024

Concurrence granted by Manager Development Services on 22 May 2024

STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES





urther details can be obtained by calling (02) 9936 8100 or e-mail napping@northsydney.nsw.gov.au.

Scale: 1:1200 approx.

# Alterations and Additions 114 Atchison Street Crows Nest, NSW

# DEVELOPMENT APPLICATION

# ARCHITECTURAL DRAWING LIST

TITLE

GENERAL ARRANGEMENT DRAWINGS

DRAWING NO.

2306_DA00 2306_DA01 2306_DA02 2306_DA03 2306_DA04 2306_DA05 2306_DA06 2306_DA07	Cover Sheet / Perspective Image Site Analysis Plan Soil + Erosion / Waste Management Plan Site / Roof Plan / Basix Commitments Demolition Plan Ground Floor Plan First Floor Plan Elevations Sheet 1		
2306_DA08	Elevations Sheet 2		
2306_DA09	Section AA		
2306_DA10	Barn Elevations		
2306_DA11	9am,12pm,3pm Mid-Winter Shadows - Proposed		
2306_DA12	9am,12pm,3pm Equinox Shadows - Proposed		
2306_DA13	West Elevation No 116 Neighbour Shadows		
2306_DA14	Existing Plans & Elevations_House+Barn		
2306_DA15	Area Calculations		

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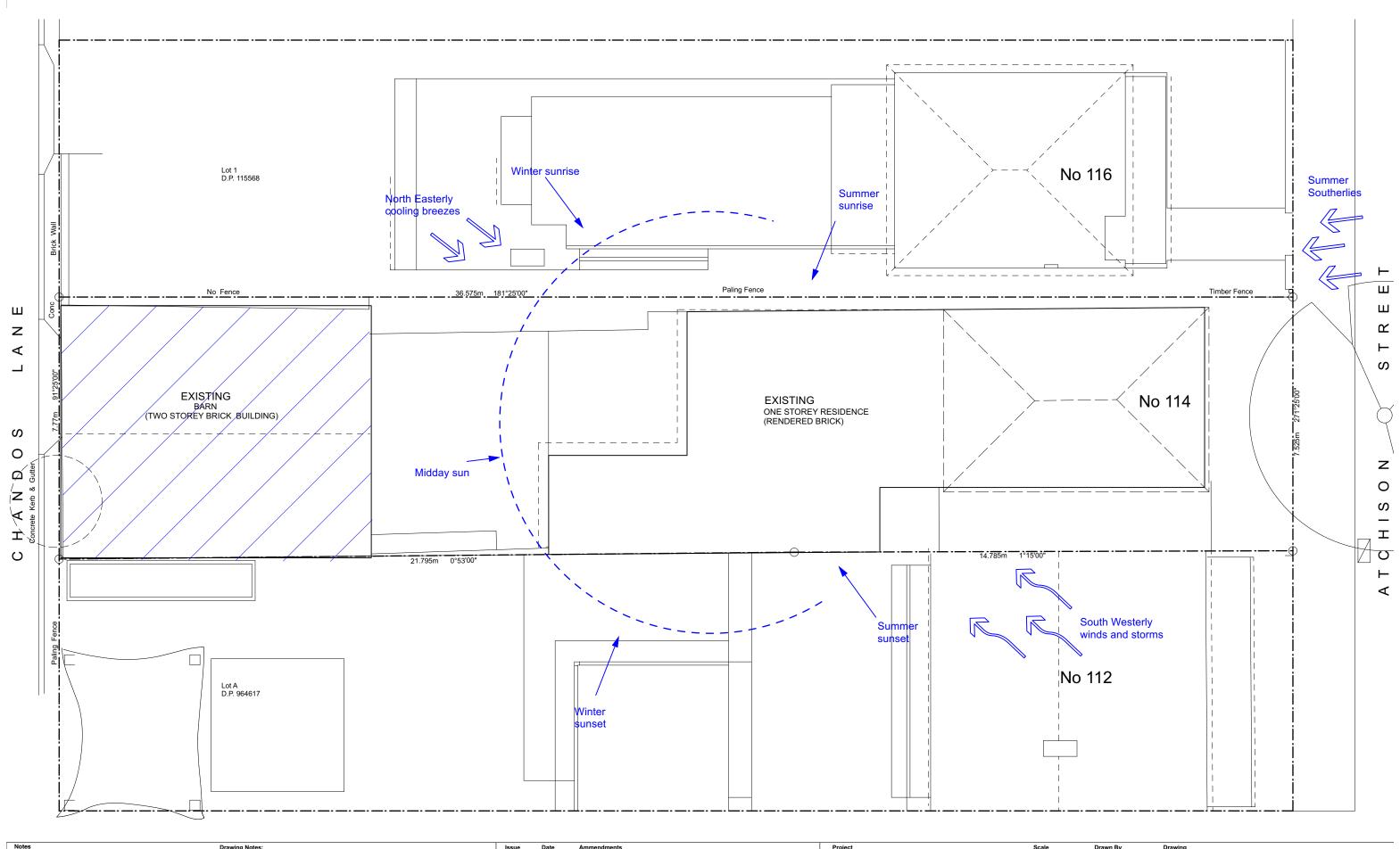
13/11/23 Issue for consultant coordination 15/12/23 Issue for DA Kylie Maddern

Project Alterations and Additions Scale NTS 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Project Numbe Drawing Number

Drawing
Cover Sheet / Perspective Image

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Nominated Architect: Paul Oliverie Registration No. 6373
Document Set D. 9842050
Version: 1, Version Date: 18/12/2023



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Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern

Scale Drawn By 1:100@A3 GS

Drawing
Site Analysis Plan

Issue B

Nominated Architect Baul Officers Begistration No. 6373
Document Ser I D. 9842050
Version: 1, Version Date: 18/12/2023

## Soil & Water Management

- 1) THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- 2) THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED ON THIS DRAWING
- 3) ALL SUB-CONTRACTORS SHALL BE MADE AWARE OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATER WAYS
- WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- A) INSTALL ANY NECESSARY SECURITY/BOUNDARY FENCES FOR THE SITE; B) CONSTRUCT "SILT" FENCING AS DETAILED ALONG BOUNDARIES;
- 5) DURING WINDY WEATHER, LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST
- (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE, AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION

- 7) ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE, AND WITHIN TEN WORKING DAYS FROM PLACEMENT
- WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS RELATIVELY SEDIMENT-FREE: ie, THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE
- 9) TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED

  10) THE CONTRACTOR SHALL PROVIDE ACCEPTABLE RECEPTORS FOR CONCRETE
- & MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER
- 11) RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER, ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED
- 12) AT LEAST WEEKLY, THE CONTRACTOR SHALL INSPECT THE SITE, PROVIDING PARTICULAR ATTENTION TO THE FOLLOWING MATTERS:
- A) ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR
- MAINTENANCE AS REQUIRED
  B) REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 2 METRES FROM LIKELY AREAS OF CONCENTRATED OR HIGH-VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS
- C) CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, ie, MAKE ONGOING CHANGES TO THE PLAN
- D) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE
- REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME

- 13) THE CONTRACTOR SHALL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, AND AFTER RAINFALL AND/OR SITE CLOSURE. RECORD:
- A) THE VOLUME OF ANY RAINFALL EVENTS (CHECK WEATHER BUREAU)
- B) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS

Alterations and Additions

114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617

Kylie Maddern

THE BOOK SHALL BE KEPT ON SITE AND MADE AVAILABLE TO ANY AUTHORISED

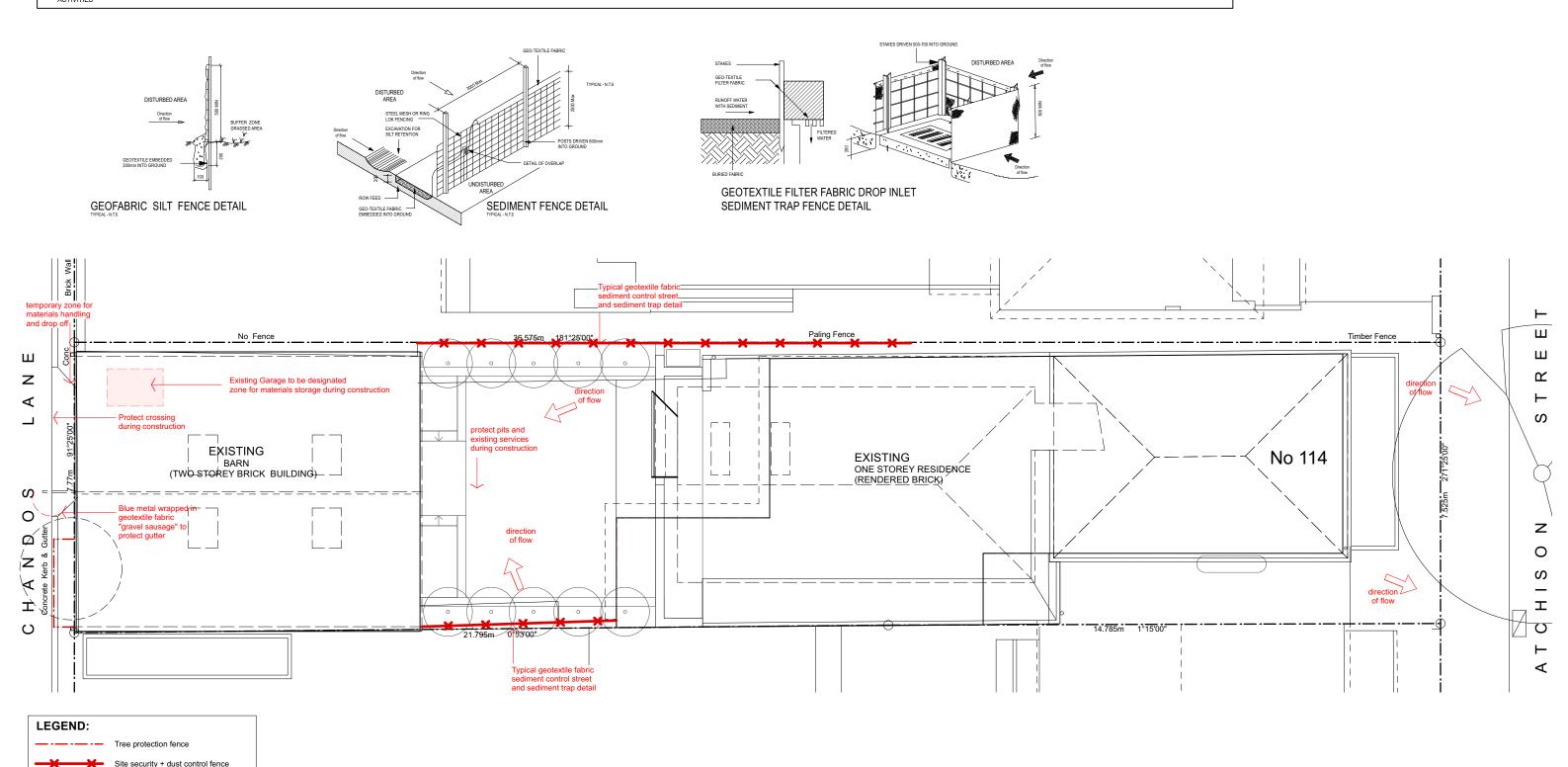
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OKEE FEOR Children Substitution Visit Pacific Highway North Sydney NSW 2000 ARSh: 127716179409 NSW 2000

Soil + Erosion / Waste Management Plan

В

1:100@A3



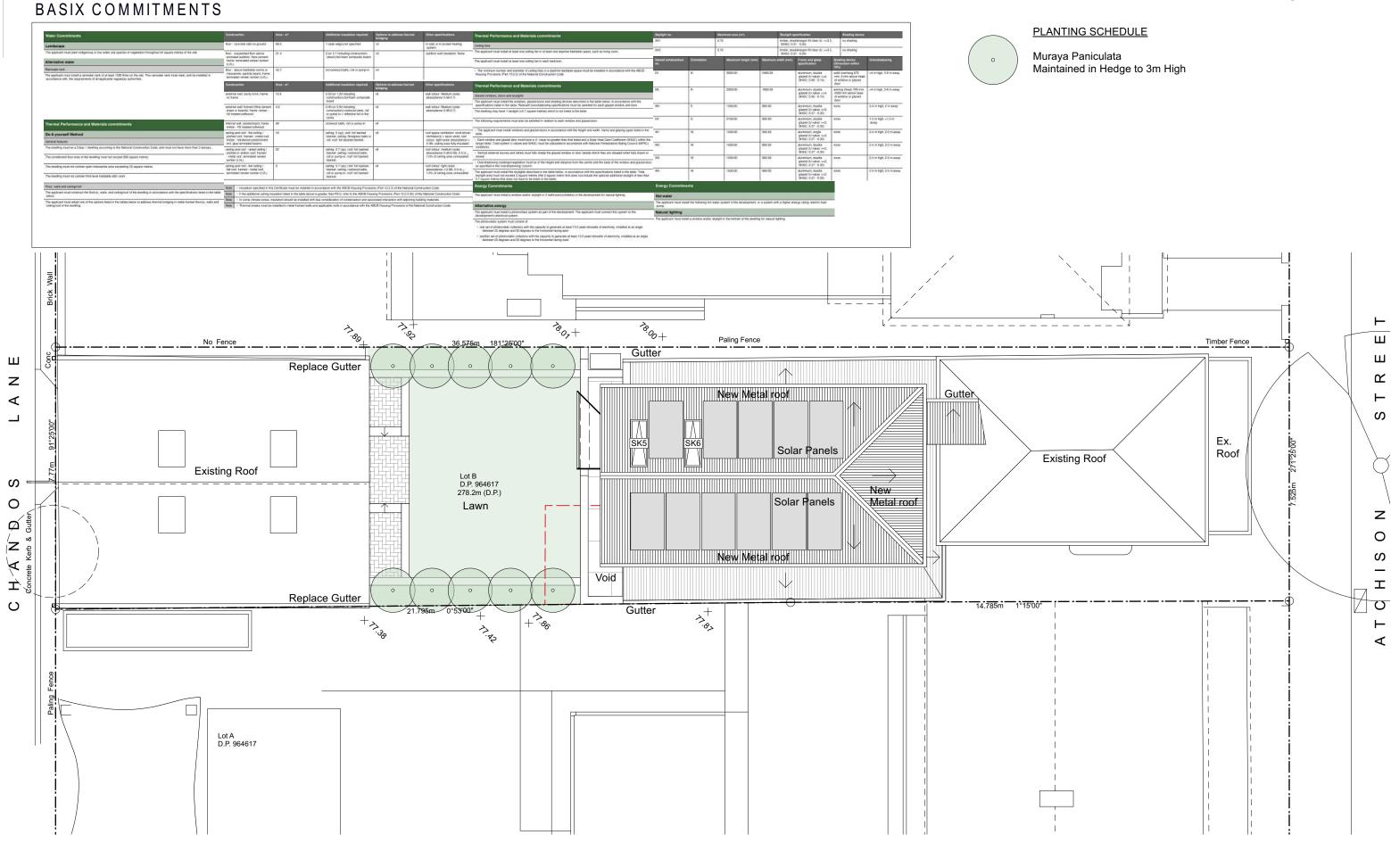
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12/12/23 15/12/23

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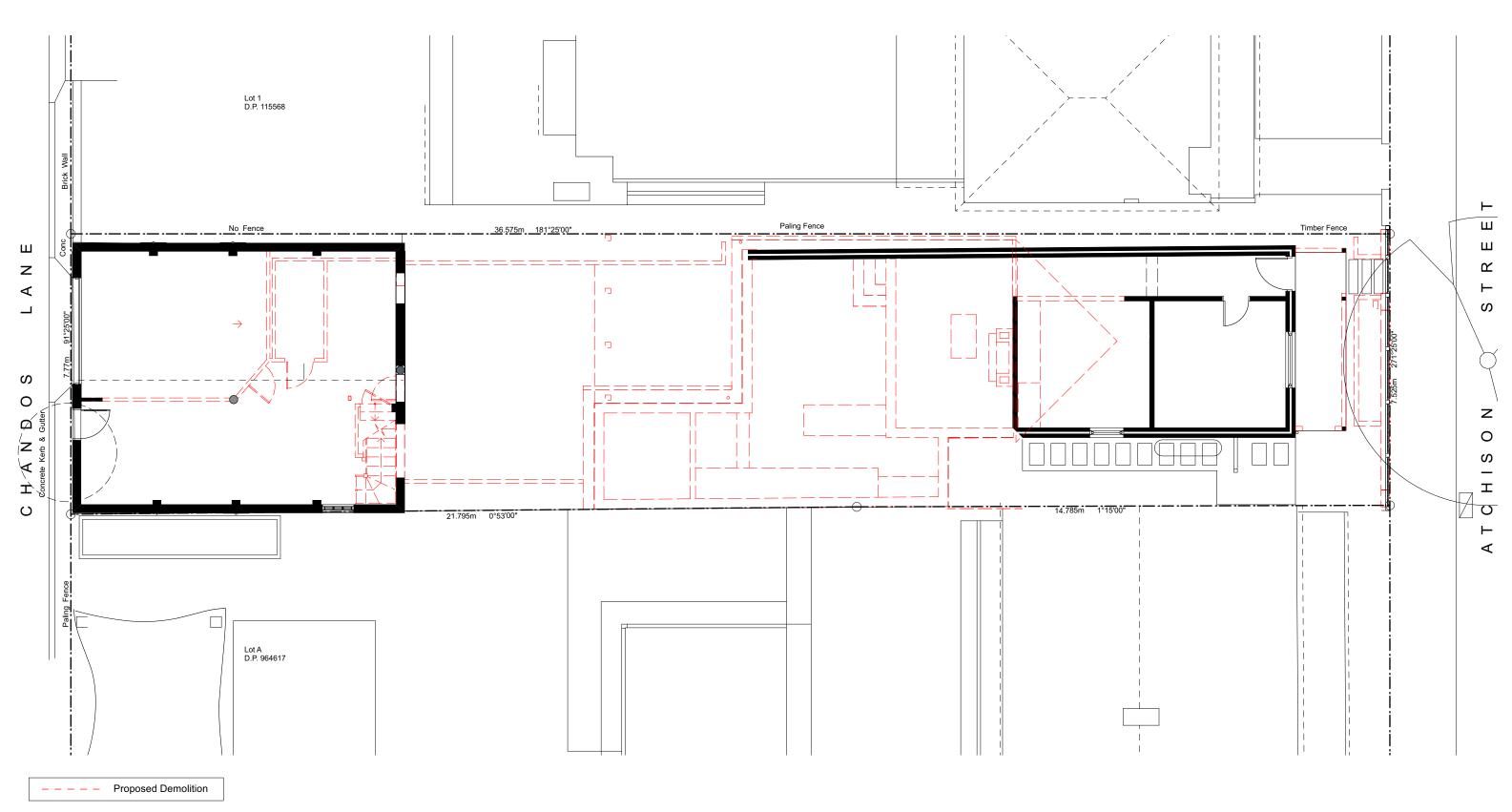
Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern



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Drawing
Site / Roof Plan Drawing Numb

Issue B



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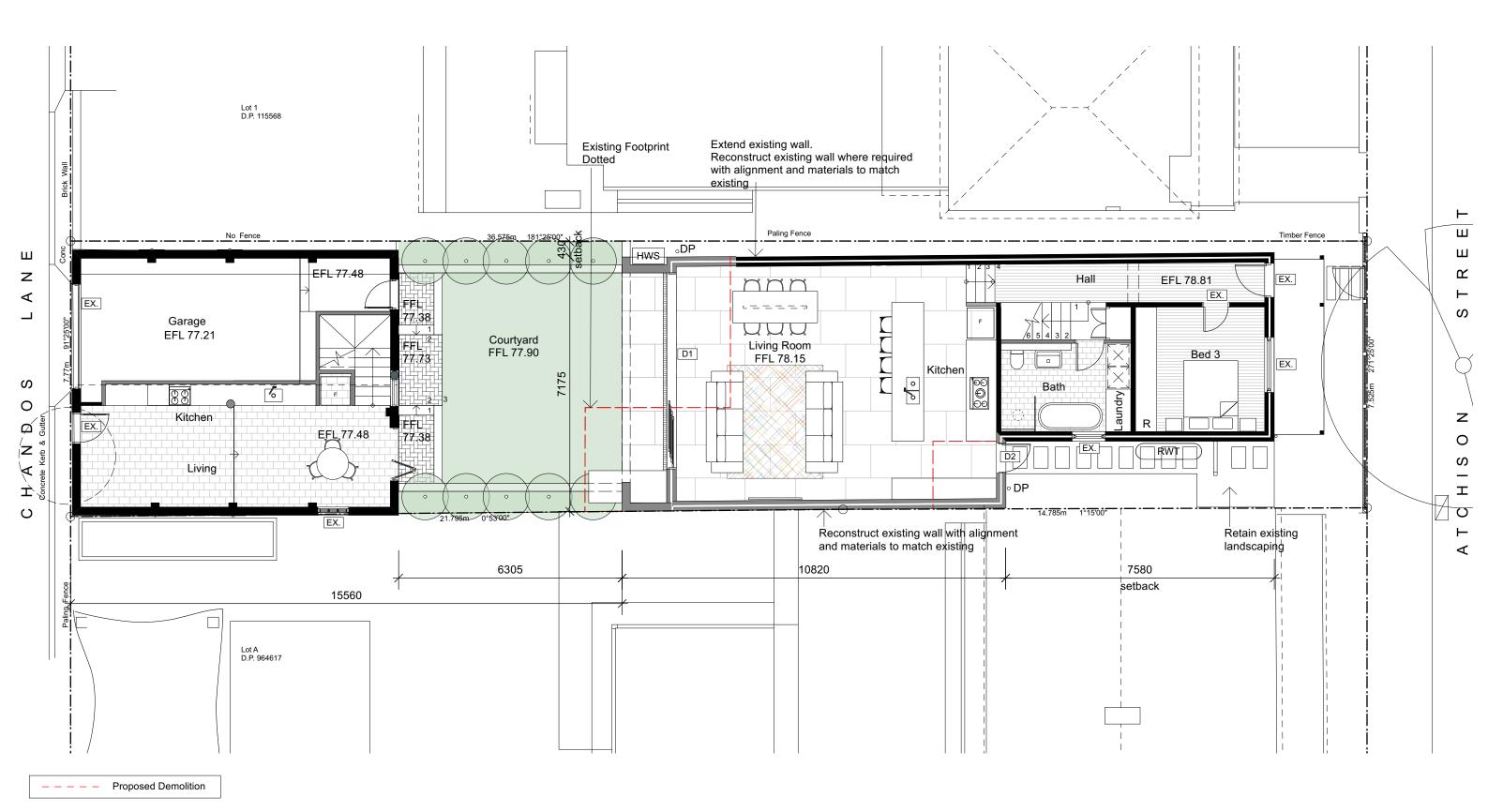
13/11/23 Issue for consultant coordination 15/12/23 Issue for DA

Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern



Drawing
Demolition Plan

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B 15/12/23 Issue for DA

Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

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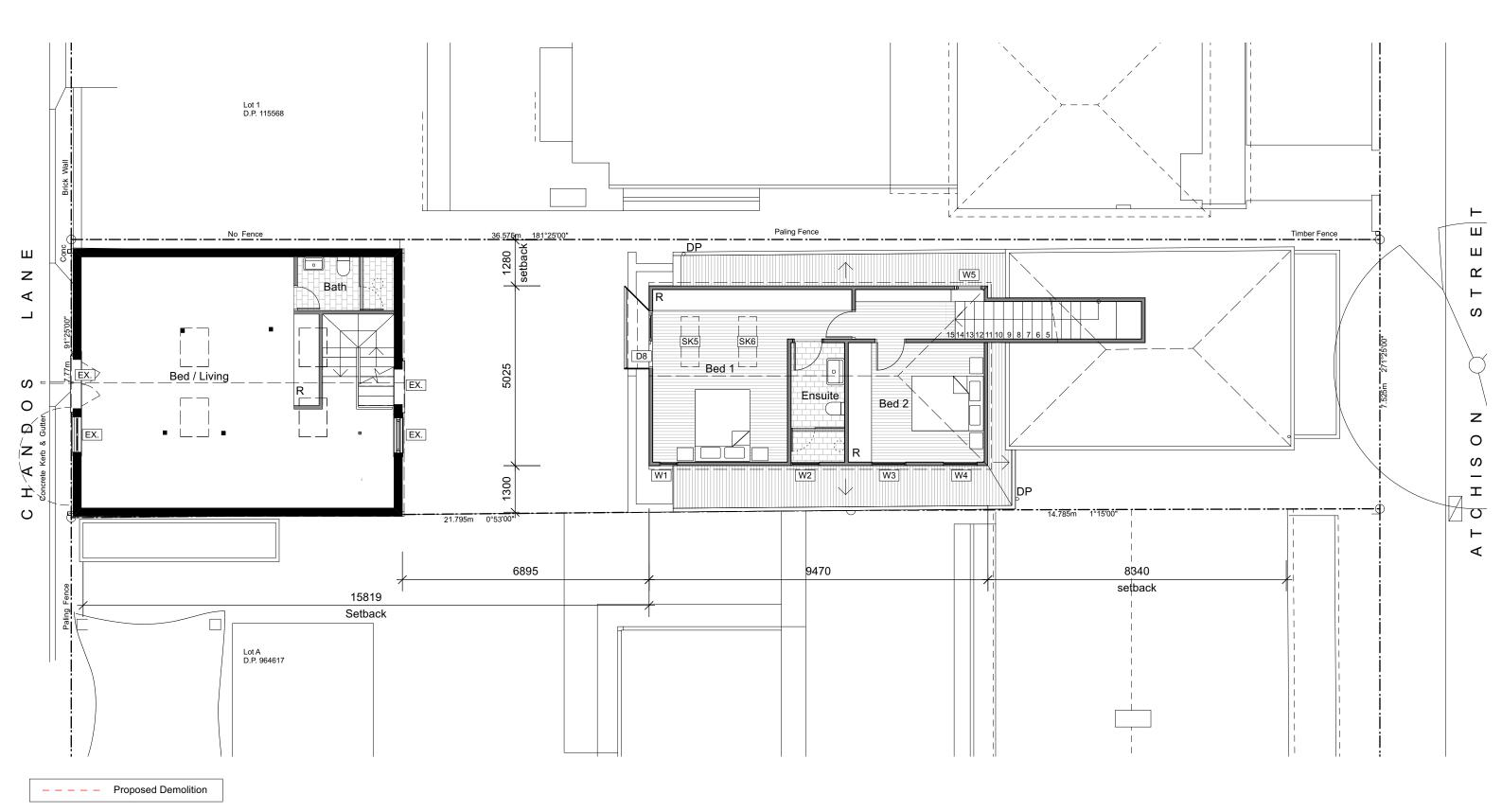
Drawing Groun Drawing N DA05

Ground Floor Plan
Drawing Number

Issue
B

c Highway
T 02 8960 2020
SW 2060
E info@okeefearchitects.com.ai

Nominated Architect Paul O'Keele Registration No. 6373
Document See D. 9842050
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B 15/12/23 Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale Drawn By
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Project Number
2306

Drawing
First Floor Plan
Drawing Number
DA06

B Pacific Highway Ydney NSW 2060 E info@koeelearchitects.com.a.

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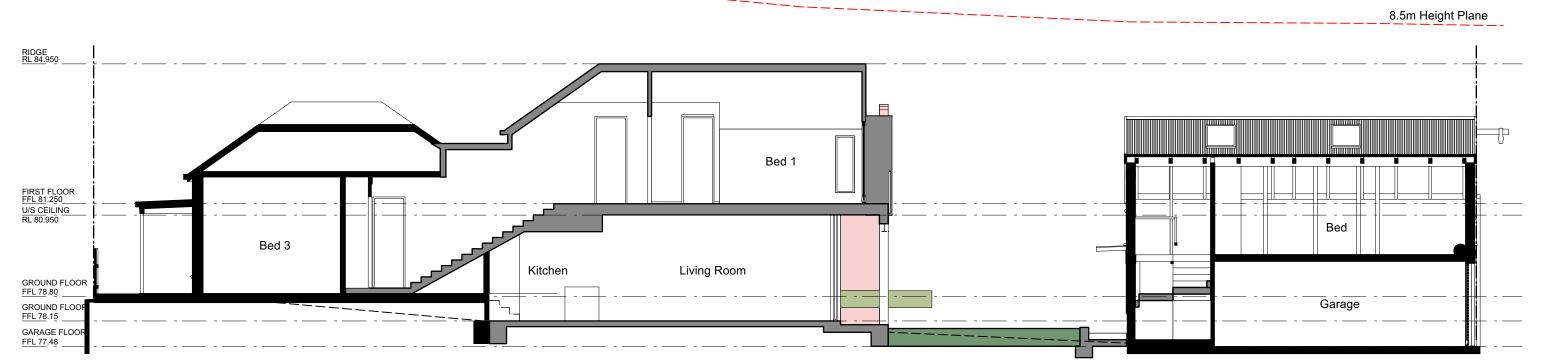
Drawing Elevations-sheet 1

Drawing Numb

Issue B

RW Rendered Brickwork HR Steel Handrail

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Document Ser I D. 9842050
Version: 1, Version Date: 18/12/2023



SECTION A-A 1:100 @ A3

Materials	Materials For Construction					
(MR-1)	Custom Orb Colorbond Roof Sheeting					
(P)	Down Pipe					
(FBW)	Face Brick wall					
(MR-2)	Klip-lok Colorbond Roof Sheeting					
(STW)	Painted Steel Wall Panel					
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards					
(RW)	Rendered Brickwork					
(HR)	Steel Handrail					

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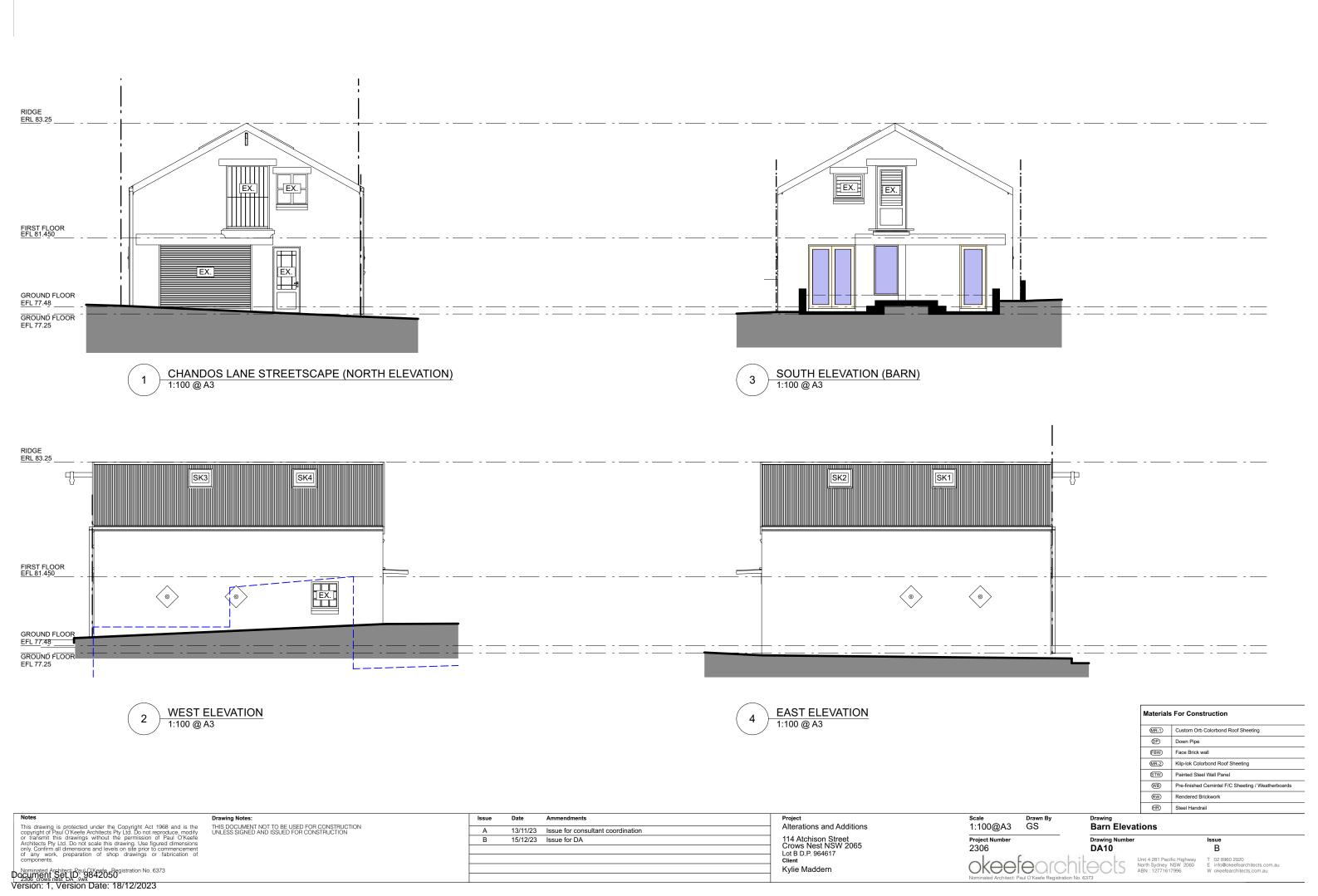
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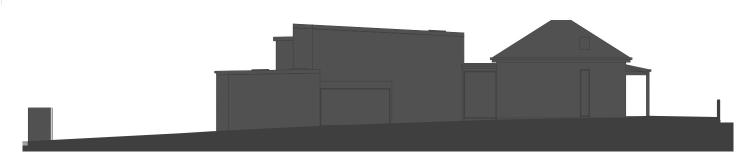
Drawing Section AA

Drawing Number

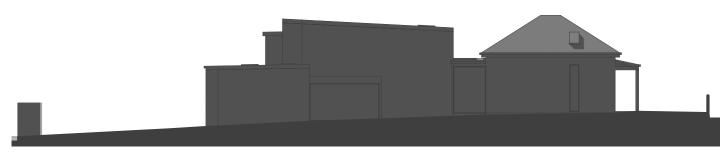
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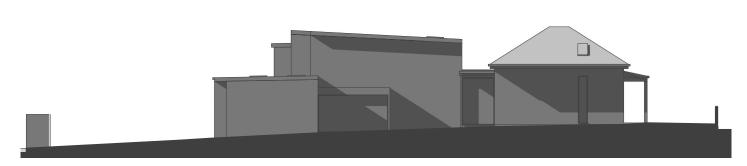
Nominated Architect Paul Officers Registration No. 6373
Document See D. 9842050
Version: 1, Version Date: 18/12/2023



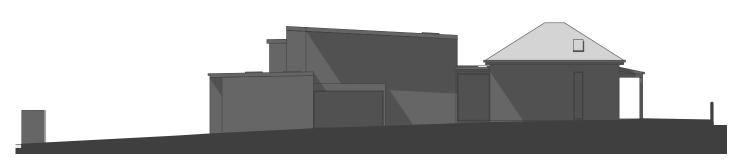
9AM-PROPOSED SHADOW MID WINTER 1:200 @ A3 NO CHANGE TO SHADOW



9AM-PROPOSED SHADOW EQUINOX 1:200 @ A3 NO CHANGE TO SHADOW



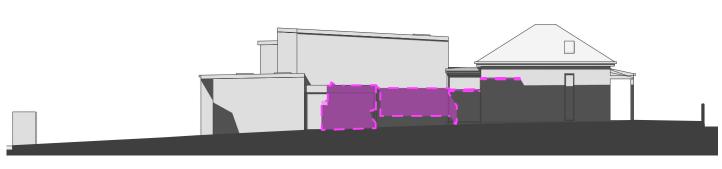
12PM-PROPOSED SHADOW MID WINTER 1:200 @ A3 NO CHANGE TO SHADOW



12PM-PROPOSED SHADOW EQUINOX 1:200 @ A3 NO CHANGE TO SHADOW



3PM-PROPOSED SHADOW MID WINTER 1:200 @ A3 ADDITIONAL SHADOW AS INDICATED NOTE: EXISTING FENCE & 3M HIGH **BOUNDARY SCREEN PLANTING** NOT PLOTTED.



3PM-PROPOSED SHADOW EQUINOX 1:200 @ A3 ADDITIONAL SHADOW AS INDICATED

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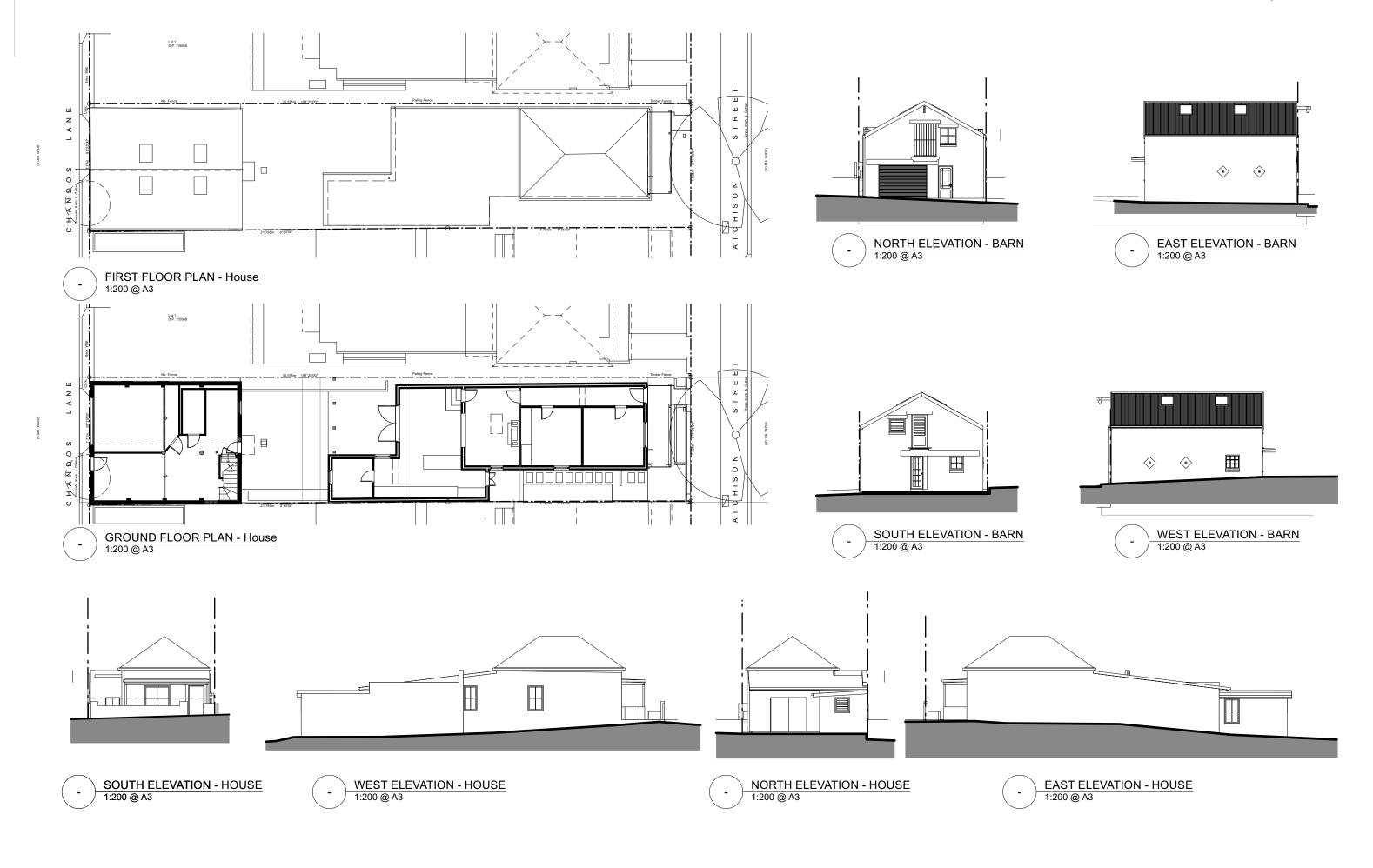
13/11/23 Issue for consultant coordination 15/12/23 Issue for DA

Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern

Scale Drawn By 1:100@A3 GS Project Number

Drawing
West Elevation No 116 Neighbour Shadows Issue B

OKEEFEORCHIE VIII 4 281 Pacific Highway North Sydney NSW 2060 ABN : 12771617996

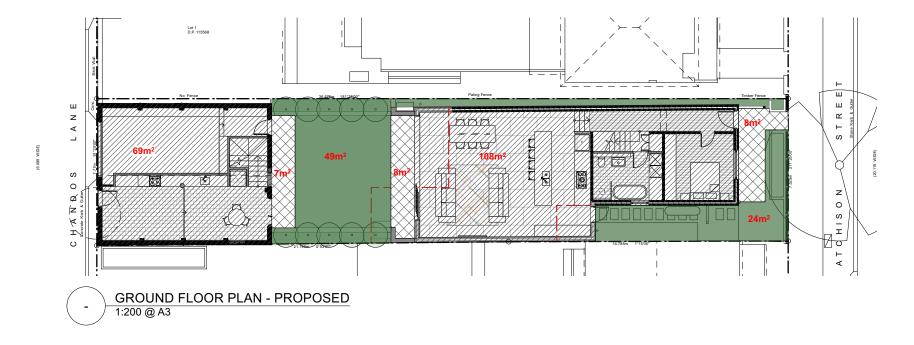


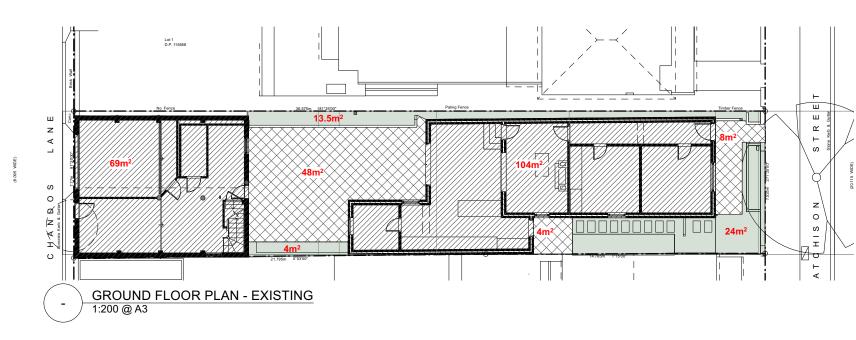
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ı	components.					Client		0/00	foorobi	Unit 4 281 Pacific Highway North Sydney, NSW, 2060	T 02 8960 2020
_	Nominated Architect: Paul O'Keefe Registration No. 6373					Kylie Maddern	_	OKEE	<b>C</b> arcini	ABN: 12771617996	W okeefearchitects.com.au

Document Set ID: 9842050 2306 crows nest DA ...wx Version: 1, Version Date: 18/12/2023

Page 51

Site Analysis	Development Summary					
Site Area	278.2m <sup>2</sup>		Existing	Proposed		
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m²	157m²		
LEP FSR	-	First GFA	61m <sup>2</sup>	106m²		
		TOTAL	212m²	263m²		
Landscaped Area Control	Min 20%		41.5m² (14.9%)	73m² (26.3%)		
Unbuilt Area	Max 20%		60m² (21.5%)	23m² (8.3%)		
Site Coverage (Built Upon area) Control	Max 60%		173m² (62.1%)	177m² (63.6%)		





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114 Atchison Street
Crow Nest NSW 2065
Cot B D.P. 964617
Client
Nominated Architect Paul O'Keefe Annual Pa

Nominated Architect Paul O'Keara Registration No. 6373
Document See DD: 9842050
Version: 1, Version Date: 18/12/2023

# Statement of Heritage Impact

# 114 Atchison Street Crows Nest

for

## Kylie Maddern



The Barn From Chandos Lane

## Prepared by:

Archnex Designs

Wentech Pty Ltd (ABN 310 735 41803) trading as Archnex Designs.

December 2023

Email: archnex@bigpond.net.au 14 Winchcombe Ave, Haberfield N S W 2045 Phone: 0425 228176

Document Set ID: 9845622 Version: 1, Version Date: 20/12/2023

# 114 Atchison Street Crows Nest

## Statement of Heritage Impact Table of Contents

## **Statement:**

Α.	Purpose of Statement	Page 1.
В.	Grounds of Statement	Page 1.
C.	Limits of Statement	Page 1.
D.	Location	Page 1.
E.	Context	Page 2.
F.	Proposed Development	Page 7.
G.	Heritage Impacts	Page 9.
H.	Conclusion	Page 14.

# **Appendix:** Documents

- (i) Inventory Sheets- Subject property & Holtermann Estate A
- (ii) DP1265
- (iii) CT 792-207
- (iv) CT 2956-191
- (v) DP 964617
- (vi) CTRH B964617
- (vii) Sands Directory Search Schedules



## STATEMENT OF HERITAGE IMPACT [SoHI]:

Start Date: 18 October 2023.

Premises: 114 Atchison St Crows Nest

**Property Description:** Lot B, DP 964617

**Prepared By:** Greg Patch

B Sc Arch, B ARCH (Hons), M Herit Cons (Hons),

14 Winchcombe Ave, Haberfield NSW 2045

For: Kylie Maddern

#### A. PURPOSE OF STATEMENT

This statement has been prepared to assess potential heritage impacts of proposed alterations and additions to the above property.

#### **B. GROUNDS OF STATEMENT**

114 Atchison St is listed as a heritage item and is within a Heritage Conservation Area. This has been established through a search of Schedule 5 of North Sydney LEP 2013 and examination of Map HER\_001.

## C. LIMITS OF STATEMENT

This statement is based on the material at Part E and an inspection of the place in October 2023.

#### D. LOCATION



1. Location of 114 Atchison St Crows Nest (Source: SIX Maps © NSW Lands 2023).

Email: archnex@bigpond.net.au 14 Winchcombe Ave, Haberfield N S W 2045 Phone: 0425 228176

#### E. CONTEXT.

#### E1. DOCUMENTARY

#### **Inventory Sheets**

#### 114 Atchison St-Statement of Significance

A single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance.

## **Statement Of Significance-Holtermann Estate A:**

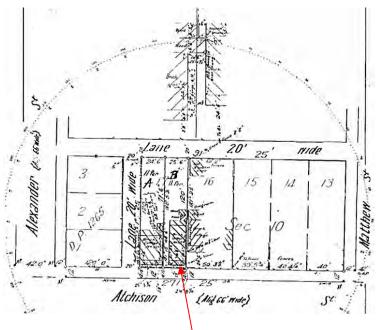
Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings.

Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation [sic] Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

#### **Land Titles**

The land was originally subdivided under Deposited Plan 1265 ("Berry's Estate"), dated 19 June 1884 and is part of what is now referred to as "Holtermann Estate A". It is part of what was originally Lot 17 Section 10 of the estate and was further subdivided under DP 964617 surveyed in May 1919.

Charles Barber of St Leonards, carter purchased the land and Certificate of Title Volume 792 Folio 207[CT 792-207] was issued to him on 19 June 1886. The land was originally granted to Alexander Berry in 1836. The property was transmitted to Edward Barber and Walter John Barber, both of North Sydney, carters in March 1915. Edward Barber died in mid-1919 and the property was transmitted to Walter John Barber, who transferred part (Lot A) to Sarah Ann Barber (seemingly Charles Barber's widow), and the remainder to Henry Albert Johnson (Lot B).



2. Diagram to DP964617. Subject property.

It is of note that the barn is not indicated on the above diagram (as of 1919).

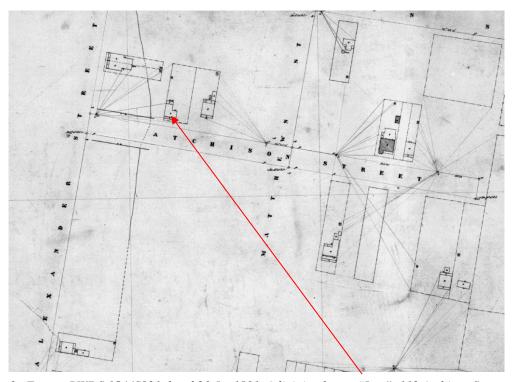
Issue: (20/12/23)

## **Sands Directory**

The John Sands Sydney, Suburban and Country Commercial Directory (1858-1932/33 [except for 1872, 1874, 1878 and 1881]) was "sample" searched from the last years for which it was published (1932/33) backwards until there is no apparent entry for the subject property. It lists occupants & addresses, not vacant buildings.

Charles Barber is first listed as one of nine residents of Atchison St in the 1889 edition of Sands Directory, so it would appear that the adjoining house "Lon" may have been built by that time.

## **Sydney Water Archives**



3. Extract PWDS 1544S821 dated 20 Jan1891. Adjoining house "Lon", 112 Atchison Street.

## E2. PHYSICAL

The place was inspected on 18<sup>th</sup> October 2023, when the following photographs were taken:

Issue: (20/12/23)



4. Subject property from opposite.



5.Adjoining house, "Lon" to the west adjacent lane.



5. Streetscape looking east. Subject property.



6. The barn from east on Chandos Lane.



7. The barn- north-east view.



8. Rear upper level addition to adjoining house. The barn from opposite.





11. Interior of Roller shutter.



10. Development opposite on Atchison St,



12. Mezzanine floor structure.

Issue: (20/12/23)

Version: 1, Version Date: 20/12/2023



13. Grond floor room to western side.



16. Storey post -reverse side.



17. Storey post to corner of garage.



15. Storey post.

18. Roof structure and gantry.



19. Roof structure posts and beams.



20. South wall and gantry opening.



21. Stair from above.



22. Bathroom to ground floor.



23. Rear of the house from gantry opening..

Issue: (20/12/23)



24. Rear of the house from internal courtyard.

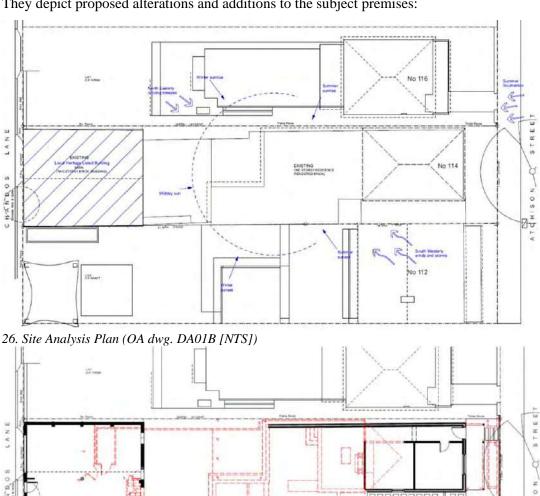


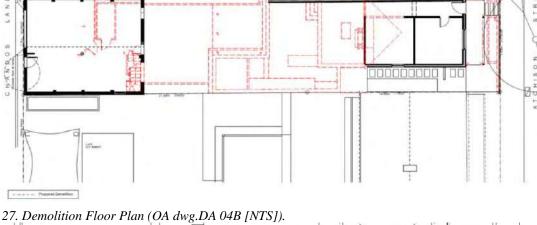
25. House hallway.

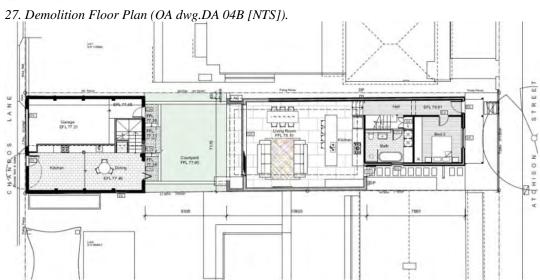
## F. PROPOSED DEVELOPMENT

I have examined drawings Nos.2306/00B to -/DA15B prepared by okeefearchitects [OA] and dated 15/12/23.

They depict proposed alterations and additions to the subject premises:



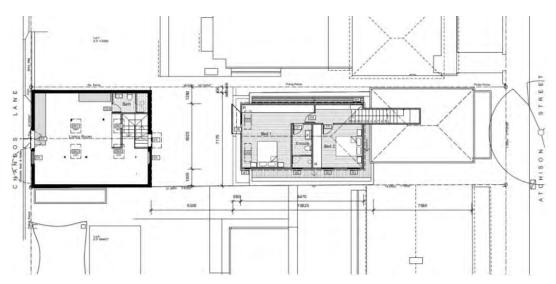




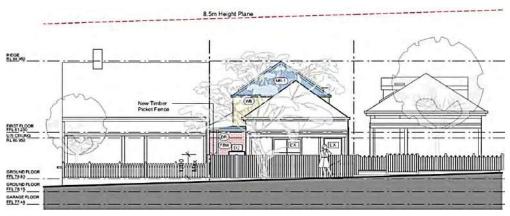
28. Ground Floor Plan (OA dwg.DA 05B [NTS]).

114 Atchison St Crows Nest- SoHI

Issue: (20/12/23)



29. Upper Floor Plan (OA dwg. DA06B [NTS])



30. South Elevation (OA dwg. DA07B [NTS])



31. West Elevation (OA dwg. DA07B [NTS])



Issue: (20/12/23)

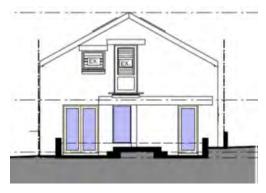
32. North Elevation (OA dwg. DA08B [NTS])

114 Atchison St Crows Nest- SoHI



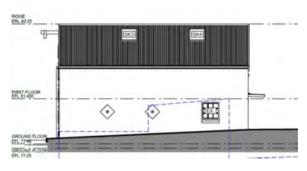
33. East Elevation (OA dwg. DA08B [NTS]).



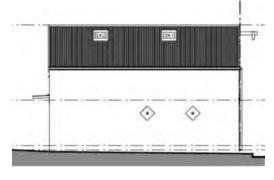


34. Barn -North Elevation (OA dwg. DA10B [NTS]).

35. Barn -South Elevation (OA dwg. DA10B [NTS]).



36. Barn -West Elevation (OA dwg. DA10B [NTS]).



37. Barn -East Elevation (OA dwg. DA10B [NTS]).

Proposed external materials, finishes and colours include:

#### **Finishes Schedule**









G. IMPACT OF THE PROPOSED DEVELOPMENT

The property and the heritage conservation area are listed at:

North Sydney Local Environmental Plan 2013

Schedule 5 Environmental heritage

Part 1 Heritage items

114 Atchison St Crows Nest- SoHI Issue: (20/12/23) Page: 9

LocalityItem nameAddressProperty descriptionSignificanceItem noCrows NestBarn, outbuilding at rear114 Atchison StreetLot B, DP 964617LocalI0140

## Part 2 Heritage Conservation areas

Name of heritage conservation areaIdentification on Heritage MapSignificanceHoltermann Estate AShown by red hatching and labelled "CA07"Local

They are mapped as:



38. Extract Map HER\_01 Subject property.

The relevant provisions of North Sydney LEP 2013 are:

## 5.10 Heritage conservation

**Note.** Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the <u>Heritage Map</u> as well as being described in Schedule 5.

Clause Comment

(1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of North Sydney,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

#### (2) Requirement for consent

Development consent is required for any of the following:

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
  - (i) a heritage item,

114 Atchison St Crows Nest- SoHI Issue: (20/12/23) Page: 10

- (ii) an Aboriginal object,
- (iii) a building, work, relic or tree within a heritage conservation area.
- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
- (d) disturbing or excavating an Aboriginal place of heritage significance,
- (e) erecting a building on land:
  - on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,
- (f) subdividing land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.

#### (3) When consent not required

However, development consent under this clause is not Consent is required. required if:

- (a) the applicant has notified the consent authority of the proposed development and the consent authority has advised the applicant in writing before any work is carried out that it is satisfied that the proposed development:
  - (i) is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or archaeological site or a building, work, relic, tree or place within the heritage conservation area, and
  - (ii) would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or
- (b) the development is in a cemetery or burial ground and the proposed development:

Issue: (20/12/23)

The proposed development entails altering the exterior of a building that is a heritage item.

The proposed development is within the Holterman Estate A HCA.

Nothing is specified in Schedule 5 relating to the item.

114 Atchison St Crows Nest-SoHI

Page: 11

- (i) is the creation of a new grave or monument, or excavation or disturbance of land for the purpose of conserving or repairing monuments or grave markers, and
- (ii) would not cause disturbance to human remains, relics, Aboriginal objects in the form of grave goods, or to an Aboriginal place of heritage significance, or
- (c) the development is limited to the removal of a tree or other vegetation that the Council is satisfied is a risk to human life or property, or
- (d) the development is exempt development.

## (4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

The significance of the item is recounted at p. 2, above.

The proposed development will have no substantive impact on the stated significance.

#### (5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph(a) or(b).

The proposed development is to land on which a heritage item is located and is within a heritage conservation area.

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the

heritage item or heritage conservation area concerned.

## (6) Heritage conservation management plans

The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

This document has been prepared having general regard to the guideline document "Statements of Heritage Impact" published by HeritageNSW.

Conservation preparation of a Management Plan is not warranted by the nature of the proposed development.

#### (7) Archaeological sites

The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the <u>Heritage Act 1977</u> applies):

- consent, and (b) take into consideration any response received from the

(a) notify the Heritage Council of its intention to grant

Heritage Council within 28 days after the notice is

The subject place is not identified as being of archaeological significance.

Page: 12

114 Atchison St Crows Nest-SoHI Issue: (20/12/23)

#### (8) Aboriginal places of heritage significance

The consent authority must, before granting consent under this clause to the carrying out of development in an Aboriginal place of heritage significance: The subject place is not identified as being of Aboriginal significance.

- (a) consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and
- (b) notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.

#### (9) Demolition of nominated State heritage items

The consent authority must, before granting consent under this clause for the demolition of a nominated State heritage item: The subject place is not identified as being of State significance.

- (a) notify the Heritage Council about the application, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.

#### (10) Conservation incentives

The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that: Conservation incentives are not sought.

- (a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and
- (b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and
- (c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and
- (d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and
- (e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.

## North Sydney Development Control Plan

#### 3.4.3 Statement of Significance

The Holtermann Estate A Conservation Area is significant:

114 Atchison St Crows Nest- SoHI Issue: (20/12/23) Page: 13

- a) as a late 19th century subdivision for speculative housing.
- (b) For its regular grid of streets, rear lanes and cross lanes.
- (c) For its consistent late 19th and early 20th century residential character and the unity of its low scale built form that derives from its regular grid subdivision pattern and its single storey, detached and attached dwelling houses in a mixture of late Victorian and early Federation styles.

The proposed development is similar to that that has occurred on similar scale houses within the vicinity (see images 8, p5, and 23, p6 above and the aerial photograph at p.1). A substantial tree exists to the street frontage of the property (see image at p.4, p3.) and will afford considerable screening of the proposed upper-level addition when viewed from the street, while there will be negligible impact on the significance and setting of the identified heritage item (The Barn) when viewed from Chandos Lane.

#### H. CONCLUSION

Historical research has revealed that the house to the subject property was most probably built around c. 1919-1920 (though possibly earlier) as evidenced in the title diagram relating to the sale to Henry Albert Johnson. The barn appears to have been built following this sale, as it is not noted on the survey diagram to *DP964617* reproduced at p. 2, above.

The proposed development seeks to improve the accommodation and amenity of the house, and to refurbish apparently recent past works to the interior of the barn as an associated living area.

In my opinion, there will be no adverse effects of the works and the proposal is supportable in terms of potential heritage impacts.

Prepared by	
Greg Patch	

114 Atchison St Crows Nest- SoHI Issue: (20/12/23) Page: 14

**Appendix: Documents** 

#### Item Details

Name

Barn, outbuilding at rear

SHR/LEP/S170

LEP #I0140

**Address** 

114 Atchison Street CROWS NEST NSW 2065

**Local Govt Area** 

North Sydney

**Local Aboriginal Land Council** 

Unknown

Built

Item Type Group/Collection

Farming and Grazing



Category

Barn

#### **All Addresses**

#### **Addresses**

**Records Retrieved: 1** 

Stre et No	Street Name	Suburb/Town/Postc ode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
114	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Primary Address

## **Significance**

#### **Statement Of Significance**

A single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance.

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

## Criteria f)

#### Rarity

This item is assessed as historically rare regionally.

#### Criteria g)

## Representative

This item is assessed as aesthetically representative regionally. This item is assessed as socially representative locally.

#### Integrity/Intactness

\_

Document Set ID: 9845622 Version: 1, Version Date: 20/12/2023

#### **Owners**

	Records Retrieved: 0		
Organisation	Stakeholder Category	Date Ownership Updated	
	No Results Found		

## **Description**

Designer

Builder/Maker

Physical Description Updated

A single storey dwelling that contributes positively to the streetscape as well as a barn. The barn is a one and a half storey rectangular brick building with gable roof of corrugated iron. Lower floor has large opening now filled by roller shutter, as well as a person door. Upper level, within gable, has timber loading door with cathead above.

Physical Condition Updated

**Modifications And Dates** 

**Further Comments** 

**Current Use** 

**Former Use** 

## Listings

## Listings

				Records Retrieved: 2		
Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazzette Number	Gazzette Page	
Local Environmental Plan	North Sydney Local Environmental Plan 2013	10140	8/2/2013 12:00:00 AM			
Within a conservation area on an LEP						

## **Procedures/Exemptions**

Document Set ID: 9845622

Version: 1, Version Date: 20/12/2023

**Records Retrieved: 0** 

Sectio n of Act	Description	Title	Comments	Action Date	Outcome
			No Results Found		

# History

#### **Historical Notes or Provenance**

**Updated** 

## **Historic Themes**

**Records Retrieved: 2** 

National Theme	State Theme	Local Theme
9. Phases of Life	Events	Unknown
9. Phases of Life	Government and Administration	Unknown

# **Recommended Management**

## **Management Summary**

## Management

Records Retrieved: 0

Management Category	Management Name	Date Updated		
No Results Found				

# Report/Study

## **Heritage Studies**

**Records Retrieved: 2** 

Report/Study Name	Report/Study Code	Report/Study Type	Report/Stud y Year	Organisation	Author
North Sydney Heritage Study Review			1993		Brassil, T., Irving, R., Pratten, C., Conybeare Morrison
North Sydney Heritage Study Review			1993		Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison

## **Reference & Internet Links**

Document Set ID: 9845622 Version: 1, Version Date: 20/12/2023

#### References

**Records Retrieved: 0** 

Туре	Author	Year	Title	Link		
No Results Found						

## **Data Source**

The information for this entry comes from the following source:

Data Source Record Owner Heritage Item ID

Local Government North Sydney Council 2180964

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Document Set ID: 9845622 Version: 1, Version Date: 20/12/2023

# **Item Details**

Name

Holtermann Estate A Conservation Area

SHR/LEP/S170

LEP #CA07

**Address** 

**CROWS NEST NSW 2065** 

**Local Govt Area** 

North Sydney

**Local Aboriginal Land Council** 

Unknown

Item Type Group/Collection

Category

Conservation Area Urban Area

Other - Urban Area

# **All Addresses**

### **Addresses**

**Records Retrieved: 11** 

Stre et No	Street Name	Suburb/Town/Postc ode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
1A	Wheatleigh Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
110- 174 (eve n num bers only)	Chandos Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
117- 215 (odd num bers only)	Chandos Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
1-3 (odd num bers only)	Matthew Lane	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
63- 127 (odd num bers only)	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address

92- 162 (eve n num bers only)	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Alternate Address
120- 144 (eve n num bers only)	Alexander Street	CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Alternate Address
141- 173 (odd num bers only)	Alexander Street	CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Alternate Address
78- 98 (eve n num bers only)	Albany Street	CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Alternate Address
1-49	Devonshire Street	CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Alternate Address
		CROWS NEST/NSW/2065	North Sydney	Unknown	Unknown	Primary Address

# **Significance**

### **Statement Of Significance**

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

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### **Owners**

**Records Retrieved: 0** 

Organisation	Stakeholder Category	Date Ownership Updated
	No Results Found	

# **Description**

Designer Builder/Maker

Physical Description Updated

Physical Condition Updated

**Modifications And Dates** 

**Further Comments** 

**Current Use** 

**Former Use** 

# Listings

## Listings

				Records R	etrieved: 1
Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazzette Number	Gazzette Page
Local Environmental Plan	North Sydney Local Environmental Plan 2013	CA07	8/2/2013 12:00:00 AM		

# **Procedures/Exemptions**

**Records Retrieved: 0** 

Sectio n of Act	Description	Title	Comments	Action Date	Outcome
	No Results Found				

# **History**

### **Historical Notes or Provenance**

Updated

### **Historic Themes**

**Records Retrieved: 0** 

National Theme	State Theme	Local Theme
No Results Found		

# **Recommended Management**

### **Management Summary**

### Management

Records Retrieved: 0

Management Category	Management Name	Date Updated		
No Results Found				

# Report/Study

## **Heritage Studies**

**Records Retrieved: 0** 

Report/Study Name	Report/Study Code	Report/Study Type	Report/Stud y Year	Organisation	Author
No Results Found					

## **Reference & Internet Links**

### References

**Records Retrieved: 0** 

Туре	Author	Year	Title	Link	
No Results Found					

### **Data Source**

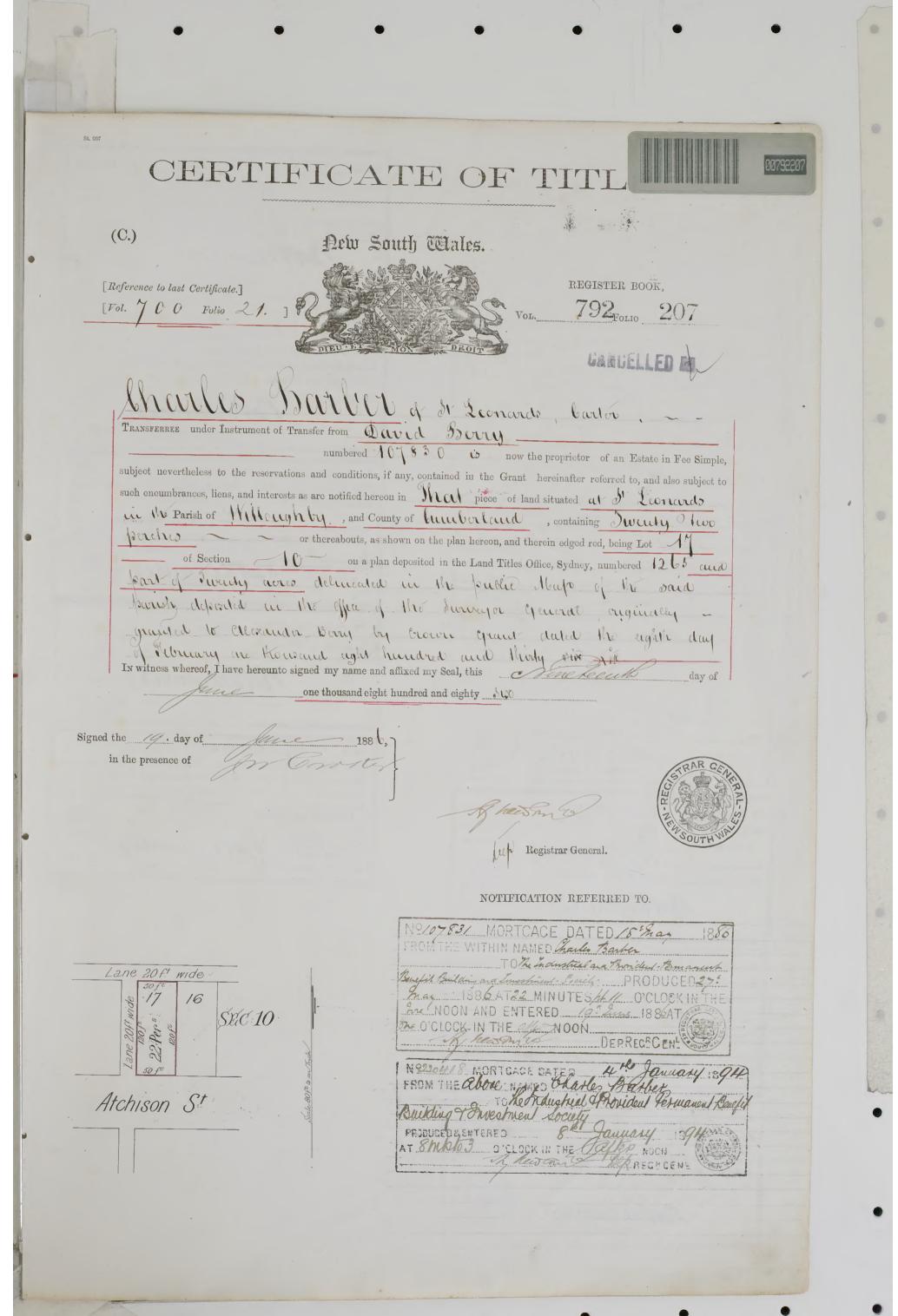
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Data Source Record Owner Heritage Item ID

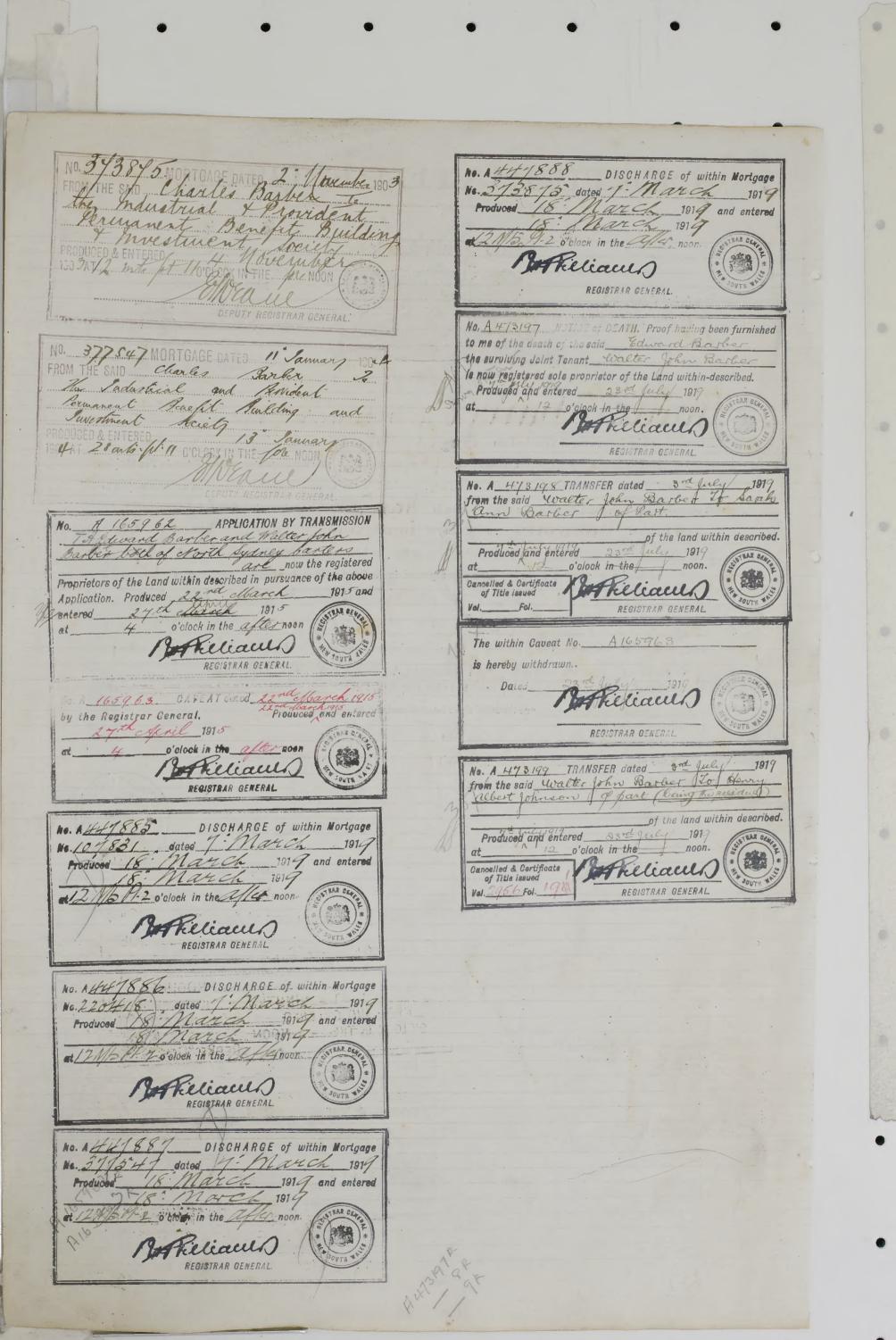
Local Government North Sydney Council 2186345

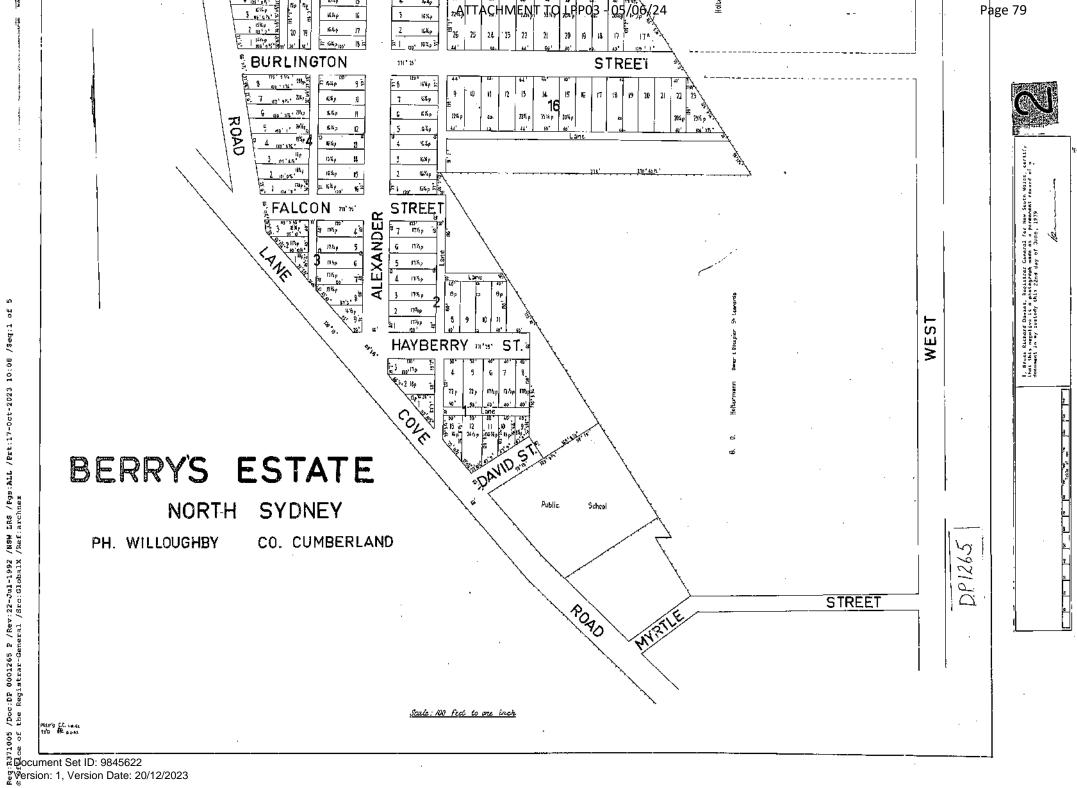
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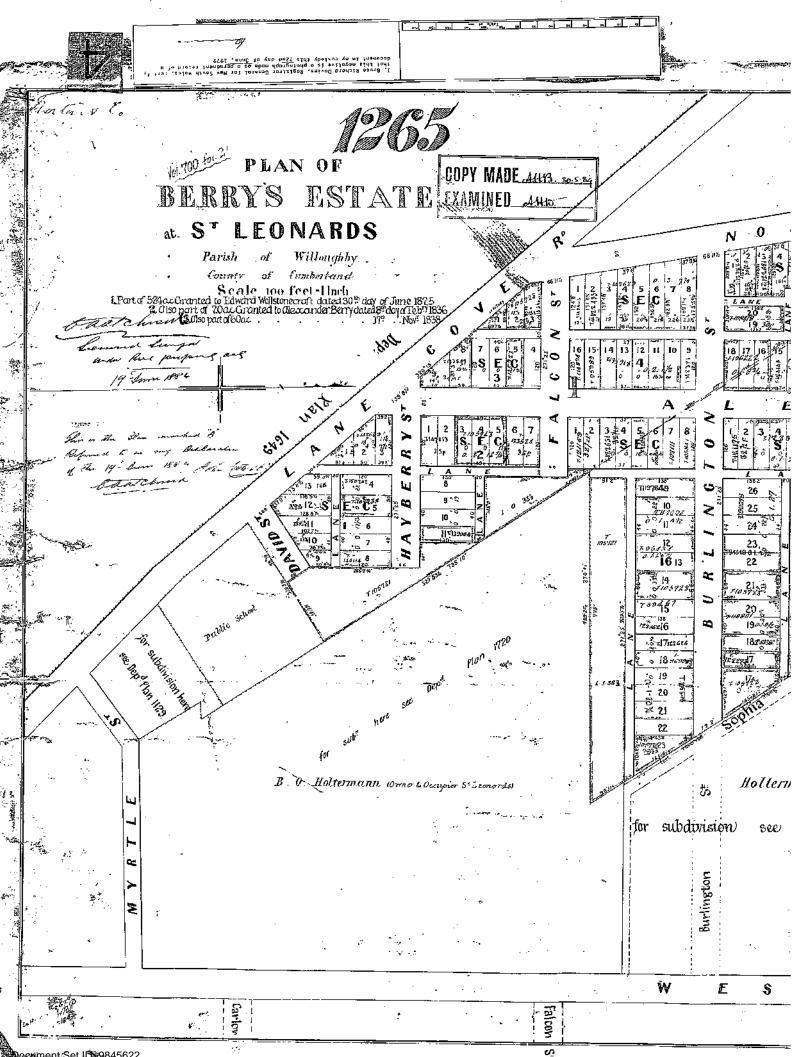
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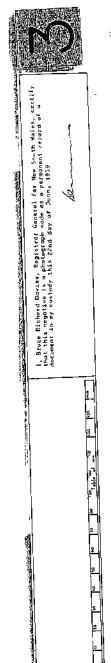
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126	-6	1/2	36,57
127	1	1/4	38.74
127 127	1 2	3/8	36.75 36.77
127	6		36,86
127 128	8	1/2 1/2	38.925 39.025
128	1	3/4	39.D6
128 129	3	1/2	39,09 39.105
128	ō	1/4	39,225
128 129	10 1	1/2	39.28 39.345
129	5	1/2	39.46
129 129	7	1/2	39.495
129	ģ	3/4	39,51 39,565
130	-		89.625
130 130	0 7	1/2 1/2	39.635 39.815
130	11		39,905
131 131	0	1/4 5/8	39,935 39,945
131	2		39.995
131 131	3 6	3/4 1/2	40.025 40,095
135	4	1/4	41,255
135 136	Б 8	3/4	41.32
137	4	1/2	41.655 41,87
137	В	1/4	41,965
137 138	8	1/2	41,975 42,06
138	2		42,115
138 139	8	1/2	42,175 42,685
143	В	3/4	43.81
144 150	0 1	3/4	43.91 45.745
150	6	1/4	45.BB
153 156	8	1/2 1/4	46.85 47.68
162	9	1/2	49.62
165 165	6	1/4	50,45
165	8	1/4	50,5 50,51
165	11		50.57
166 166	1 2	1/4	50.62 50.65
166	4	1/4	50,7
166	8	1/4	50,76
166 166	1,0	1/4	50.81 50.86
167	U	1/4	50.91
167 167	2	1/4 1/4	50,96 51,01
169	1,	3/4	51.56
170 173	11	3/4 1/4	51.64 53.02
175	5	3/4	55,49
176	1	1/2	53,68

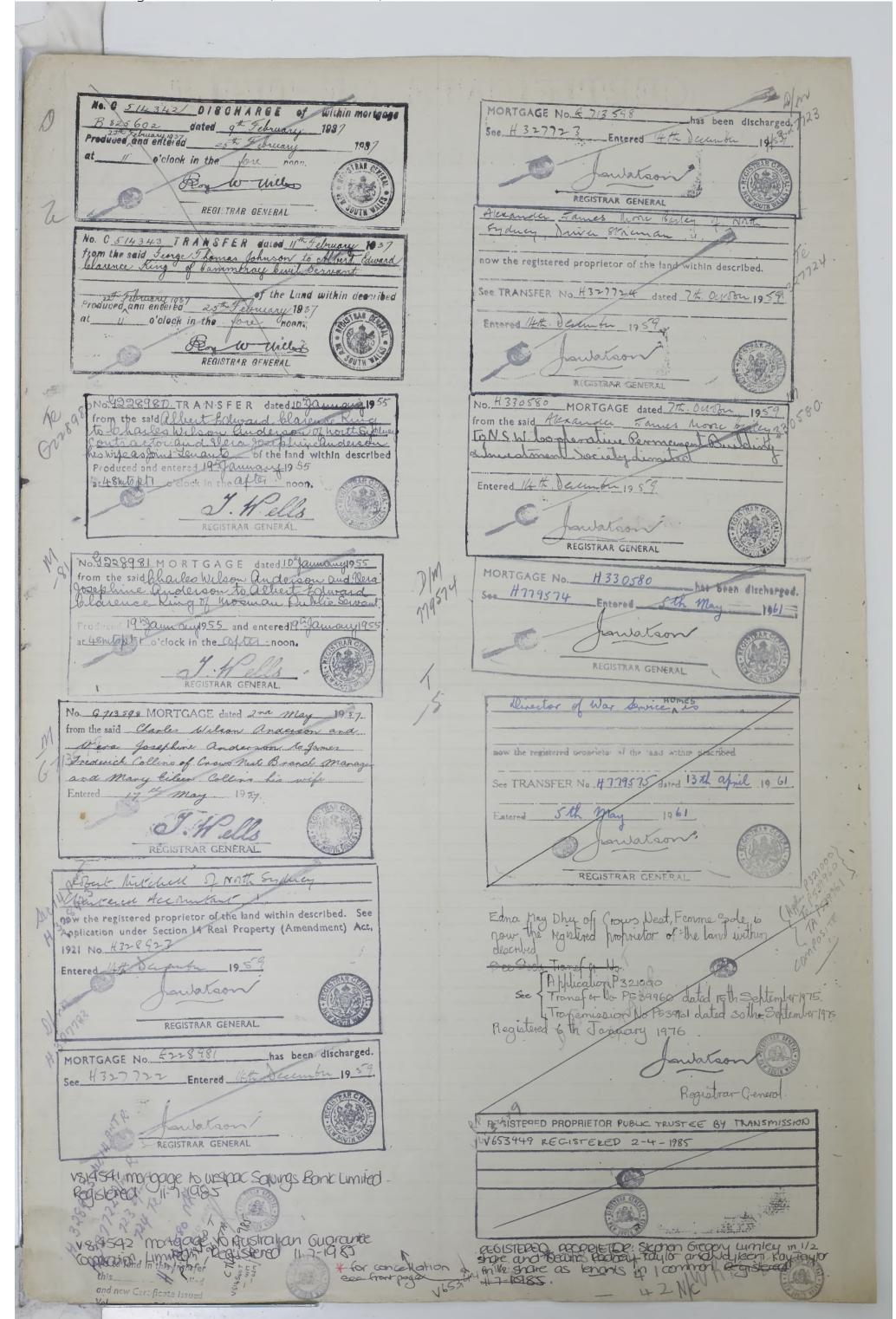
JP 126	5 CONTI	NUED .
FEET	INCHES	METRES
179	3 3/4	54.65
180 181	0 3/4 9 3/4	54.8 <b>8</b> 55,42
188	6 3/4	55.99
185 186	7 1/4 6 3/4	56,57 56,86
186	7 1/4	56,88
188 188	4 1/4 4 1/2	57,41 57,42
190	1 1/2	57.93
191 193	1 1/2 10 1/2 7 3/4	58,48 59,02
195	4 3/4	59.56
196 197	1 3/4	59.74 60.09
198	10 3/4	60.62
50S 500	7 3/4 5	61,16 61,7
204	3 1/4	62,26
256 375	5 3/4 3 1/4	78.17 114,38
486	4 3/4	148,86
488 735	5 10	148,87
778	-	224,28 237,13
629	7 1/2	252,97
AC	RD P	SA M
-	- 1 3/4 - 4 1/4	44.3 107.5
-	- 6 1/4	158.1
-	- 7 3/4 - 9 1/4	196 234
	- 11 1/2	290.9
-	- 12	303.5
-	- 12 1/2 - 12 3/4	316.2 322.5
-	- 15 - 13 1/2	328.8 341.5
-	- 13 1/2 - 13 3/4	247.A
-	- 14 1/2 - 14 3/4	366,7
-	- 15	379.4
-	- 15 1/2	392
- :	- 15 3/4 - 16	398.4 404.7
-	- 16 1/4	411
-	- 16 1/2 - 16 3/4	417.3 425.7
-	- 17	430
-	- 17 1/4	436.3
-	- 17 1/4 - 17 1/2 - 17 3/4 - 18	448.9
-	- 18 - 18.2	455.3 460.3
-	- 18 1/4	461.6
-	- 18 1/2 - 18 3/4	467.9 474.2
	- 19	480.6
-	- 19 1/4 - 19 3/4 - 20	486.9 499.5
-	- 20	505.9
-	- 20.2 - 20 1/4	51n.9 512.2
		518,5
-	- 20 3/4	524.8 531.1
-	- 21 - 21 1/2	543,6
-	- 21 3/4 - 22	550,3
_	- 22 - 22 1/4	556,4 562.8
_	- 22 1/2 - 23 1/2	569.1
	- 20 1/2 - 20 3/4 - 21 1/2 - 21 3/4 - 22 1/4 - 22 1/2 - 23 1/2 - 24 1/4 - 24 1/4	594.4 607

D٩	126	5	CONT	INUÉD
	AC I	RQ 1	,	SQ M
	-	- 25		657.6
	-	- 26 - 26	1/4 1/2	663.9 670.3
		- 27	1/2	682.9
		- 27	1/2	695.6
			3/4	.701.9
		- 28 - 28	1/4	708,2 714.5
		- 28		720.8
			3/4	727.2
		- 29 - 29	1/4	733.5 739.6
		- 29		746.1
		- 30		758.8
	-	- 32 - 32	1/2	809.4 822
			1/4	841
		- 33	3/4	853.6
		12 19		1062
			,2	1239 2028
		2 2	•-	2074



Version: 1, Version Date: 20/12/2023

# OF CERMFICANE (C.)New South Wales. REGISTER BOOK, [Reference to last berlificate) -2956 Folio 191 Vol. [Vol. 792 - Folio 207. -Val 15369 Fal 50 dared 22.8.1985 Vide V814542. Henry Albert Johnson, of Houlstone Pork Tramway Employee, Transfere under Instrument of Transfer from Walter John Barber No A 473 199 is now the proprietor of an Estate in fee simple subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in \_\_\_\_\_\_\_ That piece of land situated in the Murucipality of North Sydney, Parish of Willoughby \_\_\_\_, and Country of bumberland containing Olever perches or thereabouts as shown in the Plan hereon and therein edged red being part of Lot 17 of Section 10 in a Plan deposited in the Land Titles Office Sydney 1. 1265 and also shown in Plan annexed to Instrument of Transfer No A 473198 and being also part of Twenty acres ( Portion 127 of Parish) delineated in the Public Map of the said Parish in the Department of Lands originally granted to Alexander Berry by brown Grant dated the Eighth day of February one thousand eight hundred and thirty six. In witness whercof, I have hereunto signed my name and affixed my Seal, this. fluishiello day of one thousand nine hundred and nine hundred. Signed the day of July 191 9, . A Keliacus in the presence of . Deputy Registrar General. THE LAND WATERN DESCRIBED IS NOW <u>Diagram</u> LOT B IN DP964617 NOTIFICATION REFERRED TO. 20ft. from the said Hoswy albert Johnson SEC. 10 of the land within described Produced and entered 17 May plociock in the REGISTRAR GENERAL. No. B 825602MORTGAGE dated to the from the said Atchison Sŧ Produced and entered 23 denny at 39 milyty clock in the 4.5 REGISTRAR BENERAL SCALE: 50 ft, to one inch 193.A.



Document Set ID: 9845622 Version: 1, Version Date: 20/12/2023

te: 20/12/2023





# NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

FOLIO: B/964617

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First Title(s): SEE PRIOR TITLE(S)
Prior Title(s): VOL 15369 FOL 50

Recorded	Number	Type of Instrument	C.T. Issue
29/7/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
28/9/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
30/6/1994 30/6/1994	U396288 U396289	DISCHARGE OF MORTGAGE MORTGAGE	EDITION 1
28/5/1999 28/5/1999 28/5/1999	5860797 5860798 5860799	DISCHARGE OF MORTGAGE TRANSFER MORTGAGE	EDITION 2
3/3/2004 3/3/2004	AA465419 AA465420	DISCHARGE OF MORTGAGE TRANSFER	EDITION 3
24/11/2022	AS659716	TRANSFER	EDITION 4

\*\*\* END OF SEARCH \*\*\*

archnex

PRINTED ON 17/10/2023

Obtained from NSW LRS on 17 October 2023 08:41 AM AEST

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Lane Cove roud to common Philps Robert F., fruit grower Kernshan Edward, fruit grower Billington Arthur

Billington Sydnoy Ferns Edwin

Trevitt William, builder Denson John, fruit grower Ilay Frederick, fruit grower Trevitt's road

Lans Cave road to common Dorthwick James, fruit grower Durrows William, Jersey valo' Stophouson Gartholomew, fruit grower Turner Henry, fruit grower grower

Gunge Otto
Rottenbury William R.
Goulding Henry
Balley Mrs. Oleba to Church street Turnor street

Bost James, farmer Best Alfred, farmer Phare Aaren, farmer

Terry to lividge road

Small's lapo

Little Church to Glede street Thompson William, dairy keepor Kolls James

St. Ann's stroot

Adams George, wheelwright Adams William, blacksmith

Torry's road

Twin road

Lane Core rood to common Kottey William, fruit grower Houry, fruit grower Hoard Houry, fruit grower Billington Robert, furmer Hicks James, pastor, (B.C.) Hicks James, fruit grower Taylor James, fruit grower

North to Lane Cove road Japp Honry, fruit grower Roughley Miss Bost James, fruit grower

Allen Mrs., 'Diana' Victoria grove Of Report street

North to Bridge road Watt's lane

Vickers William W., fruit grower Jurd John, fruit grower Ilamphleys John, fruit grower Lovell Henry, fruit grower Dailey George, fruit grower

Twin to Cox road Wlok's road

Munday Arthur Hleks Jabez, fruit grower Baker Gilbert

St. Ann to Parket street William street

Sims Henry O'Toole Michael, contractor Wicks Mrs. A, storckeeper farding Joseph

# LEONARDS.

Bounded on north by part of the municipality of North Willoughby, divided by a creek ranning into Long Bay, commoncing above Chandes street; thoneo by Middlo harbour; thereo by Eradloy's head and Mossman's bay; through Thrupp's grant to Newtan' bay, and finishing at the north-cast corner of Alfred and MoLzen' streets; thence along Afred street on western side to Newtan' bay, and finishing at the north-cast corner of Alfred and MoLzen' streets; thence along Berry street on north-cru side to Walker street; thence thence Willey street to Mount street; thence by Mount street to Edward street; thence by Edward street to Felly street and Bank street; from Bank street following creek to head of Blace bay; thence Works bay to Berry's property to Chandes street.

Define the Council mosts first and third Threshays in cost mosts at 7.30 p.m.

Office hours—Dally, from 11 a.m. to 3 p.m., and on Mondays, 7 p.m. to 9 p.m.; Saturday, from 11 a.m. to 1 p.m.

ALDERMEN—Andrew Armstrong, J.P.
John Armstrone B. Jenkins

W. Barnett Smith
Ikolsynak Of Bintin, Draths and Maidlanes.

J. W. Guise, Miller street, St. Leonards

J. W. Guise, Miller street, St. Leonards COUNCIL CLERK-

ohn Armstrong Hen Douglas Bell

J. Hagan William Massey

G. E. Dlue INSPECTOR OF NUISANONS-

Albany stroot

Aloxander street—North side Lane Cove road to Chandos street

Of North Sydney road

Bouth side
Boner Joseph, 'Marlow cottage'
Moore Edward, brickinger
Mackenzie John, marine eurycyor Parsonago Griffith, 'Netherelift Parker William Nash George Modral William, painter

Burlington street—Ernest street—Holter man street –

Lipscombo Richard, builder Oridiand Charles, engineer Albany street—Atchion street—Chandos Goodmere Thomas, painter
Atchien street

Anderson James, 'Oakdale'
Ducharan James, schoolmassor
Bolomons Lowis, 'Irono termoo'
Hopkins William O., 'Irono'
Purkis H. H., 'Granley' Albert stroot-East side Serious to Berry street

cottage of the control of the contro olin, draftsman, Conland

Thompson William F., Collingbourns William F., Collingbourns William F., Collingbourns H. Arthur Frederick, fuel merchant Federa effect—Ridge arect—St. Leonard's Falcon Mrs. Mary, Glourock W. Eaton Mrs. Mary, 'Glenrock' Eaton George, builder, 'Glenrock'

Fell Mrs. Ellen, 'Branxholm brae' Manufleg W. A., solicitot, 'Denkon house' Manufleg W. A., solicitot, 'Denkon house' Mingrave Joseph, 'Deloration' Molineaux Doulton, 'Glenrock,'

Alma street

Parsons Thomas II., builder and contractor lose Alexander, olerk Amherst street-West side West to Bolleview street Of Milliary road

East side
[Abbott J. P., ALLA., solicitor, 'Tarella Wiseman Frederick, carpanter Heron William, clork
Sleeman Office. Sicemai Oliver, farmer

Off North Sydney road Whittaker Josiah Atchison street

ST. LEONARDS.

THE WONDER OF AUSTRALIA

Αve

Huntington Mrs. Worder Ambrose, farmor Wright Mrs.

Brown Sommers, accountant Cowles Charles, 'Myaguh' Flow Thomas, contractor Creswick Charles R.

Soott Peter DIAUT ALOG Bank street

MoNaught Alexandor, brioklayer Hardy John W., painter Smith William, clerk Montgomery William, builder (For remainder tes Victoria)

Lane Cove road to Berry's bay Clarko Mordaunt W. S., 'Branthwalt Bay road - North side Bouth side

Donovan Joseph

Darnoy Goorge H., chief is distilleries, Toongahra Old Mrs., Waverton Edward street chief inspector

Torpodo štore—William Proctor, caretakor Bay stroot buy atroot buy

Bayview stroot

School of arts Warren John, warchouseman, 'Vandyko Indham Mrs., 'The Nest '

Ball George, entpenter Ben Boyd to Waters road Bolgravo stroot Sunday sohool bali

Bollovuo street Rosalina street to Ernest street Willett Charles, briokiusur Howarth Frank

Bon Boyd road

Greathead Stephen, painter
MoDermot, Joseph, elerk
Modermot, Joseph, elerk
Hilling youd—Yee street
Eremar George, carter
Ast Hev. G. North, M.A., (O.E.)
Macanlay William, grocer
Macdermott F. B., 'Yurranmie' Boundary to Long buy Chatfloid Charles, clerk Suth-rland direct Relyrave street

Wobster S. L., house and had agent Cawto Thomas, teacher of drawing Fry Watter R.

Davis Alexander Jackson Robert, stanemasen Reynolds Thomas, quarryman Baldwin Pearce, surgeon Public school-Thomas Stafford,

Boundary

Avenue road Military road to Mosman's day Hoal — O'Hara James, bootmaker Alfred to Fulcon street Bent street

Cunningham Samnel, tailor
Hall George 'Whitby wils'
Fell John F. W., 'Yatta,'
'Morgan George D., builder
Ward Alfred, earpenter
Basthan C. W., printer
Tok Wellien Robinson Robert, engineer Alfred street

Alfred to Educard street
Langley W. E., journalie, 'The Place'
Harriott Thomas W., 'Naranga'
Wildridge John, 'Draband'
Wolker street
Moore James B., 'Geneamha'
Dray Mrs. Maria, 'Metrycola'
Nortle Mrs. Jessie, 'Tolarab' Berry street-North side

Raton Andrew, builder Heather Thomas A., warebouseman Exton Frethers, continuous and builders Yates Mrs. C., laundress

Stavene John, timbor morolant

Lane Core road—Edward dreet

Alimey Charles
Reuson Willam, H.M.C., 'Piorencovilto'
Rouson Willam, B.M.C., 'Piorencovilto'
Godwin Jamos, plumber
Wapter street—Lune Core road Howard Mrs. V.
Wheeler William G.
Wyatt James, clerk tryce John, comstable

liarko Janies W., earjointor Skewee Hichard, grocer Taylor Charles, carpenter Taylor and Ingrau, buildors Taylor and West street

nekingham Vincont, stonomason

Mills Mrs. Hill Thomas, blacksmith Hughes Mrs. Maria Moore William E., solloitor, 'Woodblae'
Taylor George, parcol delivery
Scott Jesph H., grocer
Selfe Philip S., valuator Ther Auno, boarding house keeper

Of Milliary road Bond street Haylock John, overseer of berough

street—Little Arthur street

Bradley's Head fortifications—Bombardier Dugald McLachian in charge Quarantino for cattle--J. Struchan, care-Bradley's Head

Ifarnett Richard, 'Buona vista'
Ifarnett Richard, 'Buona vista'
Ifarnett Richard Jun., 'Buena vista'
Muskon Arthur, 'Blekelsy'
Sayers E. M., merohant, 'Eliamatta'
Noblo James, stonemason
Athol gandens—Whiteman Henry, caro-lin
taker Bradley's Head read

Tuckfield William Burlington street-North side street to Land Core road Of Chandon street

Brook street

Erich O. F., joiner Hormann Robert T. Luby Kate Kiniumount T.

Brown William, carpenter Matheson Andrew, outpenter Duncan Jamnes, painter Eason David H., assistant Gregory William, painter Alexander etreet Tunks Arthur F., olork

Kitching C., draper, 'Armbey cottage' Stophenson A. W., 'Burley cottage' Evans illebard, 'Calverley cottage' Dergin —, 'Dudley cottage'
Alexander street

and Cove rous

Lewis John W., carpentar Watt John, carpenter Hay James A., accountant Roberts John U. Thornton George, accountant Young Mrs. W. fenstridge Ernest, painter ngram Joseph, builder

Blue George E., inspector of nuisances and Cammaray Park reserve park ranger

Canrobort street (Mossman's bay

Of Alfred street Overell Thomas, 'Wormsgo' itiddle William, carpenter North side Carlow stroot-South side

Hogan Michael, merchant, "I Sayers W. Raleigh, "Euroka" , 'Frithfield'

Miller to Wast street
Dyer Augustine E., photographer
North Shore Grammar school—E. Preston Henry Austin, principal Oarlow street

Baxter (Icorgo Hamilton John, apholsterer, Bilbster Hansen F. Cranther Enos, gardener Gate Isaac T. cottuge"
Wallace William, stonomason

Murray James, stonomason Camily Frank, salmaker Brightly William, carpenter Hackett Michael Cronshaw Thomas, stonemason Herry's buy to Crow's nest Carr stroot

Reid Mrs. Warmold James W. Warmold Joshua Flat Rock road to West stree Chandos stroot

Document Set ID: 9845622

Alh

ST LEONARDS.

Ran

William stroot

St. Ann to Parkes street Wioks Mrs. A., storekoeper Dunn Georgo, farmer Walters Joseph, blacksmith

Redshaw John, clerk Salvation Army barracks Jupp William Huzlev R.

Winhurn street Of Flaggiaff road John Edwin, teacher Public school Willis Wm jun. Mondol Jacob, fruitgrower

# ST. LEONARDS.

Gazetted a Municipality in 1867.

Bounded on north by part of the municipality of North Willoughby, divided by a creek running into Long bay, commencing above Chandos street; thence by Middle harbour; thence by Bradley's head and Mossman's bay; thence in a line west from Mossman's bay, through Thrupp's grant to Neutral bay, and finishing at the north-east corner of Alfred and Molaren street; thence along Alfred street on western side to Berry street; thence along Berry street on northern side to Walker street; thence Walker street on western side to Mount street; thence by Mount street to Fdward street; thence by Edward street and Bank street; from Bank street following creek to head of Bluo's bay; thence from Blue's bay to Berry's bay; thence from Sugar Works bay to Berry's property to Chandos street.

Council meets first and third Tuesdays in each month at 7,30 p.m.

Office hours-Daily, from 11 a.m. to 3 p.m., and on Mondays, 7 p.m. to 9 p.m.; Saturday, from 11 a.m. to 1 p.m. Council chambers-Miller street. St. Leonards.

MAYOR-

B. Jenkins ALDERMHN-

C. Cowles G. T. Olerke Allan D. Bell

A. Enton J. Hogan P. Punch G. Phillips 17. A. Stophenson J. Hagan

COUNCIL CLERK-

W. Barnett Smith REGISTRAR OF BIRTHS, DEATHS AND MARRIAGES-J. W. Guise, Miller street, St. Leonards Inspector of Nuisances-

BOHOUGH ENGINEER-

Ganis Clarke

Albany street Of North Sydney road

Alexander street-North side Lane Cove road to Chandos street Appendan Lerrace -Parsonnge Griffith, "Netherolift" Eastwood Frederick

Stowart Androw Kale Richard Johnson Houry Parrier Mrs.

South side Bauer Joseph ," Marlow cottage" Coleman Denis Maokenzie John, marine surveyor Burlington street

Jones William Ernest street-Hollerman street Howard John Mathews J. Hunt Charles

Bennett David W. Montgomery H. Goodern Thomas, painter Alchison street

Lipecombo Richard, builder Albany steest-Atchison street-Chandos street

Alfred street-East side

Ernest to Berry street Anderson James, "Oakdale" Buchann James, echoolmaster Solomons Lowis, "Irone terrace" Hayman H. H., "Wyula" Hopkins William O., "Irene" Carlos street Parkis H. H., "Oranley"

Marshall John, draftsman, "Conland cottago' Barnett William J., agent, "Rathwyre"

Nilson Avid, draftsman Falcon street Armstrong John, "Corrimal"

Ernest street Lenahan H. A., "Fernbrook"

West side

Thompson William F., "Collingbourne" Thompson within I., Colombia Massoy Joseph, professor of music Arthur Fredorick, fuel merchant Fulcon street—Ridge street—St. Leonards

Paton Mrs. Mary, "Glenrock" Eaton George, builder, "Glenrock" Fell Mrs. Ellen, "Branxholm brae" Manning W. A., solicitor, "Denison house Musgrave Joseph, "Deloraine" Molineaux Boulton

Alma street

Off Military road

Amhorst street-West side West to Belleviou street

Parsons Thomas II., builder and contractor Ross Alexander, olerk Phillipi 11. W. Yates John C., plastorer

East side

Campbell E. W., merchant, "Lanka cot-Abbett J. P., M.L.A., solicitor, "Tarcila"

Wiseman Frederick, carpenter Heron William, olork Sleeman Oliver, farmer

Arnot street

Off Carlow road

Massey Alfred Gato I. T.

Hansen F.

Atchison street

Off North Sydney road

Whittaker Josiah Barber Charles McIntyro Joseph Huntington Mrs. Worden Ambrose, farmer Wright Mrs. Donnelly Edward Macauloy C. W. Byrne P. J.

Avenue road

Military road to Moseman's bay

Wain E., dairyman Kettlety W., dairyman Brown Sommers, accountant Wilcox O., refreshment rooms Sawyer George Flew Thomas, contractor Creswick Charles R. Church of England

> Bank street Of Relly street

Scott Peter Dow David Hardy John W., painter Smith William, clerk Montgomery William, builder (For remainder see Victoria) ORIGINATORS. PROMULGATORS AND UPHOLDERS OF THE CASH DOWN SYSTEM.

Bay

ST. LEONARDS.

Chn Alexander street 885

Bay road-North side Lane Core road to Berry's bay Clarke Mordaunt W. S., "Branthwaite" Bolton James

South side Donovan Joseph

Educard street Barnoy George H., chief inspector of distilleries, " Toongahra" Old Mrs., "Waverton" Carr street Howard Mrs. V.

> Bay street Bay road to Kerosene bay

Bavviow stroot Mossman's ban

Bladen Themes Gerrard Francis Warren John, warehouseman, " Vandyke ladge

Badbam Mrs., "The Nest" School of Arts Sunday echool hall

Bolgrave street Ren Bond to Waters road Ball George, carpenter

Bolmont road Off Military road Cowles Charles, " Myahgali"

Bollevuo stroot

Rosalind street to Ernest street Willett Charles, bricklayer Howarth Frank

Ben Boyd road

Boundary to Long bay Olatfield Charles, cierk Sutherland street Greathend Stephen, paloter McDermott Joseph, clerk Military road - Yeo street Kreiner George, carter Macanloy William, grocer Macdermott F. S., "Yarmamle" Belgrave street

Moore Thomas Cawte Thomas, teacher of denwing Rover Lewis Watersleigh skating rink

Beattle Mrs. J. Yeo street Public school-Thomas Stafford, head-

master llaldwin Pearce, surgeon Davis Alexander Boundarn

Bont street Alfred to Falcon street Real William O'Hara James, bootmaker Canningham Samuel, tallor Hall George, "Whitby villa" Fell John F. W., "Yatta" Morgan George B., builder Ward Alfred, oarnenter Job William Rebinson Robert, ongineer Shaw James, "Yatala" Alfred street

Berry street-North side Alfred to Edward street Menderson W. B., "The Pines"

Wildridge John, engineer and marine sur veyor, "Bracheod Walker street Moore James B., "Goncinula"

Brny Mrs. Maria, "Merryooia" Norrio Mrs. Jessie, "Telamh" Ward street Faton Andrew, builder Enton Brothers, contractors and builders Yates Mrs. C., laundress Miller street Stevens John, timber merchant. Lane Core road -Edward street South side

Wyatt James, clerk Alimey Charles Hope Mrs., "Florencevillo" Goedwin James, plumber Napier street-Lane Cove road Inderson John Ill Thomas, blacksmith Mills Mrs. Hughes Mrs. Marla Mooney Francis

Wheeler William G.

Crocker and Welch, bakors Miller street Moore William P., selleiter, "Woodbine" Taylor George, parcel delivery Seife Philip S., valuator, " Eddystone "

Hirsch Gustav Mann Edward Treatt F. B.

Walker street-Little Arthur street Perry John Withinms Thomas, solicitor Haylock John, overseer of borough

> Bond street Of Military road

Bradloy's Head Bradley's Head fortifications-Bombadie Dugaid McLachlan in charge Ouarantine for cattle-J. Strackan, caretaker

Bradley's Hoad road Off Military road Harnett Richard, "Buena vista" Harnett Richard, jun., "Buena vista" Muston Arthur, "Blokesley"

Savers E. M., merchant, " Eliamatta" Noble James, stonemason Athol gardens-flenry Whiteman, care- Murray James, stonemason

Brook street

Off Chandos street Burlington street.-North side

West street to Lane Core road Nuss George Blandford William Erich O. P., joiner Skewer William Webster Thomas Bartlett J. Luby Mrs. Kate Kinimount T. Potter Mrs. E. Johnson J. Scott P. Matheson Andrew, carpenter Duncan James, painter Eason David II., assistant Alexander dreet Tunks Arthur F., clerk

Lane Coverond South side

Lane Core road Kitching C., draper, "Armley cottage" Audsley Joseph, "Burley cottage" Evans Richard, "Calverley cottage" Montgomory Robert, " Dudley cottage"

Rock Thomas H. Nicholls Nuthanial Lewis John W., carpenter Watt John, carpenter Hankins William Stuart Henry Smith Sydney, "Hendingly cottage" Councily Edward J. Roberts Jonn U. Hutchison Rev. Honry A., (O.R.) "Limiley cottage" Sutton John H. Lowis Henry Burko James W., carpenter Skewes Richard, grocer Taylor Charles, carpenter Taylor and Ingram builders West street Cammaray Park reserve

Blue George E., inspector of naisances and mek ranger

Canrobort street (Mossman's bay)

Carlow street-South side

Off Alfred street Overell Thomas, "Werange" Riddle William, carpenter North side

Hogan Michael, merchant, "Frithfici !" Sayers W. Raleigh, "Buroka"

Carlow stroot

Miller to West strest Dyer Augustine E., photographer North Shore Grapmar school — E. W. Austin, principal

Bromley Andrew Baxter George Hamilton John, upholeteror, " Hillister

cottage"
Wallaco William, Stenemason

Cárr stroot

Berry's buy to Crow's next Crousliny Thomas, stonemason Canals Frank, sallmaker Brigdale William, carpenter

Chandos street

Flat rock road to West street Barker John Rend Mrs. Warmold James S.

Ingram Henry, painter Webb Herbert Jago Itichard Summers Samuel Henry Robinson George B. O'Hara William A. Low Alfred

Gallagher William

Charles street

Lane Cove road to Napter street Stephenson Arthur O.

Chowder bay

Thompson's Marine hotel-David Thomp-

Church street-East side

McLaren to West street St. Thomas (C.E.)-Rov. Stephen 11. Chlide B.A. vicar

Thomas' (O.E.) school - James Buchanan, master

ACCUMULATED FUNDS, 1st JANUARY, 1888, £17,094,618.

NEW YORK LIFE INSURANCE COMPANY, BOND & GEORGE STREETS, SYDNEY. Version: 1. Version Date: 20/12/2023

ALPHABETICAL.

ALPHABETICAL.

Ban

Ball William, coachbullder, Cook's River rd, St. Peters

Ball William, compositor, 134 Gloncester street Ball William, miner, Camden st, Newtown

Ball William, teacher, 57 Curtis rd, Bal-

Ball William, 92 Rose st, Darlington Ball William, Garden st, Kogarah Ball William II., wharfinger, 102 Oatherine at: Leichbardt

Ball William T., accountant, Ponklyfi st. Rondi Baltam Joseph C., miller, Torry st. St.

Ballam William, off Edgeelifie rd, Wool-

Ballantine Alfred J., painter, Allan st. Marrickville

Ballantine Andrew, watchmaker, 135 Princes at

at filelie Baltantine Henry, accountant, 44 Bogg st, Balmain Rowling Club sheds, White st Paddington

Ballantino James, 240 Palmer at

Ballantyne J. L., bank inspector "Brenda Balmain School of Arts-H. Perdriau, jun., house," Walker st., St. Leonards

Ballard Abraham, 70 Weilington st. Newtown Ballard Alice Mrs., Palmer st. Parramatta

Ballard John, jeweller, 32 Botany rd.

Ballard Thomas H., painter, 70 Pict at Waterloo

Ballhause Henry, 223 Rose st, Darlington Ballhausen Louis A., draftsman, Bayriew Balmain United Friendly Society's dispenst. Rexley

Ballhauzen Otto W., draftsman, Church et, Aghfleld

Ballin J. II., chemist, 154 Woolloomooloo atreet

Ballingall Mrs., 26 Crown st Dalls Charles G., "Claremont," Toothill st,

Petersham istors, Darling st. Bulmain Balls Robert, tallor and clothier, 218 Balmain Working Men's institute. Alex-Caetlereagh at

Balmain Bowling club-Thomas R. Allt president, 166 Darling st, Balmain

BALMAIN BUILDING SOCIETY II. Best, secretary, 271 Darling st, Dalmain

Balmain Carbonated Beverage Co .- J. Swanzy, 27-29 Oxford st, Balmain Balmain!cemetery, Darbyshire rd, Leichhardt

Unlmain Congregational church-Roy, A J. Griffiths, Darling et, Balmain Balmain Corporation baths-James Furgurson, lessee, Glasson st, Balmain

Balmain Cottage hospital-Mrs. Svenson mutron; John Clubb, hon. see., 29 Baty Edward, Short st, Marrickville Booth st, Dalingin

tosh, council clerk, Darling st. Dalmain

Balmain Engineering Co.-Perdrian and Balzer William, Military ed, Bondl West, Adolphus st, Dalmain

Dalmain (Infant school - Miss Perry head mistress, Nicholson at, Balmain

BALMAIN LEADER Newspaper Co. Limited-52 Beattie st, Balmain

Balmain Masonic hali-556-558-660 Dar- Bamfield William, printer, Pile at, Mar- Bank J. B., piano cuner and repairer, 130 ling et, Balmain

BALMAIN OBSERVER-W. E. Macdongall, Bamfield W., printer, 73 Clarenco st

Balmain Oddfellows' hall, 230 Darling st Balmain

Balmain Police court Darling st, Balmain Balmain Post and Telegraph office- Bamford George, "Elba," Westbourne st. Andrew Melville, post and telegraph

master, Darling st. Balmain Balmain Primitive Methodist church-Roy, William Kingdon, 586 Darlingst, Bamford Mrs., Carington st. Concord Haimoin

Balmain Public school-John Waterman, headmaster, Nicholson et, Balmain Balmain Superior Public school, corner

Vincent lane and Elwin st. Balmain Balmain Public school-Philip Nelligen. headmaster; Miss E. Arnold, headadstress, Smith at, Balmain

Balmain Public school-W. Teale, headmaster, 102-104, Birchgrove rd, Bal-

Ballantine Henry, com, traveller, 6 Phillip Balmain Public school-W. G. Thomas headmaster, Darling st, Balmain

Balmain Balmain Salvation Army barracks, 145

secretary, 148 Darling st, Balmain Walker st, fit Balmain Skating Rink and Dramatio Hall Bane —, Park rd Co., Limited - F. Molloy, manager, Dar-Banfield Janet, Marrickville rd, Marrick-Hng et, Dalmain

Balmain Steam Ferry Co., Ltd., foot of Ersking st. (Mort's dock, Bald rock main coal sheds. Mansileld st. Balmain-William S. Thomson, Sec. Ballard Timothy E., butcher, 52 Greek st, Balmain Swimming baths, John Byrne

manager, Nicholson st. Balmain Ballet E. Mrs., 12 Wyndham st, Alexandria Balmalu Temperance hall—Smith care taker. Montagne st. Balinaln

> eary, 70 Beattle st. Balmain Balmain Volunteer Pire Brigade station,

No. 1, James Lowe exptain, 1 Bootl street

Balmain (west end), Volunteer Ffre bri gade, 584 Darling st. Dalmain Bulmain Wesleyan church-llev. G. W. It. Stenbinson and Rev. S. Wright, min-

ander Lewis, reo., 354-6 Darling st. Balmain

Balmula J. H., council clerk for Strathfield, Homebash, rd. Homebash & SAVINGS BANK Limited Balmain William, conclipatnter, Pennant Bank Government Savings, G.P.O., Pittst st, Parramatta

Balmer G. Mrs., grocer, Liberty street, Petersham

Dalmer James MeD., builder and contractor, Sandringham rd., Rockdale Balser Courad, 16 Ryder st

Balshaw Harry, farmer, Belmore st. Ryde Balson Charles, 30 Dowling st, Paddington Balson J. H., tailor, 356 Pitt st Buttle wharf, William Short, lessee, Wharf

atrost Baly Henry P., Crystal at. Petersham Balmain Council chambers-H. B. Macin- Baly S. Byron, stock and share broker, 163

Pitt at ; p.r., " Doongalla," George st. Marrickville

Bainber Richard, Barker st, Randwick Bambury John, 158 Darling st, Balmain

Bande Louis, 83 Cary st, Leichhardt Banitleld Frederick, printer, Little Underwoodet, Paddington

proprietor, 277-275 Darling st, Bal-Bamford Alfred, 41 Carlislo et, Leichhurdt Bamford Charles, 9 William st, Redfern Bamford Frederick, Allanst, Marrickville Bamford George, boothinfaher, 68 Bullanaming st, Redfern

Petersbam Bamford John, boilermaker, 3 Roschill st.

Redfern

Bamfort John, Judd st, Hockdale Bampton Arthur H., gardener, 204 Riley street

Bampton Thomas, grocer, 100 Missenden rd, Camperdown Banbury John, etonemason, 27 Helmore st

Banbury John H., bricklayer, James st Leichhurdt

Banbury Sidney G., 7 Barker's lane

Bancroft Edward, horsetrainer, Rac st, Rundwick llancroft H. W. Mrs., stationer, 3 Wolls st

Redfern Bancroft John, hairdresser, 397 Crown st Baneroft Samuel, printer, Cameron et.

Rockdale Bandergoten Edward J., gardener, 140 Walker st, fledfern

Banfield John, engineer, 31 Railway placo and Leichhardt), Waterview st. Bal-Banfield John F., commission agent, 17 Gibbon st, Camperdown

Banfleki Joseph, skipwright, Pyrmont st Bandeld M. Mrs., Old Canterbury rd, Summer Hill

Banfield William, compositor, 30 Phillip st. Balanain Bangel Frederick, hawker, Allen et, Lelch

loredt Banister Joseph, master mariner, Murray street

Bank of Australasia - Ames Hellicar. manager; head office, 259 George st. corner Junicson st; office of inspector, Jamieson st. Branches at 557 George st; 142 Pitt st, corner King st; Forest ad, Hurstville; Rocky Point rd, Kogarali; Parramatta rd, Leichhardt; Marrickville rd. Marrickville; Australia st and King st north, Newtown ; Crystal st, Petersham : Cook's Itiver rd, St. Peters

BANK OF NEW SOUTH WALES -George Miller, general manager, 345 George st and Wynyard st. Branches at 491 George st ; 665 George st: 821 George st; 160a Sussex st; 111 William st; 234 Darling st, Balmain: Weston st. Balmain: Burwood rd. Burwood : 188 King at north. Newtown: Church st. Parramatta: Church and Glebosts, Ryde; Miller st, Victoria; Carrington rd, Waverley -(See advts.)

BANK OF NEW ZEALAND.-N. F. Giblin, manager, 02 Pitt st. Branch, 538 George st-(See advertisement opposite preface and at the end of poor!

Balmain Fuel Co.—George II. Pardriau, Bamberough Mathew, 88 Reschill st, Red-BANK OF NORTH QUEENS-tnamager, Adolphus st, Balmain fern son, manager. Temporary offices, 80 Pitt et, (new premises in course of erection, Queensland Chambers, Bridge st,—(See advt.)

Bankruptey court—His Honor George H., Baptist J. Mrs., 38 Goodhope st, Padding- Barden Jessie, 2 Parkes st. Camperdown Deffel, chief judge in bankruptcy;
Arthur Henry, registrar; Honry J. Bantist John T., Buptist at, Redfern
Graville, chief clerk, Macquarle at
Banks Meadow Public school —W. Kelllok,
Baptist Patrick, Spring at, St. Leonards
Banks Meadow Public school —W. Kellok,
Baptiste J., hairdresser, 465 Klug at, South

Ban

headmaster, Stephen rd, Botuny Banks Charles J., builder Orpington st, Ashfield

Banks Frederick A., painter, 104 Glebe rd, Barber Alfred, decorator, Brown st. New

Globe Banks George, 70 Elizabeth st. Waterloo Banks (leorge, Herbert st, Summer Hill linnks Isanc, contractor, 51 Hanover st. Barber Edward, Oak st. St. Leonards Waterloo

st : p.r. 5 Clifton at, Balmain

Banks James, master mariner, Prazer rd. Petersham Banks John, Edgeware rd, Newtown Banks John S., "The Oaks," Metropolitan

rd, Newtown Banks Joseph, 72 Kingseloar rd, Alex-

Banks M. A. Mrs., confectioner, 181 King. st north, Newtown

school, Riley and Collins ets, Surry Banks Mrs., 18 O'Connell st, Nowtown

Bunks R. A., 18 Campbell at, Glebe Banka Richard, boat proprietor, 129 New South flead rd, Paddington Banka Richard, mariner, 4 Elger st, Globe

Banks Robert II., 81 Bayswater rd Banks Silas A. II., miner, 56 Foster st Banks Smith II., solicitor, 18 Barrack st Banks Thomus, pianoforto tuner, 4 Wallaco st. Halmain Banks Walter, baker, 155 Rose st, Darling-

ton Danks William, Kogarah rd, Kogarah Banks William, Robert st, Ashfield Banks William D., treasurer, Bullders' Exchange, 266 Pitt st; p. r., 1-3

Derwent at, Porest Lodgo Banks William J., draftsman, 11 Bridge st Banks William J., butcher, Church st, Barber Daniel, butcher, Crescent st, Bal Parramatta

Bannan Joseph, 9 Ann st
Bannan Bann

Alexandria Atexandria Banner Mrs., 2 Terry's place Banner S, A. Miss, Mitchell rd, Alexandria Valo, et Banner Samuel, "Bonnyrigg," Yule st.

Petersham Banner William, Fairmount st. Petersham Bannerman George, Albert st, Macclonald Town

Bannerman William, 14 Little Upton st Bannerman William, 25 Elizabeth st, Red-Bannim J. Mrs., 62 Roschill st. Redfern

Bannin Poter " Clifton," Point Piper rd Woollahm Banning Arthur, 2 Young at

Banning John, 9 Nobbs at Banning L. Miss, costumier, 722 George st Bannister E. Mrs., 17 Irving st Bannister James, D'Aroy at, Granville Bannister R. D., 6 Viotoria st Bannister Thomas, cab proprietor, 27 Rose

strect Bannister William, auctioner. Dowling at Barden Charles, butcher, Campbell at Bannon James, tailor, Little Underwood Tempo st, Paddington Bantia M. Mrs., 11 Talfourd st. globe

Banyard Charles, Phillip st, Parramatta Baoan Phinus, master mariner, 10 Miller

prot

Newtown

Baragry Dennis, baker, 160 Cumberland st Barbat Pelix, Hansard st, Waterloo Banka Edward, schoolmaster, Oatley rd, Barber R, and Go, Croydon boot mart, Paddington

> town Barber Charles, 3 Railway place

Barber Charles, Atchison st, St, Leonard Barber Edwin, hatter, 10 Wise st, Balmair Banks James M., marino surveyor, 46 Pitt Barber F. Mrs., Wontworth st., Parramatta Bardon J. Miss, dressmaker, 17 Church st., Barber Fraucis I., "Meaford," Gower st

Summer Hill Barber Frederick, storekeeper, Sydney rd Granville

Barber George, bootmaker, 53 Mary st Barber George, 174 Darlingharst rd Barber George, Talfourd lanc, Olebe Barber George, Talfourd lane, Clebe
Barber J. S., painter, Parramatta rd, ConBardsley George, Prosper st, Balmain
Barber J. S., painter, Parramatta rd, Concord

Barber John, carpenter, Elsio st, Rurwood Bardsley James, public schoolmaster Re-Banks Miss, principal Riley at Public Barber John, greengrocer, 77 Aborcrombio

Barber John storekeeper, 137 Crown st Barber John, Thomas st, Victoria Bardsley John, Cavendish et, Petersham Barber John T., cordialmaker 89 Pitt st, Bardsley Robert, Toogood st, Macdonald-Redfern

Barber Richard. Madeline st. Hunter's Bardsley William, schoolteacher, Pyrmont 11111 Harber Silas, gardener, Liverpool rd

Stratbfield Barber Thomas, George st, Parramatta Barber Thomas R., auctioneer, Pennant st, Barif Henry E., M.A., rogistrar Sydney Parramatta Barber Walter, William at, Victoria

Barber William, mason, King et, North Newtown Barber William, Chapel st, Marrickville

Barber William, Kingeland ed, Rookwood Barber William J., saddler, Sydney rd Prospect

main

at Alexandria Barchitleld Peter, grocer, 19 Waterloo st

BAROLAY A. H., land & mining agent and stock and sharebroker, Post Office chambers, 114 Pht st; p.r., "Tranby," Mansileld st. Globe Point Barelny Henry, manager Paving Co., 180

Barolay John, 147 Bonrke st Barclay John, Parramatta rd, Rookwood Barclay Itoliert, Wharf rd, Concord Barclay Sarah Ann, 12 Lambert st, Camnerdown

Barciny W. J., dairy keeper, 20 Ircdale st, Newtown Barclay William, 2 The Avenue, Camper-

down

chambers, 60 Hunter st; p.r., Arcadia st, Hurstville

Barden Charies, produce merchant, En-more rd and Marian st, Newtown Barden 13.. Highbury Barn hotel, Forest rd,

Rockdale Barden Frederick, Queen at, Rockdale Baptist barial ground, Western rd, Pros- Barden J. T., butcher, Cook's River rd St. Potore

198UES NON-FORFEITING FREE TONTINE POLICIES.

Barden Margaret, Cook's lilver road, St. Peters Barden Spencer, sen., Cottage of Content

Barden Speacer Jun., produce merchant, Cook's liver road, St. Peters

Barden Wright, dairyman, Middle Harbour rd, Manly

Bardhurst P. H., manager bank of Austrainsla, (branch) Marrickvitle road, Marrickville

Bardon James & Sons, bootmakers, Avoca st. Randwick

Bardon Frederick, Wollongong rd, Ruck-

Halmnin Bardon James, bootmaker, Lingard st, Itandwick

BARDSLEY JOHN AND CO., wholesale grocers, 93 Bathurst st

street

gent st, Kogarah Bardsley John, meter reader, Smith et, Summer Hill

town

Bridge rd, Glebo Bardwell William If., grocer, 41 Mary st

Bare William II., 21 Bourko st Baret Henry, 8 Mill st

University, Newtown rd, Camper-down; p.r., 6 Toxteth st, Glebe Barff S. G., Devonshire st, Burwood Barford D. Mrs., Sydonham rd, Marrickwilln

Barford Henry, Austral at, Rockdale Barford James, dairykeeper, Rocky Point road. Dockdale

Bargarey Deuis, 65 Wellington 61, Water-

Bargh Thomas, stationer, Birrell st; Barhum Edward, Park avenue, Five Dock Baring and Co., Loan and Discount Bank

-A. N. Jonsen, manager, 86 Elizabeth ntreet Bark Frederick, blacksmith, Globe et.

Ryde Bark William, Toogood at Macdonald-

Bark William, North rd, Ryde Barkas and Asher, chemists, 384 Oxford st.

Paddington, and Ocean st, Wooliahra Barkas W. J., surgeon, "Warialda," Elizabeth st, Paddington Barkell Thomas, Old South Head rd,

Woolighra Barker and Elsworth, Victoria Livery stables, 23 Bligh st; Brougham st; and at Arthur at, Paddington

Barden Alfred, woolbroker, Norwich Barker A. Mrs., "Harbour View," Cooper

st, St. Loonards Barker Alexauder, 6 Alms at, Darlington Barker B, Mrs., 411 Liverpool at

Barker Charles, brassmoulder, 14 Norman strect Barker C. E., tea merchant 176 Clarence

street Barker Edwin G., flour and produce merchant, 141 York at; p.r. "Lianillo," Trainigar terrace, Petersham

Barker E.iza, 63 Thomas st, Camperdown

NEW YORK LIFE INSURANCE COMPANY, BOND & GEORGE STREETS, SYDNEY. Document Set ID: 9845622

rickville

Version: 1. Version Date: 20/12/2023

hotel, Cook's River rd, St. Peters

# ST. LEONARDS.

Gazotted a Municipality in 1867.

Bounded on north by part of the municipality of North Willoughby, divided by a creek running into Long bay, commencing above Chandes street; thence by Middle harbour; thence by Bradley's head and Messman's bay; thence in a line west from Mossman's hay, through Thrupp's grant to Noutral bay, and fluishing at the north-east corner of Alfred and McLaren streets; thence along Alfred street on western side to Borry street; thence Borry street on northern side to Walker street; thence Walker street to Edward street; thence by Mount street; thence by Mount street to Edward street; thence by Edward street to Roilly street and Bank street; from Bank street following creek to head of Blue's bay; thence from Blue's bay to Berry's bay; thence from Sugar Works bay to Berry's property to Chandes street.

Council mosts first and third Tuesdays in each month at 7.30 p.m.

Office hours-Daily, from 11 a.m. to 3 p.m., and on Mondays, 7 p.m. to 0 p.m.; Saturdays, from 11 a.m. to 1 p.m. Council chambers-Miller street, St. Leonards.

F. Punch

O. T. Clarko A. Enton G. Phillips

II. A. Stophenson J. Hagan

G. M. Robinson J. Jago

J. Qainford

COUNCIL CLERK-

W. Barnett Smith REGISTRAR OF BIRTHS, DEATHS, AND MARRIAGES— J. W. Guise, Miller street, St. Leonards BOROUGH ENGINEER-

Gains Clarks

INSPRCTOR OF NUISANCES AND PARKS RANGER-John Parkinson

Albany street Off North Sydney road

MAYOR-

ALDERMEN-

Alexander street-North side Lane Cove road to Chandos street Richards S., cordial manufacturer Falcon street Parsonage Griffiths, 'Notherclift' Hogarth John, stonomason Swan Alexander, stonemason Swan Alexandry
Hensby Henry
Burlington street

Johnson Henry, carpenter Ernest street—Holtermann street Riddison John, stonemason
Albany street—Atchison street—Chandos Mreed

South side Chandor street

Lipscombe Richard Coousn John

Atchison street Goodere Thomas Montgomory William

Hollermann street—Ernest street Rummans Henry Davidson James Hunt Charles Jones W. A. Bergmann George

Howard John Bell Walter McEwon Edward J.

Burlington street McCarthy Mrs. McRonald Douald

Bauer Joseph Macourt James S., constable Falcon street-Lane Cove road

Alfred street-East side Ernest to Berry street Buchanan James, schoolmaster Solomons Lewis, 'Ireno termeo Hayman H. H., 'Wynla'

Carlon street Purkle II. II., 'Cranley' Marshall John, draughtsman Nelson Avid, draughtsman

Frilcon street

Fraction street

Fraction for the first to Palmer street

Austen A. W., North Sydney grammar Chapman Frederick, salmaker

school
Carcy Miss, storekeeper
Armetrong John, 'Corrimal'

West side Thompson William F., 'Collingbourne' Massoy Joseph, professor of music Arthur Frederick, fuel merchant Jackson —, architect Sharp A.

Sharp A.
Fulcon street—Ridge street—St. Leonards
park

Eaton Mrs. Mary, 'Glenrock'

Eaton George, builder, 'Gienrock'

Fell Mrs. Ellen, 'Branxholm brae'

Manning W. A., solicitor, 'Denison house' Musgrave Joseph, 'Deloraine ' Molineaux Boulton Weitzel E. R.

> Alma street Off Military road

Amhurst street-North side West to Believe street 1 Parsons Thomas H., builder and contractor

South side Abbott J. P., M.L.A., solicitor, 'Tarcila'

Haron William Sleeman Oliver, dray proprietor Campbell William Miller street

Arnot steest-East Side Off Carlow street Haddock George Hansen F. Massey Alfred

Gato J. T.

Armstrong street Jenkin to Palmer street Duncan James, painter Young George, stonemason

West side

Atobison street-North side Of North Sydney road Byrne P. J.

Montrose Mrs. M. Gunning Michael Donnelly Edward Alexander street Barber Charles

McIntyre Joseph Anderson G. G., surveyor Vorden Ambrose, farmer South side

Stewart R. A. Robertson George B. Crisp -

Avonue road

Military road to Mossman's bay Wain E., dairykeeper, 'Laurievillo Kettety W., dairykeeper Baker William Wilcox C., refreshment rooms Brown Summers, accountant Flow Thomas, contractor

> Bank street Of Rielly street

Short William Fleming William Duncan William Frus William Hardy John W., paluter Cosper Ephralm Montgomery William, builder Townsend Alfred (For remainder see Victoria THE BEST FITTING CORSETS IN THE WORLD.

Bav Bay road-North side

Lane Cove road to Berry's bay

South side

Edward street

Carr street

Bay street

Bay road to Kerosene bay

Bolgrave street

Ben Bond road to Waters road

Bolmont road

Bollyue street

Resalind to Ernest street

Bon Boyd road

Long bay to Boundary

Sutherland street

Military road-Yeo street

Barney George H., 'Toongahra'

Clark Mordaunt W. S., 'Branthwaite'

44 . . . . . . .

Rolton James

McKenzie Mrs. E.

Bladen Thomes

McCarcy Patrick

Callaghan James

Field Thomas

Dennis William Lloyd William

Barrow Charles

Chatfold Charles

Davis Charles

Greathend A.

Bourke John

Burns James

lodge'
Bock Rev. E. O. (C.E.)
McLeod F., accountant
Badham Mrs., 'The Nest'
Sunday school ball

Cowles Charles 'Myabgah'

Willett Charles, bricklayer

Greathead Stephen, painter

Oaks brickworse,
Murdock James
Macauley William, grocer
MacDermott F. S., 'Yarammie'
Belgrace ureet

Vatereleigh skating rink Fry W. R., 'Mimosa' Beattie Mrs. J., 'Jessamine' Feo street

master

Davis Alexander

Ranlo Samuel

Job William

Keen Henry

Baldwin Pearce, surgeon

Cunningham Samuel, tailor Heal William

O'Hara James, bootmaker Morgan George B., builder Ward Alfred, carpenter

Robinson Robert, engineer

Show James, 'Yatala'

Cawte Thomas, teacher of drawing

Boundary

Bont street

Alfred to Falcon street

Alfred street

ST. LEONARDS.

Bortha road

Of Ranger's road Phillips Mrs. Phillips Miss

Berry street-North side Alfred to Edward street

Henderson W. B., 'The Plues'
Harrlott T. W., 'Nerang'
Wildridgo John, ongineor and surveyor, 'Braelead'
Ryan Mrs., 'Taloumbi'
Waller Mrs.

Walker street Bayviow street (Mossman's bay) Maore James B., 'Genemain' Hall James

Bladon Thomas
Gardener Ceell, reporter
Warren John, warehouseman 'Yandyke Clarko Gains, 'Clayton'
lodge'
Heather Thomas A., 'Falmer'
Eaton Bros, contractors and builders

Miller street-Burton street Stevens John, timber and fuel merchant Lane Cove road-Edward street

> South side Lane Core road

Howard Mrs. V. Reeve Joseph Dibden D. Dibden Miss, music teacher Gadd Mrs. Barret John Allmey Charles Cates Frederick A. llope Mrs., 'Florenceville'

Napler street Dance Allan Bullivant Ralph

Mills Albort Mills Mrs. V. Lee H. N. Howard W. H., ' Lindum' Crocker and Wolch, bakers

Miller street Moore William P., selicitor, ' Woodblue' Taylor George, van proprietor Scott James H., house and land agent Selfe Philip S., valuator, 'Eddystone' Carnegie James Mann Edward

Walker street-Little Arthur street

Bond street Of Military road Lacy George

Bradley's head

Bradley's head fortifications—Bombardier Turney W. II. Dugal McLachlan in charge Quarantine for cattle-J. Strachan, care-Public school- Thomas Stafford, head-

Bradley's Head road

Off Military road Harnett Richard, ' Buena Vista' Harnett Richard, jun., Buena vista Sayers E. M., merchant, 'Eleamatta' Noble James, stonemason Athol gardens-Henry Whiteman, care-

> Brook street-East side Chandos street to creek Jenkin street

Sharp Charles Riddle James Riddle John Riddle George Lowe David, plumber Car

418

Wost side Cochran John

Burlington street-North side

West street to Lane Cove road Johnson Robert Blandford William Erich C. F., joiner and cabluctmaker

Bredahl Andrew, constable Hauson Frederick, cab proprietor

Mathieson Andrew, carpenter Woolridge William Long Patrick Ingrain Thomas

Sutter Robert Moloney John Jurotti Nicholas Tunks A. F.

Alexander street-Lane Cove road

South side Inne Core road-Alexander street

Kitching C., draper linymes Mrs Ann Haynes Miss, dressmaker Evans Richard llogg Walter, carpenter Solmidt R. Matton Frederick O. Crawforth Philip Kerswell Francis Nottingham Mrs., artist John O. D., 'Coma' Hartley Laurence Mashman P. Nicholls Nathaniel, gardener Lewis W., carpentor

Medico A. Hill Bamuel Smith Sydney Taylor B. O.

Roberts John W. Hutchison Rov. Henry A. (Pres.) Buchanan Frederick

Lowis Henry Bourke James W., carpenter Skewes Richard, grocer Taylor Charles

West street

Burton stroot

Berry to McLaren street Trott T. W.

Cammaray Park reserve Parkinson John, inspector of nuisances

Canrobert street (Mossman's bay)

Carlow street-North side

Off Alfred street Overell Thomas, 'Werango' Riddle William, carpenter

South side Hogan Michael, incrchant, Frithfield \* Sayers W. Raleigh, \* Euroka \*

Carlow street-North side

Miller to West street Allen Mrs. J. Barber Mrs. Jano O'Brien Mrv.

PHŒNIX FIRE OFFICE OF LONDON, Established 1782.

Hopkins William O, 'Irene'

REFER TO ADVT. OPPOSITE NAME IN ALPHABETICAL SECTION.

Bar

Barber John, Napier st., St Leonards

Barber William, bricklayer, Chapel st

Marrickville

Forest Lodge

Barby Charles, 383 Sussex at

st. Alexandria

Barcett Richard, 14 Burton lane

Tranby, 3 Mansfield st, Glebe

Barelay John, ' Sevenoaks,' 8 Princo's rd

Barclay Sarah Mrs., 30 Iredale at, Now-

Barelay W. J., Carlton crescent, Summer

Barclay William, Wallis et, Woollahra

Barden Frederick, Barden st, Rockdale

Barden J. T., butcher, Cook's River rd, St

Barden Joseph, wheelwright, George st

Bardon Margaret, Cook's River rd, St

hotel, Cook's River rd, St. Peters

llarden Spencer, jun., produce merchant

Bardon James and Sons, bootmakers, Avoca

Bardon Jane, 21 Cove st, East Balmain

Bardon Thomas, sen., Jane st, Randwick

BARDSLEY JOHN AND CO., whole

Bardsley George, 11 Prosper et, Balmain

sale grocers, 93 Bathurst et

Barden Frederick, Queen et, Rockdale

Barden John, 50 Walker st, Redfern

Barden Mrs., Terry st, St. Peters

Cook's ltiver rd, St. Peters Barden W., dalrykeeper, Middle Harbour

Barclay Mrs., 6 Olebe st, Parmmatta

Barclay Robert, Wharf rd, Concord

Darchay John, 147 Bonrko st

Forest rd. Rockdale

Camperdown

Poters

Peters

St. Peters

rd. Manly

atreet.

Kognunh

st. Randwick

town

Rill

Bookwood

Prospect

Glichrist, agent, Wharf et

Bambor Richard, Sydney rd, Randwick Bamborough Matthew, 89 Garden st.

Bamdo Lonfe, 83 Carsy st, Leichhardt

Bamfield W., printer, 73 Clarenco st Bamfield William, printer, Pile st, Mar-

Bamford : Alfred, 41 Carlislo st. Leich

Bamford Alfred, 3 Parkes st, Camperdown

Bamford George, bootfinisher, 68 Bullan-

Bainford James B., Old Canterbury rd,

Bumford M. Mrs., Carrington et, Concord Bamford Mrs., 364 Sussex at

Bamford Richard II., Golden Grove at

Bancroft H. W. Mrs., stationer, 3 Wells st.

Bancroft John, halrdresser, 307 Crown at

Bauc —, plumber, 2 Union st, Newtown Banfield Janet Mrs., Samuel st, St. Peters

Banfield John, engineer, 31 Railway pl Banfield John, 71 Gipps st, Balmain

Banforth -, blacksmith, 1 Richard s

Bank of Australasia - Ames Helifear.

Danfield Joseph, 66 Pyrmont at Banfield Samuel, 12 Harwood st

Bamford John, 3 Roschill st. Redfern

Bamfort John, Judd et, Rockdalo

Banbury M. Mrs., 27 Delmore st

Bamford Charles, 9 William st, Redfern

Petereliam

Marrickville

Aloxandria

Anburn

Waverley

rickville

aming st, Redfern

Summer Hill

Redfern

Loichhardt

Redfern

Rockdale

st, Balmain

Bango John, 135 Duko st

Samuel et, St. Peters

Newtown

Leichbardt

Baulster Joseph

hardt

ALPHABETICAL.

Bar

Balmain (Wes.) school—W. Dance, super-lutendent, Liewellyn st, Balmain Balmain J. H., council clerk for Strath-George Miller, general manager, 345 George st and Wynyard st. Branches Ronks-Smith G., solicitor, Lincoln's Inn field, Redmyre rd, Homebush at 481 George at : 655 George at : 821 | chambers, Elizabeth at Balmain William, coach painter, Pennant George et ; 160n Sussex at; 111 Wil- Bannan Joseph, 9 Ann st st. Parrumatta Balmer G. Mrs., grocer, Liberty st Potershain Balmer James MeD. builder and contracand Glebe sts, Ryde; Miller st, Victoria; Carrington rd, Waverley.—(See Bannatyne Mrs., 35 Bellevue st tor, Sandringham road, Rockdale Balmer Jane Mrs., Enmore rd, Newtown Belser Conrad, 10 Collins at advts.l Baleon J. H., tailor, 356 Pitt st Saltio Wharf-William Short, lessee : John

BANK OF NEW ZEALAND-N, P Giblin, manager, 62 Pitt st. Branch, 538 Georgo et.—(See advts. opposite Banner Mrs., 2 Terry's pl Baly Henry P., 'Mary villa,' Crystal st preface and at end of book)

son, manager, Queensland chambers, liridge st.—(See advt.)

Bank J. B., planoforte tuner and repairer, Bambury John, 158 Darling et, Balmalu Bambury William, farmer, Chiswick rd. Phillin at

Bankruptey Court-Arthur Henry, regis trar; Henry J. Greville, chief clerk, Baindo Louis, 83 Carsy st, Leichhardt Chancery square, Macquaric st
Bainfield Frederick, compositor, Sophia st,
Danks Alfred W., bottle and metal dealer. Greek at, Glebe

Banks Charles, builder, Orplington at, Ashtlebb

Banks E. Mrs., dressmaker, 146 Hargrave et, Paddington Banks Edward, head master Crown st, rd, Woollahm
Surry Hills, public schools; p.r., 11 Banning Arthur, 6 Napoleon st, Balmain
Oatley rd, Paddington Banning John, 9 Nebbs st

Banks Elizaboth Mrs., Bartlett st. Summer Hill

Banks Frederick A., painter, oil and color-man, 104 Glebo rd, Glebe Banks George, Herbert st. Summer Hill Banks Georgo E., 17 Forsyth st. Glebe Banks Henry, senior constable, Glebe st.

Ryde Banks Isaac, centractor, 51 Hanover st Waterloo

Bampton Thomas, 26 George st, Camper- Banks James, master mariner, 'Ronaldshay, Frazer rd, Petersham Banbury John H., bricklayer, 43 James at Banks James, station st, Potersham

Bridge at ; p.r., 5 Clifton st, East Balmain Banks John S., 'The Oakes,' Metropolitan

rd. Newtown Bancroft Samuel, printer, Cameron et, Banks Joseph, 72 Kingschar rd, Alexnudria

Danks M. A. Mrs., confectioner, 181 King st north, Newton Banks R. A., 18 Compbell st. Glebe

Banks Riobard, boat proprietor, 129 New Baptlet J. Mrs., 40 Good Hopest, Padding-South Head rd. Paddington Banks Richard, mariner, 4 Elger st, Glebe Banfield William, compositor, 30 Phillip Banks Richard, 283 Castlerough at

Banks Robert, stationer, Bartlett st. Summer Hill Banks Robert H., 97 Bayswater rd Bang Christian, fruiterer, 73 Cumberland Banks S. A., boatmaker, 62 Gipps st

Banks Slian H., 56 Foster st Banke T., 31 Clarence lano Bangel Frederick, hawker, 134 Allen st, Banks Thomas, pianoforte tuner, 4 Wal- Barbat Felix, builder, Hansard st, Water-

lace st, Balmain W., 'Northallerton,' Banks Thomas, Mareden et, Parramatta Banks W. D., treasurer, Builders' Ex-change, 266 Pitt at

manager; head office, 259 George at, Banks Walter, baker, 156 Rose at, Dar-

manager; heat ontee, 200 George 86, Danies Watter, caser, 100 Ross 81, Danies of corner Jamieson 8t; office of inspector, Jamieson 8t. Branches at Banks William, baker, 18 O'Connell 8t, 557 George 8t; 142 Pitt 8t, corner King 8t; Forest rd, Jurateville; Rocky Banks William, Montgomery 8t, Kogarah Point rd, Kogarah; Parramatta rd, Banks William, Robert st, Ashfield Leichhardt; Marrickvile rd, Marrick- Banks William D., builder, 1-3 Derwent st

ville; Australia et and King et north, Forest Lodgo Newtown; Crystal et, Petersham; Banks William J., draughtsman, 11 Bridge

liam st; 234 Darling st, Balmain; Banran Terence, Rowbery Arms, 259 Crown Weston st, Balmain; Burwood rd, street

Burwood; 188 King at north, New- Bannar L. Miss, Eden at, St. Leonards town; Churchet, Parramatta; Church Bannatyne John, plumber, Short st. Mar-

Banuer Benjamin, waggon builder, derson rd, Alexandria

Banner Ernest, wageon maker, Jesson st.

Banner Richard, linthven st. Randwlok Baly S. Byron, stock and sharebroker, 18 BANK OF NORTH QUEENS- Hanner Samuel, Angustas st. Newtown Bond at: p.r., 'Dongalla, George st, LAND, Limited—A. J. Patter- Banner William, Fairmount st, Peter-

aham Bannerman Alexander C., 2 Selwyn st, Paddington

Bannerman Charles, 23 Gordon lane Bannerman George, printer, John et. Macdonaldtown

Bauncrmau John, master mariner, 17 Union st, Balmain Bannerman William, 14 Little Macquarie

Bannim Julia Mrs., 62 Rosohill st, Red-

Bannim L. Miss, coatumier, 722 George at Bannin Peter W., Clifton, Point Piper

Banning John, 9 Nobbs st Bannister E. Mrs., 17 Irving street

Bannister James, paluter, Dalley et, Granville Bannister Thomas, 14 Alma st, Darlington

Bannister Thomas, cab proprietor, 27 Rose at. Chime-udale Dannister William, anetloneer. worth,' Dover at, Summer Hill Bansgrove Arthur, Myers et, Canterbury Bansgrove John II., Weston st, Petersham

Bantin Mary Mrs., 11 Talfourd et, Glebo Banyard Charles, Harris st. Parramatta Haptist cemetery-Lane Cove rd, Rydo Banks James M., marine surveyor, 12 Baptist cometery-Western rd, Prospect and Sherwood

Baptist chapel-James Hicks, paster, Gladesville rd, Ryde Baptist church-Rev. Charles Bright.

Bathurst st Bantist church-Rev. William Coller,

Church st, Newlown

Buptist hull—Itev. R. J. Middleton, Illawarra rd, Marrickville

Bantist John. 'Oboron.' 515 Crown at Baptlet Patrick, engineer, Arthur st, St. Leonards East

Bantiste John, balrdresser, 5 Betany rd, Alexandria

Bara Silver Mining Co., Limited-G, S, Buzncott, manager, Post Office chambers, 114 Pitt street

Barber R. and Co., boot mart, Edwin st.

Ashfield Barber Alfred, decomior, Brown st, New-

Barber Charles, Atchison st, St. Leonards Barber Charles, George et, Parramatta Barber E. E., Oak st, St. Leonards Darber F. Mrs., Wentworth at, Parramatta Barber Frederick, Sydney rd, Granville Barber George, carrier, Parramatta rd,

Concord Barber George, 19 Darlinghurst rd Barber J. S., Victoria avenue, Rookwood ALPHABETICAL.

Barker George H., earponter, Madeline st.

Barber Jane Mrs., Carlow st., St. Leonards Bardsley James, Grafton st, Woollahra Barber John, earpenter, Elsie st., Burwood Barlisley John, Garfield, Cavendish st, Barber John, grocer, 24 Smith st., Camper-Petersham Bardsley Mrs., 4 Donnelly st, Balmain Bardeley Robert, Toogood et, Macdonald town

Barber John T., cordinimaker, 80 Pitt st.

University, Newtown rd ; p.r., d Tox- Barker John, blacksmith, 2 Ebenezer lane, teth st. Glebe

Barber William J., saddler, Sydney rd, Barford James, dairykeeper, Rooky Point Barker John, carponter, Florence st, St rd, Rockdale

Barbour Barbara Mrs., 'Edina, Foss st, rd, Rockdale

Barbour Daniel, butcher, 26 Curtis rd and Bargary Denis, 65 Wellington st, Water-100 Bargary E. Mrs., 107 Harrington st

23 Crescent st, Balmaln Barbour Robert, M.L.A., 'Abbotsford,' Bargh Thomas, stationer, 5 Birrell at Waverley Victoria st, Ashtield liarbour William, I Whately st, Newtown

Barham Edward, Fowler et, Leichhardt Barbam Edward, Park avenue, Five Dock Barcham Benjamin, storekeeper, 6 Phillip Barham John S., 9 Grose st, Glebe Baring and Co., loan and discount bank-

Barclifeld Peter, carpenter, 238 Crown st
BARCLAY A. H., land and unining
agent and stock and sharebroker.

Bark Frederick, blacksmith, Glebe st,

Post Office chambers, 114 Pittet.; p.r. Ryde Bark William, North rd, Rydo Bark William, Toogood st, Macdonaldtown Barkas and Asher, chemists, 384 Oxford st, Barclay John, Parramatta rd. Rookwood Paddington

Barkas W. J., surgeon, 23 Elizabeth st. Paddington Barkell Thomas, Old South Head rd, Wool-

Barclay Robert, 80 College st, Camperlabra Barker and Ebaworth, Victoria livery Barker Sanuel, Junction st, Woollahra stables, 23 Bilgh st, 169 Brougham st; Barker Thomas, stonemason, Church st, and at Arthur and Herbert sts, Pad-

dington kirker —, 21 Pickup st, Alexandria Barker Alexander, dealer, 2 Reddy st

Barden C., butcher, Rocky Point rd, Rock-Paddington Barker Alexander, 3 Darlington rd, Dar-Barden Charles, hay and corn dealer, Marian et and Emmore rd, Newtown Barden Edwin, Highbury Barn hotel, lington

Barker Alfred, cabinetmaker, 22 Edward st, Redfern

Barker Charles, brassmoulder, 14 Norman liarden Emma Mrs., Smith st, St. Peters Bardon Frederick, bootmaker, 2 Parkes st, street

Barker Charles, insurance agent, Palmer st, Parmunatta Barkor Edward C., 'Hawkhurst,' George

Barker Edwin, hatter, Mill st, Hurstville
Barker Edwin O., flour merebant, 111 York
street; p.r., 'Llanlilo,' Trafalgur terroce, Petersham
Barker William, Lyon st, Randwick
Barker William, Lyon st, Randwick
Barker William O., cursenter and contract

Darker Eliza Mrs., teacher of music, George

Barden Spencer, sen., Cottage of Conten Barker F. J., confectioner, 31 Oxford st

Barker Francis, Iron et. Parramatta Harker Francis L., wool stores and office. Burkley William, butcher, Gerald st and 10-14 Loftus st and 123 Sussex st; pr., Marrickvillo rd, Marrickvillo 'Meaford,' Gower st, Summer Hill Barker Frederick, carpenter, Rocky Point

rd, Rockdale Barker Frederick, stock and sharebroker, 115 Underwood st, Paddington

Barker G. W., 'Mylorn,' Esplanado enst. Mauly

Barker George, cab proprietor, 14 Pad-dington lane, Paddington Bardsley Isaac O., storckeeper, 60 Harris Barker George, gardener, Dienhelm st

Bardsley James, schoolmaster, Regent st, Barker George, 13 Little Buckingham st Barker George, 95 Walker st, Redfern

Bar

Hunter's Hill Barker George H., Bishop st, Marrickville Barker Henry, architect, London st, Newtown

Barker Isane, Herbert st. Paddlugton Barker J. R., Bridge rd, Hunter's Hill

Glebe

Leichhardt

Barford James, storokeeper, Rooky Point Barker John, halrdresser, 25 Bligh st Barker John, van proprietor, 111 George

et, Camperdown Barker John, Chundos st, St, . conurds

Barker John, 11 Day st Barker Joseph W., Livingstone rd, Marrickville

ton

llarker Lewis, contractor, Afonast, Aubura A. N. Jonsen, manager, 60 Elizabeth Barker Mrs., 68 Bothuny st, Reifern Barker Mrs., Fowler st, Camperdown Barker Mrs., 20 Gipps st, Balmain Barker R. E. London st, Newtown Barker R. T., assistant curator Techno-

logical Museum, Outer Domain Barker Richard, Irrara st, Burwood Barker Richard, Station st, Petersham Barker Samuel, 8 Little Norton at

Barker Samuel, 17 Day st

Barker Thomas, tailor, Sorrell st, Parramatta

Barker Thomas, 30 Arthur st, Paddington Barker Thomas, Gladesville Wharf rd. Oladesville

Barker Thomas, Wentworth rd, Burwood Barker W., Parramatta rd, Sammer Hill Barker Walter, butcher, 12 Maney st, Balandu

Barker William, confectioner, Gladesville rd, Hunter's Hill

Barker William O., carpenter and contractor, 17 Riley st

Barkl John, bootfinisher, 93 Wyndham st,

Alexandria

Burlee Alan draughteman, Frazer rd. Petersham

Barlee Charles R., surveyor, Frazer rd Petersham

rd. Petersham Barlex Henry, builder, George at, Mac-

donatdtown Barlex -, confectioner, George at, Mac-

Barling Joseph, Under Sec. Department of Public Works, Albert rd, Homebush

CLAIMS ARE PROMPTLY AND LIBERALLY SETTLED.

PHŒNIX FIRE OFFICE OF LONDON, Established 1782.

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Cook's River rd, St. Peters

495

Barber Joseph, Sutherland st., St. Peters
Barber Richard, teacher, Martin st,
Hunter's Hill
Barber Richard, teacher, Wartin st,
Hunter's Hill
Barc William II., 21 Bonrko st
Barker James, builder, 55 Carlisia st,
Leichhardt
Barc William II., 21 Bonrko st
Barker James, Warvest Upptor's Hill

Barber Thomas, auctioneer, Ponnant st, Bartet Henry, 14-16 Mill st
Parramatta

Barker James, Sydney st, Macdonaldtown
Barker James, 33 Terry st

Barker James, 33 Terry st

Barber William, bricklayer, Kingsland rd, Barff S. G., 'Elvira,' Devoushire st, Croy- Barker John, builder, 37 Thornley st,

Peters

Barker f., D. Mrs., 43 Green's rd, Padding-

Barker Samuel, sawyer, 50 Catherine st,

Leichhardt

Parramatta

Barker Thomas, Station st. Petersham

Barker William, accountant, 1 Regent st

Barkin Margaret Mrs., 34 Bunn st
Barker Eliza Mrs., 103 Woolloomooloo st
Barker F. J., cabinetmaker, Gibbes st,
Rockdalo
Rockdalo
Waterloo

Barles Frederick, 'Arthurleigh,' Frazer

Jourldtown

### 840 Aub

ANTHONY HORDERN & SONS, UNIVERSAL PROVIDERS, HAYMARKET (ONLY), SYDNEY NORTH SYDNEY.

Ber

Atchison street continued-Alexander street Barber Charles

MoIntyro J. Matthews street Anderson Charles, surveyor Wadden Ambrose

### South side

Alexander street-Matthews street Huntingdon W. L.

### Aubin Street-South side

Ben Boud road to Haues street Keeling H. G. Wright D. C., journalist, "Waverley"

### North side

2 Jennings William 4 Fay Charles 8 Riddlo Robert 10 Crawford John

14 Baker Oscar 18 Sydenham John 20 Williams Vivian

24 Hayes J, P, 26 Oarey R. W., teabroker

28 Brown James A., merchant

### Bank Lane

Off Bank street Cook John

# Bank Street-East side

Green George Riley street
Hardio John W., painter
Leviton William J.

Lord street Adamson Thomas, sen. Ellen Thomas, packer Hazeldean John Laws Frederick Vickers M. Gardino David Munro Charles, engineer Pass William II. Mathews Williams Lyndali Frederick, clerk
McKenzio Donald, accountant
Sugden J. W., shipping clerk
Godfrey John, "fonn"
Moro Walter, engineer Smith James, compositor

Robertson Thomas, carpenter Connor Mrs. O.

### West side

Lees Robert Anderson Charles Ohlson Frederick Bennett David Bridge Alma Duncan William Cowan John Posker John, grocer Legge Joseph H. Penchy Charles Hepburn John Kelleher William Walker John Munro John Scholtz Valentine H. Dunne Samuel, storekeeper Hemmer Henry Thorne George II., stonemason

### Bay Road-North side

From Lane Cove road to Berry's Bay Clarke M. W. S., "Branthwaite"

### South side

Thomley Thomas Edward street Lister John, "Toongahra" Carr street Bay road station—S. Smythe, station master Untthews W. C. Berry's Bay

### Belgrave Street

From Ben Boyd road to Waters road Feeley Thomas Callaghan James Olancy Michael Young street-Waters road

# Bellevue Street-West side

From Ernest street to Long Bay Gately Hugh, quarryman Swan, Amlrew Kenny Thomas Dorny S. J., compositor Gresty George Wheatiey John Amhurst street-Palmer street-Pine street -Long Bay

### East side

Government pound Amhurst street
Frederick Wilhelm, draughtsman Smeal Ernest Pine street-Long Bay

### Ben Boyd Road-West side

Karraba road to Middle Harbour 2 Ennever Robert G., wholesalo confectioner

4 Scott Alexander 8 Doake Andrew J., "Urara" Parraween street Post and Telegraph office-Mrs. Wardrop, postmistress

12 Anderson William 14 Selway Walter, bank manager 16 Chetter Pitts and Co., butchers Garland C. L. Macdermott F.S., "Yarrammio"

Horton George, grocer Oaks hotel-Robert Reckless Military road McKenzie Alexander

Davis C., bricklayer Tyrett Henry MoManns J. R., "Killeaden" Sutherland street Stevens Mrs. Jane, "Chatfield"

### East side

3 Arthurs Henry
Aubin street

Aubin street
7 Gavin Thomas J., draper
9 Inglis Mrs. C.,
11 Thompson R. S.
13 Barnett O. H. H.

15 Halstead Isaac 17 Corbett Henry, plumber 23 Walker A.

23 Walker A.
29 Smith Edwin
31 Vardey William, fruiterer
38 Muggridge A., stock and stationagent
35 Holder Thomas, storekceper
37 Campbell John

Phillip street
39 Brown J. H., "Montone"
43 Smith J. M.

43 Smith J. M. 45 Henderson W. 47 Allerton William T. 49 Polginse B.

57 Alldiss Samuel, carrier 59 Taylor, A. H., draughtsman 61 Kldgell E. 63 Weston F.

Undercliff street
Barry Gerald J., "Realands"
Stafford Thomas, teacher Public School - Thomas Stafford, headmaster

### Yoo Street

McCrao E. H. Stevenson James Neutral Bay School of Arts—H. F. Purday secretary Cheal H. Covey George T.

Military road Gosper J., baker Bourke John
Symlngton William, dalrykceper
Lintgn O. H., "Glenalvon"

Grosvenor street—Sutherland street

### Bennett Street

Off Cooper street Tulloh Mrs. W. H. Anderson William Blwards E. S. Wilshire J. T., J.P.

### Bent Street

Alfred to Neutral street Job William, gasiltter lobertson Robert, engineer Kircaldie Waliam Tulloh A. II. Bedweli Alfred Morgan George B., mariner l'yers Tom Weedon Stephen, "Tatala" Ward Alfred, carpen<mark>ter</mark> )'Hara James, bootmaker Jmmingham Samnel

### Berry Street-South side

Alfred to Educard street 1 Barton T., clerk

3 Naughton F. E. Mathew Arthur street-Little Walker street-Walker street

"Althona" Anderson Robert, warehouseman Perry John, solicitor Scott Joseph Sherwood James J., painter Moore W. P., solicitor Hutchins H., butcher Parker J., surgeon Charkley Frank Barber Walter

Lane Cove road-Napter street Thompson John, butcher Borett Edward Dibden Frederick lteevo Joseph, "Lolsbury" Howard Mrs. V.

### North side

Miller street North Shore hotel—W. Northam Katon Brothers, builders Armstrong J. H., commercial traveller Brothers Francis J. Newmarch Bernard J., J.P., surgeon

# NORTH SYDNEY.

Ward street McKay Mrs. E. Moore J. B., "Genemaia" Shadler E. O., "Flona" Wildridge John, "Brachead" Harriott T. W., "Nerang" Arthur street Walker street Henderson W., mining inspector Molineaux Boulton, woolbroker

### Bertha Street

Ber

From Murdoch to Edward street Phillips Mrs. E. Card G. W., " The Bower "

### Bligh Street-North side

From Broughton street to Carabella street Neilson James, carpenter Kirkland W. M., tailor, "Fairlee cottage"
Drummond Louis S., accountant Warno Henry Kerr G. D., engineer

# South side

Darcy George, compositor Redfern Alfred

Carabella street

### Blue Street—South side

From Junction to William street Goodwin J. and Co., plumbers Eaton J. W., timber merchant Walker street
Cantor E., "Highgato house"

St. Francis Xavier's School
Garvan O. F., surveyor

Blue's Point road—William street

### North side

Walker street
Roads and Bridges Office—Joseph Hope,
resident engineer
Scott W. J., tailor

Royalouse T. R., "Elsmore"
Phillips W. J.

West Crescent lane Superior Public School—Nimrod Greenwood, head master; Miss Ohandler, George St. John, "Touka" head mistress

Atchison Mrs., "Marly "

Miller street Elliott James

Ritchie James, wharfinger, "Bay View" William street

### Blue's Point Road-East side

From Blue street to Blue's Point 3 Reynolds Joseph 5 Cannis Frank

17 Swinney Will, "Beauleau house"
19 Werner F. McDougall A.
St. Peter's School Hall
Spanswlok George, "Trent cottage"
Anderson J. G. Anderson J. G.
Christen H. J., chemist
Russell A. D.
Wyatt Joseph, "Ellersile"
Liebmann H. B., "Preston house"
George street
Willington and Son, grocers
Horner Thomas, butcher
Lancester, William

Lancaster William .. Pearson Daniel Layton E., "Dresden"
Nott T. E., "Attenburg"

East Crescent road Hogan Joseph, painter Clewett Robert

Evans Louis Collins Charles M., "Spes cottage" Hancock Phillip Barker Henry O'Donnell James Turner C. E. Hillman P. H., "Alma" l'arker street

East Crescent street Langford Thomas, clerk Webb Charles

Langford George, sawyer Stevens J., fuel merchant

### West side

Mackinnon Rev. Roger (Pres.), St. Peter's Manso St. Peter's Pres. Church

Busst O., butober Union street Robertson William, baker

Old Commodore Hotel-Angus McKay Buckingham II., junr., bootmaker Whatmore J. S., butcher Royal Hotel-L. G. Cranucy l'ictoria street

Lawrenco R. H., grocer Flecknell W., bootmaker Hahm Alfred, bootmaker Michell street

Buckman Edward, contractor Harding John, dairykeeper Sanders W., brass finisher Malton Henry, tobacconist and fruiterer Rynan John

### Tate street

Royce George Schofleld Mrs. Carr street

Reynolds Henry Rafter Henry, "Erin cottage" French street

North Shore hotel-D. H. Hughes Cooper E. A., accountant Bourne Charles Stent Walter, "Moreton"

Day William Nurse Alfred West Crescent road

Webb Bros., lightermen Bellion Benjamin H. Pratt W.R., journalist McQuade Hugh, blacksmith Warren John Courtney Edward Fig Tree hotel-Robert Stevens Hall W. F., "Bayview"
Drysdale W. J. Bell Ernest "Bellevno" Hore James Butler Francis, clerk Ives Frederick, "Gibraltar"

Blue's point

### Bray Street-West side Off Alfred street

Thomas H. J. McGugan Malcolm Neutral street
Pell Archibald, accountant Wiles William, warehouseman

Enoller Mrs. Emile

### East side

Johnston Charles, draper Thomas G. A., artist
Neutral street Ormiston O. S., "Glenormiston"

### Brisbane Street-East side

Bur

Off Willoughby street

1 Jones W. II. 5 Barrell Herbert

7 Brooks Samuel, portrait painter

13 Wilson C. 19 Buckingham George, contractor 23 Winter F. A.

25 Gunn Walter

31 Lindsay William, solicitor 33 Griffiths Sydney 37 Sibthorpe Robert H.

### West side

Willoughby street

2 Rodgers Thomas 4 Gordon William, H.M.C.

6 Bailey James 8 Coventry J.

### **Brook Street**

Of Chandos street

Inrwood J. Low David, gassitter Tucker H., dairykeeper

### Broughton Street-West side

Fitzroy 12 il'illoughby street

1 Mitchell Theophilus 5 Parrott Thomas II.

Phillips George C., clerk Burton street

11 Allen Charles 13 Stewart William, clerk

19 Pepper A.

21 Camro Charles

23 Levy Frederlok 25 Hill George

27 Hope George 29 Kerr John

### East side

Burton street 6 Seymour Edward B. Wylie John, " Oromer" St. John the Baptist's (O. of E.)—Rov. A. Yarnold

# Burlington Street-North side

West street to North Sydney road Kirk Sammel Walker Alfred Anderson John Lindsay Mrs. M. Oldfield A., draughtsman Martin William

Sophia street
Proctor Alexander, "Tatala" Brennan Richard, sergeant Stewart Andrew Alexander street-North Sydney road

### South side

From West street to North Sydney road Taylor O. F., confectioner Gray Frank Henstridge Ernest Boehleo C. F. Roberts John Orujokshank George O. Sweeney Miohael Smith Sydney, "Headingley cottage" McGee Patrick Smith Ellis, "Stanley villa" Nicholls N., gardener Blandford W. Hunter J., "Coma" Macdonald James, "Warrane" Hollouby Horace

Alfred street continued-

365 Despoints John B.

haret"

2 Wilkie J.

Ernest street

Alma Street-West side

Off Blue street

Ban

Angelo Street Berry to McLaren street

From Jenkins to Palmer street

Young G., atonemason Chapman Frederick, sailmaker Sullivan Richard

12 Lukey C. W., wholesale enddler Lighthouse street

16 Anderson John T., "Bayswater" 18 Paton Charles

6 Boyce William, butter vemlor

10 Forsyth James, J.P., " Sofala "

22 Foster William

22 Fisher Henry

East side

29 Josepha F. 21 Williams C.

Lighthouse street

19 Tresidder William, constable

Amhurst Street-North side

From West to Bellevue street Miller street—Bellevue street

3 Aldridge Henry " 4 Dolton A.

South side

Abbott Hon. Sir Joseph P., J.P., Speaker of the Legislative Assembly, Commis- 107 Butler John C. sloner for Affidavits, "Tarella" 111 Robertson Thor Wybrow William

Smith Henry, butcher Sleeman Oliver, contractor

Miller street-Bellevue street

Ancrum Street-West side Of Euroka street

4 Woolley Alfred J. 8 F. al William

10 Skewes William

12 Leal Sydney 16 Foram William

18 Adamson George 24 Maher Patrick

26 Erlemann A. B. 30 Booth Leach

34 Richards Edward G. 36 McAnally Joseph

89 Johnston William, tailor 68 Charmeck James

East side

8 Lower William 5 Price Charles 7 Murphy George 19 Taylor Mrs. G. 28 Bell William

25 Munro Charles, engineer 27 Grant John, enginedriver

29 Brown H. A.

33 Fleming W. 36 Burns E. G. 39 Pelquest Frederick O.

41 Quinlon Robert 48 Outts Frederick 46 Bridge A. W.

47 Ekipworth Joseph

51 Treviskus Richard

367 Douglass H. S., "Avonia"
374 Massey Joseph, teacher of music
370 Jackson Jefferson, "Hanney"
380 Smith Walter, civil engineer, "Sel-Armstrong Street

Palmer street

Arthur Street-East side

Lacender bay to Berry street

55 Stodart Mies M. H. 57 Halgh Mrs. M.

61 Craig Charles W.

61 Craig Charles W.
62 Russell E. S., costumier
65 Jones Miss H., boarding-house
67 Taylor Mrs. E.
69 Easton J.
71 Woolhouse Edward
73 De Plate George, plumber

75 Fraser Thomas

77 Hollingsworth William 78 Sayers George 81 McDonald Duncan

83 Olliford Mrs. It. 85 Weale John J. 67 Ikamian John

89 Edney William 91 Grunow Adolph 95 Table Brnest 97 Reynolds C.

99 Bantist Patrick 101 Bwington Ernest 103 Tubmin Henry

111 Robertson Thomas, bootmaker 119 Marshall Prederick

117 Enton W. and Son, builders Mount street

110 Murphy Michael

125 Wileon C. 127 McDonnell L., cab proprietor 129 Newland Charles, builder

181 Edson Mrs., "Rushelme"

133 Smith George, trainway inspector 135 Douzans Celestin, builder, "Patemala" 137 Maguire W. H., Postal Inspector, "Yadiema"

189 Turnbull James, watchmaker 141 Holle Roland

149 Oox Charles 161 Conclus John II.

153 Kennedy John

West side 22 Ellia Ezekiel 24 Waterhouse Joseph

20 Fox E. J., J.P. 28 Bligh W. M. 30 Bailey S., "Montrose"

32 Laird Robert, clerk 50 to 86 Eaton J. W., timber merchant

52 Hobson Miss E. M.

Junction street

64 Moseley Mrs. S. 06 NORTH SHORE and MANLY TIMES Office-J. W. Hobson, proprietor

68 Furley Joseph P. 70 Boyce Richard H. 70 Johnson John

78 Ward S. P., estate agent

Tipping William G. 84 Kersher J., baker 86 Henry James

88 Clarke Thomas, builder 90 Agutter Mrs. F. S. 92 Williams Mrs. M.

94 Rattray Mrs. M. ν6 Jones Mrs. M. A. 98 Chalmers William

100 Pearce W. G. Mount street 170 James Samuel

122 Valkenburg Jos., printer 124 Trimble J. O., clerk

126 Pullen Alfred 128 Ferguson John 130 Perry W. H. 142 Rudd William 144 Patten James

146 Resb Thomas 154 Battye Mrs. E. M., "Cliff villa" 150 Swain W. J., bootmaker 160 Riccardi T., "Montana"

Atchison Street-North side

18 Byrne P. J. 28 Stephenson S., cooper

32 Keys George 34 Donnelly Mrs. E.

Alexander street 50 Barber Chartes

52 Fraser F. 54 Haley W.

81 Anderson Charles, surveyor 88 Worden Ambrose

South side

Alexander street-Matthews street

135 Huntington W.

Aubin Street-South eide

21 Prosser F. G. 23 Swanson Mrs. S. 26 Evers Mrs. S.

27 Kopsch Charles F. 59 Keeling H. G.

66 Wright E. C., " Waveney"

North side

20 Williams Thomas 20 Jefferson Joseph 28 Smith Carl, marine

30 Martin George 32 Hartland Joseph

40 Williams Vivian W., "Külegar" 42 Danbency B. C., rubber merchant

44 Wilshire P. A. 46 Enstwood A.

50 Hayes Mrs. E. J. 69 Carey H. W., ten broker

72 Brown James A., merchant, "Courcy"

Bank Lane Off Bank street

Bank Street-East side

Of Union street 91 Duncan Mrs. J.

87 Hardy John W., painter

Wahlberg Thomas

83 Ward Mrs. A. Lord street

ANTHONY HORDERN'S FOR WOOLLEN FABRIOS

NORTH SYDNEY.

Turner Alfred J.

Hamilton A., laundry

Denson H. E., "Toongahra" Old Mrs. J., "Waverton"

Bay Road Station-R. S. Smythe, st tionnmater

3 Robertson Thomas, carpenter Berry's bay

West aide

106 Wenzel Charles 102 Anderson Charles 100 Wenzel Charles 98 Munday Robert

96 James Arthur 94 Fleming Mrs. M. 74 Cronsbaw Thomas

72 Haves Mrs. 70 Morrow John, "Avon cottage" 68 Bridge Alma

Ban

Thornthwait Frederick C., painter

Godfrey John, "Iona" More Walter, engineer, "Glamis"

31 Green George, clerk " Airdrie"

68 Adamson Thomas, sen.

37 Cunliffe W., carpenter

33 Rattary Samson

20 Gardine David

5 Smith Mrs. J.

1 Connor Mes. C.

23 Marcolino Thomas

19 Queydar John Thomas

17 Matthews William Henry

16 Matthows William John

27 Gaff William

60 Dunean William 04 Wilson James 62 Carrow John

60 Poskar John, grocer 56 Webb George

52 Walker J. 50 Repburn John 48 Kelhar William 44 Bullock Mrs.

42 Chapman Mrs. M. 40 Stubbings Sydnoy 36 Bullock Walter

32 Rosendano Alick 30 Dunn Samuel 20 Hewitt Mrs. L.

22 Bennett T., bootmaker 14-16 Thorne Mrs. G., fruiterer

Bannerman Street

From Shell Cove road to Murdoch street

Barry Street-East; side Military road to Cooper street Neutral and Mosman's Bay Presby-

terian Church—Rev. R. N. Wangh 37 Basturil C. W., "Bisloville" 35 Penrica John, "Penmorvol"

83 Jones F. C. 31 Harbutt Laurence 29 Baker Reuben

Grounds

Gardner Mrs. J. 21 Williams John, shipbroker, "Birralce" 17 Brown Edward, J.P., "Woodleigh" 17 Brown Miss A. E.

West side 72 Stenning Edwin J. 70 Johnston J. T., machinist \*68 Dean William, letter carrier

Yeo direct 18 Clayton E. H., merchant 10 Univion E. 11., merchant
16 Macquario Alexander, architect
14 Shervey Albert E., architect
2 Barry Gerald J., solicitor, "Westleigh"
Neutral Bay Lawn Teunis Club

Bay Road-North side

From Lane Cove road to Berry's day Clarke M. W. S., "Branthwaite"

Davies Rev. D. (C. of E.), "Carrthef" 166 Wilkinson Thomas, "Dalmeny"

Hall R. Dhu Roderick, diver

South side

Edward street

Carr street

Matthows W. C. Dingdahl Andreas, machinist Wagstuff J. W.

Belgrave Street From Ben Boyd to Waters road

Feeley Thomas Christic J.

Young street-Waters road

Bellevuc Street-West side

From Ernest street to Long bay (Intley Hugh, quarryman Mathieoi James

Swan Andrew Rosalind street Greaty George

Wheatley (Jeseph Dorney S. J. Amhurst street-Palmer street-Pine street Long bay

East side

Government Pound Amhurst street

Friederich William, draughtsman Butcher Charles Donnelly John Hackney Alonzo King Frederlok Long Mrs. P. James Alfred Geo C. Harrison IL, signwriter

Young Walter Kirby William Pine street-Long bay

Ben Boyd Road-West side

Karraba road to Willoughby bay 16 Ennover Report G., wholesale confectioner, "Merchith"
 18 Rowney G. H.

44 Evans J. 46 Hepburn Mrs., "Bothwell" 48 Doak Andrew J., J.P., "Urara"

Phillip street 62-60 Post and Telegraph Office-Mrs Wardrop, postmistress
44 Anderson William, J.P.
68 Mayne J. S.
70 Rogers B. J. D., dentist

80 Garland O. L., mining agent Kemp W. H., civil engineer Hardle street

158 Horton George, grocer

l'eo strect

Ben 168 Carey H. H., tea merchant 485

110 Hopkins William Oaks hotel-Elizabeth Reckless Military road

206 Morcer John 208 Bell Harold

110 Phillips E. Oak avenue

212 Cohen J. L.

214 Davis Monsell, "Roslyn"
218 Wallace William
220 McManus J. R., "Killeaden" 222 MoManus Mrs. A., " Rahcen"

224 Baker F., "Berblee" 220 Collins A. D.

228 Davis Chas. Sutherland street

238 Stevens Mrs. Jane. " Chatfield" Grassmere road-Willoughby bay

East side

16 Arthur Henry, bootmaker Aubin street

17 Willsher Charles, grocer 19 Elvin Mra E.

23 Brimlley Thomas 25 Crocker Charles 27 Creman James

20 Mortimer Mrs. S., "Manningham" 31 Potts John, bootmaker 37 Roberts Mrs. A. 39 Corbitt Henry, plumber

39 Gavan Thomas J., draper 41 Buokleton Mrs. 46 Varney William, fruiterer

49 Muggridge A., stock and station agent 51 Megson Mrs., grocer

53 Newbon George Phillip efrect

60 Thomson Mrs. A. 71 Wickham Frank, "Sorrento"

73 Amirows William 77 Murrell W. H., tea merchant 79 Pyno Joseph N., "Victoria cottago"

81 Philips Edward 87 Dawson George 89 Carter W. G.

96 Jaokson Arthur 105 Hill Walter J.

Undercliff street 133 Davis Alexander

195 Lindsny Mrs. M. 137 Barry John

130 Walker Abner Lindsay street

173 Reid D., shipping agent, "Yoclands" 175 Public School—S. H. Smith, head master

Teo street

181 Benttle Mrs. M. J., "Jessamine" Benttle C. H., architect

188 Rabbage Poniai 197 Williams William, printer 199 Cheal H.

201 Moor T., drayman Military road

> Birch S., baker Bourke Mrs. J.

> > Grosvenor street

217 Symington William, dalrykeeper 223 Linton O. H., "Glenavon 225 Roberts William

227 Drew E. L., architect

Belgrave street-Sutherland street Willoughby bay

All particulars ready, referring to all Cemeteries in and around Sydney

Document Set ID: 9845622 Version: 1. Version Date: 20/12/2023

162 Underwood Samuel, plumber 164 Cohen Mrs. E. 69 Cox Mrs. A.

North Sydney road to Cemetery

Matthews street

Ben Hoyd road to Hayes street

16 Carmody J. 18 Olsen Jansen

Undereitf street

Riley street

WOOD & COMPANY, Undertakers & Embalmers (Town Office and )148 & 150 Cas'le'gh St., S'd'y. Tel, 1524

Barnes S., 4 Little Stephen st. Dalmain

Barnes T., 41 Hayberry st. North Sydrey

Barnes Thos., 71 Jenkins st. North Sydney

Barnes S., Greenbank st, Marrickville

Barnes Thomas, Ocean st, Hurstville

toria Market buildings Banks W. J., Station st, Auhurn Banks William, 45 Marmion st, Camp'down Danks William, 71 Dennum st. Glebe Banks William, 33 Greek st, Glebe Banks-Smith G., solfcitor, 60 Elizabeth at Banks-Smith H., Wharf rd, Concord Peek, conneil clerk, Liverpool rd, Hankstown Bankstown Literary and Debating Society

-D. McLood, secretary, Liverpool rd. Bankstown Bankstown Police Station-Constable S Helsham, Liverpool rd, Bankstown Bankstown (Lower) Post and Telegraph Barbone Mrs. C., 5 Joseph st, Ashfield

Liverpool rd, Bankstown Bankstown (Upper) Post Office-George Word, Liverpool rd, Bankstown Rankstown Public School-D. Macleod, Bankstown Public School-J. Haylis, head Barchy L., Croydon ave, Canterbury master, lilver rd, Bankstown

Hanky Carl, Percival st, Leichhardt Bannan John, 87 Arthur st. North Sydney Burelay Percy, 52 Rainford st Bannatyne Mrs. M., Amy st, Erskineville Banner T. and Co., fuel merchants, 88 Barelay Robert, Wharf rd. Concord Campbell st

Banner Arthur, Lawrenco st, Alexandria Banner Benjamin, Jesson st, Alexandria Banner Mrs. Clare, 85 Norton et, Ashfield Banner Ernest, J.P., Jesson st. Alexandria Banner Thomas, 84 Campbell st. Bauner William, Dartbrook Ed, Auburn Danner William, 3 Fairmount st, P'sham

Bannerman A. C., 47 Green's rd. Pad'ton Bannerman Charles, 23 Phelps st Bunnerman George, 29 Tronton st, B'main Barden Joseph, High st, North Botany Hannerman R., Renwick st, Marrickville Hannerman W., 58 Macquaric st south Baumin Miss C., costumler, 648 George at Bannin P. W., 115 Point Piper rd, WThra

Banning Arthur, 316 Crown al Bannister and Co., anetioneers, commission agents and produce merchants, 116

Sussex at Bannlater A., Livingstone ave, Pymble Bannister Charles, 39 Cooper st. Bannister Chas., Wallis st. Woolfahra Bannister E., 69 Castlereagh st, Redforn Baunister John, 4 Little Riley at Bannister John, Smithers' inno Bannister Sidney, 129 Denison rd, Paham Bannister Thomas, 67 Rose st

Baunister W., Yelverton st, St. Peters Baunister W., 12 Dover st, Summer IIII Bannou Edward, 37 Little Mount st Bannon Joseph, 183 Macquarte at south Banson Henry, 9 Oatley hanc Bantin George B., 11 Talford st, Globe Baptist H., Whittaker's Estate, Prospect

flaptist Mrs. J., 35 Willoughby st, K. Sydn'y Raptist John T., 127 King st; pr., 28 Bardsley James, Stack st, Balmain Park of

Baptist P., 90 Arthue at, North Sydney Baptista H., M.D., physician, 112 Hunter st Baradia Napoleon, 4 Stanley at Barngry J., 44 Alexander st, North Sydney Baragury D., 65 Wellington st. Waterloo Barbare A., Earl st, Randwick Barber Alfred, 9 Brown st, Newtown Barber Mrs. C., 259 Palmer at Barber C., Pritchard st, Marrickville Barber Chas., 60 Atchison st, North Sydney Darber E., 41 Herry st, North Sydney Barber F., 81 Hayberry st, North Sydney Barber F. W., Blaxcell at, Granville

Banks W. J., authorised public draftsman Barber J., 55 Arthur st and map publisher, 79-81 Queen Vic-Barber J., 133 Holterman st, North Sydney Barber J. S., Victoria ave. Rookwood Barber John, 29 Selwyn st, Paddington Darber Mrs. Louis, 45 Craigend st Borber Mrs. M. J., 13 Pitt st, Relfern Barber R. H., Muston st, Mosmon Barber Robert, 201 Victoria st Burber Robert H., importer, 384 George st Bankstown Council Chambers-Richard Barber Thos., Macquarie st, Parramatta Barber Thos. A., Wardell rd, Dulwich Hill Barber W., Newtown rd, Camperdown Barber W., 73 Park st, Erskineville Barber Walter, Berry st, North Sydney Barber William J., Sydney rd, Prospect Barbler E., butcher, 305 Globe rd. Globe Barbour Mrs. B., 25 Foss at, Forest Lodge Office-Thomas Caird, postmaster, Barbour D., 95 Curtis rd, Balmain Darbour George, \$1 Prospect rd. Sum. Hill Barcham Benj., 8 Phillip st. Alexandria Barciet and Canthier, laundry, 256 Kentlet ikstown Publio School—D. Maoleod, Barchay Alfred, 40 Moneur st., Woollahra bend muster, Liverpool rd., Bankstown Barchay Frank, Wallis st., Woollahra Barolay John, 147 Boncke at Barelay John, Day st, Rookwood Barclay R., Fotheringham et, Marrickville Barclay William, 70 O.S.H. rd, Woollahra Barden Mrs. A., Jersey ave, Penshurst Barden Albert, Albert st, St. Peters Barker Edwin G., flour merchant, 111 Barden Charles, 3 Marian et, Newtown Barden Edwin, I London st, Newtown Barden Frank, Frederick st. St. Peters Barden Frederick, Queen st. Arnellife Barden Fredk. It., Frederick st., St. Peter Batherman It. and Co., tallors, 276 King Barden George, 69 Darghan st, Glebo st, Newtown Burden J. T., Cook's River rd, St. Peters Barden James, 48 Davies st

> Barden Mrs. M., Cook's River rd, St. Peters Barden Spencer, Riverview hotel, Cook's River rd. St. Peters Barden Spencer, Frederick st. St. Peters Barden Sydney, Park rd, St. Peters Barden W., North Steyne, Manly Bardin Victor, 5 Balmain rd, Leichhardt

Barden Mrs. L. 96 Devonshire st Barden Mrs. L., 76 Paddington st. Pad'ton

st, Randwick Bardon G., Robert st. Burwood Bardon James, 242 Young 8t, Annandale Burdsley and Co., commission agents, 150 Barker James, 42 Carlisle et Lefchlandt

Bannister T., 13 Darlington ed, Darlington Bardsley G. and Son, hat manufacturers, 283 Darling st, Balmain, and 257 Parramatta rd, Leichhardt

Bardsley John and Co., wholesale grocers and ten merchants, 93 Bathurst st Bardsley Mrs. A., 26 Underwood at, Pad'ton Bardsley C., 29 Bartlett st. Summer 1111 Bardsley F., 79 Pitt st, Waterloo Bardsley G., 45 Burren st. Erskineville Bardsley Isano O., 62 Harris st Bardsley J. H., Gerald st, Marrickville Bantsley John, 4 Cavendish st, Petersham Bandsley John E., Cavendish st, Newtown Burdsley Joseph W., 96 Wilson st, N'town Bardsley M., 79 Pltt st, Waterloo Bardsley Samuel, I Alma hane, Darlington

Public School, Ross st. Forest Lodge; Barker Thomas, Gladesville Wharf rd. p.r., 18 Toxteth rd, Glebe Bardwell George, 44 Belmore st Barenscher II., Malcombe st, Granville Barff A. C., 70 Annandale st, Annandale Barff Henry E., M.A., registrar Sydney Barker W. H., 73 Barcom ave

Barford Mrs. D., Sydenham rd, Mar'kville Barford G., Beaconstield st, Bexley Barford J. W., Rocky Point rd, Rockdale Barford Mrs. M., Rocky Point rd, R'kdale Barge John, 213 Cutherino st, Leichhardt Barge Mrs. R., Victoria ave. Willoughby Bargh W., 13 Ebley st, Waverley Barham Edward, Park ave, Drammoyne Baring and Co., flunnelers-A. N. Jonsen,

monager, 54 Elizabeth st Bark William, 35 Toogood st. Erskineville Barkas and Asher, chemists, 384 Oxford st,

Paddington Barkas W. J., J.P., surgeon, 23 Elizabeth st, Paddlington Barkel John, 107 Wyndhum st. Alexandria Barkel John, 53 Botany rd, Waterloo Barkell James, 21 Giersten at, Waverley Barkell T. H., cycle depôt, 266 Victoria st Barker and Co., tea merch'ts, 257 Sussex st Barker Abraham, 15 Little Hay st Barker Alexander, 11 Little Edward st Barker Alex., 47 Rose st. Darlington Barker Alfred, 22 Edward st. Redfern Barker Charles, 132 Woolloomoolco st Barker Charles, Madeline st, Hunter's Hill Barker Denis, 23 Burlinson st Barker Mrs. E., 25 Bolany st, Waterloo Burker E. C., J.P., George st, Marrickville Barker E. G., Wurdell rd, Marrickville Barket Mrs. E. J., 9 Harrow ed, P'slaam Barker Edward, Hugh st. Ashfield

York st. Barker Mrs. Emma, Chester st, Woollahra Barker F., 104 Hayberry st. North Sydney Barker F. J., Botany ed, Alexandela Barker F. J., 87 Falcon st, North Sydney Barker F. W., solicitor, 130 Pitt st Burker F. W., Herbert st, Dulwich Hill Barker Francis, 2 Collins st Barker Frank, 445 Itiley st Barker Frunk, Porbes st, Parramatta Barker G., Gt. Northern rd. Hunter's Hill Barker George, 40 Bowman st Barker George, King st. Barker George, 36 Moment st. Woodlahra Barker George 11., 129 Yule st, Petersham Barker H., Bridge st, Lane Cove Barker H., Blue's Point rd, North Sydney Barker Henry, 5 Wellington st, Newtown Burker Henry, Warren rd, Marrickville

Bardon James and Sons, bootmakers, A voca Barker J., Oladesville rd, Gladesville Barker J. V., 134 Etswick st, Defebbardt Barker J. V., Selmon st Roc', de Barker J. W., Livingstone | Marrickville Barker James, Bowden st. Woollohea Barker John, 52 Wattle st Barker John, Nelson st, Annandale Barker John, 49 Palmer et, Balmain Harker John, 7 Water st, Camperdown Barker John, Thornley st, Leichhardt Barker John, 99 Chandes st, North Sydney

Barker John, 76 Bolany st, Waterloo Barker Mrs. L. D., 52 Liverpool st, Pad'ton Barker Mrs. P. D., 49 Botony st, Rolfern Barker Richard, Irrara st. Croydon Barker Robt. E., Abbutsford rd, if bush Darker Robert, 46 John st, Woollahra Barker S., 52 Catherine st, Leichhanit Barker S., 3 Wentworth st, Paddington Harker Samuel, 75 Sussex at

Barker Samuel, Annesley st. Leichhardt Barker Samuel, Catherine st, Leichhardt Bardsley William, head master Forest Lodge Barker Thomas, Botany rd, Botany

Gladesville Barker W., Petersham rd, Marrickville Barker Mrs. W., 9 McDougall st, N. Sydney Barker W. A., Railway st, Granville University, Newtown rd, Camper-Barker William, Union st. Arnellife down; p.r., "Calcola," 48 Victoria st Barker William, 27 Day st

Barker William, 6 Stauley st. Comperdown Barker William, Burton st, Concord Barker William, 33 King st, Newtown Barker William, Herbert st, Puddington Barker Wm. M., solicitor, 1 O'Connell st p.r., Ernest et, North Sydney Barkier George, 28 Hailway ave, Petersbain Barkwell John, 2 Gladst-ne st Barkins P., 108 Sutherland st, Paddington Barkley W., 16 Codrington st, Darlington Barkley W., Cook's River rd, St. Peters Barnes William and Son, leather and Barley Edward, 11 Susan st, Annundale Barlex J., Chestnut rd. Anburn

Bar

Barlotte Valentine, 52 Birrell st, Waverley while and spirit merchants, 396-390 Barnes Alfred, 292 Cleveland st

BARLOW & JONES, LTD. (Man) chester)-Lister Henry & Co., agents 67 York st Barlow Arthur, & Union st, North Sydney

Barlow Arthur, 122 Wilton st Barlow B. J., Botany st, Randwick Barlow Charles, proprietor Carrington Soul

Barlow Daniel, 54 Cooper st, Waterloo Barlow Mrs. E. F. Church st, Ryde Burlow Edwin T., Jersey st, Hornst

Barlow Frank, 182 El-wick st, Leichhardt Barlow George, 128 Elswick st, Lelchhardt Barlow George, 9 Elfred st, Packlington Barlow L, grover, 87 Itofe st. Lelebbardt Barlow J., Lucus rd, Burwood Barlow J., 196 George st, Erskineville Barlow Mrs. J., Newland st. Waverley Barlow J. A., Malakoff st. Marrickville

Earlow Thomas, Amella st, Waterloo Barlow Thomas, II., J.P., Albert st, R'wick Barnes Henry J., 28 Dick st

Barlow W. A., Australian wine broker and Barnes Herbert, Meeks rd, Marrickville

Barlow W. F., 39 Denman st, Glebe Barlow W. H., 40 Wellesley st, Summer Hill Barlow W. J., 42 Albion st, Annandale Barlow William, Khilila st. Auburn Barlow William, 38 John st, Erskineville Barlow William J., 15 Susan et. Newtown Barrage Matthew, Gibbes st. Hockdale

reach st Barnard A., Marrickville pl. Marrickville Barnard A. W., 222 Miller st. North Sydney Barnard B., manager City Cycle Exchange,

894 King st Barnard B., 19 Elizabeth st, Paddington Barnard Charles, 105 Fitzroy st Burnard F., 43 Lower Tupper st. Mar'ville Barnard F. J., Allen st. Lelchhardt Barnard corge, 18 Giebe rd, Glebe Barnard George, 6 Ivy st. Rolfern Barnard II., Spring st. Burwood Barnard L. S., 59 Denison et, Woodlahra Barnard Maurice, 10 Aubrey st. Petersham Barnard Oswald II., Grosvenor st. Croydon

Barnard S., 5 Little Burton at

Barnard W. W., Cowles' rd, Mosman Barneastle Alf., 40 Fulliam st, Newtown Barneastle Arthur, 42 Fulham st, Newtown
Barneastle John, 179 Wilson st, Newtown
Barnel E., 76 Ellzabeth st, Waterloo
Barnel E., 76 Ellzabeth st, Waterloo
Barnel S., 12 Manchester st, Petersham Barnell E., 76 Elizabeth st, Waterloo Barnes G. A. and Sons, carpenters, 135 Barnes Peter, Denby st, Marrickville Oleveland st, Redfern

Barnes and Skelton, bakers, Henderson rd., Barnes Richard, 23 John st, Leichhardt Alexandrla

grindery store, 506 Elizabeth st

Barnes A., 130 Canterbury New rd, Mar ville Earling Joseph, J.P., member Public Service Board, 50 Young et; p.r., "Ab-botsleigh," St. Mark's rd, Handwick Barnes A. E., solicitor, to O'Connell st Barlow John and Co, wholesale grocers, Barnes Adolphus, 28 Cambridge st

Works, Shepherd st, Marrick ville Barlow Charles, to Bank st Barlow Charles, 88 Stanley st

Imnetion

Barlow John, architect, 84 Elizabeth st

p.r., Spruson st. Neutral Bay Barlow Joseph, Fitzgerald st, Waverley Barlow M., 495 Crown st Barlow Miss, 10 Botany et, Waverley Barlow Miss, 20 Carrington rd, Waverley Barlow Robt, J., 74 Grose st, Camperdown Barnes H., Hammersmith ed Flemington Barlow Samuel, 53 Cary st. Leichhardt Barnes H. E., Victoria ed, Marrickville Barlow T., 475 King st, Newtown Barlow T. S., Glbbes st. Rockdale Barnes H. J., 113 King st. Newtown Barnes H. W., 9 Commodore st, Newtown

commission agent ; agent for Emmett, Barnes Isaac, 25 Regent at Paddington Chambers and Co. (Calcutta), pro- Barnes J., Cambridge ed, Drummoyne prictor AUSTRALIAN VIGNERON and Barnes J., Church et, Parramatta AUSTRALIAN WINE AND SPIRIT Barnes J., Lausdowne st, Parramatta Barnes J. P., 46 Foster st, Leichbardt AND TOBACCO NEWS, 93 Pitt st Barnes Mrs. J. W., Junction st, Hornsby

Barnard and Co., anotloneers, 74 Castle-

Barnes James, 58 Womerah ave

Barnes James, Buckland st, Alexandria Barnes James Victoria st. Balmain Barnes James, Glemmore rd, Canterbury Barnes James, 7 Selwyn st, Paddington Barnes James, Western rd, Prospect Barnes Jane, 3 Nelson et. Annamiale Barnes John, 228 Trafidgar st. Amoundale Barnes John, Centennial ave, Chatswood Barnes John, 67 Silver st. Marrickville Barnes John, Warren rd, Marrickville Barnes John, 7 Mount st. North Sydney Barnes John, 136 Bondird, Waverley

Junction

Harnes John A., 389 Pyrmont st Barnes Julius, George at, Marrickville Barnes Mrs. R., 444 Castlereagh st Barnes Robert, 451 Crown et

Barnes T. H. and Co., houseagents, 428 Barnes Robt., Longueville rd, Lanc Covo Crown st

Barnes George, 32 Healey st. Paddington

Barnes J. W., Crow's Nest rd, N. Sydney

Barnes George W., Rughin st, Waterloo

Barnes H., Helena st, Aubura

Barnes Thosa Lame Cove rd, North Sydney Barnes A. J., 32 Suffolk st, Puddington Barnes Thomas, Merrylands rd, Prospect Barnes A. J., Stafford st, Petersham Barnes Thomas, 6 George et, Waterloo Barnes Thomas J., 185 Godburn st Barnes W., Ginn Tree lane, Double Bay Barnes W., Allieon st. Randwick Barnes Alfred, Australia st, Woollahra Barnes Arthur, 457 Crown street Barnes W., Marlborough rd, Willoughby Barnes B. G., Burlington st, N. Sydney Barnes W. R. 95 Pyrmont Bridge rd Barnes C., hum and Lacon curer, 23 L'pool Burnes O. H., Renwick st, Marrickville Camperdown Barnes Charles W., 58 Alice st. Newtown Barnes W. F., 22 Soldinel st, Waterloo Barnes D. J., Murray st, Waverley Barnes W. J., 133 O S H. rd, Waverley Barnes Mrs. W., " Leafric," 158 Victoria st Barnes David, 4 George st, Balmaln Barnes Mrs. E., 9 Rosebery st, Balmain Barnes W. S., 329 Addison rd, Marrickville Barnes W. S., 117 Westbourne st, P'sbam Barnes E., 233 Parramatta rd, Leichhardt Barnes Walter, 20 Randlo st, Newtown Barnes Edward, 395 Itiley st Barnes Edward, Mornben rd, Mosman Barnes William 274 Crown rd Barnes William, 59 Shepherd st Barnes Edward G., 71 Boundary st. Barnet F. J., proprietor AUSTRALIAN TIT DITS, 131 Elizabeth st Barnes Eleph, 12 Lion et, Ashfield Barnes Ernest, 32 Amy st, Erskineville Barnes F., boardinghouse, 261 Kent st Barnet Janues, J.P., 1 Ross at, Forest Lodge Barnes F. J., Devlin st, Ryde Burnet Mrs. M. S., Ocean st, Woollahra Barnet Thomas, Market st, Randwick Barnes Mrs. F. M., 127 Johnston at, An'dale Barnes Francis, Marion at, Auburn Barnetson and Lee, manufacturers' agents, Barnes Fredk., 60 Wyndbam st, Alexandria 335a George st Barnes Fredk., 10 William st, Ashfeld Barnes Fredk., 57 Windsor st, Paddington Barnes G, H., 134 Burlington st, N. Sydney Barnetson A., 24 Point Piper rd, Pad'tou Barnetson Mrs. M. A., Boulevarde, Strathf'd Barnett Bros., bootmakers, Johnston at, Barnes George, Harris st, Granville Amandale Barnes George, Chapel st, Leichbardt Harnes George, Miller st, North Sydney

Barnett A , suctioneer, 170 George at west Barnett Mrs. A., 23 Robert st, Petershum Barnett Albert, Ethel st. Burwood Barnett B., West Crescent st, North Sydney Barnett B., 174 Windsov st, Puddington Barnett Barnett, jeweller, \$49 Pltt st Barnes H. C., 127 Abercromblost, Redfern Barnett Henjamin, 24 Park et Barnett Mrs. C ,341 Liverpool st Barnett C. B., 19 Cecil at, Ashileat Barnett C. H., Underchiffest, North Sydney Barnett C. H., 25 - Levt st, Petersham Barnett Charles, 2 Crescent St. Balmain Barnett Charles E., White st, Leichhardt Barnett Charles L., 45 Rainford st Barnett Mrs. E., 174 Lord st, Newtown Barnett E., 81 Elizabeth st, Waterloo Barnett E. J., 44 Little Arthur st. N. Syd. Barnett F., 223 Trafalgar st, Annandale Barnett E., 61 Judge st Barnell Frank, 128 Station st, Newtown BARNES JAMES, Proprietor N.S.W. Barnett G., laundry, 79 William st

Canning Factory, Abattoirs rd, Rozelle Barnett G., St. George's cres, Drummoyne Bay, Balmain. (See advt. opposite Barnett G. V., dentist, 373 King st, Newtown, and 16 Norton at, Le chharit Barnett George, 650 Crown st

Barnes James, director Alsten Scap and Candle Manufacturing Co., Ltd., Abat-barnett George, 53 Hornsey st, Balmain Barnett H., 4 Brighton st, Petershum Barnett J., 23 Victoria st, North Sydney Barnett J. J., manager Commercial Banking Company of Sydney, Ltd. (branch)

Miller st, North Sydney Barnett J. J., Royal hotel, Glemmore rd Paddington Barnett J. W., French st, Marrickville

Barnett James, Blenheim et, Ryde Barnett John, acting-secretary Worrival Club 145 Macquarlest

Barnett John, 68 Kensington rd Barnett John, 21 Nelson st., Balmain Barnett John, Canton st, Canterbury

WOOD & COMPANY, Undertakers & Embalmers, 6 New Canterbury Rd., P'sh'm. Tel. 22 P'sh'm

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Barber George, 53 Mary st.

Economic principles and integrity our rule.

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### NORTH SYDNEY.

Bel

80 Henry James 88 Clarke Thomas, builder 90 Agutter Mrs. F. S. 92 Williams Mrs. Margaret . .

Arthur street continued-

94 Rattray Mrs. M. 96 Jones Mrs. M. A.

98 Chalmers William 100 Pearce W. G.

Mount street 120 Dunn William 122 Valkenburg Jos., printer 134 Trimble J. O., elerk 126 Pullen Alfred

128 Ferguson John Smith Archibald 130 Perry W. H. 142 Rudd William

144 Patten James

146 Casera P. A. 164 Holmes Miss A. M., "Cliffe villa" 156 Orisford Mrs. Elward 160 Riccard T., "Montana" 162 Underwood Sannel, J.P., plumber

164 Cohen Mrs. S. 166 Cohen B. B., joweller

### Atchison Street-North side

North Sydney road to Cemetery

16 Byrne P. J. 28 Stephenson S., cooper 32 Keys George

Alexander street

50 Barber Charles 69 Frary Frederick 64 Haley W.

Matthews street 86 Anderson Charles, surveyor \*8 Worden Ambrosa

### South side

Alexander street-Matthews street

135 Huntington W. O'Connell William Maher Patrick Symington D. Symington W.

### Aubin Street (Neutral Bay) South side

Ben Boyd road to Hayes street

23 Swanson Mrs. S. 25 Evers Mrs. F. 27 Smith Frederick

63 Norton Percy, "Elswick" 66 Wright E. C., "Waveney"

### North side

18 Olsen Marshall 20 Williams Thomas 23 Smith Mrs R. 24 Corbett Frank

26 Sampson John 28 Smith Carl, mariner 30 Martin George

32 Bacon P. O. 40 Williams Vivian W., "Killegar" 44 Wilshire F. H.

46 Eastwood A.

Undereiff street 50 Hayes P. A. 62 Carey H. W., ten broker

72 Brown James A., merchant, "Kulnura"

Bank Lane Off Bank street

Wahlberg Thomas

### Bank Street-East side

Off Union street 91 Dunoun Charles

Rtten street 87 Hardy John W., painter

83 Ward Mrs. A. Lard street 63 Charnock Junes

os Charnock James
53 De Sayo Mrs.
51 Flynn Mrs. R.
57 Nimmo William
55 Thornthwaite Frederick C., painter
53 Griffiths Sydnoy C.
31 Dancan Mrs. C.

29 Williams Charles 27 Gaff James 25 Wilson James 28 Marcolino Thomas

19 Mutthews W. J. 17 Thomson Andrew 16 Marshall Alfred 13 Carmichael Albert 11 Roseby Samuel

7 Moseby Sanner
9 Godfrey John, "Irone"
7 More Walter, engineer, "Glamis"
5 Smith Mrs. J.

3 Robertson Thomas, carnenter 1 Connor Mrs. C.

### West side

106 Trevaskis Richard 104 Anderson Halwah 102 Anderson Charles 100 Wenzel Charles 96 Tripp John 94 Fleming Mrs. M. Barker John

Croushaw Thomas

72 Hayes Mrs. E. 70 Chudleigh John, "Avon cottage" 68 Bridge Alma

Duncan William 64 Gaff William 62 Carrow John

60 Poskar John, grocer 56 Rossbotham James J. 56 Phillips John

64 Willington W. A. 52 Walker J. 50 Hepburn John 48 Kethar William

16 Grant John 44 Bullock Mrs. Elizabeth

49 Cox Frederick 40 Bell John W. 36 Rosendale Alexander

Findlater Alfred 30 Hewitt Mrs. E., storekcoper 28 Dunn Samuel

14-16 Thorne Mrs. G., fruiterer

26 Hewitt Mrs. L. 22 Bennett T., boutunker

Bannerman Street From Shelt Cove road to Murdoch street

# Barry Street (Neutral Bay)-East

side Milliary road to Cooper street

Noutral and Mosman's Bay Presby-terian Church-Rev. R. H. Waugh

27 Bastard O. W., "Elsieville"
26 Penrice John, "Ponmorvol"
28 Williamson G. J., "Imogene"
21 Smithers Alfred 20 Daker Rouben

25 Hastings James 27 Summers Thomas 17 Brown Edward, J.P., " Woodleigh " 17 Brown Miss A. E.

### West side

Yeo street

72 Steming Edwin J. 70 Johnston J. T., machinist 68 Denaldson Harry

18 Olayten E. H., merchant 16 Parley William 14 Ward Geeit 12 Spondley Henry, "Miranar" 8 McCredie T. O., insurance agent 2 Barry Gerald J., solioitor, "Westleigh" Neutral Bay Lawn Tennis Club

Grounds

### Bay Road-North side

From Lane Cove road to Berry's ban

Clarke M. W. S., "Branthwaite" Davies Roy, D. (O, of E.), "Cartref" Burrell Alexander Dhu Roderick, diver

### South side

Of-Beton John H. Holpher Walter Hamilton R., laundry Edward street

Old Richard, "Waverton"

Carr street Bay Road Station-It. S. Smythe, stationnuster Haines Mrs. S. Ringdahl Andreas, machinist Wagstaff J. W.

Berry's ban

### Bayview Street-East side

From George street to East Crescent road.

Cooper James, "Ferryview" Natian Septimus "Carldale" Scott Thomas D., "Heidelberg" Leys Charles, "Umaralla" Cooper James P.

Cooper James F.
53 Hondley Mrs. A., "Lenddicott"
51 Burge William O., "Killarney"
40 Beadell Edwin, "Winstade"
46 Petherick E. J., dentist
Off-Green H. T., sear., "Bungalow"
43 Bird Capt. O. E., "Glendomet"
31 Spour Richard, "Inglencok"
Taylor Orlando

26 Bridge S. 28 Fremlin S. F. 21 Chewne Charles 18 Goldard W. J. 13 Turnbull J.

11 Venus Charles

9 Oppenheimer Adolphus 7 Maschwitz W., "Ildemere" East Crescent road

### West side

26 Blauch Mrs. H. N., "Sunny Bank" 12 Uther F. W., auotioneer, "Brenchly" 10 Witham J. D.

8 Ham Henry, broker, "What neliff" East Orescent road

# Belgrave Street

From Ben Boyd to Waters road

Montgomery John Scaley Mrs. A. Fleetwood John Thompson Hon. J. Malbon, M.L.C., enlighter Young street-Waters road

ANTHONY HORDERN'S FOR TAILOR-MADE CLOTHES NORTH SYDNEY

238 Harvey Mrs. Elizabeth, "Chatfield" Grassmere road-Willoughby bay

### East side

16 Arthur Henry, bootmaker Aubin street

wheater Joseph Burgoyne G. A., "Lymington" Smith J. H., "Similed" Bromand James H. Dorney Wilfred 17 Shore Herbert, grocer 10 Elvin Mrs. E. Gunther William B.

Morley James H., " Waisted" Hammond J. W., " Teukatarawa" 39 Taylor Robert Amhurai atreet-Palmer street-Pine street Long bar

### East side

Bet

Ballavno Street-West side

From Ernest street to Long bay

Rosalind street

Martin J.

Murphy Francis

Swan Andrew

Gresty George

Manco P. C.

Government Pound

Amhurst street Friederich Williehn, draughtsman Hackney Alonzo Donnelly John Arnemann Harry Yates John Richmond John Geo C. Butcher J. Young Walter Kirby William

Pine street—Long bay

### Ben Boyd Road (Neutral Bay)-West side

Karraba road to Willoughby bay

16 Ennever Robert G., wholesale con fectioner, "Meredith"

16 Rowney G. H.
44 Byans Mrs. A. F., "Lynton"
46 Hepburn Mrs. A. F. "Bothwell"
48 Donk Andrew J., J.P., "Urnra"

Phillip street 80 Stavenlugen J. W. 92-80 Post and Telegraph Office—Mrs.

Wardrop, postmistress 64 Anderson William, J.P. is Kerry John Edward

80 Garland C. L., mining agent 82 Osborne Frank solicitor 94 Bracken Mrs. M., "Melrose"

66 Turner John, grocer Hardie street 158 Horton George, grocer

Yen street 166 Wilkinson J. B., "Dalmeny"

168 Carey II. Il., ten merchant 170 McDermort E. S. 172 Hay Captain O. W., "Nemory"

174 Maclem R. J. 176 Robison Percy. "Palgrave" 176 Radford Mrs. G.

Militury road 208 Cowell J. S., "Lilydale" 206 Boll Harold

210 Phillips Mrs. R. Oak avenue

212 Holt A. T.
214 Davis Mrs. M., "Roslyn"
216 Boyden F. B., commercial traveller
218 Skagg Alfred J.
220 McManus J. R., "Killeaden"
MoMonus Mrs. A., "Italicen"
224 Baker F., "Berbice"

226 Manusell R. D., "Parkhurst" 228 Evans Mrs. C. A., "Esperanza"

Sutherland street

23 Davis Charles, solicitor, ' Valetta" 27 Cremun James 27 Fairweather W. J., "Lorraine" 29 Mortimer Mrs. S., "Manningham" 37 Roberts Mrs. A.

39 Invior Robert
41 Cavan Thomas J., draper
48 Stewart Mrs. G.
45 Cameron Mrs. E. S., grocer
49 Muggridge A., stock and station agent

53 Nowborn George Phillip street

69 Thomson Mrs. A. 73 Androws William 77 Murrell W. II., ten merchant

79 Pyne Joseph K., "Victoria cottage" 81 Philos Edward 87 Dawson Goorge

95 Watson E. H. B. 106 Fraser B. 107 Johnson Frederick

51 Boundy A. F., grocer

Undercliff street 133 Davis Alexander 135 Lindsoy Mrs. M.

137 Dew Patrick

189 Walker Abner

Lindsan street 173 Reid D., shipping agent, "Yeolands" 176 Public School-S. H. Smith, head moster

181 Beattie Mrs. M. J., "Jessam ne" Beattie E. H., architect

163 Rabbage Ponial 107 Williams William, painter

199 Chent II. 201 Moore T., draymun Hughes and Moore Misses, dressmakers Military road

200 Riddle William 211 Dart Mrs. H.

Grosvenor street 217 Model Dairy—W. Carbery, manager 223 Linton C. H., "Glenavon" 225 Graham Mrs. C. J., "Hampstead"

227 Drew B. L., architect Belurave street-Sutherland street

### Willoughby bay Bennett Street (Neutral Bay)-North side

Off Cooper street Johnson F. H., "Woolscott" Maopherson Capt. Alex., "Dannottur" Edwards E. S., "Mostyn" Dobbie Stewart, "Leppington" Bodo Heber, "Irraloug" Harris F. J., "Howburg" Dobbott William. "Coolool!"

South side

Brown Ernest R. Crossman Charles, "Inglanook" Dale J. T., "Wilga" Stinson Mrs. M., "Ledgereath"

### Bent Street-East side

Ber

Affred to Fulcon street

Atherton John, builder Ounningham Samuel Macdonald Mrs. M. Hughes William, engineer Jones John O'Hara James, carpenter Ward Affred, cooper Falconer T., professor of music Ward Wilfred Winter F. A., agent Mackenzle James M. E.

Carlow street

Allport Rosald, chemist, "Medbury 'Cannings William Morgans George B., mariner Lefebvre G., shirtmaker Shaw J., "Yutala"

### West side

Virgoe W. R. Job William, "Tinton ville" Robertson Robert, engineer Bland W. Fuller Charles Belwell Captain Alfred

### Berry Street-South side

Alfred to Edward street

115 Wall David 117 Oush Richard H. 110 Heydon A. E.

Arthur street-Little Walker street 109 Read W. Vero, "Vorosheed"

Walker street 89 Stewart Miss S., boardinghouse.

"Altona" 87 Ware Mrs. J. M., "Baden"

83 Francis Philip 81 Adams Miss S. 79 Clark John, "Walton"

76 Scott J. H. 71 Lawless John 66 Harrington A.

Miller street

55 Callen Theobold J. Lyons Educaid

51 Mooney Francis 47 Barber Walter 45 Tomlin John Thomas 41 Barber E.

30 Jackson Isaac Lane Cove road-Napter street

Tawaites Daniel Llewellyn E. P., harnesemaker

15 Kenning Honry 13 Kennedy Sydney 11 Liddle R. L. 9 Matthews William H. 7 Reeves Joseph, "Loisbury" 5 Howard Mrs. V.

# North side

Miller street 56 Eaton Brothers, builders 58 Blizzard and Co., house and land

agents 60 Green William 62 Moxbam E. A.

68 Murray His Honor Judge, " Dalguny" Ward street

70 Moore J. B., "Telarah"

72 Armstrong Mrs. 74 Ounmings Reginald, "Genemaia" Walker street

Our Drivers are picked meu, steady and courteous.

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Pages 428 to 545 missing

Arthur street continued-

13) MoFarland Mrs. J.

127 MoDonnell L., cab proprietor 128 Newland Charles, builder

183 Smith George, transway inspector

135 Prooter Poter 137 Magniro W. H., postai Inspector "Vadlema" 139 Turnbull Junes, watchunker 141 blait Thomas, "Olifton"

Junction street

66 NORTH BHORE and MANLY TIMES

Office-James Hobson, proprietor

119 Walsh Patrick

125 Fowler G. B.

143 Leach Mrs. S. 151 Ross David

103 Konnoly John West side

24 Waterhouse Joseph

28 Lewington Mrs. M.

3) Bailey S., "Montrose" 32 Hale Mrs. B.

21 Pox E. J., J.P.

34 Morgan Charles

38 Scougall Mrs. J.

40 McAlister F. W.

42 Munro Mrs. C.

62 Ohler O. J.

44-48 Hill Mrs. John

64 Milner Herbert

68 Farley Joseph F. 70 Boyce Richard H.

76 Johnson John

78 Ashton Samuel

64 Scholfield Mrs. S. A.

90 Agutter Mrs. F. S.

66 Jones Mrs. M. A.

100 Pearce W. G.

98 Scholffeld Robert S.

Mount street
120 Campbell John O.
122 Crisp Richard II.
124 Trimble J. O., cterk
126 Kenyon Mrs. E. C.
128 Doughas Mrs. R. J.
130 Perry W. H.
142 Rudd William

156 Mitchell Mrs. E. A.

189 Capper H. S., M.D.

28 Stephenson S., cooper

Alexander street

84 Anderson Charles, surveyor South side

16# Cohen Mrs. S.

18 Byruo P. J.

82 Keys George

52 Frary Frederick • 54 Haley W.

Wise John

34 Ivey James

102 Underwood Samuel, J.P., plumber

186 Beeby G. S., solicitor, " Mascotte"

Atchison Street-North side

Willoughby road to Cemetery

Matthews street

Alexander street-Matthews street

86 Henry James 88 Clarko Thomas, bulbler

94 Williams Mrs. Margaret 94 Rattray Mrs. M.

50 Macleau Mrs. M. A.

524 O'Comor Mrs. A.

36 Leuchau Nicholas

NORTH SYDNEY.

Bay

Hurli James, "Lauslowne" Driver John G., "Wyandra"

Willoughby road Gardyne George

Adamson John

Aubin Street (Neutral Bay)

South side Ben Bopd road to Hayes street 21 Sayer Ernest Edward

28 Lambert James 25 Grant Alexander 27 Norton John," Boronia"

61 Norton Peroy, "Eswlok" Imacs L. E., "Arklands" 65 Wright E. O., "Waveney" North side 16 Arthur H. A.

18 Wilson Mrs. A. 20 Spencer Mrs. 1f. 22 Johns ---24 Jensen Victor

2d Sampson John 28 Webb Arthur 30 Nixon B. A. 32 Bannatyne Robert

40 Williams Vivian W., "Killegar" 44 Lestie A. L., "Matal"
Thomas Rev. A. C. (Ch. of England). "Clarence" Undercliff street

50 Hayes P. A. 62 Carey H. W., tea broker, "Cathay" 72 Brown James A., merchant, "Kulnura

Bank Lane Off Bank street Wahlberg Thomas

Bank Street-East side

Of Union street 01 Dungan Mrs. C. Riley street

83 Hardy John W., painter Ward Mrs. A.

Lord street 63 Robinson R., storekeeper 63 Smith Mrs. M.

37 Nimmo John 35 Woodley Mrs. E. 33 Williams Charles H. 31 Pulsford Edward 29 Unrayno David

27 Carroll John 26 Wilson James 23 Marcolino Thomas 21 Dunn A.

19 Matthews W. J. 17 Thomson Andrew 15 Marshall Alfred

13 Carmielaci Albert 9 Johnson John, "Irene" 7 More Watter, englueer, "Clamis"
5 Smith Mrs. J.
3 Robertson Thomas, carpenter

1 Connor Mrs. C. West side 104 Anderson Halwah 102 Anderson Charles

100 Kessler Mrs. H. 98 Scholsteld Horace 96 Whitefield William 04 Fleming Mrs. M.

76 Adams Aliss B. 74 Croushaw Thomas 72 Hayes Mrs. E.

135 Huntington W. 70 O'Brien James, "Avon Cottage" O Brien Mrs. H. 68 Bridge Alma O'Connell William 66 Duncan William Maher Patrick 04 Littleproud Henry F.

69 Quinton Robert Evens Ernest Q. 60 Poskar John, grocer 58 Rossbotham James J. Alexander street Malangren Mrs. R. M., "Yarraila" Dickson William, "Burwah" 56 Phillips Joseph 54 Willington W. A.

62 Walker J. 50 Hopburn John 48 Kellar William 46 Grant John 44 Humphrey Thomas

38 Scholtz Valentine 36 Linfoot Joseph 34 Stevens Thomas W. 30 Linfoot Joseph, storekeener

28 Dunn Samuel 22 Bennett T., bootmaker 18 Lower W.

14-16 Thorne Mrs. G., fruiterer

Bannerman Street From Shell cove road to Murdoch street

Barry Street (Neutral Bay)-East

side
Of Military road
37 Bastard C. W., "Elsleville"
38 Pourice John, "Penmoryel"
38 Williamson G. J., "Imagene"
S. Milliamson G. J., "Imagene"

31 Smithers Alfred

29 Baker Renben 27 Summers Thomas 25 Mastings James Ross Alfred II., "Abingdon"

West side
72 Stenning Edwin J.
70 Hawkless Mrs. Marlon
68 Donaldson Harry
Feo street—Lindsay street
18 Clayton E. H., morehant
16 Farley William
14 Eursyth Mrs. J. M. C. 14 Forsyth Mrs. J. M. O.

12 Spoulley Henry, "Miramar"
2 Barry Gerald J., solicitor, "Westleigh"
Neutral Bay Lawu Tennis Cleb Grounda

Bay Road-North side From Lane cope road to Berry's bay Clarke M. W. S., "Branthwaite" Davies Roy. D. (C. of E.), "Cartref" Nash Herbert M., "Linwhaden" Winokoltmann Edwin J. Spurrett George W.

Dhu Roderick, diver

South side Off-Wright Charles Off-Rolpen Walter Hamilton R.

Bryant G. E., J.P., "Toongarali" Old Richard, "Waverton" Carr street
Bay Road Station—R. S. Smythe, sta-

tionnmster

Anderson A., boatbuilder Wagstaff J. W. Berry's bay

Bayview Street-East side

From George street to East erescent road 31 Taylor Orlando, "Inglonook" 27 Gunderson N. O., bookbinder

25 Hamili Walter 23 Boobyer Mrs. H., dressmaker 15 Halsteed James

18 Hall Stanley
11 Ireland Robort, carpenter

11 Ireland Robort, carpenter
2 Oppenheimer Adolphus
7 Maschwitz W., "Idemere"
Bamer Harmood W., "To Whare"
Nathan Stephon, "Oarldale"
Barrington M., "Fairy Viow"
Richards Thomas R., "Lenddicatt"
Burge William O., "Killarney"
Beadelt Edwin, "Winslado"
Whittell Mrs. E. R., "Althorne"
Off—Fallon Malachy, "Bungalow"
Hurstwaite Frederick, "Glendonnel"

OLD AGE MADE COMFORTABLE PER ANTHONY HORDERN'S FAMOUS LOW PRICES.

NORTH SYDNEY.

Ber

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Bel Murray Cyrll C., "Minnetonka" Johnson F. H., "Woolecott" 166 Wikinson T. B., "Dalmeny" West aide McIntyre William, J.P. obief electoral 108 Carcy H. H., ton merchant Macpherson Capt. Alex., "Dannottar"
Edwards E. S., "Mostyn"
Dobbie Stewart, "Leppington" officer, "Sunny Bank" Komura Tomisaleuro 170 McDermott E. S. 172 Manches Arthur Uther F. W., anotioneer, "Brenchly"
10 Witham J. D. 174 Maolean R. J. 176 Wells H. V. B., dentist "Palgrave" 8 Ham Henry, broker, "Wharnchiff"
East crescent road 178 Raulford Mrs. G. Military road 200 Ford-Cowell Mrs. M., "Lilydale" Belgrave Street-North side From Ben Boyd to Waters road 208 Bell Harold 210 Phillips Mrs. R. Jackson John Oak avenue Townsond Henry 212 Clark Mrs. M. Feeley Thomas 214 Newman Miss E. A., "Avoca" Garlby John 216 Peck Walter, engineer Young street South side 216 Shingg Alfred J.
220 MoManus Mrs. A., "Killendon"
222 MoManus J. R., "Itaheen" Ashe John, commercial traveller Disckman Charles H., "Windsor" 224 Haker F., "Berbice" 226 Johnston F. L. Miller William, "Gulldford" Miller Gustave A., "Baronia 228 Mason Stuart, J.P., "Reperanza" Bellevue Street-West side 238 Harvey John, "Chattleld" Grassmere road—Willoughby bay From Ernest street to Long bay Gately, Martin East side Massey J. Itichanis Eric Swan Andrew Rosalind street Lewington Arthur J., "Walumetta Aubin street 17 Taylor W. H., grocer 10 Elvin Mrs. E. 21 Davis Mrs. Charles, "Burran" Gresty George Whoatley Joseph Ryan John, "Brooklyn" Macfarlane Mulcolm, "Lymington" 23 Martin G. 25 Burko Arthur J., "Merlino" 27 Fairweather W. J., "Lorraino" 29 Snowdon Launcolot, "Manningham" spinks Capt. Christopher, "Sunfield" 37 Close Herbert Carrard William P. Morgan C. H., "Ione" Punch Miss M., "San Antonio" 39 Murray J. M. 41 Ager Thomas, bootmaker Berry Stroet-South side Hunter-Brown Charles H., "Elillawah" (lilles Hamilton, "The Cottage" 43 Stowart G. Affred to Educard street 49 Muggridge A., stock and station agent
51 Halpin R., grocer
Phillip street

Phillip street

Thillip street

118 Wall David Cuthbert John, marino surveyor, "Rosevard" Lambert Mark W.'
Jack Captain A. W., "Anchorage "
Dorney Wilfred 69 Wood Joseph H., " Capri "
Freeman Herbert G. 71 Wickham Edgar, "Sorrento"

73 Basto J. II. 75 White Harry 77 Murrell W. H., tea merchant 79 Pyne Joseph N., "Victoria Cottage" 87 Dawson George 87 Dawson Goorge 95 Morris Charles 105 Fraser Rev. W. G. (Presbyterian) 107 Thompson Charles K. Undercity street

133 Davis Mrs. Alexander 135 Marshall John 137 Dow Patrick 139 Walker Abner

Morley James H., "Walsted"

Anney studies E., "Winsted Amhurst street—Palmer street—Pine street Long bay East side Government Pound

Amhurst street Friederich Wilhelm, draughtsman

Pine street-long bay

Ben Boyd Road (Neutral Bay)—
West side
Karraba road to l'illoughby bay
16 Ennever Robert G., "Merodith"
14 Stokes R.S., M.B., surgeon, "Lynton"
16 Hepburn Mrs., "Bothwell"
Evans Mrs. A. P., "Bothwell"
18 Doak Andrew J., J.P., "Urara"
Phillip street
Stavenhagen L. W.

Stavenlingen J. W. 62-40 Post and Telegraph Office—Mrs

Wardrop, postmistress 64 Anderson William, J.P.

70 Turner John, baker 86 Garland C. L., "Aveling" 82 Ostorne Frank, sulicitor

158 Horton George, grocer Feo street

160 Maguire Mrs. A.

94 Westen Major E. H., "Melrose"

Hardie street

68 Dick Thomas

Hackney Alonzo

Arnemann Harry

Geo Clement M.

Dutcher Charles

Young Walter

Kirby William

Stevenson Mrs. A. B.

Donnelly Mrs. John

Haron J. B., pointer

Lindsay street 173 Reld D., shipping agent, "Ycolauds" 175 Public School—Alexander James Kil-gour, head master

Yeo street 181 Beattle Mrs. M. J., "Jessamine" Beattle R. H., architect

183 Bronner James 197 Williams William, poluter 199 Cheal H.

201 Moere T., drayman Milliary road

209 Elliott Henry 211 Scott Jehn Grosvenor street

217 Model Dalry—W. Carbery, manager 223 Iteeves George, builder, "Glenavou" 225 Mann Mrs. G. F., "Hampstead" 227 Drew E. L., architect

Belgrave street-Sutherland street Willoughby bay

Bennett Street (Neutral Bay)-North side Off Cooper street Clowes Frank, "Waitaki"

Dobite Stowart, "Leppington"
Bode Rober, "Irralong"
Harris F. J., "Howbury"
Wilebire J. T., "Coolcoli"
South side
Bremner Thomas W., "Chrys"
Crossman Charles, "Ingleneuk"
Laman Arthur O.
Stinson Mrs. M., "Ledgereath" Bent Street-East side Alfred to Fulcon street Conningham Samuel Ward Robert Hughes William, engineer Jones John O'Hara James, bootmaker Longh Mrs. M. Charlton Jonathan, " Deep Dene" Morgans Mrs. George B. Thomas Henry Shaw J., "Yatala" West side Lewis Mrs. M. W., "Chuncs" Bedwell Captain A. Job William, "Tipton Villa" Robortson Robert, engineer Carnegio Charles Fuller William, "Djin Djin Cottage" King Ernest G. Wluter F. A., "Preston" Taylor James

Arthur street-Little Walker street 118 Wall David 109 Jeffrey Walter, "Voresheed" Walker street 89 Stewart Miss S., boardinghouse, "Altona" 87 Harrington Alexander, "Baden"

83 Mellinay Mrs R. 81 Parkes Mrs.

70 Baker Mrs. O. 75 Scott J. H. 71 Green itichard 65 Unise Mrs. J. M. Miller street

55 Lyons Edmond 51 Purcell William J.

47 Barber Walter 45 Trott Thomas 43 Barber Robert 41 Hall George

39 Jackson Isano Lane Cove rond-Napier street 21 Masters George

19 Boland Maurice 15 Kenning Henry 13 Kennedy Sydney
11 Liddle L. L.
0 Matthews William H.

7 Reeves Joseph, "Loisbury" & Howard Mrs. V.

North side Kirkland James, coachbuilder Miller street 58 Long Mrs. L. A. J., house & land agent

60 Benson Mrs. M. C. 62 Grace A. H., solicitor 68 Cupper II., Selwyu, M.D. Ward street

70 Moore J. B., "Telarah" 72 Cristord Harold B.

74 Cummings Reginald, "Genemala" Walker street

Studdy W. B., surgeon, "Monterey" 84 Cownn Mrs. E.

WOOD & COMPANY: OUR FINE LIVERY STABLES-LOOK UP "TRADES-LIVERY." SYDNEY.

Document Set 1D: 9845622 THE FUNERAL DIRECTORS OF N.S.W.: SYDNEY. (Head Offices: 810 George) Version Date: 20/12/2023

NORTH SYDNEY.

264 Preston H., "Gowrie" 266 Coobran Walter W., "St. Ninlan's" 268 Martin Vipont E., "Ashton" Alfred street continued-30 Clifton Edward 12 Wilson Walter Derry street

282 Glidlian Robert II., "Glenrock"
284 Musgrave John, "Deloraine"
296 Wade W., "Kalaitha"
300 Tomkins H., "Elberfeld"
302 Selmes Captain J., "Roeperelt" Goad Vera, teacher of plane 34 Fry William

Dind street 54 Monro Mrs. E. 54 Monro Mrs. E.
55 Monro Duncan A.
56 Monro Duncan A.
58 McCouniekes Mrs. Hetta
64 Lees W. O., laundry.
Robertson A., bootmaker
66 Kane William
70 Cox William C., laundry.
72 Clarke, Ward and Oo., autotioneers and estate agonts
80 Cohen Nathanlel
North Sydney Town Hall—W. Barnett
Smith, J.P., town clerk and treas'r
Glen street—Tarra street
84 Rest hotel—Oarl Hausman
85 Dodds Cinries
86 Wade W., "Kalaitha"
802 Selmes Captain J., "Roeperell"
1820 Fell Mrs. E., "Branolioline"
732 Howison George, J.P., "Autor"
8annders E., "Hount Liste"
8 Ridge street—Falcon street
735 Mooro Herbort
737 Akaster James, "Avonia"
738 Dodds Cinries
738 Rest hotel—Oarl Hausman
739 Dodds W., "Kalaitha"
740 Townkin H., "Ellerfeld"
750 Townkin H., 1300 McFariane D., dairy 1370 McGore Herbort 1372 Akaster James, "Avonta" 1374 Massey Joseph, teacher of music 1376 Jackson Jefferson, "Hanney" 1880 Smith Walter, civil cuglicer, "Sci-88 Dodds Charles 90 Hipwood Joseph 90 Dancey Frederick 94 Hunt W. L. 98 Murphy Miss M. 100 Kirkham Thomas harst" Ernest street Alma Stroot—West side Off Muc street 2 Heim Mrs. O. O. Helm G. F. O. 4 Whitehead Mrs. E. Congregational Church-Rev. N. J. Congregational Church-Cooks, M.A. 102 Gorman Peter, "Danby" 106 Harker John, "Cliffcot" Lanender street 6 Boyce William, milk vendor 10 Forsyth James, J.P., "Sofala" 12 Thompson Arthur 116 Hennessy Norse, "Killarney"
122 Goldsmith William Lighthouse street
10 Anderson John T., "Bayswater" 124 Byren Mrs. V. 126 Brady Terence 16 Young James 20 Mather Thomas J. 22 Fisher Henry 130 Buckingham Mrs. E. 130 May Mrs. Henrietta 183 Polic Frederick East side
23 Harkness C. W., oughneer
21 Macdermott H. A., accountant
Lighthouse street 140 Breunan H. F., M.P.S., ohemist 148 South Thomas, provision merchant
Junction street
186 McKenzie William
160 McRenz Mrs. William
160 McRenz Mrs. William 12 Kennedy James Amhurst Street—North side
From West to Believue street
12 Crawley The mas
14 Adams William
10 Henry Aldrhige
18 Wright Richard F.

Miller street
Macdonald Mrs. E., "Topcroft"
Harbut Laureuce, "Alameda"
Combac William Contractor 162 Smith Richard 164 Snow Mrs. T. 164 Snow Mrs. T.
168 Beaney Mrs. C.
168 Whitchead P. W. N.
179 Farrelly James
172 Austen George, clerk
174 Lester Sydney J.
176 Bridgeman Mrs. E., laundry
178 Evans D. W., watchmaker and jeweller
180 Johnston Archibald, bootmaker
180 Mooro James H., baltdresser
182 Lexton Frederick W.
184 Wall Edward C.
186 Caulfield P.
188 Liodd Charles Oomley William, contractor Belevue street South side 37 Tyson Mrs. M., "Tarella 30 Doyle Joseph, engineer 41. Pritchard Mrs. J. 186 Caulfield P.
188 Lloyd Charles
193-194 Vandonberg H. L., butcher
190 Littlefield Annie, grocer
200 Quigley Miss Sarah
202 Dickson James, fruiterer
204 Wood Frederick, grocer
208 Buckley Thomas, engineer
208 Floronce F. D., confectioner
208 Annsen Marcus, laundry Of-Ashton G. W. Miller street

45 Love F. W. B., "Chamonix"

47 Montgomery William H.

49 Baylo John A.

61 Wakefield Mrs. Rebecca Belevue street Anorum Street—West side Of Euroka street 4 Black J. F., compositor 210 Jensen Marcus, laundry 212 Tatham Henry 212 Tatium Henry 214 Alderton Henry 318 Dearden John 220 Greenwell Miss, costamiere 8 Ford William
10 Skowes Mrs. W., grocer
12 Haynes Prederick
16 Webster Thomas 220 Greenwen mass, cosmand 222 Banan John 224 Cook Albert, "Alberton" 226 Rodlek John, opticlan 16 Adamson T. 24 Walker Charles II. 228 Wigg Charles 230 Hydros George 26 Gordon Mrs. Marian 80 Prico John 282 Smith Charles 234 Griffiths Mrs. Thomas

34 Campbell John

58 Thorn James

80 Burns Edward J.

89 Johnston William, tailor

3 Lower William, engineer

Flast Side

Adamson George 7 Bennett Thomas Bullock Mrs. E. 10 Taylor Mrs. G. 23 Wantess William 29 Kirby Mrs. 83 Corpenter Thomas 35 Buchanan James 39 Pelquest Frederick C. 41 Johnson Albert 47 Lewis Frank Sullyan Idenara, dairyn Woodall Thomas Tipping Daniel O. Pulmer street Wost side 16 Healing Charles 63 Graham John
65 Higgins Thomas M.
67 Taylor Mrs. Elizabeth
71 Jackson Henry
73 Smith Miss M.
76 Hendrie William 76 Hendrie William
77 Heilingsworth William
79 Daven John
81 McDonald Duncan
83 Coste Augustus
85 Sheiper Henry
87 Filton Alfred
83 Ritzan Mrs. I. M. 91 Granow Adolph 95 Table Ernest 97 Nichols George 99 Shoebridge John H. 101 Medina Mrs. Mary 103 Tubman Mrs. Honry 118 Klein Frederick 116 West John Mount street 119 Beaver George

130 Turnbull James, watchmaker 141 Main Thomas, "Olifton"

(Hend Office: 810-2 George) Street South, 'Phone 720)

149 Lench Mrs. S.

Art 25 Munro Charles Henry, engineer 27 Grant John, onginedriver Angelo Street Berry to McLaren street
Blandford Alfred, carrier Armstrong Street—East side From Jenkins to Palmer street Chapman Frederick, sallmaker Sullivan Itlehard, dairyman Arthur Street-East side Arthur Street—East side
Larender bay to herry street

19 McCarthy W. H., "Rhodesia"

23 McKhinon Mrs. Gordon, "Motoppo"

25 Kearney Mrs. A. M., "Camjwef"

27 Gimore Mrs. Emina, "Bishopscourt"

29 Ives Frederick, "Carlisle"

31 Pearce Miss A., "Roscoo"

33 Kemp Miss L., "Traboo"

35 Wyly Alexander, "Ondoxton"

37 Nelson Charles 35 Wyly Alexander, "Cadoxton"
37 Nelson Charles
39 Duret Ernest, "Summerlands"
41 Hardy Miss Maude, "Klaora"
45 Smith Mrs. Ellen
47 Leneinn Meholas
49 MacDermott Mrs. Mary
51 Hyde Mrs. Adelo
63 Spears George
65 King William
87 Bradbury Mrs. E.
59 Kmaz Mrs. M.
61 Miller Mrs. Sarah
63 Graham John 107 Butler Mrs. John C. 111 Robertson Thomas, bootmaker 118 Klein Fredorick 119 Beaver George
125 Wood E. G.
127 McDonnell L., cab proprietor
129 Nowland Charles, builder
133 Smith George, transway inspector
138 Nicoll Arthur B.
137 Maguiro W. H., postal inspector,
"Vadletma"

NORTH SYDNEY.

Bel

459

North side 151 Ross David 153 Kennedy John

West side

24 Lindsay James

26 Fox B. J., J.P.

28 Lewingten Mrs. M.

30 Balley S., "Montrose"

32 Richmond Mrs. Barah

34 Morgan Charles

38 Sedgwlek William

38 Soongall Mrs. J.

40 Ray Mrs. Julia

42 Dawson Mrs. Florence

44-46 Hill Mrs. John, "Tranby Croft"

50 Preston Miss

52a O'Connor Mrs. A.

Janction street

44 Milner Herbert

65 North Shothe and Maxin Tim 16 Arthur H. A. 158 Kennedy John 16 Neakl Aubrey 20 Mack Mrs. Anu 22 Waugh Robert 24 Hughes Joseph 26 Sampson John 28 Webb Arthur 30 Nixon B. A. 32 Bannatyne Robert 38 Lind Adam, "Graften"
40 Williams Vivian W., "Killegar"
Thomas Rev. A. O. (Ch. of England), "Clarence Undereliff street b0 Hayes P. A.
62 Carey H. W., tea broker, "Cathay"
72 Brown James A., J.P., merchant, "Kul-60 NORTH BUOKE and MANLY TIMES Office-James Hobson, proprietor Hayes street 48 Furley Joseph F. 70 Boyes Richard H. 73 Webber Mrs. Anne Bank Lane
Off Bank street Walilberg Thomas 74 Johnson John Bank Street-East side 78 Ashton Samuel 86 Henry Miss 88 Clarke Thomas, builder Of Union street Riley street 83 Hardy John W., painter Ward Mrs. A. Lord street 90 Agutter Mrs. F. S. 92 Petter Edgar 94 Rattrny Mrs. M. 03 Robinson R., storekeeper 59 Smith Mrs. M. 51 Cornwell Thomas 96 Jones Mrs. M. A. 98 Goddard Miss MoManus Mrs. Ellon 37 Nimmo John 35 Woodley Mrs. E. 33 Pulsford Edward 124 Trimble J. O., clerk 128 Douglas Mrs. R. J. 31 Duncan Mrs. Catherine 29 Gardyno David 130 Perry W. H., J.P. 142 Rudd William 166 Mitchell Mrs. E. A. 27 Carroll John 160 Walker Frederick, solicitor "Mon-25 Wilson James 23 Marcolino Thomas 162 Underwood Samuel, J.P., plumber 21 Dunn A. 19 Matthews W. J. 166 Beeby G. S., solicitor, "Mascotte" 17 Thomson Andrew 15 Marshall Alfred 11 Adams Audley Atchison Street-North side Willoughby road to Cemetery
18 Byrno P. J., "St. Valerio"
28 Stephenson S., cooper 13 Carmioland Albert
13 Carmioland Albert
10 Dyson Mrs. Catherino
17 Griffiths Mrs. Robert, "Glamis"
15 Smith Mrs. J. 32 Koys Georgo 14 Breen Mrs. Mary Alexander street 3 Robertson Thomas, carpenter 1 Connor Mrs. C. 52a Angell William West side 52 Frary Frederick
54 Haley W.

Matthews street 102 Anderson Charles 84 Haylook Mrs. John 100 Scaborn William 89 Field James 98 Smithers Affred 90 Whitefield William South side
Alexander street—Matthews street 04 Fleining Mrs. M. 74 Crousbaw Thomas 69 Huntington W.
57 O'Brien Mrs. H.
55 O'Connell William
63 Tyrrell Henry G. 72 Hayes Mrs. E. 70 O'Brien James, "Avon Cottage" 68 Bridge Alma 68 Duncan William 51 Jackson H. 49 Evans Bruest C. 64 Potta Albert 69 Quinton Robert 49 Evans Bruest Q.
Alexander street
47 Lowe Harry, "Donton"
46 Ebert Augustine F., "Eghain"
48 Haril James, "Laisslowne"
41 Farquharson John, "Wyandra"

Boundary 60 Poskar John, grocer 68 Rossbottum James J. 56 Phillips Joseph 54 Willington W. A. 52 Walker J. 50 Hepburn John 48 Kelhar Willam 27 Adamson John IVilloughby road 46 Grant John Gardyne George 44 Humphrey Thomas Aubin Street (Neutral Bay) South sido Ben Boyd road to Hayes street 40 Farr Arthur \$8 Scholtz Valentine \$6 Lintoot Joseph \$4 Stevens Thomas W. 25 Grant Alexander 27 White Henry, "Bonoria" 38 Norton Percy, "Elswick" Isaacs L. B., "Arklande" 55 Whitlow James, "Wavenoy" 30 Linfoot Joseph, storekeeper 22 Bennett T., bootmaker

Bannerman Street From Shell cove road to Murdoch street Barry Street (Neutral Bay)-East Barry Street (Neutral Bay)
side
Of Milliary road
Swarriss Wilfred, "Kamin!"
37 Bastard C. W., "Kisleville"
36 Penrice John, "Penmorvel"
33 Williamson G. J., "Imogene"
Angus Arthur, "Aomare"
Ramsay Mrs., "Kiata"
31 Nixon Frederlek
29 Boundy Frank P., "Milford"
Oopeland Mrs. Blanche
27 Summers Thomas 27 Summers Thomas 25 Gardner Mrs. Caroline Ross Affred II., "Ablingdon" West side 72 Stenning Edwin J. 70 Hawkless Mrs. Marion 70 Hawkless Mrs. Marion
68 Donaldson Harry
18 Hood George, "Akram"
16 Farley William
14 Forsyth Mrs. J. M. C.
12 Horton Miss Ellen, "Rahm"
18 Barry Gendid J., sollettor, "Westleigh"
Neutral Bay Lawn Tennis Club
Grounds Neutral Bay Lawn Tennis Club
Grounds
Bay Road—North side
From Lane core road to Berry's bay
Clarke M. W. S., "Branthwalte"
Davies Roy. D. (C. of B.), "Cartref"
Nash Herbert M., "Llawhaden"
Whokettanann Edwin J.
Spurrett George W.
Hall H.
Dhu Roderick, diver
Gough Mrs. Lucretia, "Riverside"
Hall Frederick B., "lyydeue"
South side
#—Jones Arthur Off-Jones Arthur Off—Jones Arthur
Off—Footer George
Gordon J., Carrington Laundry
Edward street
Bryant G. E., J.P., "Toongarah"
Old Richard, "Waverton"
Ollis Albert, gardener
Carr street
Per Boul Stabler 2, S. Smytha Bay Road Statlon-R. S. Smythe, stationmaster Wagstaff J. W. Derry's bay Bayview Street—Eastside From deorge street to East crescent road 31 Taylor Orlando, "Inglencok" 27 Onnderson N. C., bookbinder 15 Haletend James 13 Friend Mrs. 13 Friend Mrs.
9 Oppenheimer Adolphus
7 Maschwitz W., "Ildemere"
Banner Harmood W., "Te Whare"
Nathan Stephen, "Oardale"
Snith J. T., "Carlshrue"
De Winn Loon, "Umaralla"
Barrington M., "Fairy View"
Desley Frelerick O., "Olaremont"
Burge William O., "Killarney"
Whittell Mrs. S. R., "Althorne"
Off—Bethel Mrs., "Bungalow" West side
Rirkmyre Mrs. W. W., "Sunny Bank
Uther F. W., anotioneer, "Brenelly
10 Witham J. D.
8 Ham Henry, broker, "Wharnollff"
East creecent road

Belgrave Street-North side From Ben Boyd to Waters road Jackson John Townsend Henry

16 Lower W. 16 Thorne Mrs. G.

288 Makin H. T.

234a MoDonald William A.

Mount street

248 Binclair Sutherland, "Wimmera"

Atc

NORTH SYDNEY

Arthur street continued-West side West Bide
2 Conway Mrs. Ontherine
4 Beeby Edward A., solicitor
22 Winter Alfred M.
24 Wilkinson John II.
26 Fox Eben-zer J., J.P.
28 Wells Mrs. Mary
30 Balley S. B., "Montrose"
32 Wilson Mrs. Margaret
34 Authors Mrs. Enny

34 Ambrose Mrs. Fanny 36 Jepson, Mrs. Helen, "Eglinton" 88 Macintosh Mrs. Margaret 40 McAlister F. W.

Nachister F. W.
Rae Mrs. Julia
42 Rowe Mrs. Thomas
44-46 Millett Miss, "Tranby Croft"
48 Cohen Joseph

50 Robinson Alfred 52 Hough R. T. 54 O'Connor Mrs. A.

Junction street
64 Hailiday Mrs., dressmaker
Johnson Miss, dressmaker
66 NOINTH SHOUR AND MANIA' TIMES Office—James Hobson, proprietor 68 Furley Joseph P.

70 Hay James 72 Thompson Mrs. Emily 76 Johnson John

78 Ashton Sam, marine engineer 84 Boyce Richard H.

86 Pearce James C. 88 Clarko Thomas, builder 90 Agutter Mrs. Mary J.

92 Storn John 98 O'Brien Alfred Thomas 100 Davis Alfred 102 Elliott Mrs. Julia

Mount street
122 Hughes William
124 Glover Arthur
126 McWilliam Mrs. William
128 Atherton Mrs. Elizabeth
290 Well-Ca---

130 Wells George 142 Rudd Mrs. Rebecca 154 Maclean John F. 156 Gray William S., solicitor

160 Clarke George T., J.P., "Montana" 162 Purkis Arthur, "Loongana" 164 Underwood Samuel

166 Makin Henry T., "Mascotte"

Atohison Street—North side Willoughby road to Cemetery

16 Turnbull Percy 18 Byrne P. J., "St. Valerle" 20 Fisher William

28 Stephenson Samuel, cooper 32 Keys George

34 Lake Mrs. Annle Alexander street 50 Dirou John J.

52a Taylor Frank 52 Frary Frederick 54 Lyttle Robert J.

Matthews street 84 Green V. H

88 King William South side

Alexander street—Matthews street
135 Huntington W.

Matthews street 61 O'Brien Mrs. H. 57 Scannell Henry 53 O'Connell Patrick

51 Radd John A. 49 Evans Ernest C. Alexander street

41 Morris John

47 Olark A. B., " Denton" 45 Ebert Angustine F. 43 Haylen Thomas

39 Hedge Edward J. 37 Boyd Mrs. M. 35 Hanking William 25 Adamson John Willoughbu road

9 Gardyne George Boundary Aubin Street (Neutral Bay) South side

Ben Boyd road to Hayes street
21 Murphy Mrs. D. C. 23 Meggy Percy R.
25 White Henry, "Bonorhs"
27 Orane Thomas E.
33 Norton Percy, "Elswick"

Guthrie Frederick B., "Reignte" 37 Glyde William E.
Isaacs L. E., "Arklands"
45 Stewart Arolibald

North side

16 Clarke James E. 18 Wilmot Hugh P. 20 Cocks Lyndon F. 22 Waugh Robert 26 Potts Clarence R.

26 Potts Olarence R.
28 Stanton Edward
30 Jefferson Joseph J.
32 Upton Mrs. L.
40 Williams Vivian W., "Killegar"
Mackey James, "Stirling"
Bryant George, "Olarence"
48 Leslie Lind, "Grafton"
Underselly street
50 Hayes Patrick A., "Glenroy"
62 Carey H. W., I.P., ten broker, "Cathay"
72 BrownJames A., merchant, "Kninura"

Hayes street

Bank Lane Off Bank street
Jacobs Frederick O.

Bank Street -- East side Off Union street

91 Collins Charles
Riley street
83 Hardy John W., painter
Nicol William

63 Wood and Haskins, butchers
Off—Carey Charles E.
37 Ninmo John
35 Jackson

35 Jackson Harry 33 Liston Arthur O. 31 Schofield Horaco

29 Gardyne David 27 Haynes Mrs. Catherine, "Reading Cot-

tage"
25 Wilson James 23 Marcolino Thomas 21 Douglas John W. 19 Pratt Edmund

17 Thomson Andrew

15 Marshall Alfred 13 Oarmichael Albert E. J.
11 Humphries Thomas

7 Lyons John T.

5 Connolly John F. 3 Tierney Phillip 1 Connor Mrs. Catberine West side

106 Johnstone Mrs. Sarah 104 Anderson Halwah 102 Anderson Charles 100 Niddrle Mrs. Annie 98 Smithers Alfred

96 Aokerman Walter John 91 Fleming Mrs. M. 78 Burton John 76 Cahalan Andrew

74 Oronshaw Thomas 72 Lord Michael 70 Bush Edgar W. 68 Bartlett James

64 Gail William 62 Carson Andrew 60 Bereery John, fruiterer 58 Shaw Mrs. K. G.

66 Duncan William

56 Wettenten John 54 Walker John 52 Cohen Miss, dressmaker 50 Hepburn John 48 Kelleher William

44 Budock Mrs. Ellza 42 Green George E. 40 Webster William, grocer

38 Campbell Thomas 36 Paul Mrs. Emma 34 Potts Albert 32 Stevens Thomas W.

80 Burton John, storekeeper 28 Dunn Charles 26 Humphries Arthur W. 22 Bennett Thomas, bootmaker

20 Marshall Frank 18 Lower W. 16 Thorne John

Bannerman Street (Neutral Bay) North side From Shell Cove road to Murdoch street

Taylor George Whildon Frank, "Dalkelth" Gleland John B., physician, "Akarana" Gerard Francis, "Strone" Nathan Albett, "Hehester"

South side Douglas Alexander, "Dunesslyn"
Phillips J. D. S., "Rantira" Newsom T. Bowden, "Kinnell" Winoheombe W. H., "Kynuna"

Barry Street (Neutral Bay)—East side
Off Military road
41 Prentice Mrs. Annile, "Wonga"
39 Willis Arthur, "Aomaru"
37 Bastard C. W., "Elsleville"
35 Dempsy E. J., "Klata"
33 Boundy Frank P., "Milford"
31 Monk John

29 lugram Mrs. A., dressmaker

27 Summers Thomas 25 Gardner Mrs. Oarollne 17 Ross Alfred II., "Ablingdon"

70 Conroy John

Boswarva Charles J., "Bredhnrst" Mackenzle Archibald, "Pyree" Morton A. E., "Aston" Pritchard James, "Wollonda"

Lindsan street

18 Mackenzle James C., "Allowah" 10 Holden Edgar A., J.P., "Olansman" 14 Shervey Mrs. Emily, "Rahm" 12 Williamson George, T., "Imogeno'' 10 Waugh Rev. R. H., M.A. (Pres.)

2 Kirkland Speirs, M.D., F.R.C.S.E., "Westleigh"

Neutral Bay Lawn Tennis Club Grounds

Bay Road—North side From Lane Cove road to Herry's bay Clarke W. S., "Branthwalte" Davies Rey. D. (C. of E.), "Cartrif"

Harriott street Marriott street
McCornick John, "Goldloontt"
Nash Herbert M., "Linwhaden"
Carr street—Crow's Nest road
Stowart Olnries E.
Luraschi Joseph Reynolds Alfred

Hail Robert Samuels Alfred C., "Ivydene" McKenzle Donald, "Riverside"

ANTHONY HORDERNS'-THE SHOP FOR THE CLASSES.

NORTH SYDNEY.

11 Jackson John

15 Garrilly John Symes H. O., "Dover" Hayes Sydney Callaghan Mrs. Kate

53 Lacey W. O. 55 Collins Alfred 67 Brown George 59 Harding Charles R.

Richmond John, "Carlotta"
Clements Edward, "Waroona"
Anderson John, "Hawthorn"
Edward street—Harriott street Gunton Mrs. Mary L., "Toongarah"

Old Rielmal, "Waverton"

Carr street

Bay Road Station—A. J. Cameron, stationmaster
Steel Wings Windmill Co., Ltd.
Universal Wincel Company, Ltd. Off -Wagstaff J. W. Uff-McMastor Oswald

Bav

Reed George, junr. , N.S.W. Powell Wood Process, Ltd.

Woodley's, Ltd., bollermakers, &c.

South side

Brown lane

Gordon J., Carrington Laundry

Johnson William J.

Gaffney Thomas
Dim Roderick, diver

Aird James

Mullane John

Bayview Street—East side
From George street to East Crescent street
Off—Taylor Orlundo
31 Collins Frederick, "Brookland"
Off—Acome Englueering Works
Off—Months Marino Motor Co.
Off—Knowles Automobile Co.
Off the Mars Files

Off—Daulsh Marino Motor Co.
Off—Knowles Automobile Co.
20 Holts Mrs. Ellen
27 Gmalerson N. C., hookbinder
28 Bulmer John
21 Eve Sydney
16 Halstead Laban
38 Sullivan Harry W.
11 Evans Mrs. Dora
9 Spencer Arthur Wm., Gaden Charles W., J.P., "Ildemere"
Bengamin Mrs. R. S., boardinghonse,
"Heldelberg"
Lever Sims, "Umaralla"
Price Edwin J., "Carldale"
Robluson Alfrek, "Ferryview"
Benjamin Mrs. R. S., bourdinghouse,
"Chremont"
Searle Mrs. Florence, "Althorne"
Off—Bethel W. E., "Bungalow"
Wulf J., "Altona"
Co-Operative Motor Society, Ltd.
Taylor John M., "Wooddin"
West side
Birkmyre Mrs. W. V., "Simny Bank"
Bridge Leslie, "Lewiston"
Bates Mrs. M., b'house, "Brenchly"
10 Lindsay Norman
8 Nathum Stephen. "Wharneliff"

10 Lindsay Norman 8 Nathan Stephen, "Wharneliff" East Crescent street

Belgrave Street (Neutral Bay)

North side From Hen Hoyd to Waters road 2 Dietrich E. S. 4 Wormahl Hugh

6 Grant Robert 8 Fenner Edwin, " Breohin " Young street 56 Kohlhoff Christain

58 Sewell John F. 60 Watt Rev. William (Pres.) 62 Thomas David

64 Monro Alexander F. 66 Underwood Frederick

65 Coggins W. D. 70 Corsellis George 72 Wyly Sydney 74 Burns Ernest W. 76 Bell William

78 Hauptman Michael 80 Watson Oscar, "Gulldford" 82 Olyde Dudley K.

South side McLean Alexander

13 Feeley Thomas

Young street

61 Head Thomas 63 Perguson Robert 65 Wyly Reginald 67 Seldon H. Vlylan 69 Fayle Richard II.

71 Dee Perelval B. 73 Atkinson Robert J. 75 Wilson Charles A. Bellevne Street-West side

From Ernest street to Long ban 2 Potts Alfred Bale William T., "Thehna"

Bule William T., "Thehma"

10 Swan Androw
Rosalind street

16 Adamson John

20 Manee F. S. "Glenden"

22 Wheatley Edward J., "Wahroonga"

24 Baird John W., "Yerami"

26 Morley James H., "Wahstead"

28 Fowler John, "Brooklyn"

30 Dorney Mrs. Caroline, "Ooombera"

132 Garrard William P., "Oroya"

34 Seymour Mrs. Barbara 36 Macfarlane M., J.P., "Lymington" 38 Hoskins Leslie J.P., "Ione" 40 Keenan Mrs. Margaret

42 Hunter-Brown Charles H., "Elliawah" 44 Onneron Miss Jessle.," The Cottage" 46 Edwell Horace H. 48 Neville Richard 50 Bennett Robert

52 Benson Walter ? Benson Walter

Amhurst street

Macdonald Kenneth, "Bludmrst"

Raleigh street—Palmer street

Lawry J. L., "Glen Ville"

Moylan J. J., "Glen Ville"

Pine street—Long bay

East side

Government Pound

Government Pound Leggatt Frank, "Moerakl" Fairfax Mrs. William, "Gloucester" Arnemann Harry Montgomery Mrs. M. Miller J. S.

Pope Charles Amhurst street
53 Mitchell Thomas
55 Fredericks William
57 List Mrs. Hannah

63 Huckney Alonzo 65 Rowley Mrs. 1sabella 67 Windram James 69 Vincent George

71 Thew William 73 Ebert John Francis 77 Kelled Henry de O. 79 Court Edward L.

87 Friend John

81 Hirst Percy 93 Vanhee Bruest, "Glenvlew" 85 Sheaves John

80 Brice David Pine street-Long bay

Ben Boyd Road (Neutral Bay)
West side
Kurraha road to ll'illoughby bay
Joyce William II., boatsheds 16 Ennever Robert G., "Mercallth"
20 Stokes E. S., M.B., sargeon, "Drumrn"

105 Brown J. Bryden

WOOD AND COMPANY EVER REGARD EFFICIENCY WITH ECONOMY. SYDNEY

Ben

509

'Deloitte Marmadnke, "Ashmont" 46 Hepburn Mrs., "Bothwell" 48 Doak Andrew J., J.P., "Urara"

Phillip street
56 Stavenhagen Julius W., "Mt. Edgecombe" 62-60 Post and Telegraph Office—Mrs.

Wardrop, postmistress
64 Anderson William, J.P., "Clifton" 70 McCormack John C., grocer

86 Rickard Arthur, "Irrnbel" Highelor arenue
Lawson George Wilfrid. "Hartwell" Gellatly James, "Kilmarnock" Gel'atly Frank M., "Oallender"

Lindsay street 126 Osborne Frank, solicitor 130 Holmes Miss A. M., "Meryula"

Hardle street
Wilkinson T. B., J.P., "Dalmeny"
Coombe Ernest W., J.P., "Kuring-gal"

158 Horton George, grocer 160 Ballile Sanmel

160 Ballile Sanmel

Feo itreet

166 Gardiner Mrs. M., "Mla-Gnnyah"

168 Cameron Edmund, "Oban"

170 Gibson Mrs. B. O., "Arahuen"

172 Miller Oharles, "Nemvry"

174 Bean W. H., "Ararat"

174 Bean W. H., "Ararat"
176 Thompson Mrs, F., "Collingbourne"
178 Cook Robert, "Lindley"

McGauly Donald, "Braemar"
Donoghuo John, "Nether Edge"
Walker Walter D., "Almondbury" Walker Walter D., "Almondbury"
Barns H. L., "Oranul"
Moorhouse Frederick, "Beverley"
Monteflore Miss O., "Inzelwood"
Varley Arthur H., "Merilba"
206 Wells Richard, "Lifydule"
208 Farrant-Smith P., "Bryntirion"
210 McGauly William, "St. Elmo"

Oak's avenue Uaks avenue 212 Clark Mrs. Mary, "Kunowna" 214 Burke James A., "Mimosa" 216 McManus Mrs. Margaret

218 Watson Mlss M. E. 220 Horsfall Mrs M. 222 McManus J. R.

274 McManns Mrs. H. M. 226 Cowell Mrs. Ford 228 Macdonald, John R., J.P. "Esperanza"

Sutherland street Grassnere road-Il'illoughby bay

. East side

Aubin street 17 McDonald Richmond, grocer 19 Tully Walter

21 Marks Percy, "Burran" 23 Auhin Miss M. E. 25 Taylor Miss Clara 27 Fischer Hermann, "Lorraine"

29 Neal Charles 37 Agar Wallace 39 Stewart George

41 Clinton Peter 43 Harrison Frederlok 43a Staunton Mrs. Margaret 45 Ray John

47 Hoskins Bernard 49 Muggridge Arthur, J.P.
51 Halpin M., grocer
Wilson V. S., "Caprl"

Phillip street

69 Huxley, Mrs. M.
71 Wickham Edgar, "Sorrento" 73 Nixon Arthur

75 Smith Mrs. Matilde 79 Close Horbert," Victoria Cottage"

87 Milne Mrs. Alice 95 Morris Charles T., " Huxley "

653

NORTH SYDNEY.

A tc

Amhurst street continued-

Moore Frank F., "Retford"
Osborne Albert H., "Astoria"
Iredate Mrs. L. F., "Eridge"
MorisWalter A., "Doreen"
Eckford Stanley, "Balgowiah"
Dibben Wallage E., "Wourah" Anderson Cyril, "Beryl" Willoughby William J., "Maidstono" Saveil Shipworth, "Muskoka"

Hawke Frank, "Cardiff" Pittard Rupert, "Sagastaweekee" Warringa road

### South side

Stockley Harold, "Paritata" Stockley Harold, "Paritutu"

35 Taylor Charles

37 Lee William Yinson, "Sunny Cathay"

39 Palmer Mrs. Ellen

41 Turner Martin Henry

Miller street

47 Ide Henry, "Chamonix"

49 Gray Walter

51 Harricks J. D. F.

53 Flower A. G. Addison, "Dalkeith"

Relience street

53 Flower A. G. Addison, "Dalkeith"

\*\*Rellevue street\*

59 Spencer Malcolm, "Rosebrook"

Kellett Harry do O., "Lota Begg"

Diederichsen Mrs. Ruby, "Sunhaven"

Kitt Albert M., "Sheriholm"

Nellsen Ernest, "Lochin var"

Goodwin Icrie N., "Merimbah"

Gillespie Ohnries, "Ralston"

Brown Mrs., "Hilliawa"

Benson Harold, "Quathlamba"

Pelquest Thomas, "The Braes"

Kenve Jacob. "Moronca" Nenve Jacob, "Moronga"

Echo street—Warringa road

# Anorum Street-West side

2 Smith John 4 Hedge Horace 8 Dawson P. 10 Bolton George Albert 12 Coste Victor R. 14 Marr Arthur

18 Thompson John 22 Adamson Thomas 26 Bourke William Nicholas

30 Winney Mrs. Susan

34 Murphy William 36 Clayton William

38 Woolcock Charles J. 58 Johnson Mrs. Amy

East side

3 Lower Miss Kate 5 Bounds Alfred W.

7 Lawson S. P.
9 Willatt Perny J.
19 Burreson Oluf
23 Lipseombe William S.

25 Munro Stanley 27 Hilder David

29 Dessalx Peter 31 Ivory John 35 Stevens John J.

39 Pelquest Frederick C.

41 Knox George 43 Gardiner William E.

Angelo Street Berry to McLaren street

Arkland Street-East side
Off Warringa road
Somerville George C.
Madden Junes, "Canberra"
Keeling Arthur R., contractor
West side

Ferguson Roundd, "Coolnoa" Keebing Alexander, "Zweena" Horiey Courad F. "Narelian" Armstrong Street—East side From Jenkins to Palmer street Aspinuli Mrs. J., grocer

9 Woodull Timnas 11 Tipping Daniel C. Hager Charles Slarpson John, "Wangamii" Burne T., "Oamara"

West slde 6 Chapman Frederick 8 Sullivan Richard, dalryman Heath James 14 Smith Mrs. Eliza

16 Nolan John

Arthur Stroet-East side Arthur Stroet—East side
Lavender Ray to Berry street
Morris Charles Edward, "Ranglioto"
5 Brainwood G. B., watchmaker
7 Long Jaseph William
9 Vokes Mrs. T. W., "Walmarie"
11 Rambton Harvey, "Weisford"
9 Sintield Joseph, "Norwood"
11a Schmidt Hermann, "Hollyrood"
Peterson Mrs. Godfrey "Rose Blanche"
C'Unton William (Ben. Accord)"

Peterson Mrs. Golfréy "Rose Blan O'Brien William, "Bon Accord" Milne Mrs. Alice, "Manilla" 10 Mellhiny Mrs. Rose, "Rhedesin" 21 Ross Henry John, "Motoppo" Larender street 23 Kearney Mrs A. M., "Camjwef" 25 Palmer Mrs. Editb, "Lymien" 29-33 Ives Mrs. Mary, "Oarlisie" 35 Marshall Randolph, "Cadoxton" Stinson Mrs. S.

Stinson Mrs. S.
37 Nelson Gharles, "Charming"
39 Boland Mrs. Ellzy Jane 41 George William 43 Carroll Mrs, Mary

45 Watt James 47 Lenchan Nicholas P. 49-51 Lewis Mrs. Knte

53 Simmons Albert Edward Junction street

55 Morgan C. A. 57 Simons Gerard 57 Simons Gerard 59 Wise Frederick James 61 Milles Mrs. Snrah Boyll Robert II. 63 Gregory Walter C. 65 Barton Mrs. Helen M. 67 Taylor Mrs. Elizabeth

69 Birtchnell Ernest V. 71 Harra il Frank 73 Lupham Walter 75 Drysdale Frederick S.

77 King Mrs. Marron E. 79 Knuth Aibert E., "Cosey Nook" 81 Pearce James C., "Horna" 83 Downle Andrew R.

83 Hancock John
85 Hancock John
87 Popilaric Mrs. Lily
89 McDonald Donald Androw
91 Grunow Ardolph
93 Watt Mrs. Emma C.

95 Knight Edwin 97 Taylor Frederick N. 99 Allen Mrs. Rose 101 Pearce Mrs. Ann M.

103 Ashton Samuel, "Avoca" 107 Butler Mrs. John C.

113 Robinson Mrs. M. J. 115 West John 117 Wood Mrs. Amy 119a Brennan Walter

121 King V. and W., carriers Mount street

II9 Dunn Albert 125 Haynes John W.

127 MoDonneil L., cab proprietor 129 Woods Mrs. Bertha 131 Best Mrs. Mary 138 Sharp Miss Gertrude

WOOD, COFFILL AND COMPANY LTD. LIVERY DEPT., 472-84 HARRIS ST. 'PHONE 156 GLEBE

135 Carlton Thomas

137 Nancarrow Misses L. and G. 137 Mancarrow Misses L. and G.
139 Turnhull James, watchmaker
Meuling Henry, "Arnn House"
141 Pittand George F., "Olitton"
143 Paiden Captain Daniel
145 Pearce Mrs. Woodward, music teacher

140 Pearce Mrs. Woodward, music tear 147 Vandenberg Mrs. Il. 149 Shaw John, "Parelium" 151 Powell William P., " Highbury" 153 Stokes Vincent W. 155 Johnson Charles

West side
2 Conway Mrs. Catherine
4 Dandle Peter
22 MeNavati

22 McNaught A. 24 Wlikinson John H. 26 Fox Mrs. Margaret 28 Wells Mrs. Mary 30 Bailey E. F., "Montrose"

82 Baldick David

34 Harkess Mrs. M.
38 Newbery William, "Iffley"
38 MacIntosh Mrs. Margaret
40 Rae Mrs. Julia
42 Rowe Mrs. Thomas
44 Suttle Mrs. Mary, "Tranby Croft"
46 Nelson Mrs. N., "Tenelba" 34 Harkess Mrs. M.

48 Cohen Joseph 50 Robinson Alfred D.

52 Mitchell Mrs. Mary P. 54 Johnson Miss Ada Junction street

64 Haillday Mrs. E. E., dressmaker Yonnger Mrs. T. M.

66 NORTH SHORE AND MANAY TIMES
Office—James Hobson, proprietor 68 Furley Joseph F. 70 Nelson Walter

72 Wulfing Mrs. Lydin 74 Jeffrey Reginald A.

74 Johnson John
78 Ashton Sam, marine engineer
84 Boyce Richard H.
86 Brown John, tailor
88 Clarke Thomas, builder

90 Pipe Herbert 92 Staunton Henry

94 Hickson James G. 96 Jones Henry John Edgar 98 O'Brien Affred Thomas

100 Sullivan Mrs. Mary T., "Burwarra" 102 Johnson J., "Aramac" 104 Hall Frank

106 Zilm Mrs. Ailce 108 Schoffeld Leonard

Mount street
120 King William II. 122 Ritzan Mrs. Ida

124 Glover Arthur 126 MoWillam Mrs. William

126 MoWilliam Mrs. William
128 Sibthorpe Robert II.
130 Wells George
142 Rudd Mrs. Rebecca
164 Maclean John F.
166 Gray William S., sollcitor
160 Clarke George T., J.P., "Montana
162 Withers Mrs. Ida M.
164 Underwood Sammel
166 Johnson Alfred, "Mascotte"

Berry street

Atohison Street-North side Willoughby road to Cemetery

14 Fulton Thomas 16 Dolg Mis. Burbara

18 Reynolds John, "St. Valerie"
20 Tuft Robert
24 Timmpson Arthur

Dec Percival B., "Lawrence"
28 Stephenson Samuel, cooper 32 Keys George 31 Bennett George R.

Alexander street

ANTHONY HORDERNS' FOR ALL THINGS NEEDFUL AND NICE.

NORTH SYDNEY.

50 Burber Mrs. Sarah "Loa" 52a Hilton John G. 52 Frary Frederick

54 Lyttle Mrs. 50 McCurtayne Albert 58 Barnes Herbert 60 Townseml Albert E.

62 Hunt Gosdon A. 64 Tripp Reginald 68 Gartrell Herbert

Matthews street
Diekson Henry S., "Merlyn" Corthorne Oscar Latchon John. "Tahiti"

Bailey Edgar R. 82 Cruickshuik John G. 84 Dongias Asfred R. 88 King William

90 Bunyan George 92 Mellow William H. 102 Leeder Charles

South side 135 Huntington W.

Matthews street 63 Drew William J. 61 McRoble John

57 Worrall Arthur 53 Elsley George 51 Cowan Alexander 49 Evans Ernest C.

47 Lambert Alexander street
47 Lambert Alexander
45 Long Mrs. Eliza J., music teacher
41 Handcock Frederick
18licy William
39 Handcock Kenneth G.
37 Glover George
38 Belte Lebe

35 Reidy John 33 Chudicigh John G.

31 Maliesch W. 25 Adamson John

Willowyliby road 9 Gardyne George
Bountary

Aubin Street (Neutral Bay)
Ben Boyd road to Hayes street

South side 21 Jackson John Edmond 23 Meggy Percy R. 25 Wright Mrs. Margaret

25 Wright Mrs. Margaret
27 White Henry
33 Norton Perey, "Elswick"
37 Wigg J. R., "Nungara"
Undercitif lane
Hughes William O. G., dentist, "Reighte"

Beetham C., "Arklands" 45 McCrea Charles Thrupp street-Wycombe road

North side 12 Wickham Mrs. Emily 14 Fraser William G. Ben Bond road

18 Boyes Alexander 20 Smith William J. 22 Prior Albert 24 Greening Victor 26 White James H.

28 Watson Sydney 30 Mushford A. J. 30 Mashford A....
32 Cooper Alfred R.
40 Williams Vivlan W., "Killegat"
Stevenson Robert, "Sterling"
Mackey James, "Clarence"
48 Doak Miss Rhoda, "Grafton"

Spooner Cyril

Underclif street

50 Crane Thomas R., "Glenroy"

62 Burke James A., "Haiishot"

72 Brown James A., merchant, "Kulmara" Thrupp street

Balfour Stroot

West side Newton Charles V., "Minoru" East side Davis Oscar

Bank Lane Of Book street Langer William

Bank Street-East side To Union street

89 McKenzie Miss M.
Riley street 83 Sword James 81 Jackson Junes, "Brookland Villa" 73 Madeley William

71 Galbraith Thomas 69 Gardiner Ernest E.

67 Wyeth James Lord street 63 Edwards John

Off--50 Unrey Charles E. 55 Webster Herhert

53 Duggan Charles A. R. 51 Hollins Harry 37 Nimmo John 35 McDernott William E. H. 33 Houghton Harry

31 Adams James 29 McKechnic Alexander 27 Nabis Oyrli, "Reading Cottage" 25 Adams John

23 Bercery John P. Of 21—Lawler Patrick 19 Straehan Hanton 17 Thomson Andrew 15 Marshali Mrs. Alfred

13 Carmichael Albert E. J. 11 Cormack Mrs. Jessie 9 Godfrey John

7 Simmons John H. 5 Connolly John F. 3 Hawkins William

1 Connor Mrs. Catherine West side

118 Gonlding Frederick 104 Amberson Halwah 102 Anderson Charles 100 Kelly Thomas 98 Graham John 96 Collins John

96 Collins John 94 Fleming Mrs. Margaret 82 Lewis Arthur 78 Cronshaw Thomas 76 Foley Mrs. C. 74 McQaskell Alexander 72 Jackson William R. 70 Duckworth William

68 Coomles Mrs. Ephralm 66 Jones Evan 64 Cotton Frank 62 Carson Andrew 60 Poskar John H. 58 Pattinson James 56 Mel.can Mrs. Mary

54 Walker John 52 Tlerney Phillip 50 Hepbura John 48 Kelleher William 44 Bullock Mrs. Eliza 42 Seal Henry D. 40 Kent T. 38 Nevison William H.

36 Shaw Georgo Henry 34 Potts Albert

32 Stevens Thomas W. 30 Fizzell Samuel, grocer 28 Francis John 26 Humphrles Arthur W.

22 Bennett Thomas, bootmaker 20 Hoberts James

Bav

18 Lower W. Bannerman Street (Neutral Bay)
From Shell Cove road to Murdoch street

North side Baker William P. 20 Taylor George Whiddon Frank, "Daliceth"

Quihrie avenue Ewing J., "Akarana"
Sayers Geo. P., "Raundhay"
Nathan Albert, "Hohester"
Clande are une

Cleland J. B. physician, "Conramyn" Russell F. A., "Laurieston"

Murdoch street Murdoch street
South side
From Murdoch street
Reid D'Arcy C., "Hazeldene"
Phillips Capitain J. D. S., "Knutarn"
Cameron Hobert, "Kapal"
Morgan W. S., "Kinnell"
Shrimpton H. C., "Kynuna"
Clark Mrs. M. M., "Knoyle"
Hastington H. A., "Warra"
Hastington the Misses, private school
Ayling F. D., "Wollundry"
Davidson James

Davidson James Shell Cove road Barry Street (Neutral Bay)
Military road to Anderson street
East side

East side
41 Prentice Mrs. Annie, "Wonga"
39 Taylor C. E., "Tundunya"
37 Bastard C. W., "Elsieville"
35 McCay Delambre, J.P., "Onp.Crip"
38 Bonndy Frank P., "Milfori"
31 Monk John
29 Ingram Mrs. A., dressmaker
97 Sunyangs "Homms

27 Summers Thomas
25 Gardner Mrs. Oaroline
17 Ross Alfred H., "Abingdon"
West side
Milltary roat

72 Stenning Fred E. 70 Haves Edward T. 68 Corbett George

Yeo street Lawrenca Manrice H., "Loloma"
Pope Wilfred, "Tarrawyra"
Hove Miss Ennaa, "Na. Navile"
Hora Thomas W. H., "Hinemoa"
Hanson Mrs. M. A., "Creewood"
Nisbitt J. H., J. P., "Pyree"
Webster Edward, "Aston"
Kenny Engene, "Mourable"
Lindsapstreet
Ciayton Ernest H., "Allowah"
16 Penrson A., "Clansman"
14 Shervey Mrs. Endly, "Halmn"
Williamson George J., "Imogene"
Wangh Rev. R. H., M. A.
Weadright, dreet
8 Taylor Frank B., "Innuley"
Sawers W., B.Sc., "Rahmie"
2 Girls College and Preparatory School
—Miss Rhoda Thomson and Miss
Hilda Carey Lawrence Manrice H., "Loloma"

Hilda Carcy Nentral Bay Liwn Tennis Olub

Bay Road—North side
From Line Cove road to Berry's bay
Clarke M. W. S., "Branthwaite"
Davies flev. D. (C. of E.), "Cartrif"
Harriott street
McCormick Mrs. John, "Goldicourt"
Johnston Herbert J., "Ullmaroa"
Cooke, John G. "Elewick!"

Cooke John G., "Elswick" Wilson Thomas, "Linwhaden" Young David C., "Hiverina" Mellyride Norman, " Lorrnine" Atkins Frederick W., " Kooreebah" Curr street - Craw's Nest road

HALF-A-CENTURY OF EXPERIENCE HAS PERFECTED OUR METHODS AND EARNED OUR REPUTATION

547

175 Blucking George O. A., fuel & produce 180 Moore Mrs. Ellen 186 Pool Arthur E., London humlry 208 Varcados J. E., laundry 210 Griffiths Millord S., bootmaker 218 Ritzan Charles II. 220 Rucklidge Mrs. Amy, mixed business Rucklidge John H. 222 Rich Cuptulu Charles 224 Quiun P., "Alberton" 242-246 Wicht Miss O. M., boardinghouse 258 Stanton James S., J.P., "Wymeswold"
Matters Mrs. Muria A.
260 Decent Harry W., "Loombrah"
264 Preston H., "Gavrie"
266 Occhran Walter W., "St. Ninhaus"
268 Martin Vlpont E., "Askton"
Berry street
284 Shrimpton Charles F., "Deloraine"
290 Wull David, "Kalaitha"
300 Relliv Sidney B., "Ylojo" 300 Relliy Sidney B., "Ylolo"
301 Pearce Thomas H., "Rosebrook"
Hampilen street
320 Fell Mrs. H. W., "Branxholme"
Wood Fred. W.

NORTH SYDNEY. 366 Barlow Arthur, "Kumilaroi" 366 Smith Mrs. Grace, "Selhuret"
Ernest street Allan Street-North side Off Camataray road—Folly point fluison Mrs. 11, South side Walters Mrs. Allister Street (Neutral Bay) Off Ranger road Weet side Cremorne Hall Cremorne Hall
Minchin High, "Wanui"
Dundap Wildinn J.
Howie Joseph G., "Inverness"
Cottee Dr. Arthur, dentist, "St. Klida" Blan-hard Joseph, "Rosiyn" Mair-mart Joseph, Rossyn Patrick G., "St. Elmo" Walker Rohnt S., "Reasoleath" Young A. L., "Yethohn" Hicks William, "Braeside" Bushnell Charlos S., "Montrose" East side Gibbs Mrs. M. E. Sloman Oliver H., "Cambria" Rudwick Gilbert A., "Eitham" Douglas Mrs. 8., "Milton" Stratton Frank, "Ashley" White John, "Chandpur Alma Street-West side Of Blue street 2 Blanche Miss Mary 4 Donaldson Mrs. Ellza 6 Boyce William, milk vendor 10 Coulter Mrs. Morgaret 12 Knfield Mrs. Ottivena Lighthouse street 18 Fisher Mrs. H. 20 Gough Alfred 22 Clarke William D. East side 23 Fletcher Alfred 21 Fisher Herbert Lighthouse street 19 Gosper Frederick W. Amhurst Street-North side From West to Warrings road 12 Crawley Thomas, engineer 14 Wagschull Robert 14 Wagsenut Robert
16 Spackman Sylbey, fuel merchant
18 Wright Richard Ic.
Bray F. J. R., "Lynwood"
Holder Henry Philip W., "Euronga"
Lenchan Michael A., "Navarino"

Miller street 60 Shaw Mrs. Rachel, "Marston" 62 Wilshire James R., "Alameda" 64 Comley William, Intibler 66 Comley Mrs. Esther 68 O'Kelly Mrs. Mary A. 70 Flood S. J. 72 Guerla Joseph 72 Guerns Gosspill 74 Trevaskis John Bellevae street Believe street
Newkund Junes, "Fanmark"
Fluch Leonard J. "Artura"
Bennett J. E., "Mizpah"
Darley William, "St. Elmo"
Von Brenk H. J., "Hollandia"
Mooro Frank F., "Orsova"
Iredale Mrs. L. F., "Erdige"
MorrisWalter A., "Doreen"
Eckford Stanley, "Batgowiah "
Graham Mrs. S., "Woorak"
Anderson Cyrli, "Bery!"
Willoughby William J., "Mahlstone"
Robertson Mrs. Charlotte, "Zuleika"
Echo street

Echo street
Pidgeon John W., "Cardiff"
Pittard Rupert, "Sagastaweckee"
Warringa road

South side

B'est street Ricetric Pole Depot Stockley Harold, "Parituta" Parle Miss Mary "Tarella" Taylor Charles 37 Lee William Yinson, "Snumy Cathay

WOOD, COFFILL & COMPANY LTD. HEAD OFFICE: 810 GEORGE STREET. 'PHONE 9229 CITY

39 Neville Lance 41 Stanfield John, "Rockview" Miller street

47 Firzpatrick Edward "Dudley" 49 Gray Walter 61 Blanche Mrs. Elizabeth

51 Blanche Mrs. Rlizabeth
53 Flower A. G. Addison, 'Dulkeith'

Helleane street
50 Spencer Malcolm, "Rosebrook"
Mayo Mrs. Lilly, "Lota Begg"
Redall Mrs. Vinlet, "Sunhaven"
McFadden Teague, "Moira"
Nellsen Ernest, "Lochilwar"
Bendall Jesse, "Merlubah"
McIntyre Hercules C., "Bulek"
Gilssan Carlyle I., "Roma"
Randerson Henry Y., "Concord"
Pelquest Thomas, "The Braes" Pelquest Thomas, "The Brass" Mills Silvester M., "Dartford" Penford Ernest F., "Moronga" Echo sireet Clark John, " Handsworth "

Maher John James, "Moruya" Warringa road Ancrum Street-West side

Off 1 Enroka street 2 Smith John

4 Helge Horace

8 Neale Percy 10 Bolton George Albert 12 Harper Thomas

16 Marr Arthur 18 Jucobs George 22 Adamson Thomas

21 Hausen M. 26 Bourke William Nicholas 30 Winney Mrs. Susan

34 Murphy William 38 Wootcock Obarles J. 58 Johnsen Mrs. Amy

East side 3 Walker Ernest 5 O'Brien Cecil

Slater William

9 Dawson George 19 Burreson Olaf 23 Lipscombe William S.

Schoer Alfred 20 Schoer Alfred, smallgoods factory

31 Lane Arthur

35 Frittolls George 39 Pelquest Frederick C. 41 Knox George

43 Johnston Frederick Angelo Street Herry to McLaren street

Arkland Street-East side Off Carter street

Somerville George C., " Breubar Madden James, "Camberra"

West side
Ferguson Ronald, "Coolnoa"
Grice Roland C., "Ruro"
Horley Conrad F. "Nurellan"

Armstrong Street-East side From Jenkins to Palmer street Aspinull Mrs. Marcaret

9 Woodall Thomas W.

1 Tipping Daniel C.
13 Hagar Charles H., "La Mascotte"
15 Davis Thomas R, "Wanganul"
17 Hayes Henry, "Oamaru" 21 Hutchins Heary

West side 6 Ohapman Prederick

8 Sullivan Richard 12 Copman Mrs. Alice, "Midhurst" 14 Bennett L. J. 16 Nolan Claude J.

Palmer street

Arthur Street South-East side Larender Hay to Larender street Louffman Mrs. Betty, "Raugiloto"

Brainwood G. B. 5 Brainwood G. R.
7 Pemberton James B.
9 Latham Mrs. Harry
11 Rouiston Harvey, "Weisford"
Bremner Miss Clara, "Norwood"
11a Stutter George T., "Hollyrood"
15 Woods Mrs. Bertin, "Rose Blauche"

15a O'Brien William, "Bon Accord"

17 Whorlow Mrs. Marle, "Manilla"
19 Horan James M., "Rhodesia"
21 Ross Henry John, "Motoppo"
Lavender street

ANTHONY HORDERNS' FOR FARMING IMPLEMENTS.

Art Arthur Street Pront Lavender street to Berry street East side Latender shreit
23 Kearney Mrs A. M., "Camjwef"
25 Palmer Mrs. Edith, "Lynden"
27-31 Ives Mrs Marry, "Carlisle"
33 Thompson Mrs. Emily
35 Parkes Mrs. Inth, "Cadoxton" 41 George William 43 Shannon Mrs. Nollie 45 Wyer James 47 Tranter Mrs. Frederick W. Stone Mrs. Florence 51 Malmgron Carl 53 Simmous Albert Edward Junction street
65 Down George M., J.P.
67 Close Mrs. L. F.
69 Lemaltre Mrs. Annie

61 Milles Mrs. Sarah Boyd Robert H. 63 Maßryde John

65 White Mrs. Mary 67 Leahy George 69 Hamilton Mrs.

78 Norman Leslie Drysdale Frederick S. 77 King Mrs. Marron E. 79 Adamson —, "Cose" Nook" 81 Pearce James C., "Horia"

83 Downie Andrew R. 85 Twiss Francis J. 87 Grewnr James C. 89 McDonald Donald Andrew 91 Watkinson Ernest B.

93 Marston Thomas 95 Waison Mrs Edith A.

97 Penres Mrs. Ann M. 99 Allen Mrs. Rose 101 Flnn Joseph

103 Ashton Samuel, "Avoca" 107 Butler Mrs. John C. 111 Lopez Mrs. Willam N.

113 Harris Ernest J. 115 West John West Mrs. Elizabeth, nurse 117 Collins Dennis

119a Brennan Walter

Mount street 119 Campbell Ernest H. 125 O'Keefe Patrick U. 127 McDennell L., cab proprietor

129 Lumley Thomas 131 Best Mrs. Mary 135 Butler Harold B.

137 Nancarrow Misses L. and G.

137 Mancarrow Misses L. and G.
139 Thribuil James, watchinaker
195—Pittard George F., "Albomer"
141 Alderdice James, "Oliften"
143 Padden Oaptain Daniel
145 Pearce Mrs. Woodward, music teacher

147 Vamlenberg Mrs. R. 149 Holland Thomas J., journalist 161 Powell William P., "Highbury"

153 Pve Alexander 158 Denne Oswald Berry street

West side Lavender street
2 Oarroll Miss Bridget

4 Grant George V. 22 McNaught Alexander 24 Ives Mrs. Mary 26 Anderson —. 28 Wells Mrs. Mary 30 Smith Vivian R. H., "Montrose" 32 Bahilick David

34 Harkess Mrs. M. 36 Newbery William, "Iffley" 38 Macintosh Mrs. Margaret Brotherton Mrs. Jumes 40 Ree Mrs. Julia 42 Rowe Mrs. Thomas

44 Carey Mrs. Jennie 48 Cohen Joseph 50 Lerkin Mrs. Ellen 52 Gatcheuse William D. 54 Letris Mrs. Kate Junction street

64 Jamieson Mrs. James A. K. 66 NORTH SHORE AND MANLY TIMES 68 Furley Joseph F. 70 Nelson Walter

72 Wulfing Mrs. Lydia

74 Tennant Claude M. 76 Johnson John

NORTH SYDNEY. 78 Ashton Sam, marine engineer 84 Bayce Richard H. 86 Pontlarie Mrs. Elizabeth 88 Clarke Thamas, Imilder
90 Parsley Mrs. Elizabeth A.
92 Stanuton Henry

94 Hickson James G. 96 Jones Henry John Edgar 98 O'ttrien Alfred Thomas 100 Colwell Laurence, "Burwarra"

102 Wilson William J., builder 104 Hall Frank A.

108 Schoffeld Leonard
Mount street
120 King William II.
122 Richardson Charles

124 Kendall William 126 Olark Edward M. 128 Shithorpe Robert II.

130 Wells George

132 Cuddington Mrs. Florence 134 McFnyden Mrs. Donald 136 Young Arebibald J.

138 Carr George P. 142 Rudd Mrs, Rebecca 154 Maelean John F. 156 Gray William S., solicitor Baker Mrs. Henry P., residential

Baker Henry Percy 162 Umlerwood Samuel

164 Usher Dan 166 Johnson Alfred, "Mascotte"

Berry street

Atchison Street-North side Wittoughby road to Cemetery

14 De Vine William, "Ulvn" 16 Carter Herbert J., "Jura" 18 Reynolds John, "Replake"

20 Thit Robert 21 Potts Albert V.

26 Dec Percivni B., "Lawrence" 28 Stephenson Samuel, cooper 32 Keys George

34 Bennett George R.
Alexander Alreet
50 Barber Mrs. Sarah " Lea"
52a Smith Leslie H.

52 Frary Frederick 54 Lyttle Mrs. Charlotle

56 Einson B rtram W. 58 Mills George 60 Harland Albert 62 Hunt Gordon A. 64 Stewart W.

66 Lewis Mrs. W. Multheres street

72 Grey Mis. May H., "Koobe" Corthorne Oscar, 'Carthona' 76 Sondy John P. 78 Gorman S. 80 Harvey David

82 Saunders Blobard J., "Dunelm" 84 Bourke Patrick, "Tahiti" 88 King William 90 Thompson Arthur

92 O'Regni Charles A. 102 Senior Frederick C. St. Thomas' Oemetery

South side Alexander street

135 Hantington W. Latcham John S., "Rosselaco" Banoroft Mrs. Elizabeth, "Kilmore" Lott Frederick J.

63 Downle Duncan
Maitheus street 61 McMahon J. 59 Smith J. 57 Ambrose A.

53 Elsley George 51 Cowan Alexander 49 Evans Ernest O.

Alexander street 45 Quinn Jack 43 Bullock — 41 Lawson Augustus

39 Grew Thomas A. 37 Glover George 35 Hayhoe John 33 Wilkins Charles H. L. 31 Balls Alfred N. 25 Adamson John

9 Gardyne George, "Rosemont" Johnston John, "Ponsonby" Boundary

Aubin Street (Neutral Bay) From Springen street to Wycombe road

Ban

South side Ben Boyd rond 21 Jackson Colonel J. E.

23 Meggy Percy R. 25 Stokes Edward 27 Ryers Mrs. Emily

27 Kvera Mrs. Emily 33 Norton Percy, "Elswick" 37 Wigg J. R., "Nungara" Underediff true Hughas William O. G., dentist 43 Beethau O., "Arklands" 45 McGrea Charles

Thrupp street-Wycoudie rood

Norih side

Serman street
10 Henderson James "Coolol"
12 Olson Mrs. Sophia, "Winston"
14 Fraser William G.

Ben Hopd road

18 Blennerhassett Mrs. Helen
20 Breckearidge Arthur

22 Seymonr Albert G.

24 Greening Vietor 26 Ryder Mrs. Mabel P. 28 Dwyer Waller

30 Pithers William T. 32 Willis Albur II.

40 Williams Vivlan W., "Killegar"

42 Stevenson Robert, "Sterling" Dill-Mackay Richard, "Sterling"

44 Muckey James, "Clarence"
44 Muckey James, "Clarence"
48 Dook Miss Rhola, "Grafton"
Curtis Mrs., "Grafton"
Underchif street
50 Orane Thomas R., "Glenroy"
O'Neill Mrs., "Naura"
Ramsay Mrs. Edith, "Numara"
Variable In J. P. (News)

Merriman Junes II., J.P., "Nyara"
Birch Mrs. Margaret, "Nyola"
62 Burke Junes A., "I latishot"
Thrupp street
Wycombe road

Avon Street

From Carter street to Warniels oremie

West sido Glennou Michnel J., "Glenrose" Stinson Miss Hammil E., "Trolawney" Knye James, "Kelvinside" Sparkes Harry R., "Richmond" Lancaster Chorles N., "Macquarie" East side Carter street
Whittle Alick E., "Roselea"

Balfour Sireet (Wollstonecraft) Of Cartyle arrest

West side

Schmidt Frederick II. Jowel Godfrey J., "Marama" Newton Charles V., "Minoru" Grango Georgo L., "Turnbridgo" Forbes Edward R.

East side

Hayes-Williams W. G., "Clan Ellison Archibald F., "Torrens" Davis Oscar, "Beltana" Adams William Cumming Alexander, "Thelma" Eavage David S., "Glanryc"

Balls Head Road Off Woolcott street

Wilson Stanley E., "St. Rollicks" Weatherall Percy, "Narrel" Oarrie Itussell, "Fairview" Hammond Fredk, W., "Stephanle" Bank Lane

Off Bank street Sharp Charles

Bank Street-East side From 18 Union street 91 Collins Charles

89 McKenzie Miss M.
Riley street

83 llezer Harry R. 81 Jackson Junes, "Brookland Villa Morgan William H.

73 Graham Mrs. Emma 71 Thomas Mrs. Allee 69 Morris Walter J.

THE MOST COMPETENT AND LEAST COSTLY FUNERAL DIRECTORS IN AUSTRALASIA

24 Greening Victor 26 Ryder Mrs. Mabel P. 28 Dwyer Walter 30 Hudson Frank E.

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40 Williams Vivian W.
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42 Wigg Miss Lille
44 Trimmer Mrs. Ronald
Doak Miss Rathleen
48 Doak Miss Rhoda

Curtis Mrs. T. G.

587

Bay

39 Byrne John F. 37 Bastard C. W. 35 Brunker Mrs. F. M. 33 Munro Walter 31 Monk John

41 Prentice Tile Misses

29 Birtles Alfred E. 27 Summers Thomas 25 Gardner Mrs. Caroline 17 Bradley Charles B.

Westleigh street

<del></del>	ANTHUNI		AUSTRALIAN MANUF	
536	All	NORTH	SYDNEY.	<u>Atc</u>
Alfred st (	N. Sydney) cont.—	78 Adam Lachlan M.	Armstrong Street	127 McDonnell Luke
	pton Charles F.	80 Bennett James E.	East side	129 Tearne Richard 131 Best Mrs. Mary
296 Hanks 200 Roilly	George Sidney B.	82 Darley William 84 Van den Brenk A. J.	Jenkins to Palmer street	135 Denver Mrs. Sophia
	nald Mrs. J. A.	88 Iredale Mrs. L. F.		137 Nancarrow Misses L.
	npden street	90 Morris Walter A.	9 Hopper Harry	G. 139 Turnbull Mrs. Marg.
	Mrs. H. W. Matthew	92 Eekford Stanley	11 Tipping Daulel C. 13 Hagar Charles II.	141 Alderdice James
32 Roe		94 Tucker Miss Louie E. 96 Fogarty Thomas	15 Seymonr Mrs. Ada	143 Padden Capt. Danie
334 Hewls	son George, J.P.	98 Willonghly William .	17 Hayes Henry 21 Hutchins Henry	145 Pearce Mrs. Woodw
36 Saund		100 Carroll Miss Janet	West side	147 Vandenherg Mrs. R. 149 Holland Thomas J.
_	idge street	Echo street 102 Pidgeon John W.	6 Chapman Frederick	151 Powell William P.
	conards Park	104 Pittard Rupert	8 Sullivan Mrs. Mary	153 Holt Ralph
	ilcon street	Warringa road	12 Copman Mrs. Alice	155 Deane Oswald  Berry street
	Andrew W. Robert R.	South side	14 Bennett Leonard   16 Nolan Claude J.	West side
54 Lewis	Mrs. Mortimer W	West street Electric Pole Depot	Palmer street	Lauender street
156 Denna	thy Jerome J.	Stockley Harold	Arthur Street South	2 Conway Misses K. E. &
58 Marty	n Mrs. K.	Wormald James S.	East side	4 Grant George U.
63a Mass	edy Mrs. M. A. E. cy Mrs. Rose C.	35 Taylor Charles	th Lavender bay to Lavender st	22 Wilson Renald
	Langford A.	39 Neville Joseph	5 Brainwood George B.	24 Ives Mrs. Mary
	w_Arthur	41 White Mrs. Mary	7 Pemberton James B.	26 Webb Miss 28 Wells Miss Mary
	Mrs. Grace	Of —Harding John	9 Mackie Duncan D.	30 Smith Vivian R. H.
	ster Street	Miller street	11 Smith James Tapfield Miss Brenda S	32 Baldick David
	utral Bay)	47 Roy Gaston H. 49 Gray Walter	11a Stutter George T.	·  34 Harkess Mrs. Margare   36 Garvie John
	Ranger road	51 Blanche Mrs. Elizabet	h 15b Goldsmith Miss Rosie	38 Tornaros Miss S.
••	Vest side	53 Honeycombe Nieholas	15a Brien William	40 Rae Mrs. Julia
	orne Hall	Bellevue street 55 Spencer Maicolm	17 Blake Henry 19 Bailey Joshna	42 Rowe Mrs. Thomas
	Leslie	57 Pidgeon Harold N.	21 Mockbell Kakell	44-46 Anderson Mrs. N 48 Cohen Joseph
	William T.	59 Mayo Mrs. Lilly	Larender street	50 Lorkin Mrs. Ellen
	ing Phillip A. man Robert O.	61 Redall Mrs. Violet	Arthur Street	52 Todd Mrs. Alice
	Mrs. Annie	63 McFadden Teague 65 Neilsen Ernest	From 42 Lavender street to	
	ek Garnet	67 Shepherd Robert	Berry street	Merriman William Lang Charles
	er Roland S.	69 Johnson Frederick	Enst side	Nennedy Mrs. Mary
	hard Joseph G. William	71 Glissan Carlyle I.	Lavender street	Frost Patrick
	ell Charles S.	73 McKny Roy 75 Pelquest Thomas	23 Kearney Mrs. A. M. 25 Palmer Mrs. Edith	Junction street
	ast side	77 Mills Silvester M.	27 Kihlea Miss Isabel M.	66 "North Shore and Ma
Piggo	tt Mrs. Lucy	79 Penfold Ernest F.	29 Tosh William	68 Furley Joseph F.
Sloma	n Oliver II.	Eclio street	31 Ives Mrs. Mary 33 Thompson Mrs. Emily	70 Nelson Walter
	nder William	81 Clark John 83 Maher John James	35 McLintock Mrs. S. E.	72 Wulting Mrs. Lydia 74 Tennant Claude M.
	ted Roy E. on Frank	Warringa road	37 Nelson Mrs. Frances F	76 Johnson John
	John	Ancrum Street	39 Deloughery John 41 HH Mrs. Mary	78 Ashton Sam
Al	ma Street	West side	43 Anderson Howard P.	84 Beyce Richard H. 86 Popilarie Mrs. Eliz.
	Vest side	Off I Euroka street	45 Allsop Mrs. Edith	88 Clarke Thomas
	Blue street	2-4 Smith John	47 Wyer James	90 Smith Mrs. John
2 Blanc	he Miss Mary	8 Neale Percy 10 Bolton George Albert	49 Stone Alfred 51 Malnigron Carl	92 Stainton Heury 94 Hickson James G.
	dson Mrs. Eliza William	12 Williams George	53 Simmons Albert Edwd.	
	r Mrs. Margaret	16 Marr Arthur	Junction street	98 O'Brien Alfred T.
12 Macfa	dyen Horace G.	18 Jacobs George 22 Adamson Thomas	55 Morgan Charles A.	100 Colwell Laurence
	ius Mrs. Isobel	24 Stevens Leslie	57 Close Mrs. Florence L. 59 Lemaitre Mrs. Annie	102 Wilson William J. 104 Crauther Charles
	thanse street ell Robert J.	26 Bourke William N.	61 Milles Mrs. Saralı	106 Zilm Mrs. Alice
	Mrs. H.	30 Winney Mrs. Susan	Boyd Robert II.	108 Scholfield Leonard
20 Schmr	iaker William	32 Brown Mrs. Annie 34 Hoyie Archihald	63 McBryde John 65 Henry Mrs. Harriet	120 King William H.
22 Fisher	•	36 Russell George	67 Brown Thomas	122 Richardson Charles
	ast side	38 Woodcock Charles J.	Bill Frederick W.	124 Crow John
23 Fletch 21 Boyce	ter Alfred	East side	69 Lealry George	126 Read Alfred 128 Silithorpe Robert H.
	thouse street	3 Walker Ernest 5 Gaughan William	71 Burke Benjamin J. 73 Drysdale Frederick S.	130 Seymonr Joseph II.
	r Frederick W.	7 Slater William	75 Clarke Charles	132 Kerr Robert
Amh	ierst Street	9 Williams Joseph	77 King Mrs. Marion F.	1134 Crisp Mrs. Eliza R.
	orth side	19 Burreson Olaf	7!) Adamson George W.	136 Sheridan Mrs. Louisa 138 Carr George P.
	Warringa road	23 Lipseombe William S. 25 McWilliams Robert	81 Pearce James C. 83 Downie Andrew R.	142 Rudd Mrs. Rehecea
	e William C.	27-20 Schoer Alfred	85 Wiseman William	152 White Mrs. Margare
	Mrs. Daisy	31 Rowe Harold	87 Grewar James C.	154 Maclean John F. 156 Gray William S.
	edy James E. it Riehard F.	35 Carre Cimon	89 McDonald Donald A. 91 Grunew Adolf	160 Baker Henry P.
18 Wrigi 22 Flatt		37 Carey Charles E. 39 Pelquest Fredk, C.	93 Marston King	162 Underwood Samuel
Fre	edhen avenuc	41 Knox George	95 Govet Mrs. Frida	164 Farrell Richard H.
	Frederick R.	43 Bourke Michael	97 Pearce Mrs. Ann M.	166 Johnson Alfred Berry street
Holde 44 Flowe	r Henry P. W.	Angelo Street	99 Allen Mrs. Rose 101 Finn Joseph	
	iller street	Berry to McLaren street	103 Christian Mrs. O.	Atchison Street
60 Slade	Mrs. Emma S.		107 Butler Mrs. John C.	North side
	lre James R.	Arklands Street	111 Cox Mrs. Mary	111 Willoughby road to
04 Comic 66 Jasob	y William ne Edward	East side Off 14 Carter street	113 Skilbeck Edward J. 115 West John	Cemetery 14 Devine William E.
	ly Mrs. Mary A.	Barnes Ernest A.	West Mrs. Elizaheth	16 Almond Walter
70 McCre	die Herbert C.	Madden James	117 Collins Dennis	18 Reynolds Jolm
	orn Samuel M.	West side	119a Brennan Walter	20 Tuft Robert
14 Trevas	ikis John	Chapman —	Mount street	24 Potts Albert V.
	levue street	Grice Roland C.	123 Buckley Thomas II.	26 Kitney Robert

ANTHONY HORDERNS'-THE SHOP FOR THE MASSES.

Aub	NORTH	SYDNEY.
32 Keys George	Undercliff street	20 McKechnie Alexander
34 Eyre Mrs. Priscilla	50 Crane Thomas E.	27 Langer William
Alexander street	Vaile Mrs. Hugh	25 Gregory George
50 Barber Mrs. Sarah	Nelson Mrs. Wallace	23 Burkett Mrs. Minnie
52a Coulton Sidney	Ramsay Mrs. Edith	Off—21 Shea Mrs. Emily
52 Frary Frederick	Merriman Jas. II., J.P.	19 Strachan Hanton 17 Smith Thomas
54 Lyttle Mrs. Charlotte	Bireh Mrs. Margarez 62 Burke James A.	15 Marshall Misses M. & J.
56 Emsen Bertram W.	Thrupp street	13 Stewart Andrew
58 Dillon Walter 60 Rutter William O.	Wycombe road	11 Curry Mrs. Margaret
62 Hawkins Maurice P.		9 Langley Charles
64 Reid Alfred	Avon Street	7 Simmons John II.
Matthews street	Carter st to Warwick avenue	5 Davis Artlmr
72 Grey Mrs. May II.	West side	3 Hawkins Capt. William 1 Connor Mrs. Catherine
74 Corthorne Osear	10 Glennon Michael J.	
76 Yates Sidney V.	8 Smith Leslie B.	West side
78 Stevens II. C. K.	a Kaye James	106 Goulding Frederick
80 Harvey David 82 Saunders Richard J.	4 Hanlon Lionel A. 2 Lancaster Charles N.	104 Anderson Halwah
84 Bourke Patrick	2 Lancaster Charles N.	102 Anderson Charles 100 Cubitt George
88 King William	East side	98 Bradburn Mrs. Mande
(10 Ambrose Albert	Carter street	96 Wainwright Mrs. E. G.
92 O'Regan Charles A.	5 Whittle Alick E.	94 Fleming Mrs. Margaret
102 Wright Henry E.	3 Richards John F.	82 Lewis Alpha
St. Thomas' Cemetery	1 Rebertson Arthur A.	78 Crenshaw Thomas
South side	Balfour Street	76 Chapple Roy
135 Houghton William	(Wollstonecraft)	74 Johnston John
Rooney William	Off Carlyle st to railway line	72 Jackson William R. 70 Tyrrell Ernest
Bancroft Mrs. Elizabeth		70 Tyrrell Ernest 68 Coombes Mrs. Lucy
67 Rea Norman	West side Mildenhall II.	66 Davis Alexander
Matthews street 61 Shiels George	McDonald Maleolm	64 Moran Mrs. Christina
59 McMahon James	Smith Sydney J.	62 Carson Andrew
57 Hawkins Edward J.	Jewel Godfrey J.	60 Poskar John II.
5.3 Elsley George	Costelloe Edward Gregory Thomas E.	58 Wedgner Rmlolph
51 Cowan Alexander	Newton Ceeil C. V.	50 Everett William
49 Evans Ernest C.	Love Mrs. Fred.	54 Murphy William
Alexander street	Pairfax Miss Ethel	52 Jones George 50 Hepburn John
47 Lovve Henry T.	Grange George L.	48 Schoer Alfred
45 Quinn Jack	Forbes Edward R.	44 Parsons Walter
43 Crighton John II.	Rnilway line	42 Lawrence James
41 Elsley Jack	East slde	40 Stone Sidney
39 Bullivant Alfred	Woods Isaac	38 Nevison Mrs. Julia
37 Glover George	Mergan Harry C.	36 Lyden Edward
35 Haylioc John 33 Thew George D.	Hayes-Williams W. G.	34 Bereery Mrs. Mande 32 Stevens Thomas W.
31 Porter Henry A.	Ellison Archibald F.	
25 Adamson Jehn	Davis Oscar	28-30 Sharpe Charles 26 Coghlan William
B'illeaighby road	Marshall A. R. S. Adams William	22 Councily Miss Dorothy
9 Gardyne George	Grey Robert	20 McSkimming Hobert
Newcy Ernest II.	Savage David 'S.	18 Lower William
Boundary	Railway line	16 Thorne John
Aubin Street	Balls Head Road	Bannerman Street
(Neutral Bay)	Off Woolcott street	(Neutral Bay)
Spruson st to Wycombe road		Shell Cave rd to Murdoch st
South side	Donaldson Robert R.	North side
	Laker Captain John	Hayes W. J.
Ben Boyd road	Reid George	20 Stewart John M.
21a Price Miss J. R.	Hammond Fredk. W.	Whiddon Frank
21 Williams — 22 Haggarty Miss	Swam Mrs. F.	Guthric avenue
25 West Edward J.	Forsyth Henry	Ewing J. Hicks Arthur W.
Griffiths John W.	West side	Hicks Arthur W.
27 Harbottle Mrs. E. H.	t'oal & Bunk'g Co., Ltd.	Stewart David J.
33 Norton Perey	Bank Lane	Claude avenue (Icland 3. B., Medical
Hood George H.	Off Bank street	Practitioner
37 Wigg J. R.	Walker Mrs. Ellen F.	Cohen Bernhard
Undercliff lane	1	Murdock street
Hughes William O'G.	Bank Street	South side
43 Beetham C.	East side	
Levy Joseph V. 45 McCrea Charles	From 18 Union street 91 Collins Charles	From Murdoch street Reid Mrs. D'Arcy C.
Thrupp st-Wycombe road		Phillips Capt. J. D. S.
• •	89 McKenzie Miss M. 87 Smith William	Cameron Robert
North side	1	Morgan W. S.
Spruson street	Riley street	Shrimpton II. C.
10 Henderson James	83 Bezer Harry R.	Clark Mrs. M. M.
12 Nissen Frederick A.	75 Rae William J.	Gulliver Ellis Cremorne Ch'eh of Eng.
14 Fraser William G. Ben Boud road	73 Graham Mrs. Emma	Gram, Sch. for Girls
18 Breckinsale —	71 Thomas Mrs. Alice 69 Norman Ernest	
20 Breekenridge Arthur	67 Beck Albert	Ayling F. D. Davidson James

Lord street an Wighton George 50 Carey Charles E.

55 Webster William 53 Daley John W. 51 Rumsey William

37 Olive William C. 35 Haughton Harry

33 Jones Evan 31 Adams James

Tubb Alfred Davey Harry

59 Mnrch Edmind

CONDUCT UPWARDS OF ONE-THIRD OF THE TOTAL INTERMENTS IN THE METROPOLITAN AREA

Shell Cove road

Barry Street

(Neutral Bay)

East side

West side Military road 72 Sterning Fred E. 70 Hayes Edward T. 68 Jackson Alfred Yco street 60 Jarrett Mrs. Mary 52 Fraser Mrs. 48 Brassington Mrs. J. W. 46 Boswarya Mrs. Charles Tunks Richard 42 Thomas Arthur G. 38 Webster Edward 38 Webster Edward
32 Kenny Engene
Lindsay street
28 Clayton Ernest II.
26 Penrson Arthur
24 Shervey Mrs. Emily
12 Williamson George J.
10 Waugh Rev. R. II.
Westleigh street
Sawers Mrs. W.
2 Girls' College
Newt Bay Tennis Ch Neut. Bay Tennis Club Bay Road North side Lanc Cove road to Ross st 21 Clarke Mrs. Alice 29 Davies Rev. D. Marriott street 35 McCormlek Mrs. Ellen 37 Evans Stuart 39 Cooke John G. 41 Royston Fluts— Archbold Miss M. Smith C. P. S. 47 Williams Mrs. Clara Carr street 49 Briten Miss Helen M. 51 Cory Mrs. C. E. 53 Arnold Miss C. E. 55 Atkins Frederick W. Crow's Nest road 57 Donaldson Capt. Alex. 63 Gregson Mrs. 65 Holt Miss Myra 67 Johnson Leslie 69 Tarleton Frederick W. 71 Blanks Brothers 73 Harris Alfred H. 75 Jones Ernest 75 Jones Ernest
77 Street Horace G.
79 Allen Sanuel C.
81 Moseley Mrs. S. A.
83 Hall Robert
Whatmore street
85 Trickett Affred S.
87 Foot Noel 87 Foot Noel 89 Winter Richard 91 Bowen Mrs. Blanche Eagar 11. A. 93 Roberts William 95 Redhead Ernest 97 Montgomery William 99 Hebden Mrs. A. J. Courk Mrs. M. M.
Gulliver Ellis
Cremorne Ch'eh of Eng.
Gram. Sch. for Girls
Ayling F. D.
Pavidson James

Grann Sch. for Girls

Ayling F. D.
Pavidson James

Grann Sch. for Girls

Ayling F. D.
Pavidson James

Brown lone Brown lanc
6 Vereac John A.
8 McDonald Mrs. Ruby
10 Lynch Victor
12 Lillis Mrs. Julia
14 Sanday John, J.P.
16 McKenny Edward R.
Edward street 135 Military ril to Anderson street Clements Edw.
The Priory Flats—
Koeford William G.

WOOD, COFFILL & COMPANY LTD. LIVERY DEPT., 51-61 GEORGE ST., C'DOWN 'PHONE L2848

Bay

Markwig A. J.

Lee Arlhur

Dennison A

Wathins G.

Marland John

Hadson George

Smilli Mles M.

Le Quesne Louis

Splidding F. S.

Foster James Meller J.

Toongarah toed

40 Hawthorn Flats

Clambers Mrs. W. C.

Priory road

Brown Mrs. Dorothy

54 Walker Francis 8.

Sydney t'. of E. Grammar School for Girle—(N.

Sydney Heb. - Miss

Slatt. headmintress

Harriatt street

Carland Mrs. Margneritte

70 Penfold Frederick E. 72 Savage Thomas

H'averlon avenue

62 Marali Churles

Warrangulla Flats-

88 Carboy Flats— Fawn A. E. Wallis E. P.

Dixon Thos. Wm.

92 Ellison Peter Lloyd Syd. Brook

i.arkin Miss

Whitney L.

Monthouse Peler

Tax Cuthbertson -

110 Stoney Clyde M.

1 12 Klieisdorff Mrs. A.

Woolcott street

Hall's Head road

Bayvlew Stepet

Bast side

Georgie at to East Orescent

20 Warren Mrs. Ada W.

l'ederal Boat Sheds

Ovenbam Major N. H.

90 Wheeler Victor N.

04 Woodley Walter W.

08 Homestead Plats-

Bay Road Hallway Station.
— 1t. Hridekirk, S.M.
96 Conuntly John F.

Carpenter Mrs. R. F.

Off — 102 Hardite Steel

Hardening Co.

Off-100 Clair Charles V. 104 Dayls Mrs. Emlly 100 Dilibs Walter

Cadill Arthur

Bell J. S.

Stewart Miss E. J.

541

864 Baker Langford A. 366 Dale George E. 368 Smith Mrs. Graco A. Remark street Allister Street

100 Keen Leonard R.

164 Ayling Cecil B.

West stress Electric Pole Depot 25 Stockley Harold

29 Wormald James S.

85 Lyon Fraser 87 Falconer Miss Agnes

41 White Mrs. Mary

Off-llarding John, milk &
hutter veniler

Miller street

Belleuus atreat

Pidgeon Harold N.

59 Mayo Mrs. Herbert 61 Baunders Alfred

68 Meinnes G. W. 65 Neilsen Ernest

67 Smyth Joseph 69 Kennedy II. W.

of nolico

Scha atrest 81 Clark John

83 Sattler Mrs. R. A.

71 Gilssan Carlyle L.

76 Pelquest Thomas 77 Mills Silvester M.

79 Wilsen David B. F.

Warrings road

Ancrum Street

West alde

Of Bank lene
8 Neale Percy
10 Rolton George Albert
12 Jannister Mrs. Anno

22 Adamson Thomas

24 Stevens Leslie 26 Bourke William N.

80 Winney Mrs. Busan 82 Kenyon Robt.

86 Hedge Samuel 88 Woodcock Mrs. Jenet

Bast alde

3 Rennett Walter A.

7 Stewart Alexander

Behoer Allred

Senderland Nothan

23 Linscombe William 8.

5 Lyden Edward

58 Feley Vincent B.

84 Hourke Patrick

Souter Harry, Inspector

47 Carpenter Hanry 51-53 Middle John D.

31 Wormald James

89 Neville Joseph

Rcho street

102 Pidgeon J. W., 'Oardil'

Warrings road

South alde

(Neutral Ray) Off 92 Ranger road to Orambrook avenue West side 2 Cremorne Hall Blich Ernest

8 Muir Mrs. Margaret A. 10 Frager Hector 12 Nott Mrs. Annie 14 Patrick Garnet Merrison John I. 18 Pyc Mrs. Angelina 20 Feulllade Mrs. Florence

Bast side 1 Piggott Mrs. Lucy E. 8 Sleman Oliver II. 6 Young James &. Keenan Miss E. 9 Sanna Mra. E. 11 Horabush Mrs. A.

Alma Street West side Off Blus street
2 Blanche Miss Mary

6 Boyce William 10 Coulter Mrs. Margaret 12 Couller Mrs. Crewford Lighthouse stress 16 Prewell Robert J. 18 Floher Mrs. II.

28 Parsona Rerbert Lighthouse strest

Amherat Street North side

12 Thorne Mrs. J. 14 Klmbrey Herbert 16 Kennedy J. E., wood & coel merchant

24 Ardree Priv. Hospital-Nurse Churches Fredben avenue 84 Goldsby Herbert R.

31 Newman Murdock 85 Douglass John 87 Carey C. E., knitting 86 Simmonds Edgar 88 Jenes Frederick R. taclory
80 Pelquest Fredk. C. 40 Webber Occar 42 Ooley Mrs. E. 41 Knox George 48 Coston Chas. J.

Afiller street 66 Slade Mrs. Emma S. Angelo Street 62 Walker William R. Berry to McLaren street Cemley William Arklands Street 68 O'Kelly Mrs. Mary A. East aide

70 McCredle Herbert O. Of 14 Carter street 11 Lakey Arthur 9 Biden Stniand 74 Trevaskia John Bellevus street Manypeany Arthur A. Whitchead Hobert Ayneley Richard 78 Baxter Mrs. Bertha M. 80 Bennett James E. 1 Jones Mrs. William

Carter etreet Olisson Mrs. Elizabeth West side ' Whithread Evalyn Gammell James R.

19 Nixon Waller 8 Mellebie John 8. 66 Gammell James Iredale Mrs. L. F. 6 Grice Holand C. 90 Lowe William 92 Eckford Stanley Williams Vivian V. W. 2 Tuhrlity Joseph Carter street 96 Barrie John 98 Willoughby William J.

NORTH SYDNEY.

**Armstrong Street** East aide Jenkins to Palmer street 9 Hopper Harry
11 Tipping Daniel G.
18 Hagar Charles H.
16 Bninave J.

17 Martin Ernest 21 Hutchins Henry West side 6 Chapman Frederick 12 Cepman Mrs. Alloe 14 Bennett Leonard 16 Copman Stanley nurse

Palmer street Arthur Street South East side
Lovender bay to Lavender si Wadic Henry T.

Thorpe Basil A.

Nelson Mrs. W. Somervallle Andrew

9 Murray Mrs. A.
Gossip Mrs. K.
9 Firlec Mrs. K.
11a Gingerra Flate— Crutekahank C. Morgan Miss B. McCinlay Mrs. Jean Murphy M. Harcourt Mrs. C. Clark Arthur

ROSS 11. C. Fooks Miss E. Ward Miss N. F. 13 Nimmo Fred. J.
15a Brien W., est. agnt.
15b Feeney Thomas McKechnie A.

10 Todd Mrs. Alice M. 1fla Delmont Flats-DWYCE Mrs. W. F. Neeilham If. Dioppie Mrs. G. A.

Byrne Mrs. K. Lyons D. Struck Miss C. Parsons Miss E. 21 Mockbell Cabail Gardener Clifton

Baker Mrs. Jno. Lavender atract Arthur Street Fram 42 Larender streat to Berry stract

Best side Lavender street 28 Kearney Mrs. A. M. 25 Smith A. P. 27 Munro John McKay K, C. 29 Tosh Willism

31 Ives Mrs. Mary 83 Thompson Mrs. Emily 35 Breckenres Charles 35 Breckenrek Sabel

87 Coeper Mrs. Maper
89 James James A.
41 Rughes Aris R.
48 Webber Mrs. Mary A.
45 Allsep Mrs. Edith
Allsep E. F.
47 Wyer James

49 Connell David 51 Sidetl Bartlo 63 Hill Moses T. Manwaring George 53a Hepe Wm., electrical engineer

Junction street 55 McNleol Joseph 57 Clese Mrs. Florence L. 50 Lealie Mrs. C. 61 McKenele John Cunningham C. M. 67 Bill Frederick W. Dean John

78 Halstead Mrs. Matilda 75 Ridgeway Kingatey

77 King Mrs. Marlon E.

79 Beck -. 81 Robertson Charles Conto Victor E. 85 Govet Mrs. Frida

Grewar James G. 89 McDonald Mrs. Annie 91 Grunow Mrs. Elizabeth 93 King Mrs. Mary 05 Arthur Flots-Richards Leonard 97 Zeffertt Samuel W. West John R. H. 99 West Mrs. E. E.,

10 t Smith Mrs. Priscilla 103 Talt Sydney Mc. 107 Dumns Alexander 113 Davis Arthur H. 119a Brennan Walter

Mount street 123 linekley Thomas H. 125 O'Keete Patrick U. 127 McDonnell Luke 120 Stiles Sidney J. Meinnes D. A. 181 Best Mrs. Mary 183 Smith Edward 185 Denver Mrs. Sephia

Mullin John J.
187 Nancarrow Misses L. G. 180 Turnhull Mrs. Marg. E. 141 O'Brien Alfred T. 143 Pearce Mrs. B. 145 Pearce Mrs. Woodward 147 Vandenberg Mrs. R.

149 Holland Thomas J. Holland Mary, J.P. 161 Forrest Mrs. Kate 153 Lawson Mrs. -... Berry alreet West alde

Lavender etreet
2 Conwny Misses K. E. & 4 Grant George U. a Grant George U.

22 Ball Mrs. M.

24 Ives Mrs. Mary

26 Graham Alfred

28 Wells Miss Mary

80 Smith Vivian R, 11.

82 Baldock David

34 McSweeney Velentine 80 Garvie John 88 flughes Mrs. Charles E. Hinghes Rev. C. E. (Ch. of England)

40 Rae Mrs. Julia 42 Rowe Mrs. Thomas 44-46 Anderson Mrs. Nina

48 Cohen Mrs. Annio
60 Lorkin Mrs. Ellen
62 l'emberion James B 54 Value Plats
Lyons George
McDonagh James Muggridge F. Hennessy Mrs. R.

Junction street 66 "North Shore Time" 68 Lockwood Mrs. G. M. 70 West Mrs. Mary 72 Wulfing Mrs. Lydia 74 Rodgers Mrs. Alloe

76 Johnson Mrs. E. 78 Ashlen Sam 84 Beyee Richard II. 86 Popliarie Mrs. Elis. 88 Clarke Thomas 90 Scott Charles 92 Staunton Henry 94 Washer Edward T.

100 Colwell Laurence

164 Pearoo dames

10a Zilin Mrs. Alice

Mount etreet

47 Lowe H. T., niumber 47 Lowe Mrs. E. M. 45 Ward Thomas J. 48 Dessaix Alfred Q. 96 Jones Henry J. E. 4t Anderson Andrew 89 Seaborn William H. 87 Millen Levy 102 Wilson William J. 35 Roberts Isane 83 Smith Norman B. 108 Scholfield Leonard 31 Marerow James

2.5 Adamson John 120 King William R. 122 Richardson Charles 124 Strathmore Richard Willoughby road 9 Parker William G. 126 Read Alfred 128 Sibthorpe Rovert H. 180 Cochran William 182 Kerr Robert 184 Crisp Mrs. Elles R.

186 Sheridan Mrs. Louisa

188 Summers Mrs. Elis.

164 Harris William R.

Berry sireet

Atchison Street

North side

111 Willoughby road to

Cometery

166 Underwood Samuel

14 Mortimer George

isinerity Gorden D. 20 Tult Robert 24 Chrroll Richard A. 26 Murray

84 Eyre Mrs. Prisclila

Alexander strest 50 Barber Mrs. Barah

52a Johnson George T. 62 Frany Frederick 54 Lyttle Mrs. Charlotte

se Martin Richard H.

68 Thomson Niebet

60 Rutter William O. 62 Hawkins Mgurice P.

66 Kearney Geo.

70 Monikomery Wm. 72 Grey Mrs. May H. 74 Huntington L.

78 Glfford Rebert H.

80 Harvey David 82 Saunders Richard J.

88 King Mrs. C. 90 Dryadale Frederick S.

92 Murbhy Joseph G. 94 Murphy Herbert 96 Barthelson Ernest

102 Korr James St Thomas' Cemetery

South side

135 Ifuntington William Clarke Cyril R., 'Ormis-

Baneroft Mrs. Elleabeth.

22 Adate J R., buildat

'Kilmore' 85 Schofield Willred O.

67 Plevy Roland 63 Downle Mrs. E. Matthews street

01 Miller Sydney Q.

53 Vine Lewis C.

49 Evans Ernest G.

50 Pooley William 57 Hare Mra. Margaret 55 Hawkins Edward J.

Cowan Alexander

Aloxander street

76 Yates Sidney V.

84 Bourke Patrick

08 Wall John

100 Williams John

64 Reid Alfred

16 Almond Walter 18 Currey Mrs. 8.

28 Hill J. 32 Keys George

142 Rudd Arthur E. 154 Maclean John F.

156 Gray William 8, 160 Perry Mrs. W.

162a Shevill Erson

7 Williams A. J., Ponsouby' Roundary Aubin Street

Anb

(Neutral Bay) Spruson of to ll'ucombe road

South side Wren W. J., Wiliawa' Ben Bound road Ctanta Frederick 23 Nixon R. 25 West Mrs. E. J. 25 Cox Mrs. Lillah

27 Bergin Miss -33 Norton Percy 37 Wallefield Finnk Undercita lane Robinson A. E.

43 Arkland Flats-Lambert Mrs. Ada Hall Mrs. E. 45 McCrea Charles Thrupp st-Wycombe road

North aide Spruson sireet 10 Henderson James 12 Nissen Frederick A. 14 Lockington Arthur Ben Boyd raad

18 Reckinsale James A. 22 Histop William T. 26 Arnold James

28 Douglas Bertard 30 Hoberts Mrs. Ida 32 Holfs Goorge 38 Stirling William R. 40 Williams Vivian W. 44 Trimmer Mrs. Renald

Doak Miss Kathleen 48 Doak Miss Rhoda Cartis Mrs. T. G. Undercilf street 60 Spain Claude 62 Vaile Mrs. Hugh

54 Forbes Mrs. II. 56 Merriman J. II., J.P. 58 Birch Mrs Margaret 62 Burke James A. Thrupp street

Avon Street Off 88 Carter at ta Warwick acenuc

West side 10 Glennon Michael J. 8 Smith Leslic B. 6 Kaye James Kennedy Mrs. M. A. E. 2 Lancaster Charles N. Donnis Harold

Bast side Carter elreet 5 Fletcher A. Erwin 8 Richards John F. 1 Gates Thomas W. H.

Balfour Street (Wolistonecraft) Off 22 Carlyle at to railway

North side 20 Garvan Calaghan 18 Price Edward J. 10 Hell John 14 Jewel Godfrey J. 12 Costello Edward 8. 10 Moginio A. H. 8 Gregory Themas E. 6 Newton Cecil
Tilly Miss Florence

Millor Mrs.

4 Grange George L. Rallway line South side 2t Harris Edwin 10 Morgan Harry C., J.P. 17 Hayes-Williams W. G. 16 Ellison Archibald F.

18 Davis Oscer 11 Maraball J. R. S. tr Smith Geoffrey 5 Evans Herbert A. 1 Savage David 8. Railway line

Ball's Head Road Of l'oulcutt street to Berty's bay Best side Nordstrom Gustav F. Gray Herberl Ponyculck Import J. Lumsden Mrs. E. Thempson W. E. Hetherington John Carswell Francis J. Riddington William Swatte Mrs. Mary A.

West alde Coal & Hunkering Co., 1.td. (Warka) Bank Lane

Swan William

Off Bank street Thorn c Miss Maria Bank Street

Rast side From 18 Union street uf-Cronshaw Thomas 91 Richards G. Il. 89 McKenzie Miss Mary 87 Smith Willam E.

Ittley street 83 Bezer Harry R. 73 Wright Gearge 71 Florance l'. A., solici-

69 Carlon Patrick 67, Thone William Lord street

63 Tustin Wm. J., grer. 59 Carcy Charles E. Off-Weisster William 58 Walker George 51 Shea Clifford it. 49 Smart Mrs. Frances J.

41 Ray John
39 Kane Sidney G,
37 Morris Themaa
33 Gaughan William
81 Adams James 20 McKeclinlo Mrs. Mary 27 Walker John 25 Winslade James 16 Marshall Misses M. & J.

18 Stewart Andrew

Pateman — 11 Abrenfeldt N. J. 9 Mohr Franz 7 Jennings David 5 Jackson Arthur E. 8 Hawkins Capt. William
1 Connor Mrs. Calberine

Union street West side 100 Colding John F. 102 Anderson Charles O. 160 Cutilit George Vinn Afra. Anne

96 Mason Frank
Of-04 Fleming Mrs. M. 78 Jenkins James 76 Logan Reginalil 74 Westwood Thus, O. 72 Raymond Frank 70 I'hillin Frank 68 Coombs Mrs. Lucy

NORTH SYDNEY. 613 Gaughan Michael J. 64 Herger Francis II. 62 Cughlan Valter

JOHN SANDS' LTD. "SAN JUSTO" PERFECT LOOSE LEAF LEDGER.

110 Buskur John 58 ilutherford James T. 56 Everett William 60 Hephurn John 48 Schoer Alfred 44 Walker Llonel 42 Lawrence James 40 Stone Sidney

38 Davey Mrs. Almo 28-30 Sharp Charles 26 Militgen Miss N 22 Hamilton A. 20 Newcombe Robert 18 Lower William

16 Kiely Jeffery Union street liannerman Street (Neutral Bay) Shell Core rd to Murdoch et

2 Brittain II. T. 4 liayes J. W. 6 Slewart John M. 8 Borch Ludwig Quintie ovenue 10 Telum's Adrinn 12 Illeks Arthur W.

Claude avenue 16 King Walter U. 8. 18 Caghlan F. A., J.P.

Murdoch street South side From Murdoch etreet

20 Deane William 27 Phillips Capt, J. D. S. 25 Cameron Robert 28 Morgan W. S. 21 Shelmoton H. C. 10 Clark Mrs. M. 31.

17 Wickham Reg. 8. 16 Cremorne Ch'ch of Eng. tiram, Sch. for Cirls tl futtenden Frank

9 Auroussemi George II. 7 Tubb Alfred 8 Davey Harry George

l'so airest

50 Murch Edinand

45 Rell John W.

47 James George A.

43 Twehlil Richard

41 Premice The Misser 30 Byrne John F. 37 Bastard C. W. 35 Brunker Mrs. F. M.

38 Smith William S.

29 Newwest Mrs. A.

27 Summers Thomas 23 MacAluster Donald

17 Hradley Charles B.

Military road 72 Ruther Walter

64 Hinton Harry

70 Hayes Herbert F.

Yeo street

60 Davies Mes. Annie M

52 Brassington Mrs. J. W.

Lindsay street

56 Jarrett Mrs. Mary

46 Payne Mrs. Lillist 42 Thomas Arthur C.

88 Bernard Vivian D.

32 Kracfit Occar' W.

31'esile(gh strest

West side

31 Monk Mrs. Christing

80 Winter Alfred Barry Street 91 Mende Basil W. F. (Neutral Bay) 03 Burgess William 05 Bridekirk Herbert E. 135 Military rd to Anderson atreet Bast side

97 Ealon Jas, pastry shop 97 Ealon Jas, pastry shop 97a Swankey E., bootmkr, 10 Samierson Hugh 101 Groon Mrs. Agnes E, 103 Wiles William

28 Clayton Ernest II.

26 Weston Harry E. 24 Stein Maurice

24 Moss R. llawnsley

12 Sherrie William M.

(Pres.)
Westleigh street

Bay Road

North side

Lane Cove road to Ross st

20 Davies liev. D. (O. of

Harriott street

31 McCormick Mrs. Ellen ,35 Fitz-Simons Thomas M.

17 Bray Arthur J.

21 Clarke Mrs. Alice 23 ilichards William

37 Evans Stuart

Whitekead John

Naylor Elwyn

41 Mouston Fints-

Archhold Miss Mabel

43 Maze William A.

51 Cery Mrs. C, E.

Carr strest
40 Hriton Miss Helen M.

63 Arnold Mlas C. E. 55 Atkins Frederick W.

Crow's Nest road

57 Wulker Miss Annle B.

69 Horner W. J., Imteher

77 Hoowath William J. T.

M'halmore alreet

85 Colley Lastr, grocer

71 Edgar & Co., grocers 73 Newlyn Allred

63 Pulsford Mrs. B. E.

65 Cayley Mrs. N. 67 Rood William 11.

Lawson Mrs. M.

75 Jones Ernest

70 Allen Samuel

83 Hall Robert

81 Roberts William

87 Cattings Charles

47 Nash Herbert

Cooke John C.

10 Waugh Rev. R.

Sawers Mrs. W., 'Ralmie' Neutral Hay Tennis Club

Itonaldson Cant. A. Ilosa street 116 Walker H. 116a Moorhouse Noel South side 116b Walter Mrs. R. 122 Reed Geo. sent. Brown lane 6 Vercoe J. A., laundry 8 Norris Leslie

Cole Arthur 12 Lillis Mrs. Julla 14 Sanday Mrs. Alice E. 18 Melienny Rdward R. 18 Elton Frederick II.
Edward street
20 Clements E., tailer
22 Great Chas II.

Bernard Mrs. A.

Craik Mrs. 8.

Melrep. Board W.S.S. 24 Williams Clara Off-Neptune Motor Boat Co. 31 Collins Frederick 26 Graham Mrs. I. A. 28 East Stapley
The Priory Flats—
Ashworth Arthur

27 Horton Sidney 25 Condren Mrs. Elloen Snape James 23 Gold Clement 21 Madeley William A. 10 Num Charles J. 15 Schmidt Miss Minna D'Arey F. D. Ill other Oscar Bartle Oliver 13 Crewley William J. Compbell Ayde W. D. Blackett Smith 11 liansby Willand McCulloch Arthur 9 Finley — Corrigan Mrs. Mars Allan A. A.

Featherstone B. O. Paviell Freik. A.

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487 Flate-

487 Wonstey Allan 487 Kenworthy S. J.

403 O'Brien James

403 Sulliven Francia J

495 Burgess Leonard H.

497 Atkins Mrs. A. R.

400 Stafford H. 501 Bensiev Mrs. M. A.

50\$ Decke Mrs. Lucy 505 Graham W. B.

515 Edwards Clus., 517 Wilson F. W.

619 Lakeman John

514 Yeldbam Arthur R. 618 Joscelyne Arthur R.

Ernest street West side

Imperial hatel-Charles II.

10a Nummi lioraco L.

24 Ferdinand Fredk, W.

32 Castledine Mrs. Sarah

3 Young Mrs. Caroline 4 Taylor Mrs. D. E. Bind street

42 Puddicombe Alfred R. 44 Hutchinson William J.

16n Bilest Mrs. M.

22 Batalia Mrs. C.

20 Horn Kinnaire Q. 20a Yeo Miss Ruby

28 William Miss Jana

McLaughlin Thos.

36 Noisen Manuel

84a Tulogi Flots-

2 Large Miss V.

86 Folicit Mrs. Ada 88 Coole Mrs. F A. 40 Wilson Edgar A.

46 Lefebre Raymond 48 61, Clore Mrs. G. V. 60 Alexender A.

50} Donohue Miss A.

62 Goodyer Miss H. 521 Stanbridge Roy

54 Richardson George

62 St. Alben's Flats-

40 Nownham Mrs. Hannah

64 Olayton T., grocer 66 Nakamura J., laundry

66a Taranto C., fruiterer 68a Solomona I'., carrier &

72a Giles A., baledresser 72 Expert Hat Renovators

74 Lloyd Arthur, bootmkr 76 Alaxander A., smallgda 78 Patterson John J.

estate agent 62 Stephens J. If., moter

The Turret Theatre, Ltd -D. Finley, manag-

Godson J. Barelay, artist Glen street-Tara street

84 Rest Astel - Francis J. Finnan 26 Watson & Palmer,

builders 86 Fitzgereld Mrs. E. M.

92 Malloch S. & G., estate

agenta

60 Blebardson Mrs.

necessories Public Telephone

ing director

Cort. Savings Bank

58 Marsh Cop. M.

Agency

08 Timbrell Flats-

Presimer J. Taranio G.

Folcon street Oriek lana

NORTH SYDNEY 644 ALE	JOHN 8
Albany at cont. — 45 Wilmot Peter II.	Law Edwin J.
40 Williams Mrs. Ethel	118 Smithers Miss F. A. Albany efreet
41 Teasdain W. J. 49 Dyko Mrs. Hearts, L.	Atlony street 120 Wilson John 122 Brown Henry J. 124 Hayley Miss F. M. 120 Wright Walker H. 128 Pithors Miss Mary
	124 Rayley Mist F. M.
87 Watting Miss Eileen, planoforte	126 Wright Watter II, 128 Pithers Miss Mary
SVillaughby road SS Halcombe A. IS.	130 Richarde Harry 132 Thomas James 134 Num Charles II. 130 Davin Mrs. M.
81 Price S.	134 Nunn Charles II.
29 Stratumns E. J. Hume street	150 Davin Mrs. M. Atekkeen efect
Hume street 27 Shorman Frank 25 Leasy Arthur N.	Alchies street 140 Neeh John D.
North side	140 Tye Herhert S. 142 Parana Thomas E.
Boundary	146 Pirrie Somo
59 Cheal Thos.	Chandos street Bast side
52 Dayle Joseph 50 Willsogiby A. P.	Hayberry street
50 Willengiby A. P. 58 Clayton J. 60 Reld Mrs. J. 62 McLelland Sumuel 64 Bush T. F. 65 Morkey Africa 68 McDonald Nett	1 Gibson, Battle & Co.
62 McLelland Sumuel 64 Bush T. F.	lid., ballery service
66 Mortey Affred	Nell Nita Itali Charles Business Col. Craig Miss D., school of
68 McHonald Nell 70 Raffray J.	Craig Miss D., school of
70 Ruffray J. 72 Bulbert Francis II.	daneing O Smith J. B. & Co., ear
74 Ularke Frederick 76 Hardle D. E.	painters
NAMoughby road 78 Merchant William	painters  0 Leslie A., plumber  11 Rood Mrs. E., home-
80 Ditck Mrs. Minne	marge cakes
80 Dick Mrs. Minnte 82 Jones George A. 84 Milhom Leavy 80 Gaffney J.	maker
60 Caffney J.	Falcon street 37 Stephens John R.
58 Dukes Edgar W. C. 92 Unisteed Affred 96 Hewes Vivian E. Alexander street	NA MARIEM HODE T
96 Hewes Vivian E. Alexander street	43 Johnson Burt 45 Macourt John C.
Alexander Street West side Lane Corn rd to Chandos et	40 Williams Roy 40 Half Mrs. A.
HOYOGTTY AGTECT .	47 Counts Duniel C. 49 Williams Roy 40 Hali Mrs. A, 51 Imphan Mrs. Netta M. 53 Wagger Horses 55 Headley Sid. moder can
	or mainty with more car
cycle cogment	rier Burlington street
cycle cogmers 12 Gamley J. T., plumber 12a Dale & Sans, cat, agus	Burlington street 61 Smith Harold 62 Musen Joseph 65 Waite A.
Falcat street  S4 Patterson Mrs. F. J.  80 Tizzard Mrs. inbel  30 Carnin Mrs. M. B.  89 Fard E. O  40 Smith —.	
80 Tizzard Mrs. ispbel 86 Carnin Mrs. M. N.	65 Probert George 67 Barker Russell W. 60 Boorer Verey 71 Rtchards Jones 78 Wisenstn A. E. 75 Haad Vincent 77 Thew Charles J.
88 Ford B. C	69 Roorer Perey 71 Richards James
42 Jaweon Emiel II.	78 Wiseman A. E.
47 Hotely May 1994 to 1	77 Thew Charles J.
44 Johnson —. 46 Henry Mrs. Elizabeth 48 Sharpe S. E.  **Burlington street** 50 Potts alburt	Bruest street
Hurimoton sirest	88 Jones Wijilam 85 Crew Miss Altee 87 West Joseph T.
SA Passe Commit	87 Wray Joseph T.
68 Bargarey Mrs. Elale 60 Roland F. L. 62 Brown Abraham J. 64 Campbell D. gross	87 Hrawn A. B. 99 Sands James 103 Letghton Mrs. Isobella 107 Beynolds Churles Hotterwan street 13 Bernolds H. J.
62 Brown Abraham J.	103 Leighton Mrs. Isobella
64 Compbell D. grover 68 Butching Edwird T.	Hotterman sireet
70 Janes Krnest	118 Reynolds H. J. 116 Castledine Edward
74 Le Bris Mrs. Elisabeth	117 Stucker Benjamin
70 Janes Kriert 78 Lealle Miss Marmrel 74 Le Bris Mrs. Ettabeth 76 O'Neill A. Ernest street	Jefferson Mrs. M. 121 Townsend Henry
	127          120       Alfont
784 Brown E. B. 80 Haddawny Croest	181 Corgrove Jahn 133 Eyre Mrs. P. 185 Pullilps Moss 187 Higgins Thomas
80 Haddaway Errest 80 Adamson William 82 Salvation Army Quarters	185 Phillips Moss
52 Salvation Army Quarters . P4 Bawdler E. W.	137 Higgina Thomas 139 Flowers Geo.
P4 Bawdler E. W. 86 Hugies Thomas 88 Antiss William P.	Nevonahire aireci
90 Craddock Mrs. Maris	141 Mait Alized 143 Augustus Aliced
88 Antisa William P. 90 Craddock Mrs. Maria 92 Downey Miss B., tchr. of music	146 Duller Reg. G.
04 Newsome John 8, Holicemon street	149 Huller John
a00 Cuthbert Benjansin R.	165 Melvin Georgo Atchieen street
102 Sommerville John 104 Cooke Mise T.	Atchicen street 189 Bowlee William J. 180 McClelland William
100 Wigmete J. P.	161 Green Colin
106 Smith Mes. I. 110 Smith Japans 114 McFarlane Mes. 6.	163 Irlaney Mrs. Dorothy 168 Brunell Roy
110 Smtth Japace 114 McFarlane Mrs. S. 116 Orubb Henry	167 Thomas Mee. H. J. Chandos street
YOHN SANDS S	ITERT, CITPROAT

MINDO MARIETAN
Alfred Street
Cast side Fittroy to Ernest at 83 Dind's Hatel — Edward
Jewsp
Willoughby street NeBaugait etreet
201 Worland Thos. P. Mileon's Point hotel Garl
A. Zimmerman
Ashbroak Chas., newsagent Gorman H., phumber
tings street
230-241 Hampden Plate- Haran Ceell
245 Loosley Mrs.
251 Maddreka Fredk, G.
265 Eaton Heary 257 Williams Altred
257 Williams Alfred 261 Hamilton Mrs. M. 201a Goodman T., confeins, 203a Milligan Richard
203a Milligan Richard
263 Rodgers Wm. A.
205 Hawton Clyde 207 Champion Persival
200 Ritzau G. B. 271 Ford William
27) Ford William 273 Yates Bither G. 275 Giffin Mrs. R.
281 Hoyce Bash Verden Mrs. B. 283-230 Hingstan Flats— Hatcher W. Harris Mrs. J. Smith Mrs. A.
183-280 Kinpetan Plate—
farris Mrs. J.
Medley Mrs. C.
183-230 Sinpetan Plate— Hateleter W. Harris Mrs. J. South Mrs. A. Medley Mrs. C. Keity Mrs. Violet Public Telephonu Buresu Hurraba read—Bray etrest 117 Heech Mrs. J. 217 Darward Mrs. D. 223 Lee Horse J. 230 Rylance Mrs. M. 241 Cochrane Wm. 241 Stripp W. 242 Stripp W. 242 Stripp W. 242 Stripp W. 243 Stripp W. 244 Cochrane Wm. 245 Stripp W. 246 Stripp Mrs. Ray 246 Rown M B
317 Heech Mrs. J.
123 Lee Homee J.
330 Rylance Mes, Minnie 341 Cochrane Wm.
344 Cochrane Wib. 643 Sitipp W. 315 Pertin Mrs. Ray Darlor street 357 Brown M. B. 360 Babington Mrs. Mary Nook Ow-Raisn st-Bent
Pacley street
369 Babington Mrs. Mary
372 Riddell Watter 377 Botting John W.
189 Murray Miss El.
891 Helley Ocear 893 Watson Miss Marlon
tai Chandlae Marry 487 Goldmith Alfred
Winter lane
441 McIntyre D. J. finds Mrn. J. Minnort E. 446 Roe Miss E.
Manon E.
446 Roe Miss E. Murray Miss
Hayes-Williams L. G. Gibson Mrs. K.
Murray Miles Muyes-Williams L. G. Gibson Mrs. K. 447 Forber Mrs. Isabella M-Danald Kenneth A. 451 Dengete A. D.
451 Dangate A. D.
459 Prout Mrs. J. H.
M-Daniel Kenneth A. 451 Dangate A. D. 462 Birk Alired M 459 Prout Birs. J. H. 453 Revencerig School — Miss Matthews 466 Engelerd J. 447 Reproled W. O. 467 Robinson Mrs. E. Propodon affect 469 Treacol Priv. Haspital— Sisier O. Jeonen 471 Rennedy James A. 473 Barrison John
466 Burenferd J. 447 Reznolds W. O.
467 Robinson Mrs. E.
469 Treaco) Pelv. Haipital-
171 Kennedy James A.
i 478 Herrison John

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488-485 St. Leonard's Gram-
mar School — R. R.
Peacock, headmaster
                                                            94 Garnelt Mrs. L.
98 Hartnell Miss M.
100 Williams Mrs. Louisa
                                                            100 Williams Mrs. Louise
Congregational Ch.—
Rev. W. G. Bands,
B.A.
102 Britton Miss Julis
104 Wyseroft Hate—
Hart Mrs. B.
O'Mally Mrs. M.
487 Kenwormy S. J.
487 Harper Mrs. M.
487 Codrington Mrs. Laura
489 Simpson Mrs. M. E.
491 Guillek åles. Mary A.
                                                             Bievenson W. I.
                                                              100 Pitterino Mrs. M. C.
                                                              108 Durato Agostina
                                                             110 Emu flots-
                                                                 1 Hobbuson Mrs.
                                                             3 Jackson Sam.
114 Ronald Shay Flate—
4 Farrow Miss D.
                                                                      Head James W.
                                                             116 Honnessy Mrs. C., pri-
                                                                         Lavender eirest
                                                                          Junction alreat
                                                             102 Ryan Mrs. Maria
                                                             164 Dortann Mrs. Ethel
                                                             168 Brooks A., grocer
168a Banks A. J., Cabinnge.
172a Mechan J. J., chemist
                                                           172h Redner J. J., trulterer
172h Magowan Misa F.,
truite l'acher
174 Cavenough T., builder
174 Sharp Mrs. F., small
                                                             goods
1745 Pield Q.
                                                            176a Horano Cocil,
merchant
180 Moarc Mrs. Ellen
                                                             192 Home Frank
                                                             184 Mitchell Ernest
                                                             186 Johnston John J.
                                                             188 Holden John
                                                            McCarthy J. & Cey.,
bottle yard
190 Nunn Chas. II,
190 Waterhouse A., boot-
                                                                          maker
                                                             192-104 Vandenberg IL I.
                                                            butober
190-198 Jugita W., grocar
190-198 Jugita W., grocar
Livelenio
                                                                     Launder
                                                             202 Robettson Wen., fruit
                                                           abop
201 West K., bootmaker
200 Page George
206 Bulst Mrs. Mary
216 Rogers Mrs. W. H., ge
212 Huylock Miss C. M.
                                                             214 Dunean Charles
210 Huristone Tom
                                                            218 Cameron Mrs. Cath.
220 Ihre Albert, greeer
                                                            222 Richards II. A.
224 Quinn Patrick
228 Ellia John
                                                             230 Smilt's Geo.
                                                             282 Pearce Robert II.
                                                            231 Walkley J. V., nurse

Mount street
280 Cahill Walter
283 Helt John T.
240 Flood George T.
                                                            242 Thomas Mrs. Ann
244 Lister Robert W.
                                                             240 Malone Mrs. M. E.
                                                            258 Signton Jas. S., J.P.
260 Decent Mes. Williamina
                                                             262 Preston William
                                                             264 Cochrane Mrs. M.
                                                           260 Flores Janeph I.
                                                            206a Davis Harry
                                                             268 Hamilton Itobert R.
                                                         208 Hamilton Robert R.
Berry street
276 Nusyrove Flots—
Turlon W. S.
West Mrs. I.
Hills Nes. R.
278 Haudley Mrs. Ethel
278 Handley Mrs. H.
280 Linden C., eenr.
222 Morrison Robert
284 Shrimpion Charles F.
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290 McCerron W. J.
     6 Thorpe Mrs. Thomas
802 Montgomery William O.
Hampden street
320 Fell Mrs. 11. W.
 532 Rose Joseph
332 House Joseph
334 Henricon Mrs. G. A.
330 Honley Mrs. M.
Ridge street
St. Leonards Park
Public Tolephone
Falcon street
350 Smith Andrew W.
 151 Buddle Nathaniel P.
 354 While Eiger W.
 356 Victory Mrs. L.
 368 G'Brien Mise Agnes
360 Hill Miss Ellon
 141 Massey Mrs. Rose C.
 364 Baker Langford A.
366 Stuart Athol II,
308 Abselt Edwd. N., J.P.
           Renest atreet
         Allister Street
    Off 92 Hanger road to
       Orambrook avenus
   2 St. Peter's Primary and
Prep. School-S. L.
     Dramasond, fl.A., prin.
4 Digh Erneel
    6 Davey William T.
   8 Mnir Mrs. Margaret A.
   10 Hyrie T.
   12 Deresford Francis IL.
  14 l'atrick Gamet
      Morrison John L
   18 Rocker Charies
        Walters Mrs. O.
  22 Stuart Charles East side
   1 Hawell Mrs. A.
   3 Haker Frank
5 Tool Harry
5 Cuthbert Mrs. Mary
       Wellman Mrs. J.
  11 Roupach Wm.
          Alma Street
West side
    Off Blue strass 3 Nor Mes. Bertha
  4 Bareatt Mrs. Elizabeth
6 Boyce Wiklam
10 Coulier Mrs. Margaret
10 Scott James
  12 Coulter Crawford
  16 Anderson Junes M.
  18 Fisher Edward
East side
  23 Calbrith William
  21 Abern John A.
  Lighthouse street
19 Consper Mrs. Ellen
  12 Singleton Michael
        Amhurst Street
 North side
 read
12 Kennedy J. R., woods & coal merchant
16 Scully Leo
  18 Morgan A. J.
20 Walke Mrs. B.
22 Flatt John
  24 Johnson Edward G.
          Fredhen avenue
  84 Goldaby Herbert R.
  84 Simmonds Edgar
88 Jones Frederick R.
 40 Sonter Edward
42 Bestite Samuel A.
  44 Flower Alfred O. A.
          Miller atreat
  60 Miller James II. G.
 62 King Maynard
64 MeNab Mrs. -
  06 Joselin Edward
 68 O'Kelley Misa Emily
70 McCredie Mrs. I.
72 Hobset Stubbs M., tehr.
 of music
74 Williams Alfred
                                           balries ticorge T.
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Bellevus street
76 Doylo Mrs. Alice G.
                                                 Angelo Street
                                           Berry to McLaren etree!
 78 Baxler Mrs. Alice G.
80 Bennett James
                                              Arklands Street
                                                   Best side
  82 Gileson Mrs. Elleabeth
                                             Off 14 Carter street
  84 Secoutar Edward N
                                         21 Biden Roland
  88 Calier Raymond
                                          15 Done William
  58 Duggan Fa. iels
                                          It Parker Geo. R.,
  90 Smith Robert
                                              lucus Mrs. Cacilla
  92 Muson Albert McK.
                                           0 Madden James
  04 Phinnard Recbert
                                           6 Woodhause Mrs. Mary
 96 Harrie John
98 Willeughler William J.
                                             McLennan Kenneth
                                           I Junes Mrs. P. M.
 100 Keen Leonard R.
          Echo atrest
                                                 Carter elreet
 102 Green Mrs. Ada
                                                  West side
 104 Ayling Cecil D. Warrings reed
                                         34 Jessup George
30 Resident Robert
80s Leyton Wm.
          South side
lifest airest
Electric Pole Dapot
                                          20 Lowe 11. S.
   7 Stockley Harold
                                          12 Nixon Walter
11 Wormalti Jus. S.
Warmald Janes. "Tarella"
33 Mouncy Bede
35 Spones William
                                          10 Melinbla John 9.
                                           8 Murray Bruce
6 Orice Roland C.
                                          4 Gibson Ernest
2 Tubridy Joseph
Carler street
 37 Cogan Miss M., dress
 maker
37 Cogen Hugh
                                              Armstrong Street
  30 Thew William
                                                  Bast side
 11 Dayle Miss A. E.,
Of-Thomas Rhys. milk
                                           Jankine to Palmer street
                                              Greenup Charles R.
       & butter vender
                                         11 Tipping Dantel G. 18 Hagar Charles II.
     Miller street
Briscombo Unail, dentint
                                         15 Halmare Harry
17 Cole Hedley V.
21 Bracken Hichard
West side
  47 Magensen E. J.
 53 Ryon Patrick
53 Langdon Fredk, G.
 Betleve street
55 Hollingsworth Thomas
                                           6 Chapman Frederick
                                           8 McSweeney Francis J.
  57 Pidgeon Herold N.
                                              Copeman Mrs. Alice
 50 Deing Mrs. C. II.
                                         fleath Jas. M.
14 Flenneit Leonard
16 Little Ocorge
 61 Saunders Mrs. Alice
63 Melanes G. W.
65 Nelsen Ernert
67 Sinyth Joseph
                                          18° Copeman Stanley
                                                  Paimer efcest
 90 Kennedy Wm.
71 Hall Reginald A.
                                                Arthur Street
  72 Prott William
                                         From 42 Lavender street to
 75 Pelquest Thomas
77 Mills Silvester M.
                                                  Berry otreet
 10 Pritel and E. S.

Scho siree!

81 Clark John
83 White William
                                                   East side
                                         Lavender street
                                         25 Smith Awred
27 Cibson Mes. L.
         Parrings coed
                                         81 Stead Mrs. A.
88 Thompson Mrs. Emily
Reidge Approach
       Ancrum Street
          West side
  Off Bank lane
2 Naylor Mrs. Lily
8 Neale Percy
                                                 Junciton street
                                          68 Locas Arthur
                                         55 Newton Mrs. Allee 57:50 Ordack Mrs. E.
  10 Rolling George Albert
                                          57-59 Mason Mrs. A.
  22 Langrist Wm. J.
 24 Didricksen Ernest G.
                                          41 McKentle John
                                         65 Quantingham C. M.
60 Collina Mrs. V. N.
71 Hills Albert
 26 Ward Edward
80 Winner Mrs. Bumn
  32 Allen Mrs. Mary
                                         78 Lottus Mrs. T.
75 McKellow John II.
 31 Ormandson Frederick
 84 Thomson John D.
                                         77 King Mrs. Morron E.
  33 Woodcook Mrs. Jene
 58 Foley Vincent R.
                                         10 Crawlord Mrs. Mary
81 Robertson Charles
          Best side
                                         63 Kendall J. L.
85 Simon Albert B.
 a Rylands Mrs. Daline
5 Jones Edwig
                                             Jones Edward
    7 Heden Hart W.
                                         91 Oranow Mrs. Ellenbath
    9 Malane Rout
                                              King Mrs. Mary
      Lipscombe William S.
                                         98 Arthur Plate-
 25 Goodman Larato
25 Goodman Larato
31 Perry Artiur O.
36 Rea Sidney R.
37 Carry C. E., knitting
                                        05 Dickson James II,
Lampard Frank
97 Church P. W.
88 West Brs. B. B.,
 fectory
30 Pelquest Fredk, O.
                                                hursa
                                        101 Smith Mrs. C.
  41 Knox George
                                        107 Related Wm.
      Russell Thomas
                                             Colline Arthur
Anderson Street (Neutral
                                        113 Johnston Mrs. E.
117 Coleman Mrs. Lily
              Bay)
Of Westeigh at to Raymond
                                        116a Thomsum Mrs. I.
                                                 Mount street
Sawers Mrs. W., 'Rebule'
Noutral East Bowling Club
                                        122 Buckley Thomas IL.
Neutral Hay Tennis Glub
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140 Knight Mrs. D.
                                         131 New Mrs. Mary
                                        133 Smith Mrs. Catherine
185 Gosper Mrs. M.
                                                                                144 Saunders Richard J.
                                        137 Owen Patrick
189 Turnbull Mrs. Marg. B.
                                                                                      Moore Henry
                                                                                118 Aciles Harry
                                        141 Everson Richard F.
                                                                                 150 Drysdale Fred's, S.
                                        143 White G. N.
                                                                                 152 Usher Archiboli
                                         145 Pearco Rabart
                                                                                 ISA O'Parrell Mrs. M.
                                        147 Gardon Charles J.
149 Rolland Thomas J.
                                                                                 156 Barthelson Ernest
                                                                                158 Moore John I.
160 Kenny Laurie
                                        Holland Mary, J.P.
153 Paughourne E. G.
                                                                                 102 Rodgers Thou
                                        155 Deane Oswald .
                                                                                      St Thomas Cemeters
                                                  Berry attest
                                                                                          South side
                                                   West side
                                                                                127 Hunlington Mrs. K.
125 Murphy Thes. P.
                                          Larender streat
2 Conway Misses K. E.
                                                                                121 Tamkia Thomas
121 Thomas Mrs. M.
                                             and A.
                                        4 Grant George U.
24 Ives Mrs. Maty
26 Graham Alfred
28 Hadfield Mrs. Jessia
                                                                                 119 Travio Peter F.
                                                                                 117 flurrows Arlbur
                                                                                 113 Barrington William M.
                                                                                111 Napter Ceck G.
100 Smith Fred.
                                          30 Alian Mies B. R.
                                         32 Bungen S.
34 Dung Thomas
                                                                                107 Pearce It. W.
105 Newland Leonord O.
                                             Rattway tine-Reidge
                                                                                 103 Elwice Albert J.
                                         approach
function street
60 "North Shore Times"
—J. W. L. O'Reilly.
                                                                                 97 Plevy Stowland
                                                                                 05 Dosvule Mrs. M.
                                                                                 Matthews street
93 Elsey Win, R.
                                                proprietor
                                                                                     Rixon Joseph C.
                                          2 Barrelt Mrs. Lillian
                                                                                 89 Palmer Fred
                                         74 Rodgers Mrs. Alice
78 Ashton Bam
                                                                                  87 (CBrien Mis. Dia M.
                                         91 Graver Mrs. J.
86 Popularie Mrs. Eliz.
                                                                                  at Hideovery Walter
                                                                                  81 Evana Brueel O.
                                                                                        A lazander streat
                                         92 Allner William
94 Washer Edward T.
                                                                                  70 Robson George H.
                                        96 Jones Henry J. P.
98 Chirles Alfred T.
100 Colwell Laurenca
102 Caldwell James
                                                                                 77 Boskin Alfred J.
76 Parteaus Alexander
                                                                                  71 Senborn William H.
                                        104 Pyna hira, E,
100 Walkly Nurse J. V.
                                                                                  67 Eitte Juseph
                                                                                 65 Temple Henry
                                        108 Scholffeld Leonard
                                        Hount street
120 Singmon Athert
                                                                                  61 Wright Valentine
                                                                                        Willoughby read
                                         124 fitrathmore Richard
                                        126 Mullina J.
182 Rese Robert
                                                                                            Roundary
                                                                                 (For Continuation see Wif-
                                        184 Fitzpatriek John L.
130 Bhertdan Mrs. Laulan
                                                                                      lauohby)
                                                                                        Aubin Street
(Neutral Bay)
                                        138 Forrest Mrs. Kate
                                        140 Pavice Claude
                                                                                Spruson at to il'ycomba rood
                                        142 Edinhorough Arthur
                                        154 McLean Mrs. Rose
154 Rechert Miss R. G.
                                                                                          South side
                                                                                  1 Wrest W. J., architect
                                         166 Gray Willtam &.
                                         160 Perce Mrs. W.
                                                                                      Aulda Flots
                                        162 Wright Wm. IL
                                                                                21 Hopkins Alan E.
23b Heidum Mrs. M. T.
                                        164 Fliggerald John
                                                                                 25 Daybison James
27 Caldwell Mrs. Lucy
                                                  Berey afreat
                                               Atchison Street
                                                                                  27 Henrinlagron P.
                                                  North #ide
                                                                                  27a North E. F.
                                                                                  38 Norton Percy
                                           111 Willoughby road to
                                                                                 37 Wakefield Frank
                                               Cametery
Wittouckby road
                                                                                 Undereitff lane
80 Hughes Mrs. E. M.
                                         02 Pemberien Peler
94 Suitan II, T., signwrite
96 Curcey Mrs. S,
                                                                                  43 Arkland Flats-
                                                                                     Trubshaw T. II.
Beelbam Chas.
                                         Galiarity Gordon D. 98 Toft Bobert
                                                                                  46 Heartte blies D.
                                                                                  15 Rennedy Misses J & O.
                                        100 Harpet Alfred J.
102 Pift George
                                                                                     Barringion W.
                                                                                45 Moneypenny Miss K. Thrupp 41-Bycombs road
                                        ioi Hill J.
                                       108 Keys Octore
110 Hudson Frink A.
                                                                                           Narth side
                                                                                 Spragon street
10 Henderson James
                                               Alexander streat
                                                                                  12 Nimen Frederick A.
                                        112 Wand Joseph fa.
114 Scott Alexander V.
                                                                                 14 Lockington Arthur
                                        116 Frary Frederick
                                                                                 18 Resto W.
20 Merol Mrs. Lillan
24 Rarber Robert
20 Taylor Kelth
                                       118 Carnell Mes. Regina
                                             langiord John
                                       120 Clarke Vernop
122 Drody Mm, Florence
121 Eyec Roy II.
126 Hawkina Maurice P.
                                                                                  38 St. Julian Harbort Paul
                                                                                40-42 Orara Flots-
                                                                                  Bucingan Affred J.
Thanteler F.
                                        139 Marr William 1.
                                               Watthews street
                                                                                      (tibhius Harold C.
                                       182 Populaton Joseph R.
186 Spain Patrick
138 Vates Stringy
136 O'Keefe Petelek U.
127 McDonnell Laske
129 Billes Bydney J.
                                                                                      Muuro Mm R. H.
                                                                                      Donk Miss Kathleen
                                                                                 44 Jordan Mrs. E. M.
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478 Harrison John Purnell Keith

475 Leek Capt, Alex,

477 Grinated Mrs. M. R.

## **Statement of Environmental Effects**

For:

Alterations & Additions 114 Atchison Street, Crows Nest NSW 2065

Issue

A 10th December 2023

# Prepared by

**O'Keefe Architects** 4/281 Pacific Highway North Sydney

Nominated Architect:

Paul O'Keefe Reg 6373

## 114 Atchison Street, Crows Nest

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Appendix 1: Site Photographs

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114 Atchison Street, Crows Nest

### 1. Introduction

This Statement of Environmental Effects ("SEE") accompanies a development application ("DA") for alterations and additions to an existing dwelling comprising; demolition works, first floor addition, internal alterations, alterations to existing window and door openings, and alterations to an existing two storey 'Barn' containing an existing secondary dwelling and garage located at the rear lane.

The impacts of the development application are assessed herein.

The Statement of Environmental Effects:

- describes the land to which the DA relates;
- describes the characteristics of the surrounding locality;
- · describes the statutory planning framework within which the DA is to be assessed and determined;
- · describes the form of the proposed development; and
- assesses the proposed development in the light of all the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Act, 1997 ("EPAA Act").

The SEE is accompanied by:

- Architectural plans prepared by O'Keefe Architects and set out on drawings numbered 2306\_DA00 to 2306 DA\_15 Issue for DA
- Heritage Impact Statement prepared by Archnex Designs
- Survey Plan prepared by Bennett & O'Donnell Surveyors
- BASIX Certificate No. 1730129S

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### 2. The Site



Figure 1: Site Location Map.

### 2.1 Location

The site is located within the suburb of Crows Nest in a residential area typified by tightly spaced detached dwellings. The property is located on the Northern side of Atchison Street and is within the Holtermann Estate A Heritage Conservation Area. The property is listed as a Local Heritage item.

# 2.2 Real Property Description

The site comprises Lot B in DP964617. The boundaries of the site are shown on drawing DA03 'Site / Roof Plan', and on the survey that accompanies the DA submission.

# 2.3 Topography

The site falls from South to North by approximately 1.5m. The site falls from East to West by approximately 0.225m.

# 2.4 Areas and Frontage

The site is a regular lot and has an area of 278.2m<sup>2</sup> with a frontage of 7.525m to Atchison Street. The site has a depth of approximately 36.575m and frontage of 7.77m (rear boundary) to Chandos Lane.

# 2.5 Improvements

Existing improvements comprise a single storey rendered brick dwelling with a pitched metal roof, facing Atchison Street. The dwelling has been subject to numerous interventions over time including unsympathetic works to the frontage and extensions to the rear of the property.

A substantial two storey brick 'Barn' is located on the rear (Chandos Lane) boundary. The barn has been modified over time to incorporate a single garage and additional self contained living areas.

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# 2.6 Access

The primary pedestrian access to the main house is off Atchison Street. Access to the secondary dwelling and to the Garage is via Chandos Lane.



Figure 2A: The Site viewed from Atchison Street



Figure 2B: Rear 'Barn' viewed from Chandos Lane

# 3. Surrounding Environment

### 3.1 General Observations

Atchison St is an established street with formal footpaths, verge landscaping and mature street trees. The surrounding streetscape is comprised of tightly spaced lots generally consisting of a mix of original free-standing and semi-detached dwellings. The street facing facades are generally maintained in their original configuration with contemporary extensions, including second floor additions, set behind the original frontage. A number of unsympathetic mid to late 20<sup>th</sup> Century properties are located on the southern side of Atchison St, however, the original character of the street remains otherwise largely intact.

# 3.2 To the North

The site is serviced at the rear by Chandos Lane which provides rear lane access and parking to adjoining properties on Atchison Street and Chandos Street. The lane is fronted by a mix of rear boundary fences, open parking spaces, carports and garages.

### 3.3 To the West

112 Atchison street is located to the West of the site and comprises a part single, part two storey brick and weatherboard dwelling. The dwelling comprises an original cottage fronting Atchison St, with contemporary part single storey, part two storey alterations extending into the site. No 112 is constructed to both side boundaries.

# 3.4 To the East

116 Atchison street is located directly to the East of the site and comprises a contemporary two storey brick and weatherboard dwelling. Further to the east Number 118 Atchison St is a substantial 2 storey dwelling incorporating contemporary additions. A series of original semidetached dwellings with contemporary rear extensions, second storey additions and rear lane garages extends further east.

# 3.5 To the South

The Southern side of Atchison Street contains a mix of small apartment blocks, a series of original stand-alone and semi-detached dwellings and a number of unsympathetic mid – late 20<sup>th</sup> century buildings.

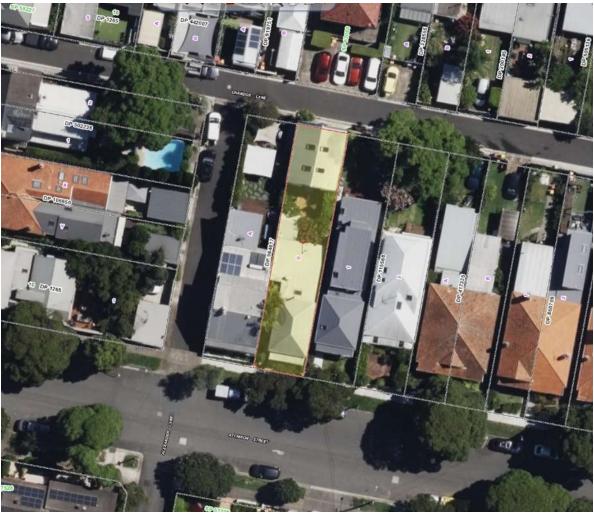


Figure 3: Aerial View: Context.

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# 4. Proposed Development

### 4.1 The Development

The proposed works involve the retention and refurbishment of the original front section of the existing cottage, internal alterations, partial demolition of the rear portion of the house, and construction of a new two storey addition.

Internal alterations are proposed to the rear Barn structure with related new windows and doors proposed to the Southern façade.

The proposed works will comprise:

# **Dwelling:**

- Internal alterations to front rooms
- Demolition of rear extension and construction of new two storey addition
- New works set behind the line of the original front cottage

### Barn:

- Internal alterations including reconfigured kitchen, relocated stair, relocated bathroom
- Alterations to south facing windows and doors
- Incorporation of direct access between the Garage and the Rear garden

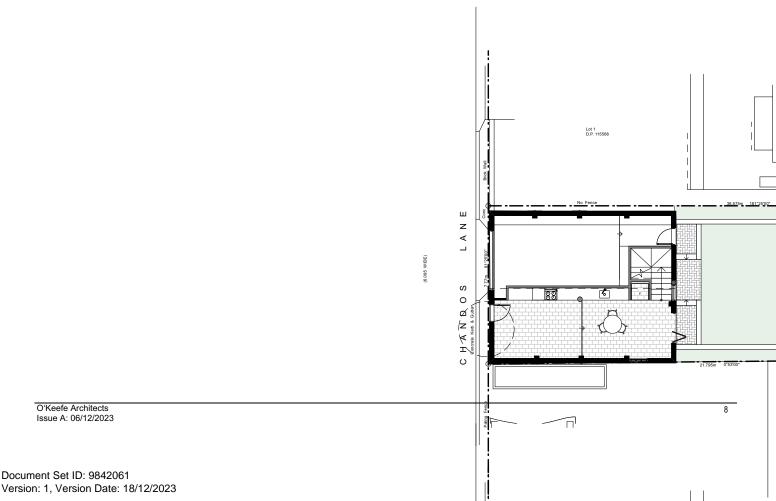
### Landscape:

- Removal of unsympathetic elements within Atchison St frontage
- New timber paling fence to Atchison St
- New Landscaped rear courtyard including replacement screen planting to side boundaries

# 4.2 Development Calculations

(figures incorporate House and Barn)

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Site Area	278.2m <sup>2</sup>		Existing	Proposed
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m²	157m²
LEP FSR	-	First GFA	61m <sup>2</sup>	106m²
		TOTAL	212m²	263m²
Landscaped Area Control	Min 20%		41.5m² (14.9%)	73m² (26.3%)
Unbuilt Area	Max 20%		60m <sup>2</sup> (21.5%)	23m² (8.3%)
Site Coverage (Built Upon area) Control	Max 60%		173m <sup>2</sup> (62.1%)	177m² (63.6%)



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# 5. Development Controls

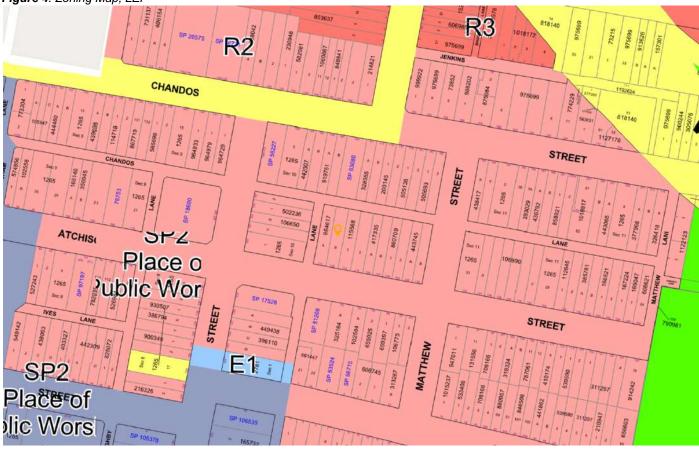
# 5.1 North Sydney Local Environmental Plan 2013

The relevant clauses of the North Sydney Local Environmental Plan 2013 are addressed below.

# **Zoning**

The site is zoned R2 Low Density Residential pursuant to the provisions of the North Sydney Local Environmental Plan 2013. The proposed development is a permissible use in the R2 zone which permits alterations and additions to residential dwelling with development consent.

Figure 4: Zoning Map, LEP



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# Height

Clause 4.3 of the LEP restricts the height of any development on the subject site to 8.5 metres. The proposed development complies with a maximum proposed height of 7.2m. The project complies with the development standard and the objectives of clause 4.3 of the LEP.



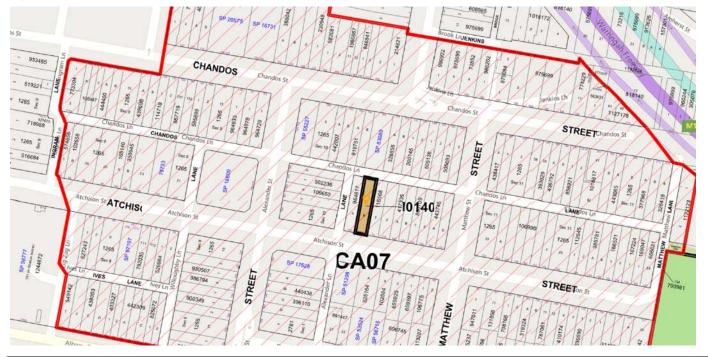
## Heritage

The property is listed as a local heritage item and is located within the Holtermann A Heritage Conservation Area.

The proposed development respects the heritage context of the property. Works in the frontage are limited to replacement on unsympathetic fencing with more appropriate paling fencing. All major works are located behind the original front portion of the dwelling, with the original roof form of that structure to be retained. The form and materiality of the new works has been designed to minimise bulk and to be considerate of the heritage context of the property.

A Heritage Impact Statement is provided in support of the application under separate cover.

Figure 7: Heritage Map- LEP



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### Floor Space Ratio

The floor space ratio control has not been adopted for the subject site.

### **Acid Sulfate Soils**

The site is not located in an area nominated as being affected by Acid Sulfate soils.

# 5.2 North Sydney Development Control Plan 2013.

The relevant sections of the DCP are addressed below.

## **Section 1- Residential Development**

### General Objectives

Relevant controls and objectives are met by the proposed development as discussed below:

- Reinforces the aims and targets of Council's Residential Development Strategy;
- The proposed redevelopment is appropriate when considered against Council's Residential Development strategy, with existing residential stock being retained with improved amenity and increased accommodation.
- 2. Is consistent with the principles contained within the Integrated Land Use and Transport Policy; The proposal has no material impact on the Integrated Land Use and Transport Policy.
- 3. Provides a range of living opportunities that attract and cater for a diverse population; Improving the amenity of the property is consistent with this objective.
- 4. Does not have adverse impacts on residential amenity or environmental quality;

The proposal does not give rise to any material adverse amenity or environmental impacts on the adjoining properties or the surrounding area.

5. Is in context with surrounding development;

The upper floor extension is designed to complement the immediate heritage context of the property and the broader context of the heritage conservation area. The scale of the proposal is consistent with adjoining development and is formatted to ensure that the existing structures facing Atchison St and Chandos Lane remain the primary visual elements on the site.

- 6. Contributes to the garden setting and lower scale character of North Sydney's residential neighbourhoods;
- The streetscape will be enhanced by the removal of solid masonry fencing to Atchison St and introduction of open paling fencing providing a visual connection between Atchison Street and the landscaping within the frontage.
- 7. Provides safe and comfortable accommodation;

The proposed works provide for improved amenity within the property.

- 8. Is consistent with the character that is described in the relevant area character statements;
- The additions proposed to the existing dwelling are consistent with the heritage character of the Holtermann Estate A conservation area and are consistent with the objectives of the character statement.
- 9. Incorporates innovative sustainable design to reduce energy and water consumption, and meets or exceeds sustainability requirements, and

A BASIX Certificate is provided with the Development Application.

10. Minimise stormwater

There is a general increase in soft landscaping as a result of the proposal along with the incorporation of a rainwater storage tank, both of which contribute to a reduction in Stormwater run off.

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### **Environmental Criteria**

### Topography

The site is relatively level and contains an existing dwelling. The proposed works at the rear of the site will have no impacts on the existing topography of the site.

### Properties on Bush Fire Prone Land

The site is not located in a bushfire prone area.

### Properties with a foreshore frontage

The site is not located with a foreshore frontage.

### Visual Impact

The dwelling is not visible from the harbour. Works are set back from Atchison St and obscured by the existing structure. The generous setbacks and pitched roof form of the proposed first floor addition minimises visual impact.

#### Views

No views will be impacted by the proposed works.

#### Solar Access

The proposal results in minor incremental shadow which falls on the roof the adjoining property at 112 Atchison St and onto the side setback of No. 116 Atchison St. It is noted that the shadows cast by the existing boundary fence, pergola and screen planting adjacent the Eastern Boundary have not been plotted. When taken into consideration the actual net incremental overshadowing of the side setback of 116 Atchison St is significantly less than indicated on the Shadow Diagrams. The private outdoor and indoor living spaces of all three properties face onto the Northern rear garden and are unaffected by the proposal. Shadow Diagrams are included in the Architectural drawing set.

### Visual Privacy

First floor windows are located to avoid overlooking. Windows 3 & 4 (Bedroom 2) look onto adjoining rooftop. W1 Bed 1 and W2 (Ensuite) will be fitted with frosted glass.

#### Context

The alterations and additions will be appropriate when considered with regard to site layout and characteristics of the local area.

### Streetscape

The streetscape of Atchison Street will be enhanced by the replacement of unsympathetic masonry fencing with paling fencing. The proposed first floor additions are well set back and do not impact the streetscape. The Chandos Lane streetscape remains unchanged.

### Laneways

Chandos Lane is the secondary frontage to the site. The existing barn is to remain and it's presentation to Chados Lane is unchanged.

# Siting

Proposed works are generally located over the existing building footprint.

### Setbacks

Front: The front setback will be unchanged.

Rear: The proposed rear setback (house) will be increased by 1.05m to 15.56m. The existing nil rear setback for the Barn is unchanged.

Side: Side setbacks of 900mm are permitted for a single storey (up to 4m) and 1.5 metres for second storeys for dwellings in the R2 zone. The existing Ground Floor side setbacks are retained including a 0m setback to the Western Boundary and a reduced setback of 430mm on the Eastern Boundary. The proposed first floor is setback 1280mm from the East and 1300mm from the West.

The proposed first floor addition will vary the setback requirement on the western side by 200mm and on the eastern side by 220mm. The reduced setbacks are offset by the use of a raked ceiling which reduces the wall height to 5.25m which is substantially less than the 7m allowable wall height referenced in the control.

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### Provision 1.4.6 of the DCP

Provision 1.4.6 of the DCP relating to side setbacks provides the following:

Council may grant consent to a development with a 0m setback to a side boundary. However, Council must not grant consent, unless the applicant has satisfactorily addressed the questions identified in the Land and Environment Court Planning Principle "Building to the side boundary in residential areas" established in North Sydney Development Control Plan 2013 Residential Development Part B Page B1-17 Galea v Marrickville Council [2003] NSWLEC 113 and consideration has been given to that statement. The Planning Principle is available to view on the Land and Environment Court's website (http://www.lec.justice.nsw.gov.au/planning principles).

The relevant questions are summarised below, with comment providing an assessment of the proposed replacement wall located on the Western boundary:

(a) **Is the street characterised by terrace housing**? Building to the boundary is only considered appropriate in streets where the existing form of development is characterised by attached dwellings, semi detached dwellings and multi dwelling housing (e.g. villas and townhouses).

Comment: Yes, the street contains a number of examples of attached housing, built to boundary dwellings and townhouse development. The existing dwelling is built to the Western boundary and the adjoining property, no. 112 Atchison St, is built to both side boundaries. The proposed wall replaces an existing wall located on the boundary.

(b) What is the height and length of the wall on the boundary? The length and height of any wall built to the boundary should be minimised to limit any adverse impacts in terms of overshadowing and visual privacy.

Comment: The length of the Western wall constructed with 0m setback is 10.8m and replaces an existing wall that is 12.3m long. (Proposed is a reduction in length of the wall of 1.05m compared to the existing wall).

The wall is proposed to be 3.45m high at it's highest point.

(c) Has the applicant control over the adjoining site(s) or the agreement of their owners? Unrestricted access should be made to all components of a building which is built to the boundary to ensure that those components can be adequately maintained over its life.

Comment: The applicant does not have control over the adjoining site. However the proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

(d) What are the impacts on the amenity and/or development potential of adjoining sites? It must be adequately demonstrated above all else that building to the boundary will not result in any adverse amenity impacts or development potential of adjoining sites.

Comment: As the proposal is for the replacement of an existing wall and for a reduction in length, and as the neighbouring property at 112 Atchison St is constructed to both it's East and West boundaries, the construction of the wall does not result in any material adverse amenity impacts or affect the development potential of the adjoining property. The Shadow Diagrams included in the architectural set demonstrate that the proposal does not result in any material incremental overshadowing of the adjoining property.

(e) Are there arrangements in place for the maintenance of the wall or gutters? Access and maintenance arrangements should be in place before a development application is assessed by Council to avoid disputes later on.

Comment: The proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

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### Form, massing and scale

The built form will be consistent with neighbouring dwellings. The overall bulk of the site will be only minimally impacted and the development as proposed is considered to be suitable for the site and its surrounds. Visual impact on the street is minimal with the works being set well back behind the original roof and effectively screened by a substantial street tree located directly in front of the property. Privacy, overshadowing and views are all adequately addressed and of negligible impact.

### Built form character

The front façade is retained and enhanced through the reinstatement of traditional paling fence to the front boundary. The second storey is set back within the site and located behind the original roof, which is retained. A pitched roof form is proposed for the second story in keeping with development on the site and to reduce bulk. The form is appropriate and of consistent scale for the location.

## **Dwelling Entry**

The dwelling entry is retained at the front of the site.

### Roofs

The proposed pitched roof to the second storey is consistent with the existing pitched roof and reduces overall bulk.

### **Colours and Materials**

The additions have been designed to complement the existing site and surrounds. Materials and colours have been sourced to ensure that the alterations compliment the conservation area.

## Vehicular Access & Car Parking

A single garage is retained with access from Chandos Lane.

# Site Coverage

For a lot area of 278.2m<sup>2</sup>, the DCP permits a maximum site coverage of 60%.

Based on the DCP definition of site coverage the existing dwelling has a non-compliant site coverage of 173m² (62.1%). The proposed works involve minor additional site coverage and will be 177m² or 63.6%. Site coverage is affected by the presence of a substantial heritage listed outbuilding / barn which is to be retained.

### Landscape Area

The DCP requires a minimum landscape area of 20% (55.64m²). The site has an existing landscape area of 41.5m² or 14.9%. The landscaped area of the subject site as proposed to be increasedd to 73m² or 26.3%, complying with the DCP requirement.

### Excavation

There is minimal excavation proposed as a part of the development.

## Landscaping

The proposed landscaping provides general improvement to the existing garden space. The garden and landscaping in the frontage will be maintained and enhanced by the proposed development. Screen planting to replace existing screen planting is proposed to the rear garden.

### **Energy Efficiency**

A BASIX Certificate is provided in support of the proposed works.

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### Stormwater Management

The alterations and additions will be connected to the existing drainage on the site and fed by gravity to Council's stormwater system.

# **Private and Communal Open Space**

Private open space of  $40\text{m}^2$  is required for the dwelling. Private Open Space is retained and is compliant at  $57\text{m}^2$  (Rear Garden).

# Part B - Heritage and Conservation

The site is located within the Holtermann Estate A Conservation Area. Accordingly, the proposed works are located behind the original building and, accordingly, the Atchison Street streetscape remains largely unchanged. The proposed first floor additions are scaled to be consistent with surrounding development and designed to be sympathetic to the dwelling and the conservation area.

The proposed alterations retain the primary roof of the original dwelling and involve removal on unsympathetic brick fencing to the Atchison St frontage. There are no changes proposed to the Chandos Lane facade of the Barn / Outbuilding.

The HIS prepared by Archnex Designs concludes that "there will be no adverse effects of the works and proposal is supportable in terms of potential heritage impacts.

The proposal is consistent with the provisions of Clause 5.10.

# **Topography**

Existing levels are largely retained. There will be no impact on the existing topography as a result of the rear addition to the existing dwelling.

### Subdivision

No subdivision is proposed.

# Streetscape

The proposed addition will retain the characteristic Atchison Street and Chandos Lane streetscapes.

# Views

There is no impact on views as a result of the development.

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# **Numerical Control Table**

	Standard	Proposed	Compliance		
North Sydney LEP					
Zone	R2-Low Density residential	Alterations & additions to an existing dwelling	Permitted with consent		
Lot Size	230m <sup>2</sup>	278.2m <sup>2</sup>	N/A – No change		
Building Height	8.5 metres	7.15 metres	Yes		
Floor Space Ratio	N/A				
Heritage	Holtermann Estate A Conservation Area	note	Note		
North Sydney DCP	·		•		
Solar Access	3 hours sunlight to solar panels, main living room windows and private open space, on the subject site and adjoining residential properties between 9am and 3pm on June 21	Proposed shadows have minimal additional impact and fall within side setbacks.  Subject site and adjoining site primary internal and external living areas are orientated to the north and are unaffected by the proposal.	Yes		
Front Setback	Consistent with or average of adjoining properties.	Unchanged	Yes		
Side Setbacks	R2 Zone 900mm first storey up to 4m  1.5m second storey up to 7m	Existing setbacks to be retained  Second storey setback 1.28m (east) and 1.4m (west). Wall height is 4.8m high.	No – existing setbacks  No – minor non-compliance which is compensated for by reduced wall height of 4.8m (vs 7m control). Net result is reduced		
Rear Boundary Setbacks	Consistent with adjoining properties.	15.56m  Proposed rear wall of dwelling is setback further than both adjoining properties and represents a 1m increase vs existing setback.	bulk and scale and reduced overshadowing. Yes		
Floor to Ceiling Height	2.7m	2.8m Ground Floor	Yes		
Roof Pitch	25° to 36°	Raked ceiling First Floor 35° (to match existing)	Yes		
Site Coverage	60% (max)	Existing 62.1% Proposed 63.6%	No. Proposed change to Site Coverage is minor (4m2). A small non-compliance in site coverage results from the substantial existing heritage listed barn structure. The proposed dwelling footprint is not excessive, with the proposed rear setback line set behind the line of adjoining properties. Landscape area and un-built upon areas are compliant.		
Landscaped Area	20% (min)	26.3%	Yes		
Unbuilt upon Area (max)	20% (max)	8.3%	Yes		

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### 6. Assessment Of Environmental Effects

In determining the subject DA, council is required to consider those relevant matters listed in Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997. Each of the relevant matters is addressed below.

# 6.1 Division 4.15 - Statutory Planning Considerations

Division 4.15 requires the consent authority to take into consideration:

- "(a) the provision of:
  - any environmental planning instrument; and
  - any draft environmental planning instrument that is or has been placed on public exhibition and details of which (ii) have been notified to the consent authority; and
  - (iii) any development control plan; and
  - any matters prescribed by the regulations that apply to the land to which the development application relates." (iv)

These matters (and others) are addressed in both Section 5 of this report, and below. The proposal complies with all the requirements of the statutory controls and is permissible with the consent of the Council.

### 6.2 Division 4.15 - Environmental, Social and Economic Impacts

Division 4.15 requires the consent authority to consider:

"(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality."

The proposed development involves modest alterations and addition to the existing dwelling.

The improvements do not involve any intensification of development on the site and have no material adverse affect on neighbouring properties. The proposed development does not extend into natural bushland areas of the site and does not encroach the drainage easement or right of drainage that affects the site.

The proposal will not have any unreasonable adverse impact on any adjoining natural and built environments. It will not have any adverse social or economic impacts.

# 6.3 Division 4.15 - The Suitability of the Site

Division 4.15 requires the consent authority to consider:

"(c) the suitability of the site for the development."

The subject site is of substantial dimensions and is currently occupied by a two storey dwelling. The proposed development involves modest alterations and addition to the existing dwelling.

The proposed works are permissible within the zoning and are compliant with the numeric controls applicable to the site. The proposed development is appropriate to the size of the allotment.

The subject site is accordingly considered suitable for the proposed development.

# 6.4 Division 4.15 - Submissions

Division 4.15 requires the consent authority to consider:

"(d) any submissions made in accordance with this Act or the regulations".

Any relevant representations will need to be considered by the consent authority in the determination of the development application.

### 6.5 Division 4.15 - Public Interest

Division 4.15 requires the consent authority to consider:

"(e) the public interest".

The proposal allows for alterations to improve the amenity of the existing dwelling, with those improvements achieved without any material adverse impact on adjoining natural or built environment. The proposal provides for ongoing utilization of the existing structures on the site. The proposal is considered to be in the public interest.

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# 7. Conclusion

The development is permissible with consent on the subject site and is in compliance with applicable planning objectives, provisions and controls. The proposal is compatible with surrounding development and development in the locality generally.

The proposal will not result in any unreasonable adverse impact on adjoining properties, and is considered to be appropriate development for the subject site. The proposal is considered to be satisfactory with regard to the public interest.

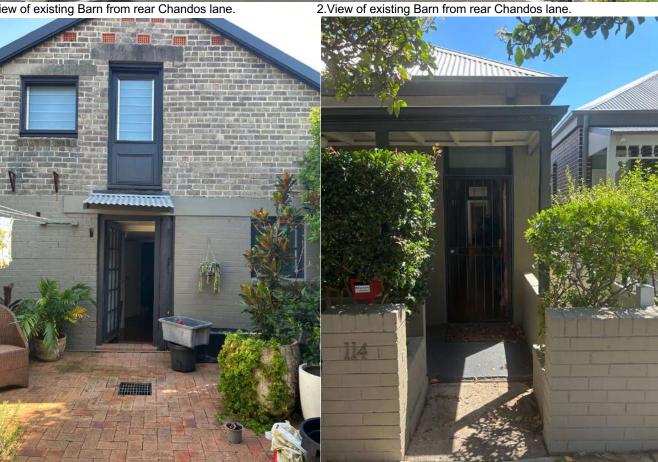
Having regard to the above, and with reference to the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997, the proposal is considered to be appropriate and worthy of favourable consideration by Council.

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3. View of existing Barn from rear.

4. View of existing Entry to Dwelling off Atchison Street.



5. View of existing Neighbour at 112 Atchison Street.

6. View of existing Neighbour at 116 Atchison Street.



7. Atchison Street View (Incl Street tree)

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