

**NSLPP MEETING HELD ON 05/06/24****Attachments:**

1. Site Plan
2. Architectural Plans
3. Statement of Heritage Impact
4. Statement of Environmental Effects
5. Survey Plan

ADDRESS: 114 Atchison Street, Crows Nest**APPLICATION NO:** DA 355/23**PROPOSAL:** Alterations and additions to an existing dwelling including two storey rear addition and alterations to an existing outbuilding 'Barn'**PLANS REF:**

Plan No.	Rev	Description	Prepared by	Dated
DA03	B	Site / Roof Plan	O'Keefe Architects	15/12/2023
DA04	B	Demolition Plan	O'Keefe Architects	15/12/2023
DA05	B	Ground Floor Plan	O'Keefe Architects	15/12/2023
DA06	B	First Floor Plan	O'Keefe Architects	15/12/2023
DA07	B	Elevations Sheet 1	O'Keefe Architects	15/12/2023
DA08	B	Elevations Sheet 2	O'Keefe Architects	15/12/2023
DA09	B	Section AA	O'Keefe Architects	15/12/2023
DA10	B	Barn Elevations	O'Keefe Architects	15/12/2023
DA15	A	Area Calculations	O'Keefe Architects	15/12/2023

OWNER: Kylie Louise Maddern**APPLICANT:** The Trustee for Paul O'Keefe Architects Trust**AUTHOR:** Report of Thomas Holman, Senior Assessment Officer**DATE OF REPORT:** 09 April 2024**DATE LODGED:** 28 December 2023**RECOMMENDATION:** Refusal

EXECUTIVE SUMMARY

This development application seeks consent for alterations and additions to a heritage listed dwelling including a two storey rear addition, alterations to an existing two storey 'Barn' outbuilding and landscaping works. The works sought are to 114 Atchison Street, Crows Nest which is a Local Heritage Item situated within the Holtermann Estate A Conservation Area.

The application is reported to the North Sydney Local Planning Panel for determination as the proposal involves part demolition/removal of building fabric within a heritage listed item which requires determination by the Panel in accordance with the Minister of Planning's Directions issued under s.9.1 of the EP & A Act 1979.

Council's Conservation Planner has considered the proposal and concludes that the development would not conserve the heritage significance of the heritage item and would involve excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The proposed two storey addition is of excessive scale, height and massing compared to the existing single storey, has insufficient separation with the single storey cottage, requires excessive demolition and would detract from the conservation area due to its visibility above the roof of the cottage. The over scaled two storey addition is an uncharacteristic element for the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

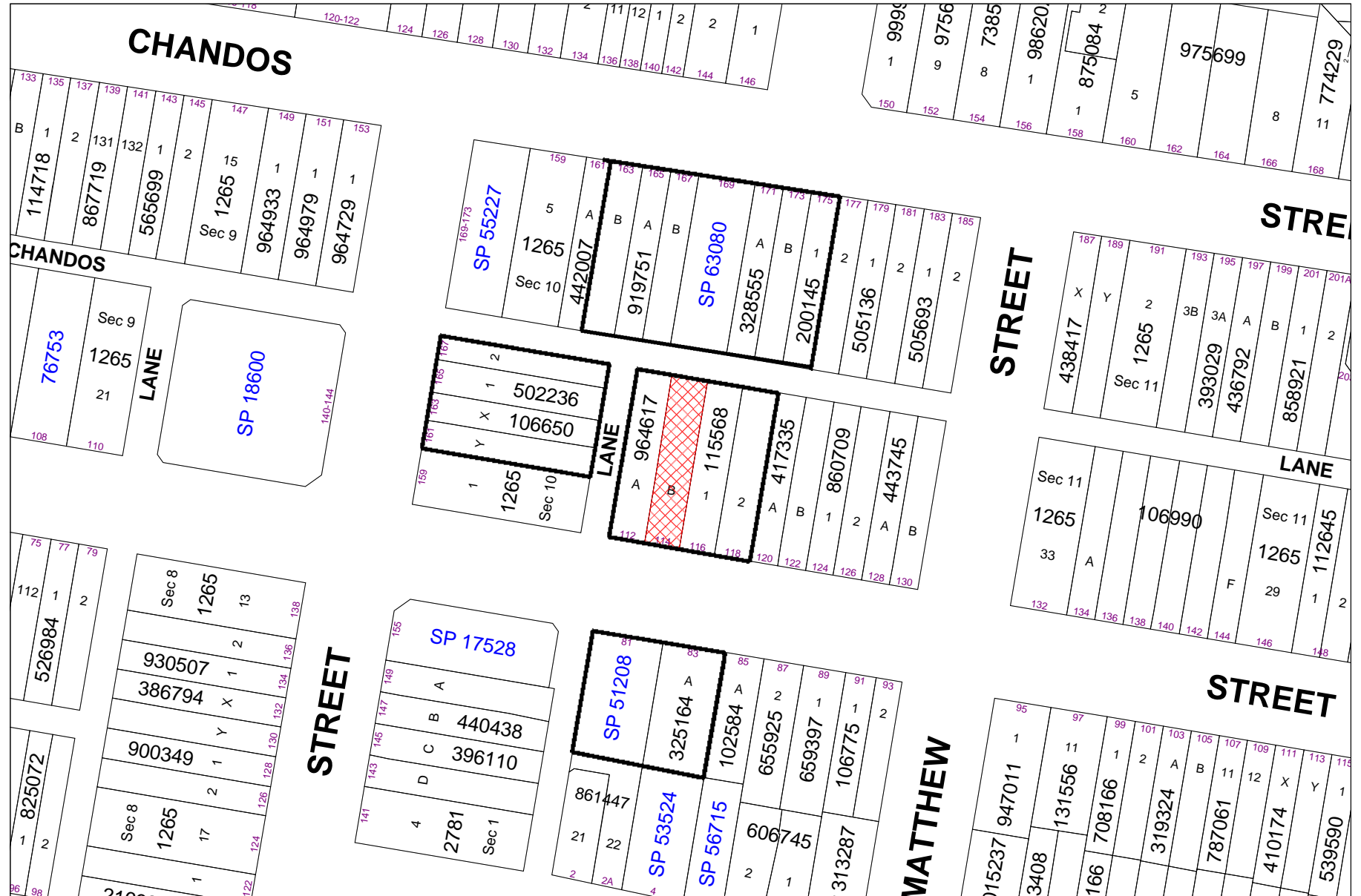
The additions are also non-compliant with minimum side setback requirements and substantially exceeds maximum permissible site coverage. The resultant development does not comply with key development controls within the North Sydney DCP that concerns bulk and scale and site density. The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

No information has been provided in support of the use of the Barn as a secondary dwelling, or to confirm the use of this premises is lawful given secondary dwellings are prohibited in the R2 Low Density Residential Zone.

Insufficient detail is provided regarding proposed landscaping and tree canopy. Further reduction of current landscaping within the front setback and loss of tree canopy is not appropriate for the site.

The applicant has been requested to withdraw the application pending submission of a revised proposal, however at the time of writing, has not agreed to this request. An assessment of the development application has now been completed and the development recommended for refusal for the reasons detailed within the report.

LOCATION MAP



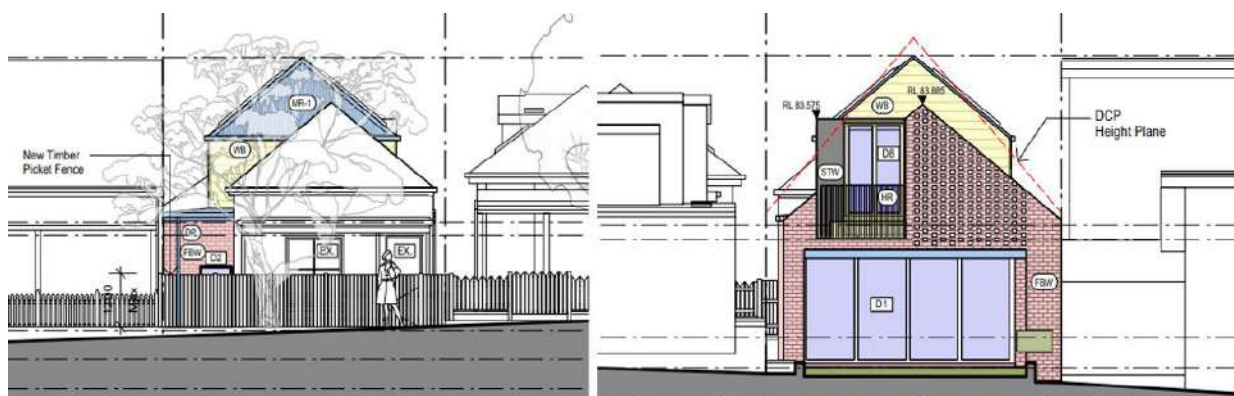
Property/Applicant ● Submitters - Properties Notified

DESCRIPTION OF PROPOSAL

The applicant is seeking development consent for alterations and additions to a detached dwelling including alterations to an existing two storey 'Barn' outbuilding adjoining Chandos Lane. Below is a full description of the scope of works:

Alterations and Additions to the Dwelling – Ground Level FFL 78.80 and First Floor FFL 81.250

- The existing front boundary wall and retaining bed is sought for demolition and a 1.2m timber picket fence is proposed to replace the front boundary wall.
- A side wall for the second ground floor room is to be demolished as well as the corridor entry and a new bathroom is proposed with fixtures and fittings. A staircase is proposed from the former second bedroom within the heritage core of the single storey heritage item providing access to the rear two storey extension.
- The existing single storey addition is to be demolished and replaced with a two storey extension providing an open living area on the ground level and the first floor will comprise of two bedrooms and an ensuite.



Figures 1 & 2 - South Elevation (left) and North Elevation (right)



Figure 3 - West Elevation, DA07 Issue B



Figure 4 - East Elevation, DA08 Issue B

Alterations to the Barn - Ground Level FFL 78.48 and First Floor FFL 81.450

- Demolition of existing partitions on the ground level and construction of new partitions, fixtures and fittings for the ground floor providing a garage, an open plan living area with kitchen and stairs to the first floor.
- New partitions and fixtures and fittings for the first floor providing a bathroom and stair landing.
- New window and door openings to the South Elevation of the Barn.

Landscaping

- Removal of brick paving between the dwelling and barn and landscaping proposed including side boundary shrubs (plant species unspecified).

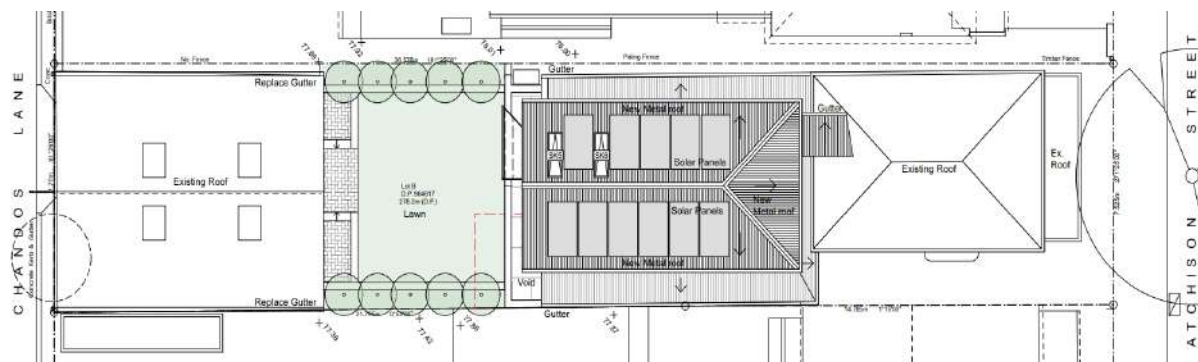


Figure 5 - Site / Roof Plan, DA03 Issue B

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R2 Low Density Residential
- Item of Heritage – Yes 'I0140'
- In Vicinity of Item of Heritage - No
- Conservation Area – CA07
- FSBL - No

- Environmental Planning & Assessment Act 1979
 Environmental Planning and Assessment Regulation 2021
 SEPP (Biodiversity and Conservation) 2021
- Chapter 2 Vegetation in non-rural areas
 - Chapter 6 Water Catchments

- SEPP (Building Sustainability Index: BASIX) 2004
SEPP (Resilience and Hazards) 2021
- Chapter 4 Remediation of Land
SEPP (Housing) 2021
- Chapter 3 Diverse Housing, Part 1 Secondary Dwellings

POLICY CONTROLS

- NORTH SYDNEY DCP 2013
North Sydney Local Infrastructure Contributions Plan 2020

DESCRIPTION OF LOCALITY

The site is legally described as Lot B DP 964617 and is also known as 114 Atchison Street. The site is rectangular in shape with a site area of 278.2m². The site is located on the northern side of Atchison Street and the rear boundary of the site adjoins Chandos Lane.

The property is a local heritage item comprising of a single storey Victorian rendered detached dwelling with a two storey barn style outbuilding to the rear facing Chandos Lane.



Figures 6 & 7 – Photo of site from footpath of Atchison Street (left) and photo of dwelling from first floor of Barn outbuilding (right)



Figures 8 & 9 – Photo of South Elevation of Barn (left) and photo of existing Barn from Chandos Lane (right)

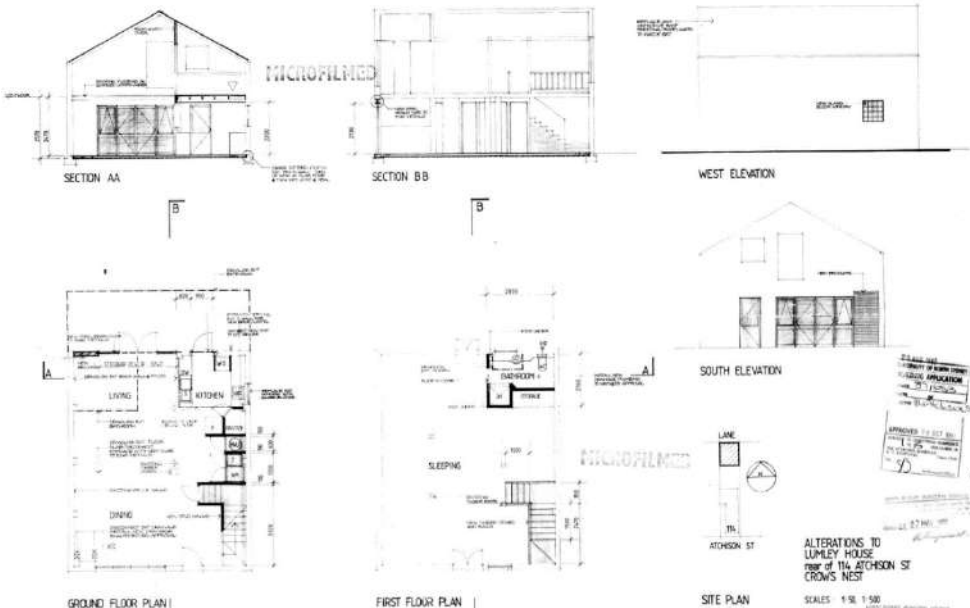
The site is situated within an R2 Low Density Residential Zone, subject to a maximum 8.5m height of building and situated within a Conservation Area.

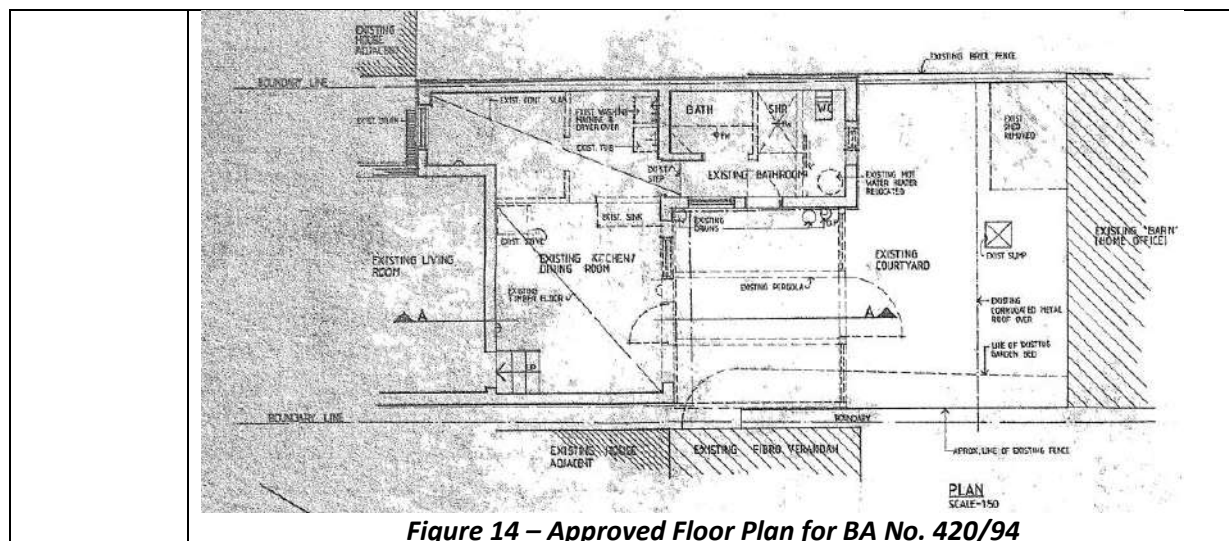


Figures 10, 11 & 12 – Land Zoning Map (left), Heritage Map (middle) and Height of Building Map (right) with site hatched in red

RELEVANT HISTORY

Previous applications

Date	Action
24/08/1987	<p>Building Application No. 683/87 was approved on 24 August 1987 for alterations and additions to an existing building creating a living, dining and kitchen area on the ground floor and sleeping area and bathroom on the upper floor of the Barn building to the rear of 114 Atchison Street.</p>  <p>Figure 13 – Approved alterations to rear outbuilding of 114 Atchison Street (BA No. 683/87)</p>
21/06/1994	<p>Building Application No. 420/94 was approved on 21 June 1994 for internal alterations comprising a new kitchen and bathroom as well as external changes to doors and windows.</p>



Current Application

Date	Action
28/12/2023	Development Application No. 355/23 was lodged on 28 December 2023.
05/04/2024	A site visit was completed by the Assessment and Heritage Officer.
18/04/2024	<p>Following completion of a preliminary assessment a letter was issued via the Portal requesting the application be withdrawn within 14 days from the date of the letter because the proposed development was unsupportable for the following reasons:</p> <p>Heritage – The two storey addition scale is excessive and visible from Atchison Street. The proposed demolition to parts of the original dwelling was not supported including demolition works to accommodate a staircase between the dwelling and two storey addition.</p> <p>Bulk and Scale of the Rear Addition – the two storey addition non-compliant side setbacks, site coverage and excessive floor to ceiling heights do not control the bulk and scale of the building.</p> <p>Use of the Barn – The SEE referred to the Barn as containing an existing secondary dwelling therefore supporting evidence was required confirming whether the existing use of the Barn as a secondary dwelling has existing use rights.</p> <p>Landscaping – a detailed Landscape Plan was required including tree retention, plant screening and planting of 1 x canopy tree.</p> <p>No response was received or withdrawal was received within 14 days therefore the report was written recommending refusal.</p>
03/05/2024 & 20/05/2024	<p>Emails were received sent by the Applicant requesting an extension of time and a meeting. Further, it was the Applicant’s intention to provide additional information along with minor modifications in response to concerns raised in Council’s letter.</p> <p>The Assessment Officer in response sought greater change to satisfy concerns stipulated in the preliminary assessment letter and recommended the application be withdrawn.</p>

INTERNAL REFERRALS

BUILDING

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

HERITAGE

The application has been referred to Council's Heritage Officer who provided the following comments:

1. Heritage status and significance

Number 114 Atchison Street is identified as a heritage item [I 0140] and is significant as a single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance. The site is described as a single storey dwelling that contributes positively to the streetscape as well as a barn. The barn is a one and a half storey rectangular brick building with gable roof of corrugated iron. Lower floor has large opening now filled by roller shutter, as well as a person door. Upper level, within gable, has timber loading door with cathead above.

The site is also located within the Holtermann Estate A conservation area. It is significant:

- (a) as a late 19th century subdivision for speculative housing.*
- (b) For its regular grid of streets, rear lanes and cross lanes.*
- (c) For its consistent late 19th and early 20th century residential character and the unity of its low scale, built form that derives from its regular grid subdivision pattern and its single storey, detached and attached dwelling houses in a mixture of late Victorian and early Federation styles.*



A site inspection was undertaken on 5 April 2024.

2. Heritage Assessment and Recommendations

An assessment of the proposed alterations and additions to create a two storey rear addition has been undertaken with reference to the relevant provisions under NSDCP 2013 Part B:s13 Heritage and Conservation, set out below to ensure the development meets the objectives of NSLEP 2013 Clause 5.10 (1)(a) and (b) Heritage conservation.

The topography of the site slopes downwards towards the rear whereby the rear secondary wing of the dwelling has a step-down. The primary roof retains its form, and the principal building form retains its early layout. It is noted that the dwelling has had previous updates to the rear and are distinctly contemporary in their expression.

s13.5.1 Heritage Items - Objective O1 Ensure changes to heritage items are based on an understanding of the heritage significance of the heritage item.

Provision P5 Locate change away from original areas of the heritage item that are intact
s13.5.2 Form, Massing and Scale - Objective O1 - To ensure new development has a compatible and complimentary building form and scale to that which characterises the conservation area.

s13.5.3 Additional Storeys – Objective O1 To minimise the visual dominance of any new work from public places.

s13.5.4 Roofs – Objective O1 To ensure that original roofs, their hierarchy and materials are maintained.

s13.5.5 Interior Layouts – Objective O1 To ensure that significant interior elements are retained and preserved.

The proposed addition to the principal dwelling, although set to the rear, is contrary to the objectives and the provisions set out in s13.5.2 Form, massing and scale being that there is no clear separation between the existing and new, two storey addition. Further, the overall scale of the two storey addition is excessive and is higher than the roof ridge of the existing dwelling making it visible from the public domain as viewed from Atchison Street. Additionally, the provision for the staircase to service the two storey addition within the existing dwelling is not supported. It is recommended that the following revisions are made:

- i. relocate and design the staircase to service the two storey addition be integrated as part of the new work;*
- ii. ensure that the impact on the existing principle rooms (that is, bedroom 1 and 2; the living room and fireplace + chimney structures) are retained as part of the interpretation of the original dwelling; and*
- iii. ensure the scale of the new works are set clear of the existing principal roof and with an overall height which is compatible with the height of the existing roof ridge be investigated.*

It is noted that the barn has been adapted for residential purposes. Whilst the proposed alterations to the existing barn are supported in principle, the construction of the proposed internal walls are to be of a lightweight construction that ensure this work is reversible and enables the ongoing interpretive qualities of the barns' construction, including the roofing structures to remain legible and for the retention of the fenestration openings to be retained. The installation of utilities relating to the proposed kitchen and bathroom facilities are to be from below the floors and clear of the painted brick walls etc to minimise impact on fabric.

The proposed changes to the front fence and the general maintenance and conservation focussed works to the street facing elevation are supported. These works will make a positive impact on the character and significance of the Atchison Street streetscape and the Holtermann Estate A conservation area.

In conclusion, the potential to reduce the heritage impact from the proposed new works has not been optimised and was not sufficiently justified in the HIS. The proposed alterations within the existing dwelling are not supported on heritage grounds for their adverse impact on heritage significance and revisions to reduce this impact are recommended.

3. Conclusions and Recommendations

With reference to the above, the proposal as submitted does NOT satisfy the objectives of NSLEP 2013 Clause 5.10 Heritage conservation and NSDCP 2013 - Part B Section 13 Heritage and conservation and in particular, is contrary to the following objectives: s13.5.1 Heritage Items -O1/ P5; s13.5.2 Form, Massing and Scale – O1; s13.5.4 Roofs – O1; s13.5.5 Interior Layouts – O1 and therefore does not satisfy the objectives of NSLEP 2013 cl 5.10 (1) (a) and (b).

Planning Comment: the issues of concern stipulated in the heritage referral is supported particularly the scale of the two storey addition, insufficient separation between the dwelling and addition and loss of heritage fabric to the single storey Victorian cottage.

ENGINEERING

The application has been referred to Council's Development Engineers Team who raised no objections subject to recommending standard conditions of consent. Conditions of Consent recommended include a Dilapidation Report to Public Infrastructure, a bond for damage and completion of infrastructure works, a structural report certifying the property is able to withstand the works and stormwater disposal condition requiring appropriate disposal and stormwater management.

LANDSCAPING

The application has been referred to Council's Development Engineer who required the following amendments:

- *A detailed Landscape Plan is required inclusive of species, pot size and number of species. The plan shall include plant screening as indicated in the lodged plans and include 1 x canopy tree (45l) capable of attaining a mature height of 7m within the rear setback.*
- *The Landscape Plan must detail the retention and protection of the existing palms (species to be identified) located within the western setback of the site, retention and protection of 1 x Magnolia 'Little Gem' within the front setback of the site and retention/protection of the street trees (1 x Photina sp. & 1 x Lophostemon confertus) on the Council verge in front of 114 & 116 Atchison Street.*

SUBMISSIONS

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

Environmental Planning and Assessment Act 1979 (as amended)

Environmental Planning and Assessment Regulation 2021

SEPP (Housing) 2021

- Chapter 3 Diverse Housing

Division 2 of Part 1 in Chapter 3 of the SEPP (Housing) 2021 states development consent must not be granted subject to compliance with the following criteria:

- (a) no dwellings, other than the principal dwelling and the secondary dwelling, will be located on the land, and

Comment: the development complies with only the principal dwelling and secondary dwelling located on the land.

- (b) the total floor area of the principal dwelling and the secondary dwelling is no more than the maximum floor area permitted for a dwelling house on the land under another environmental planning instrument, and

Comment: not applicable because the site is not subject to a maximum floor area under the North Sydney Local Environmental Plan 2013.

- (c) the total floor area of the secondary dwelling is -
(i) no more than 60m², or
(ii) if a greater floor area is permitted for a secondary dwelling on the land under another environmental planning instrument - the greater floor area.

Comment: the floor area of the secondary dwelling exceeds the maximum 60m² and is greater than 30% of the total floor area of the principal dwelling stipulated in cl. 5.4 'Controls relating to miscellaneous permissible uses' of NSLEP 2013.

The secondary dwelling has a large floor area which is more than 60m² and greater than 30% of the total floor area of the principal dwelling therefore the development cannot rely on Division 2, Cl. 52(2)(c) of SEPP (Housing) 2021.

SEPP (Biodiversity and Conservation) 2021

- Chapter 2 Vegetation in non-rural areas

Section 2.6 of the Policy specifies that a person must not clear declared vegetation in a non-rural area of the State without consent of Council. The Policy confers the ability for Council to declare vegetation that consent is required in a Development Control Plan. Section 16 of Part B in NSDCP 2013 specifies declared trees for the purpose of the SEPP which includes trees over 5m in height or canopy. The existing front and rear garden contain a mixture of grasses, shrubs, and small trees. The trees within the site are not detailed in the Survey Plan prepared by N.K. Bennett & O'Donnell dated 08 August 2023, however upon the review of Council's Landscape Development Officer the rear garden contains a Bougainvillea (climber) and assorted shrubs and climbers. The 1 x Frangipani to be removed does not have a height or canopy greater than 5m.



Figures 15 & 16 – Photos of the rear garden detailing existing landscaping including Frangipani within the subject site

SEPP (Biodiversity & Conservation) 2021

- Chapter 6 Water Catchments

Having regard to Chapter 6 of the SEPP (Biodiversity and Conservation) 2021 the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the site's inland location. The proposed development would not adversely affect the quantity or quality of water entering Sydney Harbour, being a regulated catchment for the purpose of Section 6.6 of the Policy. The application satisfies the requirements of the Policy.

SEPP (Resilience and Hazards) 2021

- Chapter 4 Remediation of Land

Section 4.6 of the SEPP requires the consent authority to consider whether the land is contaminated, and if so whether the land is suitable for the intended use or any remediations measures required. Council's records indicate that the site has historically been used for residential development therefore, the site is unlikely to contain any contamination. The subject site is therefore considered suitable for the proposed use given that contamination is unlikely.

SEPP (Building Sustainability Index: BASIX) 2004

A valid BASIX Certificate (A494327_02) dated 05 July 2023 for alterations and additions has been submitted to satisfy the Policy.

NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

1. Permissibility

The site is zoned R2 Low Density Residential Zone under the provisions of the North Sydney Local Environmental Plan 2013 (NSLEP 2013). Development for the purposes of alterations and additions to a dwelling house is permissible with the consent of Council.

The Barn is described within the supporting Statement of Environmental Effects (SEE) as containing an existing secondary dwelling. Secondary dwellings are prohibited in the R2 Low Density Residential Zone. No additional information is provided in support of the existing use of the Barn as a secondary dwelling confirming the use is lawful pursuant to Division 4.65 – 4.67 'Existing uses' of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) and whether the alterations is permitted with consent pursuant to directions in Part 7 'Existing uses' of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation 2021).

2. Objectives of the zone

The objectives for a R2 Low Density Residential Zone are stated below:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage development of sites for low density housing, including dual occupancies, if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone. The development therefore does not contribute a low density residential property contrary to objective (bullet point one) of the R2 Low Density Residential Zone.

Part 4 – Principal Development Standards

COMPLIANCE TABLE Principal Development Standards North Sydney Local Environmental Plan 2013			
Site Area – 278.2m ²	Proposed	Control	Complies
Clause 4.3 – Heights of Building	7m	8.5m	YES

3. Height of Building

The following objectives for the permissible height limit of 8.5m pursuant to clause 4.3 in NSLEP 2013 are stated below:

- (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,
- (b) to promote the retention and, if appropriate, sharing of existing views,
- (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,
- (d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,
- (e) to ensure compatibility between development, particularly at zone boundaries,
- (f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.
- (g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone C4 Environmental Living.

The proposed works would have varying heights with the greatest height being the roof ridge of the two storey rear addition measuring 7m that complies with the permissible height limit of 8.5m in accordance with clause 4.3 in NSLEP 2013.

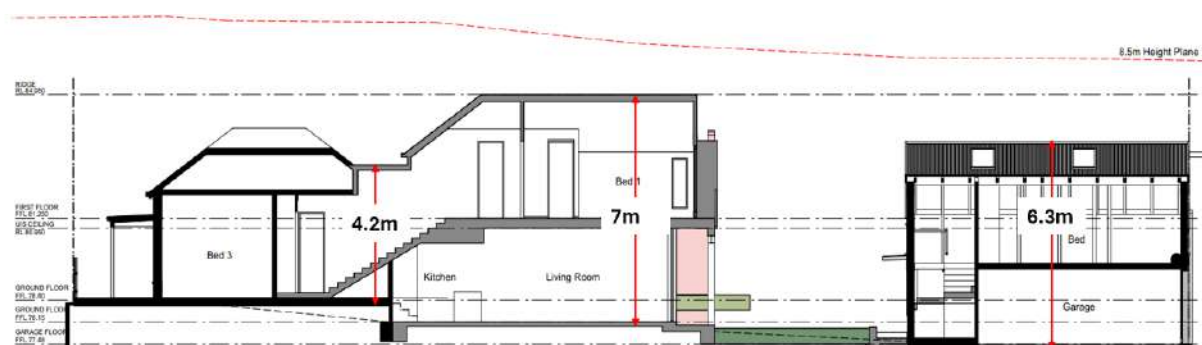


Figure 17 – Annotated Section A-A with various height measurements

Note: although a long section has been provided it is not annotated on the floor plans or roof plan where the long section is taken.

4. Heritage Conservation

The subject site is listed as a Heritage Item located in the Holtermann Estate A Conservation Area under Schedule 5 in NSLEP 2013 so the following planning objectives apply to the site:

- (a) to conserve the environmental heritage of North Sydney,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

The proposed development does not satisfy Objective (b) in Cl. 6.10 of NSLEP 2013 because the proposed rear addition requires excessive demolition of existing principal rooms of the heritage item and the overall scale of the two storey addition is excessive and prominent when viewed from Atchison Street streetscape and the *Holtermann Estate A* conservation area.

5. Earthworks

The application involves excavation however the earthworks are considered modest limited to the floor slab and footings of the extension and regrading of the rear garden.

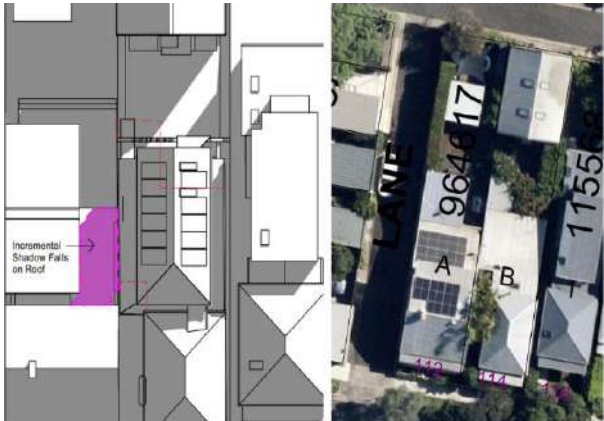
Conditions if the development is supportable can be applied to manage stormwater and sediment control and conditions such as dilapidation and structural reports can minimise the likelihood of an impact from the development to adjoining properties.

Overall, the scope of earthworks is unlikely to have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items on surrounding land.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

Part B Section 1 - Residential Development		
	<i>complies</i>	<i>Comments</i>
1.2 Social Amenity		
1.2.2 Maintaining Residential Accommodation	Yes	The proposal comprising of alterations and additions would not reduce residential density on the site compliant with Provision P1, s1.2.2 of NSDCP 2013.
1.3 Environmental Criteria		
1.3.1 Topography	Yes	<p>The two storey addition has a nil side setback to the western side boundary and a 430mm side setback to the eastern side boundary. Provision P4 in s1.3.1 of NSDCP 2013 states where excavation is required within 500mm of a property boundary Council must not grant development consent unless satisfied that the proposed excavation will not result in an adverse impact upon the structural integrity of adjoining properties.</p> <p>The two storey addition referring to the Long Section (Section A-A) appears to step with the topography of the site and the necessary excavation is limited to the floor slab and footings of the extension.</p>

		Conditions if the development is supportable can be applied requiring a dilapidation report of neighbouring structures (Dilapidation Report Private Property) and the preparation of a report by a structural engineer detailing the structural adequacy of adjoining properties (C6 Structural Adequacy of Adjoining Properties – Excavation Works).
1.3.2 Bushland	N/A	The site is not in proximity to bushland therefore Section 15 – Bushland of the DCP does not apply.
1.3.3 Bush Fire Prone Land	N/A	The site is not designated as bush fire prone land.
1.3.4 Foreshore Frontage	N/A	The site is not adjacent to the foreshore.
1.3.6 Views	Yes	The site and adjoining properties on Atchison Street comprise of single storey detached and semi-detached dwellings with views that are primarily either to the streetscape or rear gardens therefore the proposed alterations and additions would not impact upon existing views from neighbouring dwellings.
1.3.7 Solar Access	Yes	<p>Shadow context & Analysis</p> <p>9am</p> <p>The 9am shadow diagram for mid-winter confirms additional shadow impact would affect the metal roof of the adjoining property at 112 Atchison Street. The impact would not affect windows of habitable rooms or private open space and the shadow cast would have an insignificant impact affecting approximately four solar panels on the roof of 114 Atchison Street (refer to below).</p>  <p>Figures 18 & 19 – 9am shadow diagram (left) and Nearmaps aerial photo of 112 Atchison Street and solar panels</p> <p>12pm</p> <p>At midday in mid-winter there are incremental additional shadows cast falling within the subject site not affecting the amenity of adjoining properties.</p>

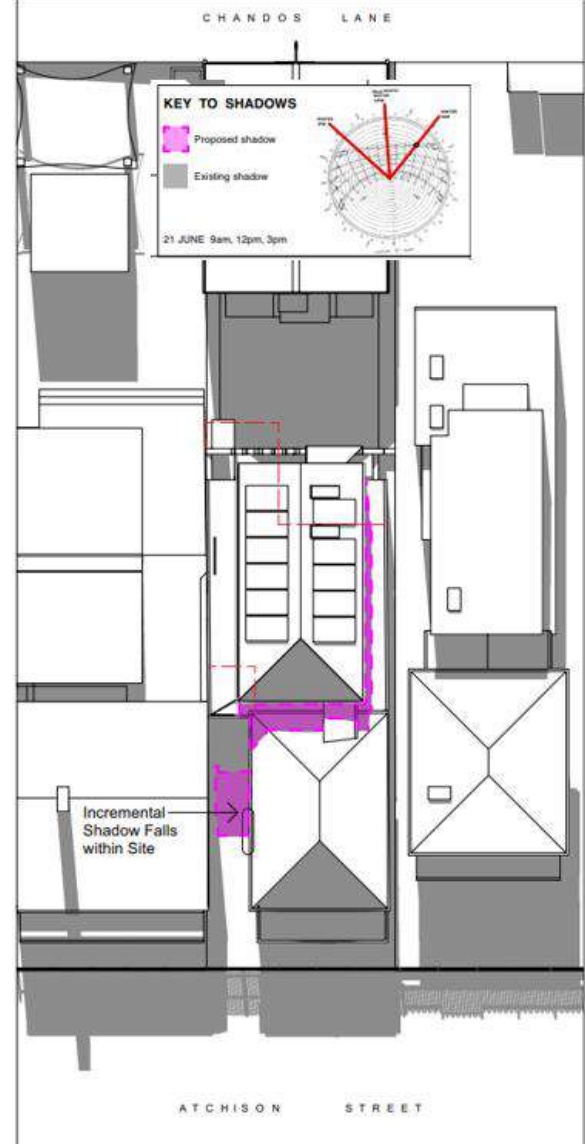
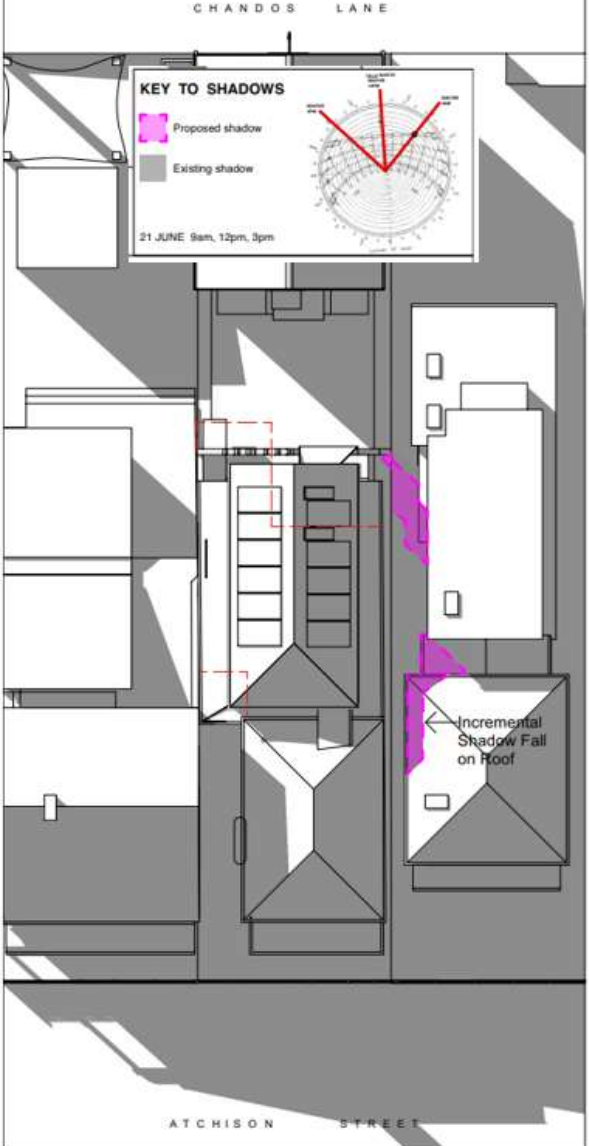



Figure 20 – 12pm shadow diagram

3pm

At 3pm in mid winter additional shadows will affect the roof of the adjoining 116 Atchison Street and the side western elevation not impacting upon windows of main internal living areas or principal private open space. An elevational shadow diagram is provided confirming additional shadows to the western elevation of 116 Atchison Street would not impact upon windows of the adjoining property.


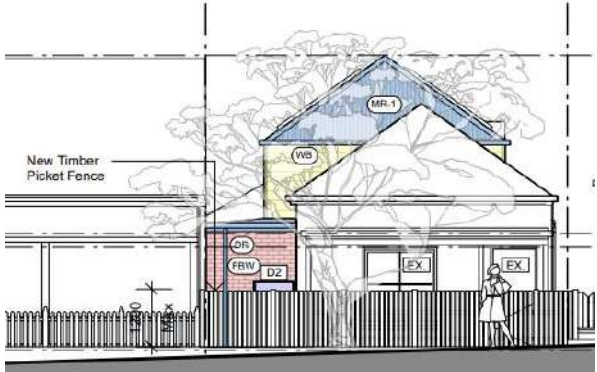
		 <p style="text-align: center;">Figure 21 – 3pm shadow diagram</p> <p>In summary, the solar panels on the roof of 112 Atchison Street would continue to receive a minimum 3 hours sunlight at mid-winter and the two storey rear addition would not cast any additional shadow to private open space or windows of main internal living areas therefore Objective O1 and Provision P1 in s1.3.7 is satisfied.</p>
<p>1.3.8 Acoustic Privacy</p>	<p>Yes</p>	<p>Subject to condition (F1 National Construction Code) the proposal is considered to be capable of achieving compliance with the required building construction levels to meet acoustic standards.</p> <p>Part of the proposed development comprises a small Juliette balcony to the rear of the first floor addition. The balcony is small in size and adequately integrated within the dwelling with sufficient setbacks to corresponding boundaries therefore use of the balcony will retain a reasonable level of acoustic and visual privacy for adjoining properties.</p>

<p>1.3.9 Vibration</p>	<p>Yes</p>	<p>The site is not adjacent to a road with an annual average daily traffic volume of more than 20,000 vehicles therefore consideration of the likely impact of a road noise or vibration is not required pursuant to Cl. 2.120 'Impact of road noise or vibration on non-road development' in the State Environmental Planning Policy (Transport and Infrastructure) 2021.</p>
<p>1.3.10 Visual Privacy</p>	<p>Yes</p>	<p>The development proposes new window and door openings with the potential for an impact to the visual privacy of adjoining properties therefore below is consideration of the potential privacy impact.</p> <p>Front (South) Elevation</p> <p>No new openings are proposed apart from a door entry to the Barn therefore no discernible privacy impact is identified.</p> <p>Rear (North) Elevation</p> <p>Large glazed doors are proposed for the ground floor of the rear two storey addition and a glazed two pane door is proposed for the first floor providing access to a Juliette balcony. The openings on the rear of the two storey addition primarily provide an outlook to the rear of the site and Barn not providing direct or close views into the windows or private open space.</p> <p>Side (East) Elevation</p> <p>Minimal openings are proposed other than 2 x skylights and a modest sized first floor window (W5). The window is appropriately sited to not provide direct or close views to the adjoining property at 116 Atchison Street.</p> <p>Side (West) Elevation</p> <p>Four windows are proposed to the first floor side elevation. The windows most capable of impacting upon the privacy of the rear private open space of 112 Atchison Street are frosted which is a supportable outcome.</p> <p>In summary, the proposed development including new windows/glazed doors are considered acceptable, avoiding direct or close views into windows or private open space of adjoining properties and therefore maintains a reasonable level of visual privacy between neighbours.</p>
<p>1.4 Quality built form</p>		
<p>1.4.1 Context</p>	<p>No</p>	<p>The two storey rear addition is not designed to respond to the constraints of the site being an over scaled addition too prominent as viewed from Atchison Street and the Holtermann Estate A Conservation Area.</p> <p>The development therefore does not comply with Objective O1 and Provision P1 in s1.4.1 of NSDCP 2013.</p>
<p>1.4.2 Subdivision Pattern</p>	<p>Yes</p>	<p>The proposed work would not alter the existing lot size, shape or orientation of the site.</p>
<p>1.4.3 Streetscape</p>	<p>Yes</p>	<p>No works are proposed within the road reserve. If the application is supportable conditions can apply requiring a dilapidation report of public infrastructure and a corresponding bond for damage and completion of infrastructure works as security for potential damages.</p>

		One street tree is located opposite the subject site in the Atchison Street public footpath. A tree bond can be recommended for the protection of this street tree.																						
1.4.4 Laneways	Yes	<p>Located at the rear of the site adjacent to Chandos Lane is a two storey brick outbuilding. The building is described within the Statement of Significance for Heritage Item I0140 as a barn and a rare survival of a utilitarian outbuilding in a suburban environment.</p>  <p>Figure 22 – Façade of the Barn facing Chandos Lane to remain</p> <p>The Barn northern elevation facing Chandos Lane will remain. The Barn and retention of the physical features of the building facing Chandos Lane is supported adding to the amenity and attractiveness of the laneway satisfying Objective O1, s1.4.4 of NSDCP 2013.</p>																						
1.4.5 Siting	Yes	The siting of the dwelling would remain with a single building form addressing the street.																						
1.4.6 Setback – Front	Yes	The front setback would remain in alignment with primary facades of buildings on adjoining properties.																						
1.4.6 Setback – Side	No	<p>General Residential (R2 & R3 zones)</p> <p><i>1st storey (up to 4m) – 900mm</i> <i>2nd storey (up to 7m) – 1.5m</i> <i>3rd storey (>7m) – 2.5m</i></p> <p>Relates to: Attached dwellings; Boarding houses; Dual occupancies; Dwelling houses; Group houses; Multi dwelling housing; Secondary dwellings; Semidetached dwellings; Seniors housing</p> <table border="1" data-bbox="817 1366 1433 1787"> <thead> <tr> <th colspan="4">Proposed Side Setbacks</th> </tr> <tr> <th></th> <th>Existing</th> <th>Proposed</th> <th>Complies</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Ground floor</td> <td>East 430mm</td> <td>East 430mm</td> <td>No</td> </tr> <tr> <td>West Nil</td> <td>West Nil</td> <td>No</td> </tr> <tr> <td rowspan="2">First floor</td> <td>East N/A</td> <td>East 1.28m</td> <td>No</td> </tr> <tr> <td>West N/A</td> <td>West 1.3m</td> <td>No</td> </tr> </tbody> </table> <p>The proposed two storey rear addition is designed with a nil side setback to the western boundary and a 430mm side setback to the eastern side boundary not compliant with the minimum 900mm setback requirement stipulated in Table B-1.5. The first floor also has non-compliant side setbacks 1.3m from the western boundary and 1.28m from the eastern boundary not compliant with the minimum 1.5m stipulated in Table B-1.5, Provision P2, s1.4.6 of NSDCP 2013.</p>	Proposed Side Setbacks					Existing	Proposed	Complies	Ground floor	East 430mm	East 430mm	No	West Nil	West Nil	No	First floor	East N/A	East 1.28m	No	West N/A	West 1.3m	No
Proposed Side Setbacks																								
	Existing	Proposed	Complies																					
Ground floor	East 430mm	East 430mm	No																					
	West Nil	West Nil	No																					
First floor	East N/A	East 1.28m	No																					
	West N/A	West 1.3m	No																					

		<p>Although it is noted the two storey addition replaces an existing single storey rear addition with non-compliant side setbacks the demolition presents an opportunity to design a more compliant addition.</p> <p>The two storey addition and associated non-compliant setbacks do not control the bulk and scale of the building resulting in a built form which would be visible from Atchison Street and a dominant building in context with the primary single storey dwelling. The development therefore does not comply with Objective O2 in s1.4.6 of NSDCP 2013.</p> <p>The two storey addition does not provide sufficient separation between adjoining buildings and this is of importance particularly in lesser dense zones such as R2 Low Density Residential Zones which is the zoning for the site and surrounding locality. The development therefore does not comply with Objective O3 in s1.4.6 of NSDCP 2013.</p> <p>The two storey rear addition is therefore not supportable due to the non compliant side setbacks on both levels and resulting insufficient separation and excessive bulk and scale.</p>
<p>1.4.6 Setback – Rear</p> <p>P7 Laneways</p>	<p>Yes</p> <p>No, but supportable on merit</p>	<p>Rear Setback</p> <p>The proposed rear setback is reasonably consistent with the rear boundary line of the adjoining properties and is therefore considered to be acceptable in this regard.</p> <p>It is noted the site has a large outbuilding referred to as 'The Barn' which necessitates a rear building setback that does not project as deep within the lot compared to adjoining properties.</p> <p>The existing Barn has an existing nil rear setback to Chandos Lane not complying with the required 1.2m setback stipulated in Provision P7, s1.4.6 of NSDCP 2013.</p> <p>The setback is supported noting the Barn is an existing building and any substantial alterations to the design and siting of the Barn would affect its heritage significance.</p>
<p>1.4.7 Form Massing Scale</p>	<p>No</p>	<p>The single storey form of the cottage to the front of the site facing Atchison Street will remain consistent with the character of properties in the Holtermann Estate A Conservation Area and compliant with Provision P2, s1.4.7 of NSDCP 2013.</p> <p>The floor to ceiling height for the two storey rear addition are detailed below:</p> <p>Ground Floor: 2.8m First Floor: 3.7m</p> <p>The proposed ridge height for the rear addition is RL84.95 which is '1.01m' above the ridge of the cottage.</p> <p>The floor to ceiling heights exceeds the minimum 2.7m stipulated in P4, s1.4.7 of NSDCP 2013.</p> <p>No additional glazing is proposed to the principal façade facing Atchison Street satisfying P5, s1.4.7 of NSDCP 2013.</p>

		<p>Provision P6, s1.4.7 of NSDCP 2013 requires ancillary buildings to be much smaller in scale than the residential building.</p> <p>The outbuilding to the rear of the site is a large Barn style building and although not much smaller in size compared to the dwelling the size of the Barn will remain and is subject to primarily internal alterations only.</p>
1.4.8 Built Form Character	No	<p>The existing dwelling shares a uniformity with adjoining properties on Atchison Street having a single storey form. Although the two storey addition is appropriately located to the rear it has a bulk and scale which does not minimise its visibility from the street.</p> <p>The two storey addition is excessive in height and amendments could be made to ensure a more sympathetic and subordinate addition which is less visible from the street such as proposing reduced floor to ceilings heights especially the first floor which currently has a 3.7m floor to ceiling height. Additionally, the two storey addition does not have compliant side setbacks for either the ground or first floor and improvements to the side setbacks would also assist in reducing the bulk and scale and visibility of the rear addition from Atchison Street.</p> <p>The current bulk and scale of the rear addition is excessive for the site would be visible from the street and surrounding conservation area and is contrary to P1, s1.4.8 of NSDCP 2013. A reduced built form which achieves a more recessive and lowered design is necessary for this site.</p>
1.4.9 Dwelling Entry	Yes	<p>The existing front door and window on the principal façade facing Atchison Street will remain generally complying with the Objectives and Provisions in s1.4.9 of NSDCP 2013.</p>
1.4.10 Roofs	Yes	<p>The pitched hipped roof form of the existing single storey dwelling will remain and it is noted the two storey addition proposes a pitched roof with a hipped roof facing Atchison Street and a gable roof to the rear of the site.</p> <p>The retention of a pitched roof for the main dwelling is supported by Provision P1, s1.4.10 of NSDCP 2013.</p> <p>The character statement for the Holtermann Estate A Conservation Area in Part C of NSDCP 2013 identifies skillion roofs to rear extensions as characteristic. The site visit revealed differing pitched roof forms for rear additions of adjoining properties and there is considered potential flexibility with the choice of roof form, but the emphasis is on achieving an appropriate bulk and scale, minimal impact to the surrounding conservation area and more subservience to the single storey dwelling fronting Atchison Street.</p>
1.4.12 Colours and Materials	Yes	<p>The original rendered wall of the single storey cottage will remain which is a characteristic external material noted in the character statement within Part C of the DCP.</p> <p>The external materials for the two storey addition are generally supported utilising characteristic materials such as face brick for the ground floor, weather boards for the first floor and the roof is to comprise of corrugated metal.</p>

		<p>The colours and materials generally satisfy Objective O1 and Provision P1 in s1.4.12 of NSDCP 2013.</p>
<p>1.4.14 Front Fences</p>	<p>Yes</p>	<p>The existing low painted brick front boundary fence is being sought for demolition to be replaced with a 1.2m high timber picket fence.</p>  <p>Figure 23 – Brick front boundary wall to be demolished</p>  <p>Figure 24 – Proposed front boundary fence</p> <p>The height and style of fencing is considered compatible with characteristic fencing detailed within the character statement in Part C of NSDCP 2013.</p>
<p>1.5 Quality Urban Environment</p>		
<p>1.5.4 Vehicle Access and Parking</p>	<p>Yes</p>	<p>The development would retain vehicular parking with access to and from Chandos Lane.</p> <p>The Barn already has a garage space which will remain with internal alterations sought to provide a suitably sized parking space.</p> <p>The continued vehicular access from the laneway is a supported outcome.</p>

<p>1.5.5 Site Coverage</p> <p><i>Attached/ detached/ semi-detached dwelling</i></p> <p>Site area = 278.2m²</p> <table border="1" data-bbox="277 378 566 667"> <thead> <tr> <th colspan="2">Table B-1.6: Max Site Coverage</th> </tr> <tr> <th>Lot Size</th> <th>Cover (max)</th> </tr> </thead> <tbody> <tr> <td>0-229</td> <td>60%</td> </tr> <tr> <td>230-499</td> <td>50%</td> </tr> <tr> <td>500-749</td> <td>40%</td> </tr> <tr> <td>750-999</td> <td>35%</td> </tr> <tr> <td>1000+</td> <td>30%</td> </tr> </tbody> </table> <table border="1" data-bbox="233 696 611 831"> <thead> <tr> <th>Control</th> <th>Existing</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Site coverage</td> <td>173m² (62.1%)</td> <td>177m² (63.6%)</td> </tr> <tr> <td>Max 50%</td> <td></td> <td></td> </tr> </tbody> </table>	Table B-1.6: Max Site Coverage		Lot Size	Cover (max)	0-229	60%	230-499	50%	500-749	40%	750-999	35%	1000+	30%	Control	Existing	Proposed	Site coverage	173m ² (62.1%)	177m ² (63.6%)	Max 50%			<p>No</p>	<p>The proposal involves a total site coverage of 63.6% (177m²) including the existing barn and dwelling subject to alterations and additions.</p> <p>A maximum site coverage of 50% applies to the proposed development in accordance with exclusions expressed in P2 to s1.5.5 of DCP 2013. It is noted that in the Site Analysis/Development Summary table in the Area Calculations drawing (DA15 Issue A) a maximum permissible site coverage of 60% is stipulated. Furthermore, the covered verandah to the front of the dwelling is site coverage pursuant to the definition in P2, s1.5.5 of NSDCP 2013.</p> <p>The proposed alterations and additions would increase the non-compliance by 4m² beyond the existing site coverage.</p> <p>The proposed site coverage of 63.6% is an exceedance of 13.6% more than the maximum 50% permitted and is a substantial exceedance in site coverage therefore amendments are required to have a net reduction in site coverage compared to the existing site coverage and ensure an improved site coverage outcome is achieved to control site density and limit the building footprint to ensure a development more commensurate to its Low Density Residential Zoning.</p>
Table B-1.6: Max Site Coverage																									
Lot Size	Cover (max)																								
0-229	60%																								
230-499	50%																								
500-749	40%																								
750-999	35%																								
1000+	30%																								
Control	Existing	Proposed																							
Site coverage	173m ² (62.1%)	177m ² (63.6%)																							
Max 50%																									

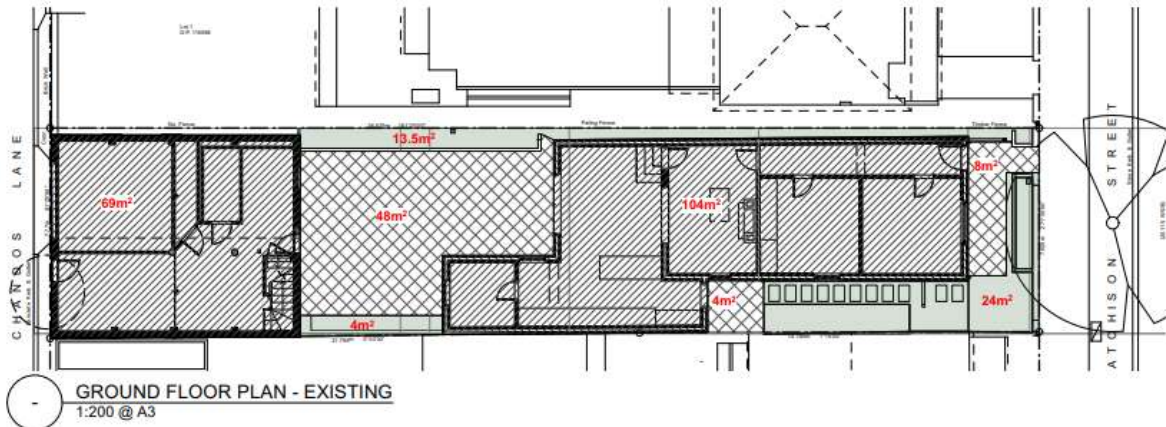


Figure 25 – Existing Compliance Diagram, DA15 Issue A

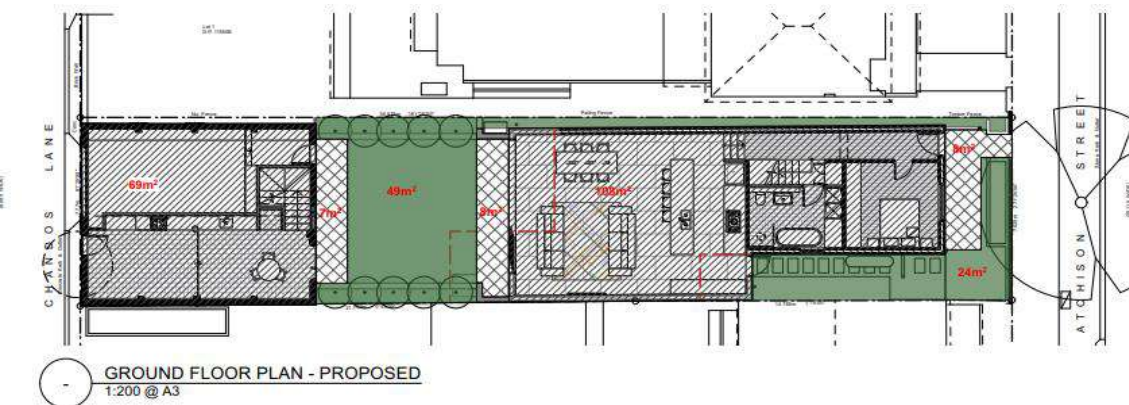


Figure 26 – Proposed Compliance Diagram, DA15 Issue A

<p>1.5.6 Landscape Area (min) & Un-built upon area (max)</p> <p><i>Attached/ detached/ semi-detached dwelling</i></p> <p>Site area = 278.2m²</p> <table border="1"> <thead> <tr> <th colspan="3">Table B-1.7: Landscape requirements</th> </tr> <tr> <th>Lot size</th> <th>Landscape (min)</th> <th>UBA (max)</th> </tr> </thead> <tbody> <tr> <td>0-229</td> <td>20%</td> <td>20%</td> </tr> <tr> <td>230-499</td> <td>30%</td> <td>20%</td> </tr> <tr> <td>500-749</td> <td>40%</td> <td>20%</td> </tr> <tr> <td>750-999</td> <td>45%</td> <td>20%</td> </tr> <tr> <td>1000+</td> <td>50%</td> <td>20%</td> </tr> <tr> <td>All</td> <td>40%</td> <td>15%</td> </tr> </tbody> </table> <p>Note: both the existing site coverage, landscaped and un-built upon areas and proposed site coverage, landscaped and un-built upon areas do not equate to the site area of 278.2m².</p> <p>The calculations within the Area Calculations table equate to 274.5m² which is a shortfall of 4m² for existing and 273m² for proposed which is a shortfall of 5.2m².</p> <p>Nonetheless, the existing/proposed site coverage calculations were calculated confirming the site coverage calculations are reasonably accurate in accordance with those detailed in the Area Calculations Diagram.</p>	Table B-1.7: Landscape requirements			Lot size	Landscape (min)	UBA (max)	0-229	20%	20%	230-499	30%	20%	500-749	40%	20%	750-999	45%	20%	1000+	50%	20%	All	40%	15%	<p>No, but landscaped area supportable on merit</p>	<p>The proposed development has been assessed and the site coverage, landscaped area and un-built upon areas are as follows:</p> <table border="1"> <thead> <tr> <th>Control</th> <th>Existing</th> <th>Proposed</th> <th>Compliance</th> </tr> </thead> <tbody> <tr> <td>Landscaped area Min 30%</td> <td>41.5m² (14.9%)</td> <td>73m² (26.3%)</td> <td>No</td> </tr> <tr> <td>Unbuilt-upon area Max 20%</td> <td>60m² (21.5%)</td> <td>23m² (8.3%)</td> <td>Yes</td> </tr> </tbody> </table> <p>Landscape area (30% min required)</p> <p>The development seeks alterations removing large parts of the existing brick paved rear garden to be replaced with landscaping substantially improving the provision of landscaping despite the site not complying with the minimum 30% stipulated in Table B-1.7, P1, s1.5.6 of NSDCP 2013.</p> <p>The additional landscaping within the rear garden contributes to a useable private open space, provides a landscaped buffer between adjoining properties subject to further detail required by Council's Landscape Development Officer and assists in the retention of and absorption of surface water drainage.</p> <p>The improved landscaped area is a positive outcome generally satisfying the objectives in O1, s1.5.6 of NSDCP 2013.</p> <p>Un-built upon area (20% max) permitted</p> <p>The site has an existing un-built upon area (UBA) of 60m² (21.5%) inclusive of paths and a rear brick paved garden. Amendments removing the brick paving results in a compliant un-built upon area complying with DCP 2013 requirements.</p> <p>It is noted the un-built upon area is inaccurate calculating an existing/proposed covered verandah as un-built upon instead of site coverage.</p>	Control	Existing	Proposed	Compliance	Landscaped area Min 30%	41.5m ² (14.9%)	73m ² (26.3%)	No	Unbuilt-upon area Max 20%	60m ² (21.5%)	23m ² (8.3%)	Yes
Table B-1.7: Landscape requirements																																						
Lot size	Landscape (min)	UBA (max)																																				
0-229	20%	20%																																				
230-499	30%	20%																																				
500-749	40%	20%																																				
750-999	45%	20%																																				
1000+	50%	20%																																				
All	40%	15%																																				
Control	Existing	Proposed	Compliance																																			
Landscaped area Min 30%	41.5m ² (14.9%)	73m ² (26.3%)	No																																			
Unbuilt-upon area Max 20%	60m ² (21.5%)	23m ² (8.3%)	Yes																																			
<p>1.5.7 Landscaping</p>	<p>No</p>	<p>Council's Landscape Development Officer requires a detailed Landscape Plan inclusive of species, pot size and number. The Landscape Plan should detail plant screening and include the planting of 1 x canopy tree.</p> <p>No tree planting is proposed therefore no canopy cover is over the landscaped rear garden contrary to Provision P9 in s1.5.7 of NSDCP 2013.</p> <p>The ground floor plan provides insufficient detail regarding landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site contrary to Objective O1, s1.5.7 of NSDCP 2013.</p>																																				
<p>1.5.9 Front Gardens</p>	<p>No</p>	<p>The existing planter bed within the front setback is to be demolished along with the existing brick boundary wall as detailed in the Demolition Plan Issue B.</p>																																				

		<p>It is unclear from the proposed plans whether the existing landscaping within the front garden would remain or be replaced. The development currently cannot be supported without further detail as to landscaping within the front garden.</p> <p>Insufficient information is provided confirming landscaping within the front setback would soften the built form of the dwelling and complement the landscaped character of the street contrary to Objective O2 and Provisions P3, P4, P5 and P6 in s1.5.8 of NSDCP 2013.</p>
1.5.9 Private and Communal Open Space	Yes	The rear garden is able to provide a minimum 40m ² private open space accessible from a main living area generally satisfying the Objectives and Provisions in s1.5.9 of NSDCP 2013.
1.5.13 Garbage Storage	Yes	It is unclear from the plans or the submitted Waste Management Plan where the garbage and recycling bins are to be located. Nonetheless, there is sufficient opportunity for storage within the site and the likely ongoing management of waste will remain.
1.6 Efficient Use of Resources		
1.6.1 Energy Efficiency	Yes	<p>A valid BASIX Certification has been submitted as part of the development application documentation.</p> <p>The development incorporates on-site renewable energy proposing solar panels on the western and eastern roof slope of the two storey addition complying which assists in minimising the use of non-renewable energy.</p>

St Leonards / Crows Nest Planning Area (Holtermann Estate A Conservation Area) – Part C of NSDCP 2013

The proposed two storey addition is over scaled and an uncharacteristic element within the Holtermann Estate A Conservation Area. The two storey addition has non-compliant side setbacks and excessive floor to ceiling heights particularly the first floor with a floor to ceiling height of 3.7m resulting in a two storey addition which would be visible from the street and surrounding conservation area and a dominant addition in context with the primary single storey dwelling.

The over scaled two storey addition is an uncharacteristic element not supportable as stipulated in s3.4.7 in Part C of the NSDCP 2013.

In consideration of the appropriateness of the two storey addition regard was had to neighbouring properties on Atchison Street. It was notable that two storey additions were sited to the rear of neighbouring properties, however, they are designed and sited so as to generally minimise their visibility from Atchison Street. Below is a case study of the neighbouring property where a rear addition has been designed to not appear dominant or over scaled in context with the principal dwelling.

116 Atchison Street

Development Application No. 155/15 was approved by the North Sydney Independent Planning Panel (NSIPP) for demolition of the dwelling and construction of a new part single part 2 storey dwelling. The part two storey element to the rear was designed with compliant side setbacks and modest floor to ceiling heights of approximately 2.7m so as to minimise height, bulk and scale and this is evident referring to site photographs and the South Street Elevation.



Figures 27 & 28 – Photo of site and adjoining property (left) and photo of two storey built form visible from Chandos Lane (right)

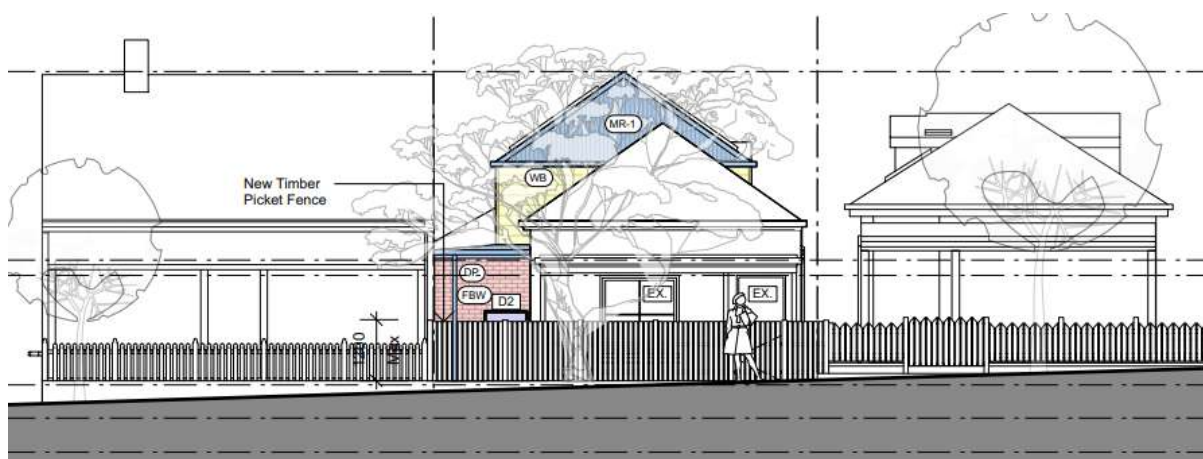


Figure 29 – South Elevation of subject site and adjoining properties, DA07 Issue B

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to payment of contributions towards the provision of local infrastructure. The contributions payable has been calculated in accordance with the Council’s Contributions Plan as follows:

Contribution amounts payable

Applicable contribution type		
s7.12 contribution details	Development cost:	\$750,000.00
<i>(payment amount subject to indexing at time of payment)</i>	Contribution:	\$7,500.00

Conditions requiring the payment of contributions at the appropriate time can be included if the development were supported.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	Yes
6. Loading and Servicing facilities	N/A
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	N/A
9. All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

SUBMITTERS CONCERNS

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

PUBLIC INTEREST

The proposal is not considered to be in the public interest for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The proposal would be located in a R2 Low Density Residential Zone where alterations and additions to a dwelling house is a permissible form of development. However, the use of the Barn as a secondary dwelling is prohibited in the R2 Low Density Residential Zone and the secondary dwelling does not comply with the criteria for secondary dwellings stipulated in Part 1, Division 2 of SEPP (Housing) 2021.

HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Holtermann Precinct notified between 19 January 2024 to 02 February 2024. In response to the notification Council received no submissions to the proposal.

CONCLUSION

The development would not conserve the heritage significance of the heritage item proposing excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The two storey addition has insufficient separation with the single storey cottage and requires excessive demolition to provide a staircase from the main dwelling to the two storey addition. The two storey rear addition is excessive in scale, height and massing compared to the existing single storey and too visible from the streetscape and conservation area. The over scaled two storey addition is an uncharacteristic element for the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

The two storey addition has non-compliant side setbacks and contributes to a substantial exceedance in site coverage therefore the development does not comply with key development controls within the North Sydney DCP that concerns bulk and scale and site density. The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

No additional information is provided in support of the existing use of the Barn as a secondary dwelling confirming the use is lawful given secondary dwelling are prohibited in the R2 Low Density Residential Zone and due to the size of the Barn the development cannot rely on Division 2, of Part 1 in Chapter 3 of the SEPP (Housing) 2021.

Insufficient detail is provided regarding proposed landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site. Insufficient information is also provided confirming retention or replacement landscaping within the front setback and whether the landscaping would soften the built form of the dwelling and complement the landscaped character of the street.

Having regard to the merits of the proposal, the application is recommended for refusal for the reasons provided below.

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Local Planning Panel, exercising the functions of Council as the consent authority, resolve to refuse development consent to Development Application No. 355/23 for development of alterations and additions including a two storey rear addition on land at 114 Atchison Street Crows Nest, as shown on plans DA00 – DA15, for the following reasons:-

1. Heritage Impact

The proposed development does not conserve the heritage significance of the heritage item proposing excessive demolition and loss of heritage fabric to the single storey Victorian cottage. The two storey addition has insufficient separation with the single storey cottage and requires excessive demolition to provide a staircase to from the main dwelling to the two storey addition. The two storey rear addition is excessive in scale, height and massing compared to the existing single storey and too prominent from the streetscape and conservation area. The two storey addition would be uncharacteristic in the Holtermann Estate A Conservation Area and fails to conserve the heritage significance of the conservation area.

Particulars

- a) The site contains a single storey Victorian rendered cottage with a barn at the rear. The site is a local heritage item (I0140) which is sited within the Holtermann Estate A Conservation Area.
- b) The development proposes removal of fabric including partitions and partial demolition to the rear roof of the single storey dwelling to provide stair access between the principal dwelling and the rear addition.
- c) The works do not maintain the principal rooms and partitions of the single storey Victorian cottage not retaining significant fabric that represents the key period of the item's history contrary to Objective O1 and Provision P5 in Section 13.5.1 'Protecting Heritage Significance' of NSDCP 2013 and contrary to Objective O1 in Section 13.5.5 'Interior Layouts' of NSDCP 2013. Further, the proposed stairs would adversely alter and not retain the roof of the heritage item contrary to Section 13.5.4 'Roofs' of NSDCP 2013.
- d) Insufficient separation is provided between the single storey cottage and two storey addition and the scale of the two storey addition is excessive higher than the roof ridge of the existing dwelling impacting upon the heritage significance of the dwelling contrary to Objective O1 'Form, massing and scale' of NSDCP 2013.
- e) The overall scale of the two storey addition is excessive and is higher than the roof ridge of the existing dwelling making it visible from the conservation area as viewed from Atchison Street. The scale of the two storey addition does not minimise the visual dominance of when viewed from a public place contrary to Objective O1, Section 13.5.1 'Protecting Heritage Significance' of NSDCP 2013.
- f) The proposed two storey addition is over scaled and an uncharacteristic element within the Holtermann Estate A Conservation Area. The two storey addition has non-compliant side setbacks and excessive floor to ceiling heights particularly the first floor with a floor to ceiling height of 3.7m resulting in a two storey addition which would be visible from the street and surrounding conservation area and a dominant addition in context with the primary single storey dwelling. The over scaled two storey addition is an uncharacteristic element not supportable as stipulated in s3.4.7 in Part C of the NSDCP 2013.
- g) The proposed two storey addition and alterations to the single storey dwelling will detract from the significance of the heritage item and heritage conservation area contrary to Aims of Plan 1.2(2)(f), Objective 1(b) in Clause 5.10 in NSLEP 2013.

2. Bulk and Scale of the Rear Addition

The two storey addition and associated non-compliant setbacks, site coverage and excessive floor to ceiling heights do not control the bulk and scale of the building resulting in a two storey addition which would be visible from the street and contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone.

Particulars

- a) The proposed two storey rear addition is designed with a nil side setback to the western side boundary and a 430mm side setback to the eastern side boundary not compliant with the minimum 900mm setback requirement stipulated in Table B-1.5. The first floor also has non-compliant side setbacks 1.3m from the western boundary and 1.28m from the eastern boundary not compliant with the minimum 1.5m stipulated in Table B-1.5, Provision P2, s1.4.6 of NSDCP 2013. The two storey rear addition is therefore not supportable due to the non-compliant side setbacks on both levels and resulting insufficient separation and excessive bulk and scale contrary to Objectives O2 and O3 in s1.4.6 of NSDCP 2013.
- b) The two storey addition is excessive in height proposing reduced floor to ceilings heights especially the first floor which currently has a 3.7m floor to ceiling height. Additionally, the two storey addition does not have compliant side setbacks for either the ground or first floor. The bulk and scale of the rear addition is excessive and cannot be supported visible from the street and surrounding conservation area contrary to P1, s1.4.8 of NSDCP 2013.
- c) The proposal involves a total site coverage of 63.6% (177m²) including the existing barn and dwelling subject to alterations and additions. A maximum site coverage of **50%** applies to the proposed development in accordance with exclusions expressed in P2 to s1.5.5 of DCP 2013. The proposed site coverage of 63.6% is an exceedance of 13.6% more than the maximum 50% permitted and is a substantial exceedance in site coverage and is over development, not controlling site density and not promoting the low density character of the neighbourhood contrary to Objectives O1, O2 and O3 in s1.5.5 of NSDCP 2013.
- d) The development seeks an over scaled two storey rear addition which contributes to a site with excessive bulk and scale not of a low density compatible with the surrounding R2 Low Density Residential Zone. The development therefore does not contribute a low density residential property contrary to objective (bullet point one) of the R2 Low Density Residential Zone.

3. Proposed Use of the Barn

Insufficient information has been provided to confirm the existing use of the rear Barn as a secondary dwelling or dual occupancy (detached). The proposed alterations and additions seek consent to alter the existing structure as a separate dwelling but has not established the existing use is lawful and not otherwise prohibited in the R2 Low Density Residential Zone.

Particulars

- a) The Statement of Environmental Effects (SEE) refers to the Barn as containing an existing secondary dwelling and it appears this use is sought to remain for the Barn. Secondary dwellings are prohibited in the applicable R2 Low Density Residential Zone and although secondary dwellings are permitted with consent subject to Chapter 3, Part 1 of the State Environmental Planning Policy (Housing) 2021 the site area is less than 450m² and the floor area of the secondary dwelling is greater than that permitted. The secondary dwelling has a large floor area which is more than 60m² and greater than 30% of the total floor area of the principal dwelling therefore the development cannot rely on Division 2, Cl. 52(2)(c) of SEPP (Housing) 2021.
- b) The development application contains insufficient information confirming whether the existing use of the Barn as a secondary dwelling is a lawful use pursuant to Division 4.65 – 4.67 ‘Existing uses’ of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) and whether the alterations is permitted with consent pursuant to directions in Part 7 ‘Existing uses’ of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation 2021).
- c) The size of the Barn the development excludes reliance on Division 2, of Part 1 in Chapter 3 of the SEPP (Housing) 2021 relating to secondary dwellings.

4. Landscaping

Insufficient detail is provided regarding proposed landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site. Insufficient information is also provided confirming retention or replacement landscaping within the front setback and whether the landscaping would soften the built form of the dwelling and complement the landscaped character of the street.

Particulars

- a) The existing front and rear garden contain a mixture of grasses, shrubs, and small trees proposed for removal to be replaced with a new landscaped rear garden. The ground floor plan provides insufficient detail regarding landscaping and no tree canopy is proposed therefore the current landscaping is insufficient and not appropriate for the site contrary to Objective O1 and contrary to Provision P9 in s1.5.7 of NSDCP 2013.
- b) The existing planter bed within the front setback is to be demolished along with the existing brick boundary wall as detailed in the Demolition Plan Issue B. It is unclear from the proposed plans whether the existing landscaping within the front garden would remain or be replaced. Insufficient information is provided confirming landscaping within the front setback would soften the built form of the dwelling and complement the landscaped character of the street contrary to Objective O2 and Provisions P3, P4, P5 and P6 in s1.5.8 of NSDCP 2013.

5. Public Interest

- a) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is not considered to be within the public interest and is likely to set an undesirable outcome due to the detrimental impact to the heritage item and heritage conservation area and due to the non-compliances with objectives and controls under Council policy including the NSLEP 2013 and NSDCP 2013.

Thomas Holman
SENIOR ASSESSMENT OFFICER

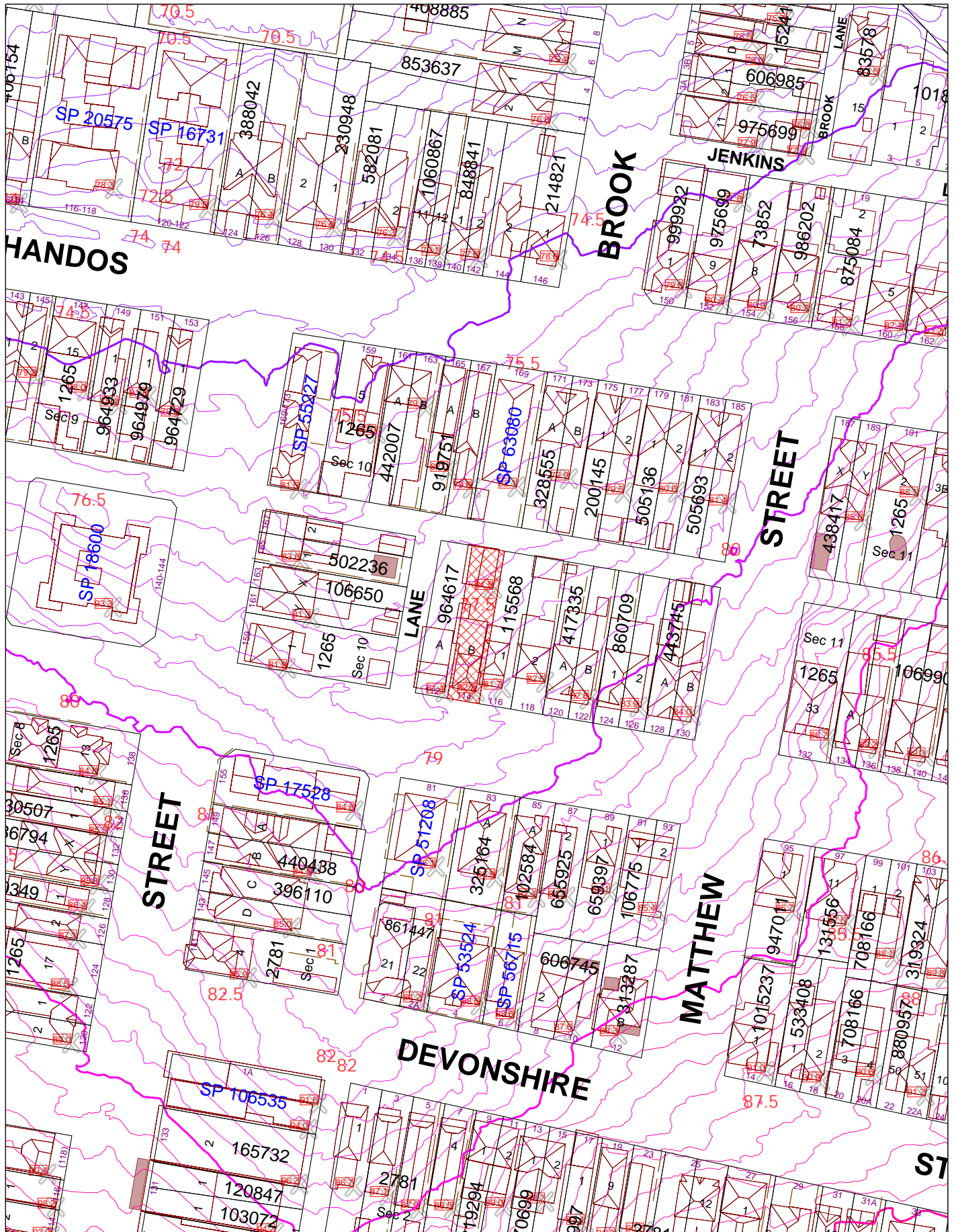
Date: 30 April 2024

David Hoy
TEAM LEADER

Date: 22 May 2024

Concurrence granted by Manager Development Services on 22 May 2024

STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES



North Sydney Council

Copyright © North Sydney Council - No part of this map may be reproduced without permission. Commercial decisions should not be made based on information contained in this map without first checking details held by the responsible Government authority.

Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.

Scale: 1:1200 approx.



Alterations and Additions

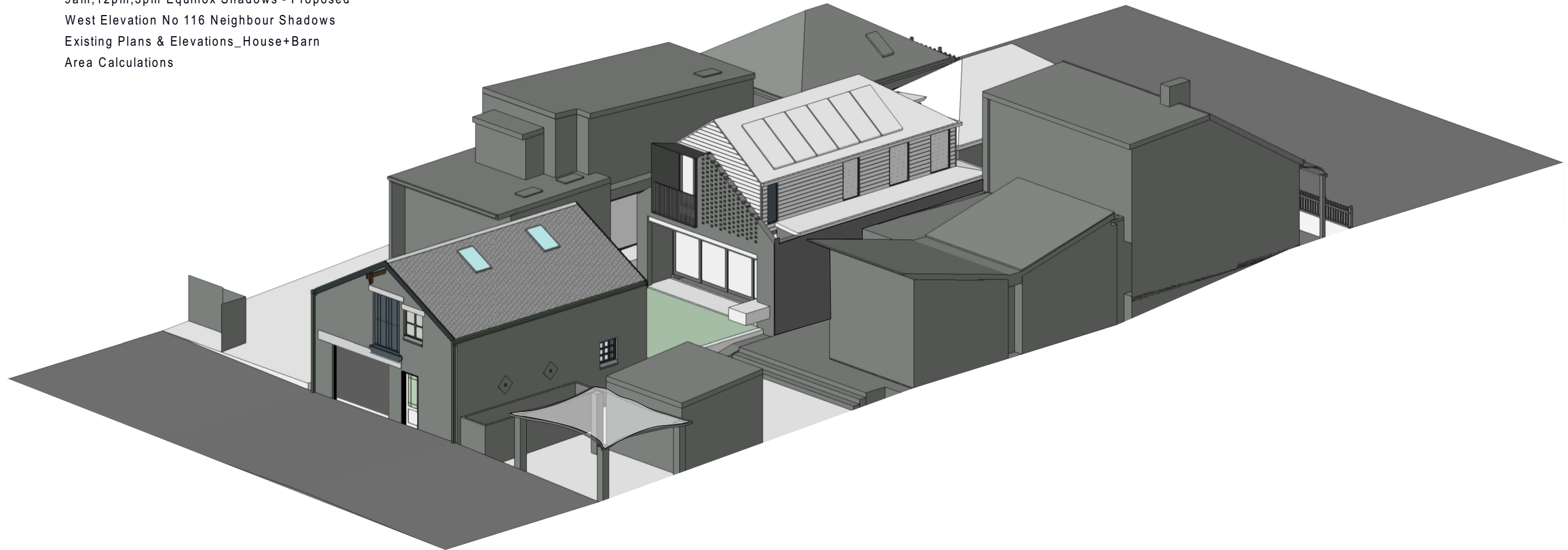
114 Atchison Street Crows Nest, NSW

DEVELOPMENT APPLICATION

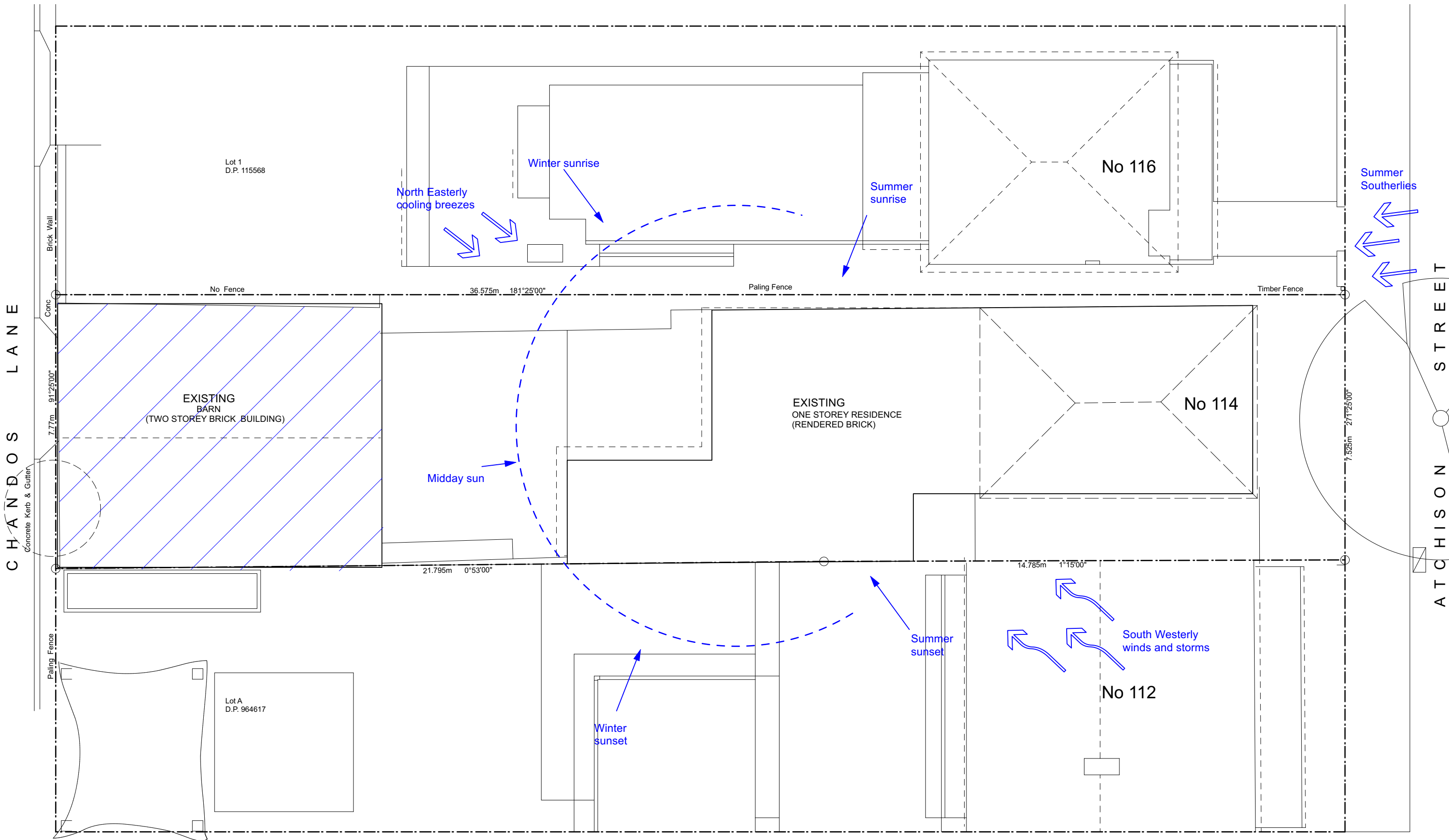
ARCHITECTURAL DRAWING LIST

GENERAL ARRANGEMENT DRAWINGS

DRAWING NO.	TITLE
2306_DA00	Cover Sheet / Perspective Image
2306_DA01	Site Analysis Plan
2306_DA02	Soil + Erosion / Waste Management Plan
2306_DA03	Site / Roof Plan / Basix Commitments
2306_DA04	Demolition Plan
2306_DA05	Ground Floor Plan
2306_DA06	First Floor Plan
2306_DA07	Elevations Sheet 1
2306_DA08	Elevations Sheet 2
2306_DA09	Section AA
2306_DA10	Barn Elevations
2306_DA11	9am,12pm,3pm Mid-Winter Shadows - Proposed
2306_DA12	9am,12pm,3pm Equinox Shadows - Proposed
2306_DA13	West Elevation No 116 Neighbour Shadows
2306_DA14	Existing Plans & Elevations_House+Barn
2306_DA15	Area Calculations



<p>Notes</p> <p>This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.</p>	<p>Drawing Notes:</p> <p>THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Amendments</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>13/11/23</td> <td>Issue for consultant coordination</td> </tr> <tr> <td>B</td> <td>15/12/23</td> <td>Issue for DA</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Amendments	A	13/11/23	Issue for consultant coordination	B	15/12/23	Issue for DA							<p>Project</p> <p>Alterations and Additions</p> <p>114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617</p> <p>Client</p> <p>Kylie Maddern</p>	<p>Scale</p> <p>NTS</p> <p>Drawn By</p> <p>GS</p> <p>Project Number</p> <p>2306</p>	<p>Drawing</p> <p>Cover Sheet / Perspective Image</p> <p>Drawing Number</p> <p>DA00</p> <p>Issue</p> <p>B</p>
Issue	Date	Amendments																		
A	13/11/23	Issue for consultant coordination																		
B	15/12/23	Issue for DA																		
<p>Nominated Architect: Paul O'Keefe Registration No. 6373</p> <p>Document Set ID: 9842050</p> <p>Version: 1, Version Date: 18/12/2023</p>		<p style="text-align: center;">okeefe architects</p> <p style="font-size: small;">Unit 4 281 Pacific Highway North Sydney NSW 2060 ABN : 12771617996</p> <p style="font-size: x-small;">T 02 8960 2020 E info@okeefe architects.com.au W okeefe architects.com.au</p> <p style="font-size: x-small;">Nominated Architect: Paul O'Keefe Registration No. 6373</p>																		



Notes
 This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
 Nominated Architect: Paul O'Keefe Registration No. 6373
 114 Atchison Street, Crows Nest NSW 2065
 Version: 1, Version Date: 18/12/2023

Drawing Notes:
 THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
 Client
 Kylie Maddern

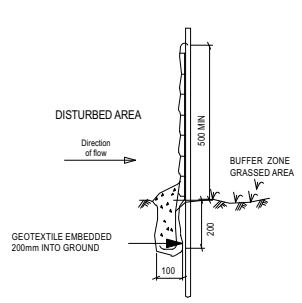
Scale
 1:100@A3
Project Number
 2306
okeefe architects
 Nominated Architect: Paul O'Keefe Registration No. 6373

Drawing
 Site Analysis Plan
Drawing Number
 DA01
Issue
 B
 Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN : 12771617996
 T 02 8960 2020
 E info@okeefe architects.com.au
 W okeefe architects.com.au

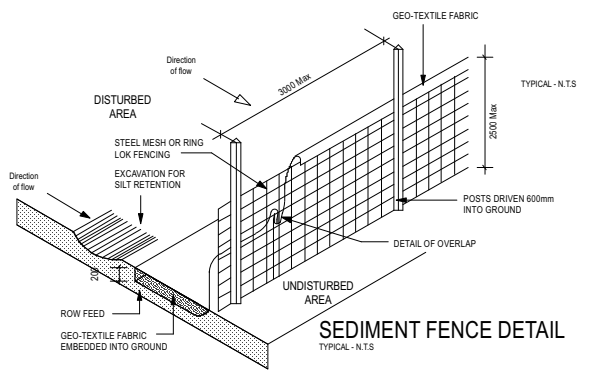
Soil & Water Management

- 1) THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- 2) THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED ON THIS DRAWING
- 3) ALL SUB-CONTRACTORS SHALL BE MADE AWARE OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATERWAYS
- 4) WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
 - A) INSTALL ANY NECESSARY SECURITY/BOUNDARY FENCES FOR THE SITE;
 - B) CONSTRUCT "SILT" FENCING AS DETAILED ALONG BOUNDARIES;
- 5) DURING WINDY WEATHER, LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL
- 6) FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE, AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES
- 7) ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE, AND WITHIN TEN WORKING DAYS FROM PLACEMENT
- 8) WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS RELATIVELY SEDIMENT-FREE: ie. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE
- 9) TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED
- 10) THE CONTRACTOR SHALL PROVIDE ACCEPTABLE RECEPTORS FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER
- 11) RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER, ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- 12) AT LEAST WEEKLY, THE CONTRACTOR SHALL INSPECT THE SITE, PROVIDING PARTICULAR ATTENTION TO THE FOLLOWING MATTERS:
 - A) ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR MAINTENANCE AS REQUIRED
 - B) REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 2 METRES FROM LIKELY AREAS OF CONCENTRATED OR HIGH-VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS
 - C) CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, ie. MAKE ONGOING CHANGES TO THE PLAN
 - D) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE REHABILITATED
 - E) REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME
- 13) THE CONTRACTOR SHALL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, AND AFTER RAINFALL AND/OR SITE CLOSURE. RECORD:
 - A) THE VOLUME OF ANY RAINFALL EVENTS (CHECK WEATHER BUREAU)
 - B) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS
 - C) REMEDIAL WORKS

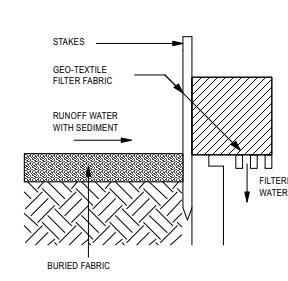
THE BOOK SHALL BE KEPT ON SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON ON REQUEST



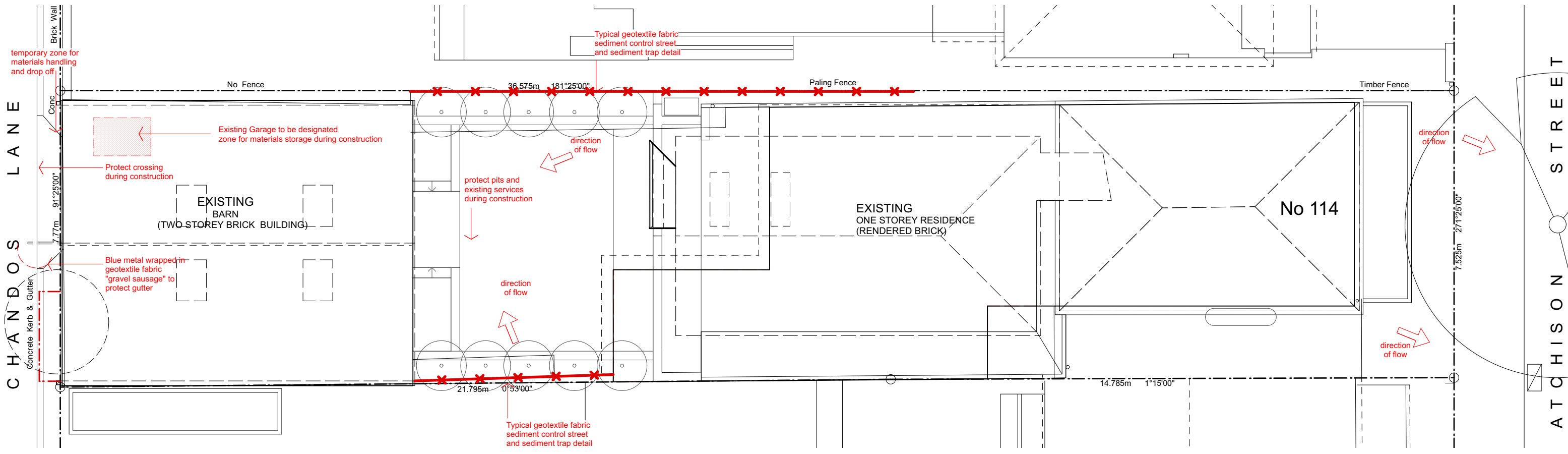
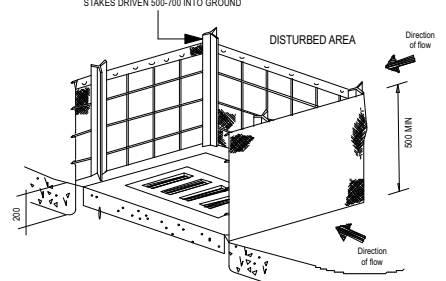
GEOFABRIC SILT FENCE DETAIL
TYPICAL - N.T.S.



SEDIMENT FENCE DETAIL
TYPICAL - N.T.S.



GEO-TEXTILE FILTER FABRIC DROP INLET
SEDIMENT TRAP FENCE DETAIL



LEGEND:

- - - - - Tree protection fence
- x - x - x Site security + dust control fence

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Nominated Architect: Paul O'Keefe Registration No. 6373
114 Atchison Street, Crows Nest NSW 2065
Document Set ID: 9842050
Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	12/12/23	15/12/23

Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern

Scale: 1:100@A3
Project Number: 2306
Drawn By: GS

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

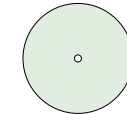
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN: 12771617996

T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au

Drawing
Soil + Erosion / Waste Management Plan
Drawing Number
DA02
Issue
B

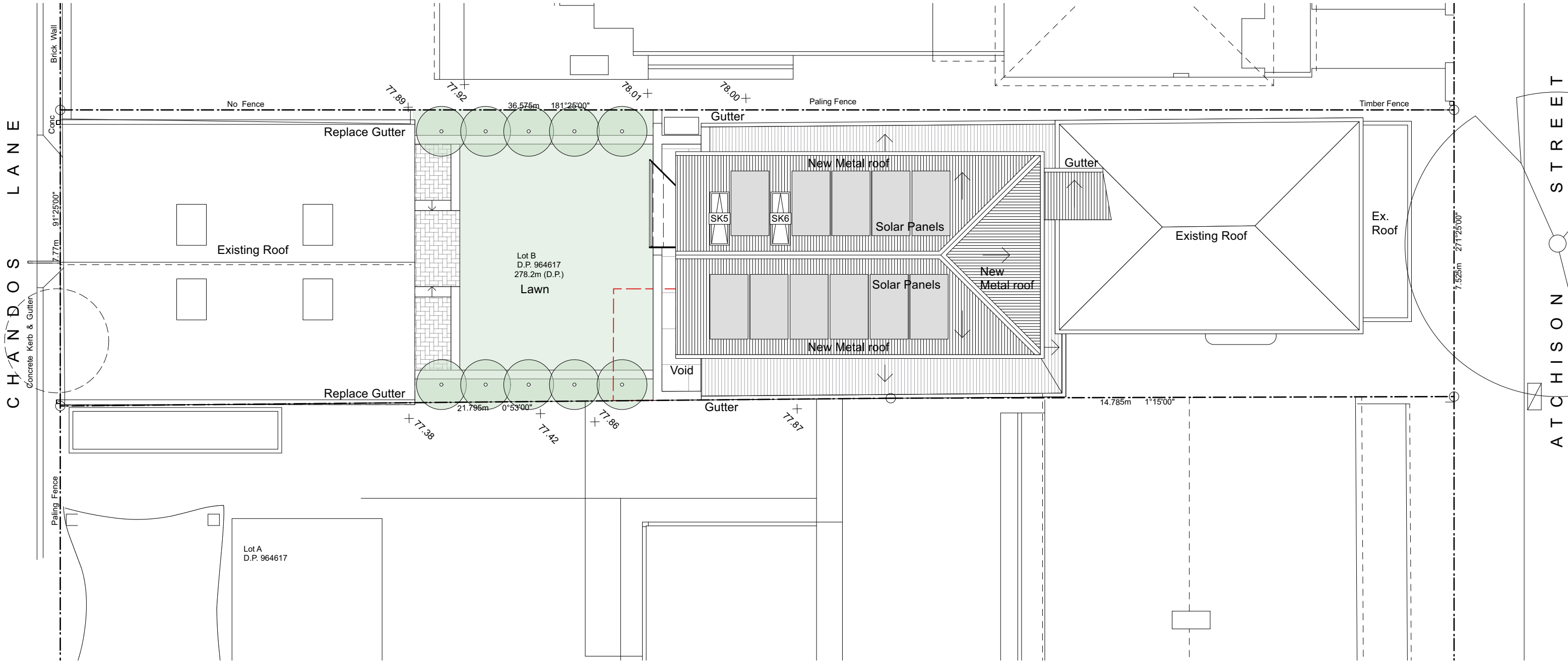
BASIX COMMITMENTS

Water Commitments	Construction	Area (m ²)	Additional insulation required	Options to address thermal massing	Other specifications	Thermal Performance and Materials commitments	Daylight (m)	Maximum area (m ²)	Daylight specification	Shading device
Landscaping	floor covers 100% on ground	68.3	1 (each edge) or 1 (opposite)	not	in wall or in ground facing North	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Alternative water	floor - suspended floor above ground level, flow control, pump, automatic water meter (SWS)	21.4	2 (in 2-7 m ² construction) (SWS/MS tank composite least 5.0)	not	waterfall wall insulation - none	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Refrigerant tank	floor - above-ground tank in mechanical, particle board frame, automatic water meter (SWS)	42.7	4 (each side) (SWS/MS tank composite least 5.0)	not	waterfall wall insulation - none	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Thermal Performance and Materials commitments	Construction	Area (m ²)	Additional insulation required	Options to address thermal massing	Other specifications	Thermal Performance and Materials commitments	Daylight (m)	Maximum area (m ²)	Daylight specification	Shading device
Do-it-yourself Method	external wall cavity brick, frame no frame	13.8	0.02 or 0.03 (insulation) (SWS/MS tank composite least 5.0)	not	external wall insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
General Notes	external wall framed (flow control) (SWS/MS tank composite least 5.0) or wall in mechanical, particle board frame, automatic water meter (SWS)	4.2	3 (in 2-7 m ² construction) (SWS/MS tank composite least 5.0) or wall in mechanical, particle board frame, automatic water meter (SWS)	not	external wall insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Thermal Performance and Materials commitments	external wall - automatic water meter - HD sealed outdoor	4.8	external wall, (SWS/MS tank composite least 5.0)	not	external wall insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Do-it-yourself Method	ceiling and roof - flat ceiling - pitched roof - metal roof - external wall - HD sealed outdoor	16	ceiling 0.02, roof 0.02 (insulation) (SWS/MS tank composite least 5.0) or roof 0.02 (insulation) (SWS/MS tank composite least 5.0)	not	ceiling and roof insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
General Notes	ceiling and roof - metal roof - HD sealed outdoor	52	ceiling 0.02, roof 0.02 (insulation) (SWS/MS tank composite least 5.0) or roof 0.02 (insulation) (SWS/MS tank composite least 5.0)	not	ceiling and roof insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Thermal Performance and Materials commitments	ceiling and roof - metal roof - HD sealed outdoor	3	ceiling 0.02, roof 0.02 (insulation) (SWS/MS tank composite least 5.0) or roof 0.02 (insulation) (SWS/MS tank composite least 5.0)	not	ceiling and roof insulation (SWS/MS tank composite least 5.0)	Daylight	0.75	0.75	100% (average) 100% (min) - not S, SWSG, 0.21 - 0.30	no shading
Energy Commitments	Hot water					Energy Commitments				
Alternative energy	Natural lighting					Alternative energy				



PLANTING SCHEDULE

Muraya Paniculata
Maintained in Hedge to 3m High



Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
Nominated Architect: Paul O'Keefe Registration No. 6373
Drawing Set ID: 9842050
Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3

Drawn By
GS

Drawing
Site / Roof Plan

Drawing Number
DA03

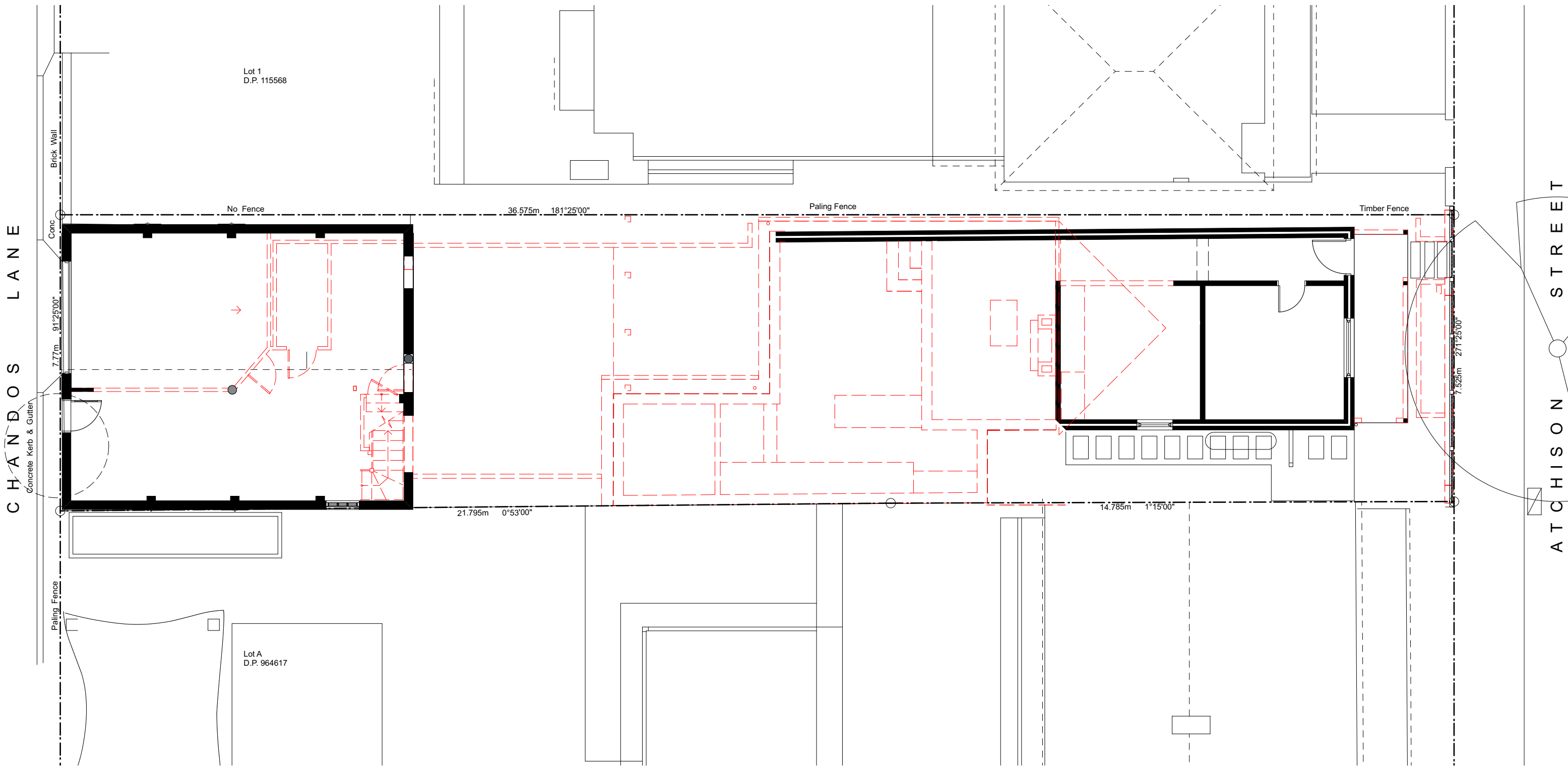
Issue
B

Project Number
2306

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996

T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



--- Proposed Demolition

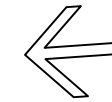
Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Nominated Architect: Paul O'Keefe Registration No. 6373
114 Crows Nest NSW 2065
Version: 1, Version Date: 18/12/2023

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

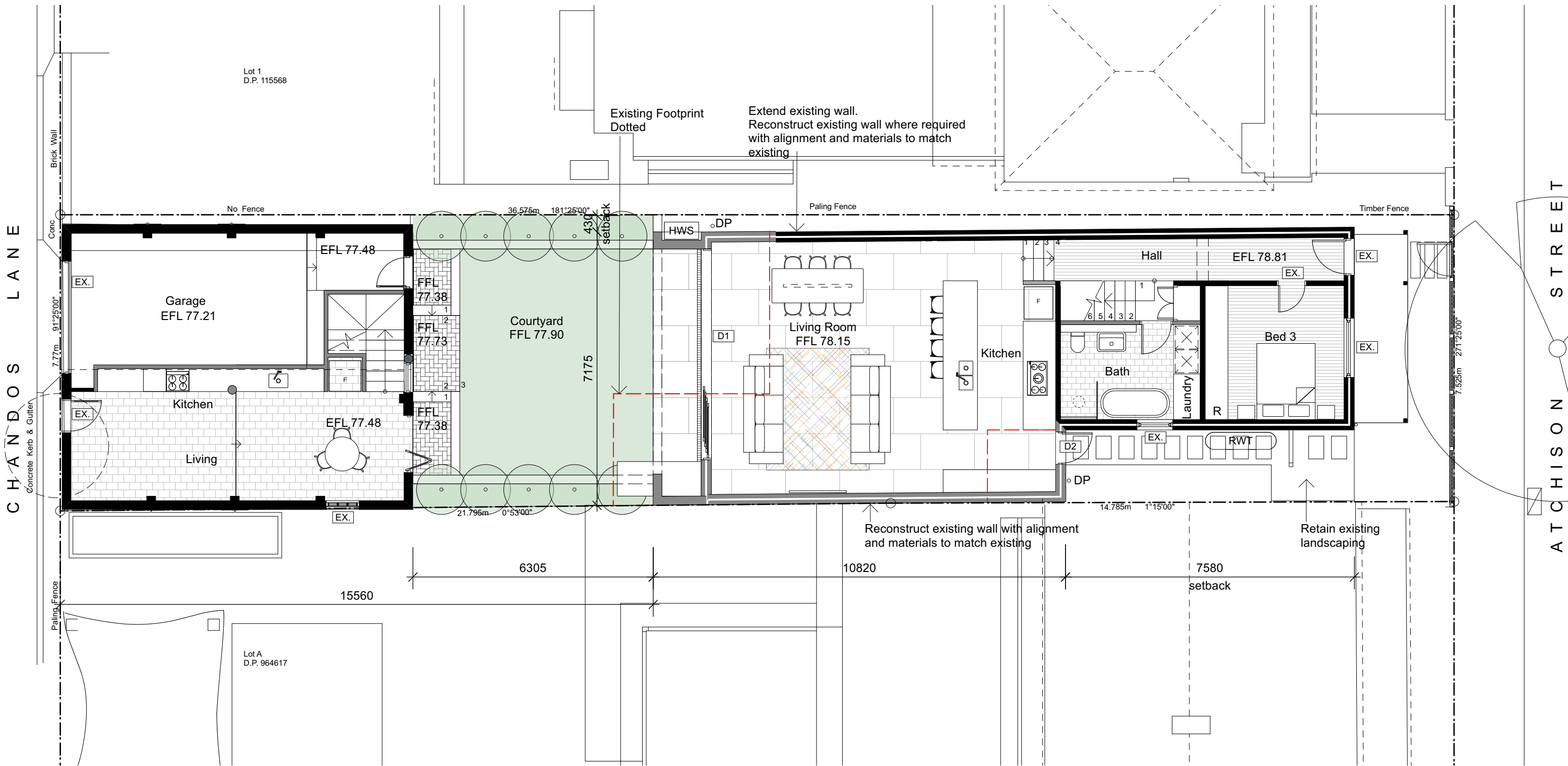


Scale: 1:100@A3
Project Number: 2306
Nominated Architect: Paul O'Keefe Registration No. 6373

Drawn By: GS

okeefe architects
Unit 4 281 Pacific Highway North Sydney NSW 2060
ABN: 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au

Drawing
Demolition Plan
Drawing Number: DA04
Issue: B



--- Proposed Demolition

Notes
 This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Document Set ID: 9842050
 Version: 1, Version Date: 18/12/2023

Drawing Notes:
 THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
 Alterations and Additions
 114 Atchison Street
 Crow's Nest NSW 2065
 Lot B D.P. 964617
 Client
 Kylie Maddern

Scale: 1:100@A3
 Drawn By: GS

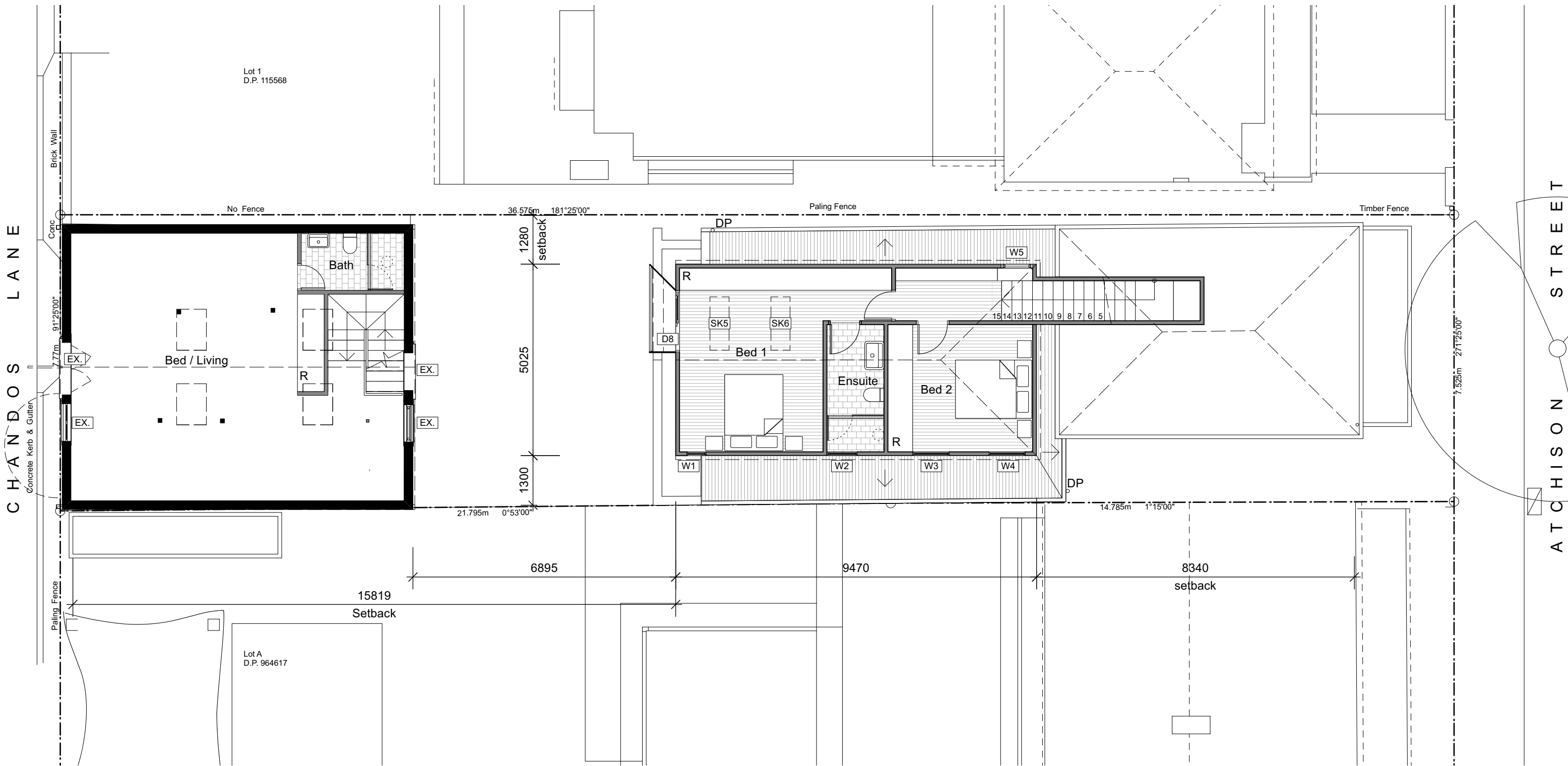
Project Number: 2306

okeefe architects
 Nominated Architect: Paul O'Keefe Registration No. 6373

Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN: 12771617996

T 02 8960 2020
 E info@okeefe.com.au
 W okeefe.com.au

Drawing
 Ground Floor Plan
 Drawing Number: DA05
 Issue: B



--- Proposed Demolition

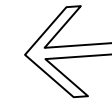
Notes
 This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Drawing Notes:
 THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Nominated Architect: Paul O'Keefe Registration No. 6373
 114 Atchison Street, North Sydney NSW 2060
 Document Set ID: 9842050
 Version: 1, Version Date: 18/12/2023

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

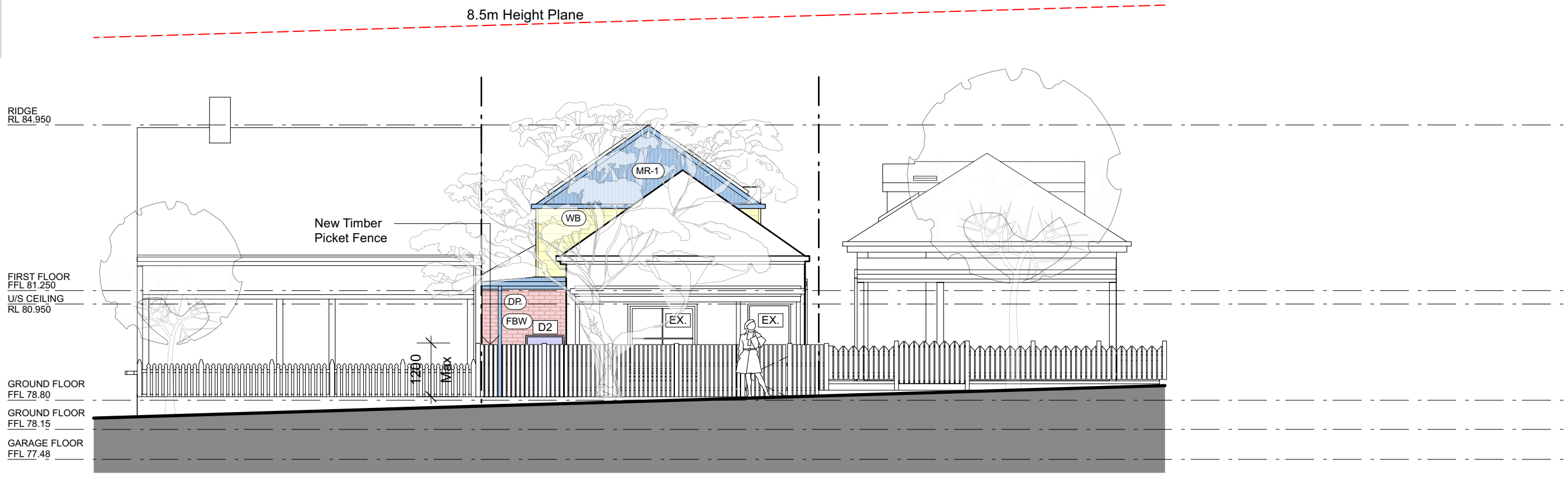
Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
 Client
 Kylie Maddern



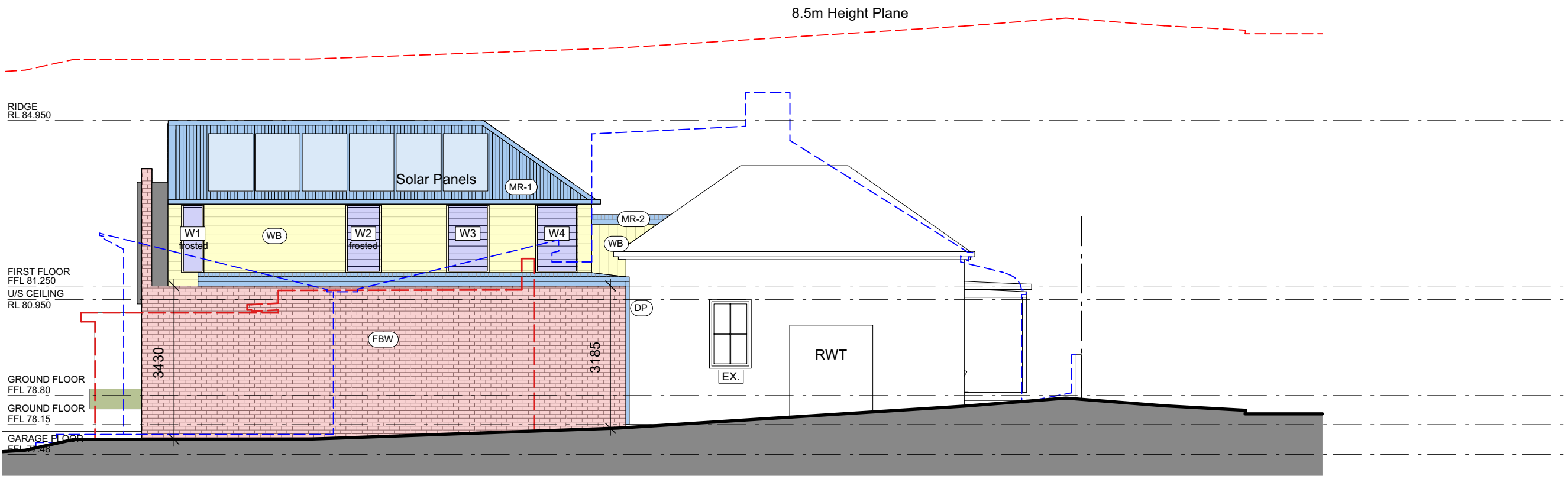
Scale: 1:100@A3
 Drawn By: GS
 Project Number: 2306
okeefe architects
 Nominated Architect: Paul O'Keefe Registration No. 6373

Drawing
 First Floor Plan
 Drawing Number: DA06
 Issue: B

Unit 4 281 Pacific Highway North Sydney NSW 2060
 T 02 8960 2020
 E info@okeefe.com.au
 W okeefe.com.au



1 SOUTH ELEVATION (HOUSE)
1:100 @ A3

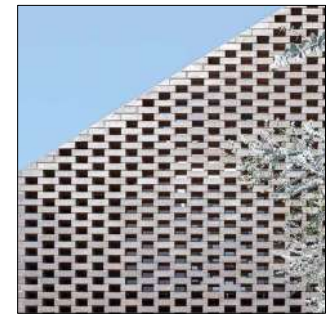


2 WEST ELEVATION (HOUSE)
1:100 @ A3

Finishes Schedule



New Roof (Corrugated Steel)



New Feature Wall (Facebrick)



New External Walls (FC Cladding)



New Windows & Doors (Aluminium)

Materials For Construction

MR-1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR-2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards
BR	Rendered Brickwork
HR	Steel Handrail

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
Nominated Architect: Paul O'Keefe Registration No. 6373
114 Atchison Street, Crows Nest NSW 2065
Document Set ID: 9842050
Version: 1, Version Date: 18/12/2023

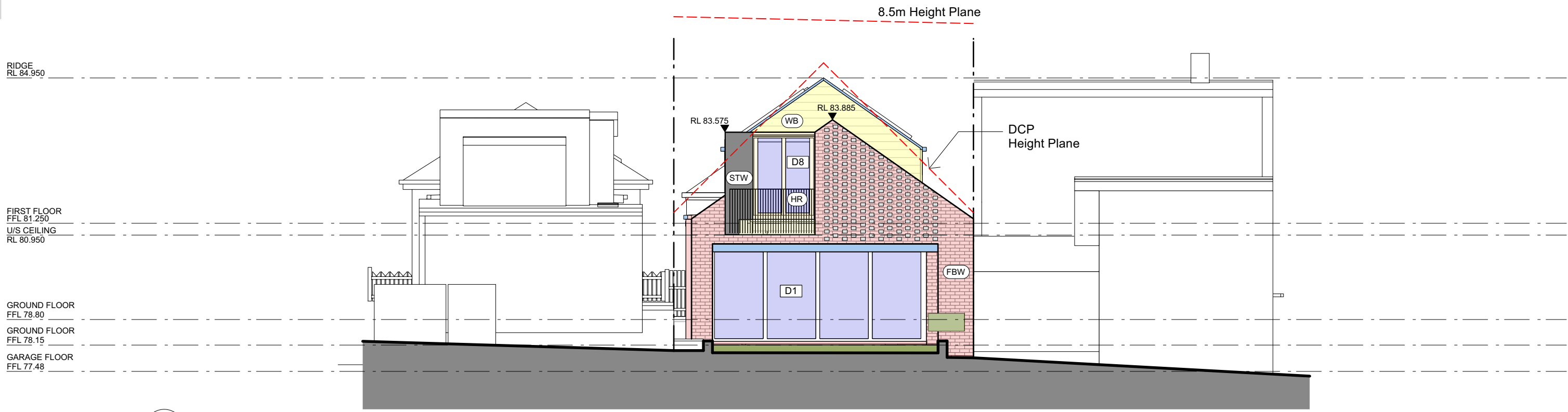
Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

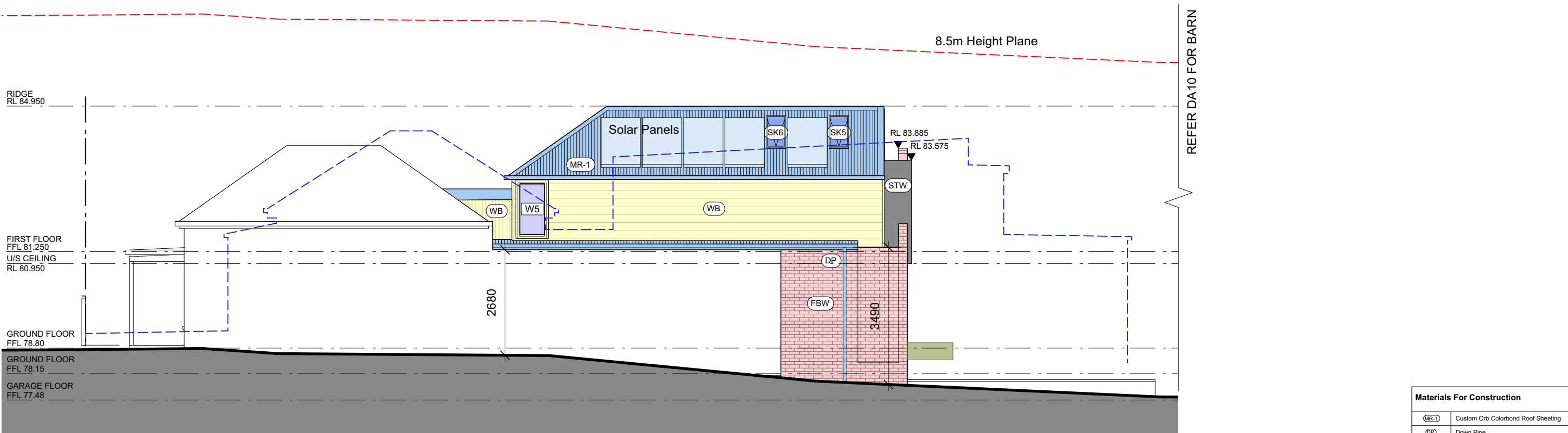
Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3
Project Number
2306
Drawn By
GS
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Drawing
Elevations-sheet 1
Drawing Number
DA07
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



3 NORTH ELEVATION (HOUSE)
1:100 @ A3



4 EAST ELEVATION (HOUSE)
1:100 @ A3

Materials For Construction	
MR-1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR-2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards
BR	Rendered Brickwork
HR	Steel Handrail

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Nominated Architect: Paul O'Keefe Registration No. 6373
114 Atchison Street, Crows Nest NSW 2065
Lot B D.P. 964617
Client: Kylie Maddern

Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern	Scale 1:100@A3	Drawn By GS	Drawing Elevations-sheet 2 Drawing Number DA08	Issue B
---	--------------------------	-----------------------	--	-------------------

Project Number
2306

Scale
1:100@A3

Drawn By
GS

Drawing
Elevations-sheet 2
Drawing Number
DA08

Issue
B

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Unit 4 281 Pacific Highway North Sydney NSW 2060
ABN : 12771617996

T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au

8.5m Height Plane



SECTION A-A
1:100 @ A3

Materials For Construction	
(MR-1)	Custom Orb Colorbond Roof Sheeting
(DP)	Down Pipe
(FBW)	Face Brick wall
(MR-2)	Klip-lok Colorbond Roof Sheeting
(STW)	Painted Steel Wall Panel
(WB)	Pre-finished Cemintel F/C Sheeting / Weatherboards
(RW)	Rendered Brickwork
(HR)	Steel Handrail

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
Nominated Architect: Paul O'Keefe Registration No. 6373
2306_crows_nest_DA_vw1
Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

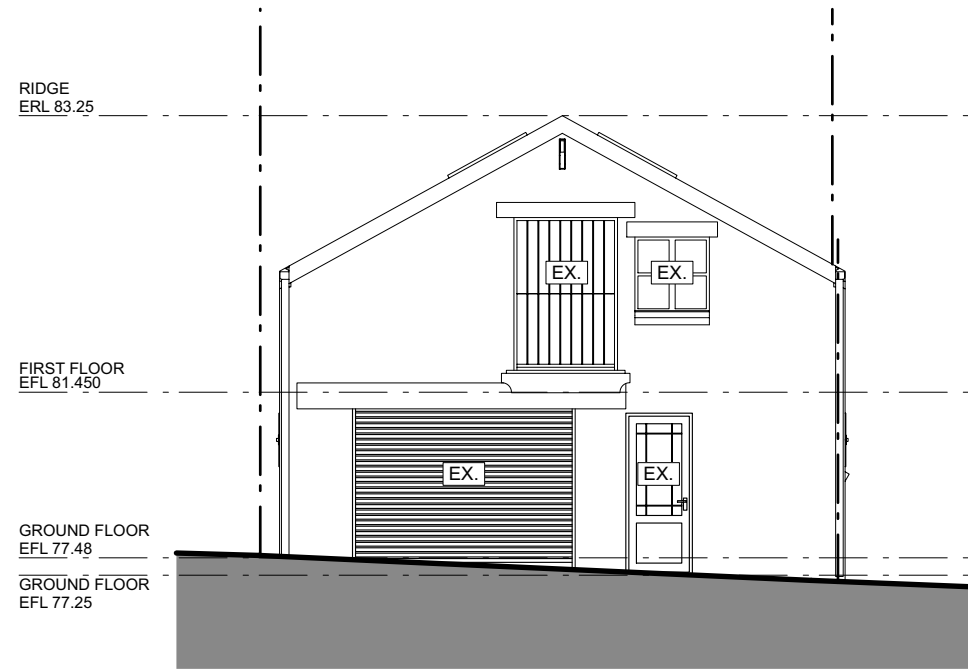
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

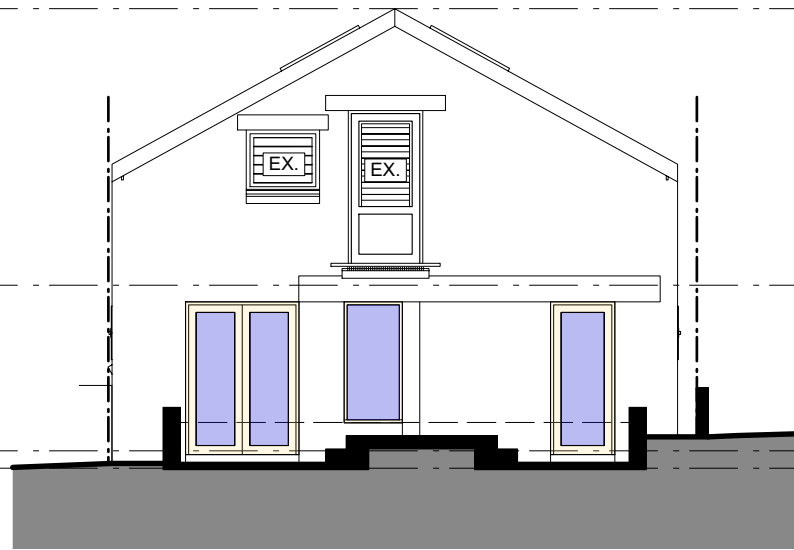
Scale
1:100@A3
Project Number
2306
Drawn By
GS
Drawing
Section AA
Drawing Number
DA09



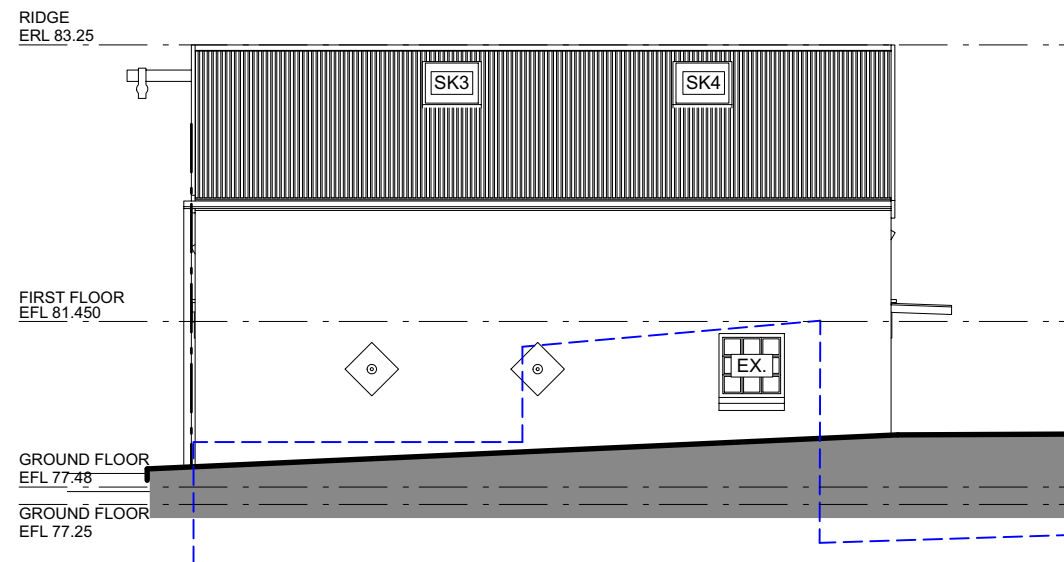
Issue B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



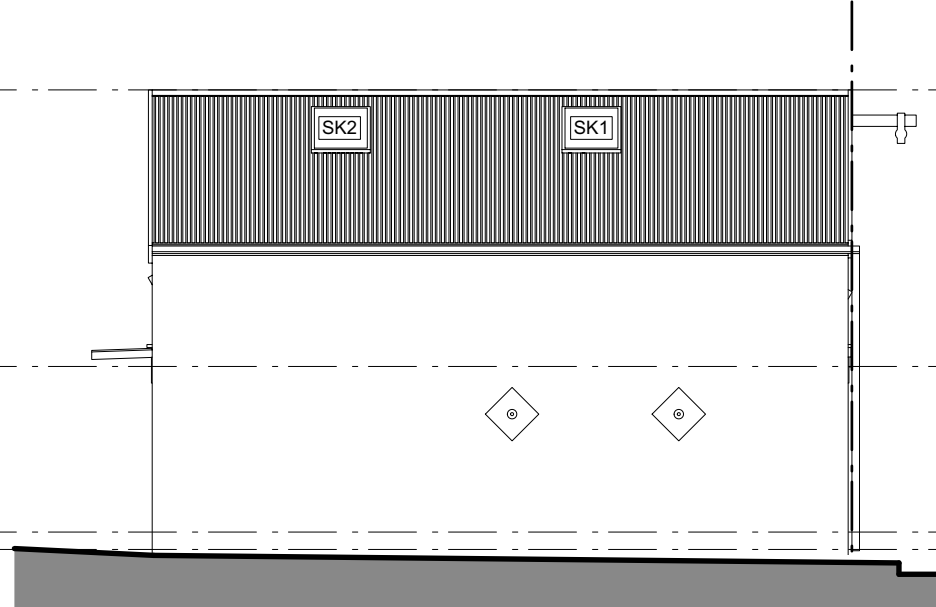
1 CHANDOS LANE STREETSCAPE (NORTH ELEVATION)
1:100 @ A3



3 SOUTH ELEVATION (BARN)
1:100 @ A3



2 WEST ELEVATION
1:100 @ A3



4 EAST ELEVATION
1:100 @ A3

Materials For Construction	
(MR-1)	Custom Orb Colorbond Roof Sheeting
(DP)	Down Pipe
(FBW)	Face Brick wall
(MR-2)	Klip-lok Colorbond Roof Sheeting
(STW)	Painted Steel Wall Panel
(WB)	Pre-finished Cemintel F/C Sheeting / Weatherboards
(RW)	Rendered Brickwork
(HR)	Steel Handrail

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Nominated Architect: Paul O'Keefe Registration No. 6373
3300 Crows Nest DA - v.w.
Version: 1, Version Date: 18/12/2023

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3

Drawn By
GS

Project Number
2306

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

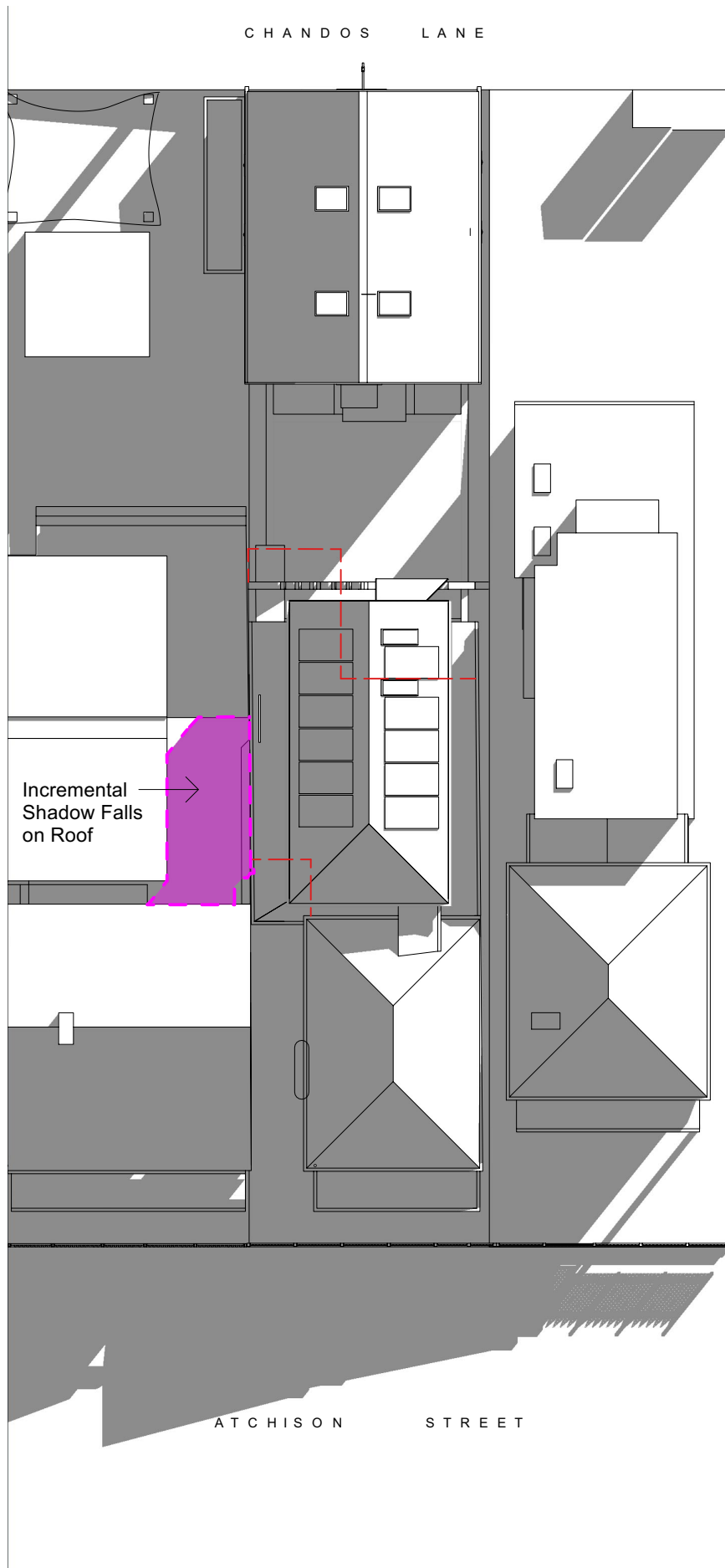
Drawing
Barn Elevations

Drawing Number
DA10

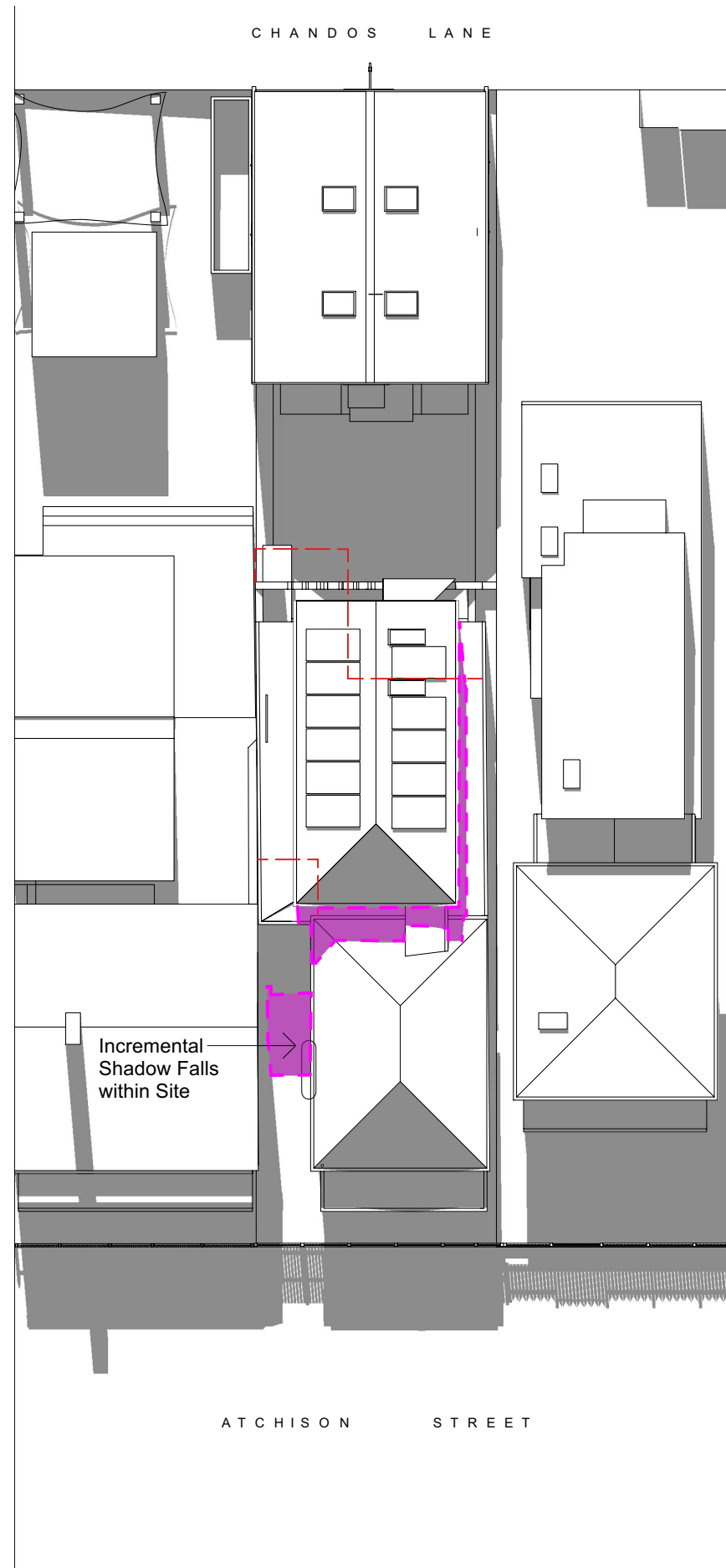
Issue
B

Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996

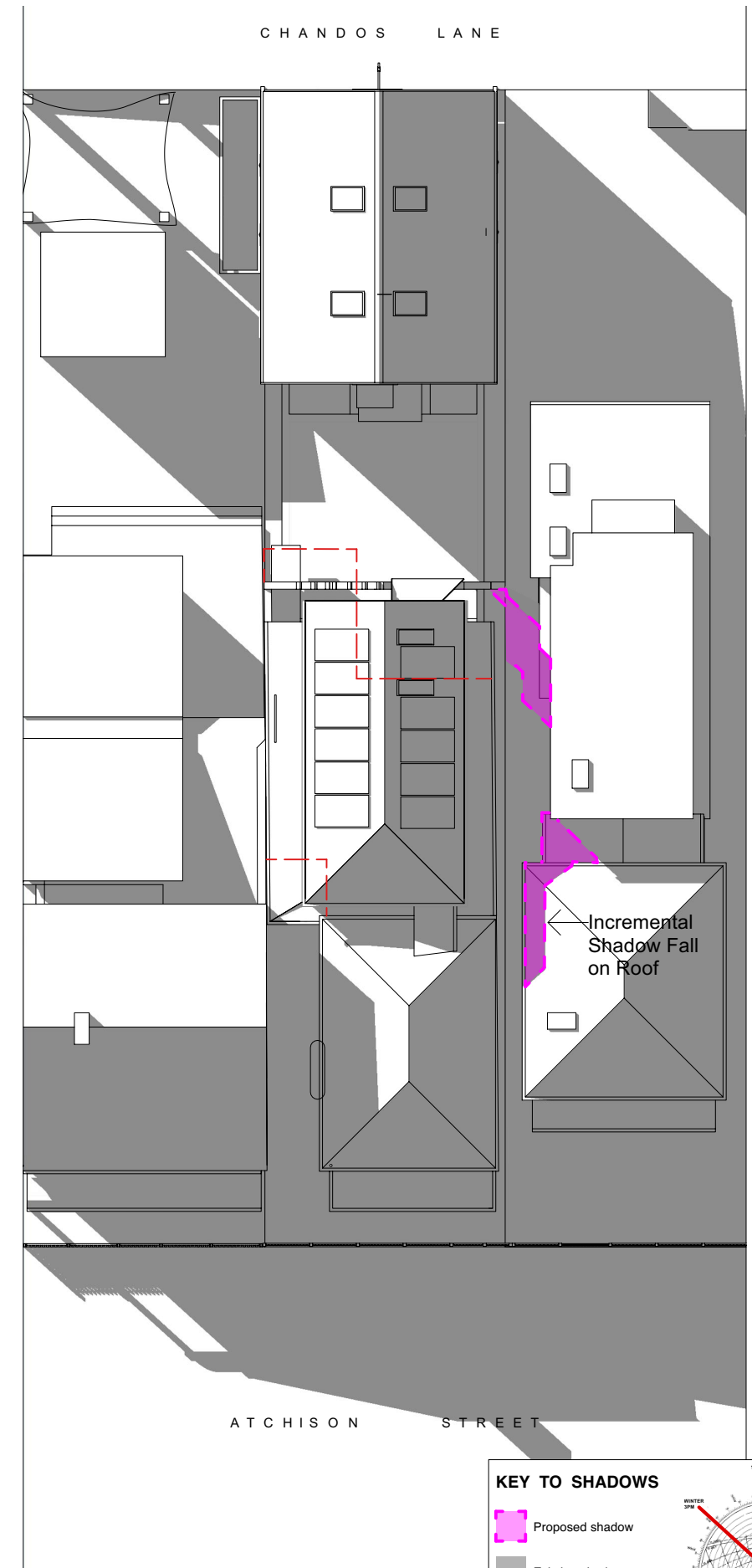
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



9AM SHADOW
1:200 @ A3



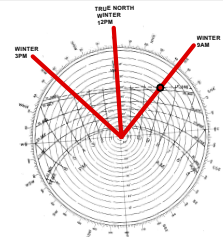
12PM SHADOW
1:200 @ A3



3PM SHADOW
1:200 @ A3

KEY TO SHADOWS

- Proposed shadow
- Existing shadow



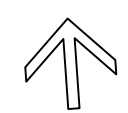
21 JUNE 9am, 12pm, 3pm

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
Nominated Architect: Paul O'Keefe Registration No. 6373
114 Atchison Street, Crows Nest NSW 2065
Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

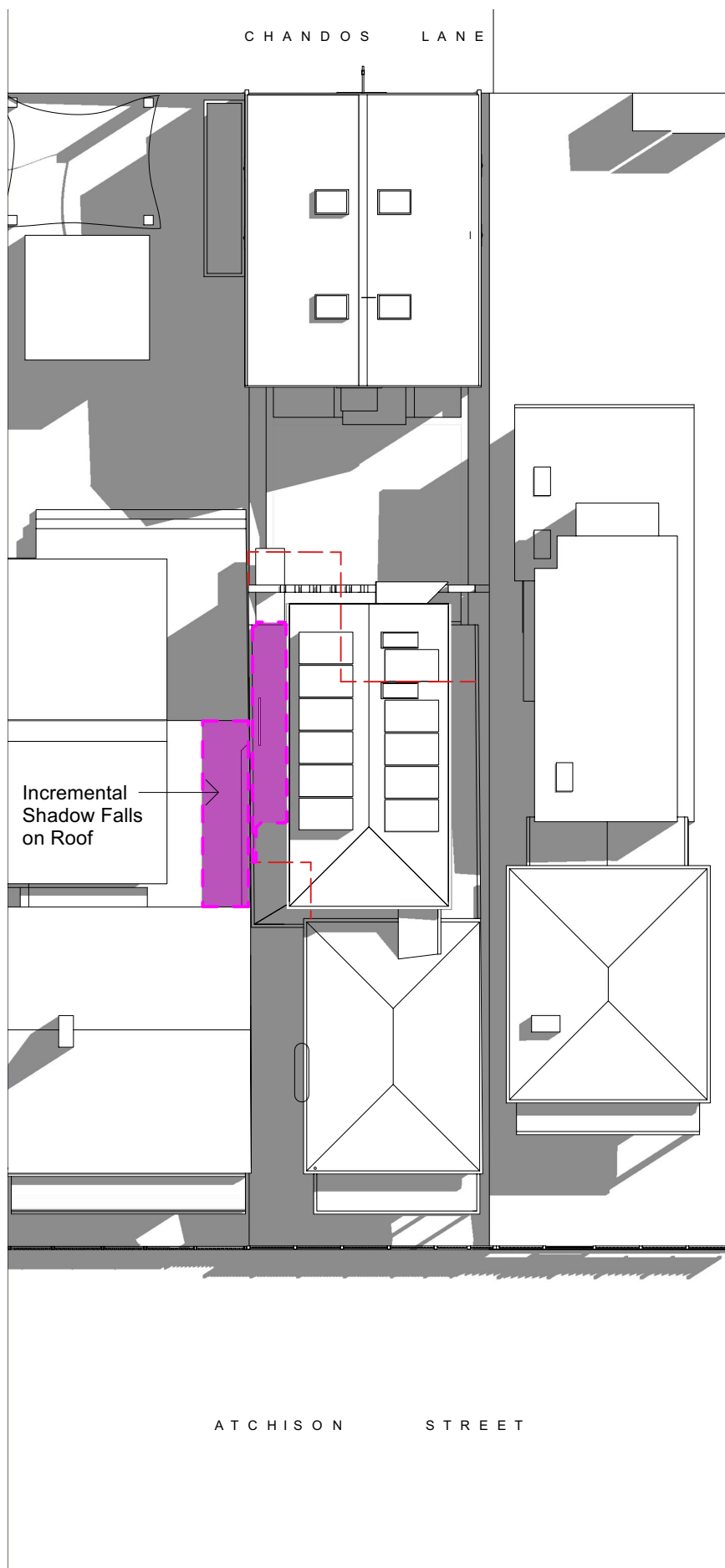
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

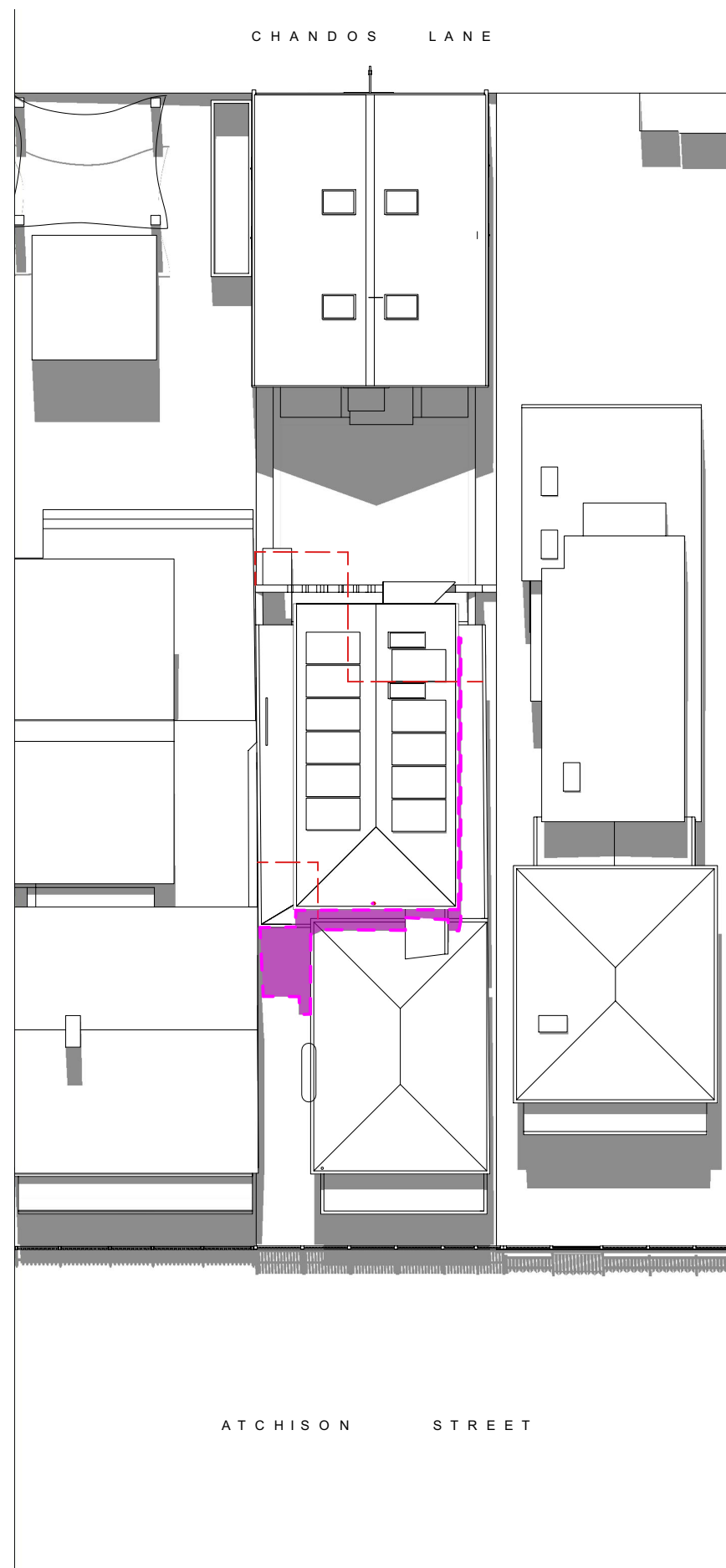


Scale
1:100@A3
Project Number
2306
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

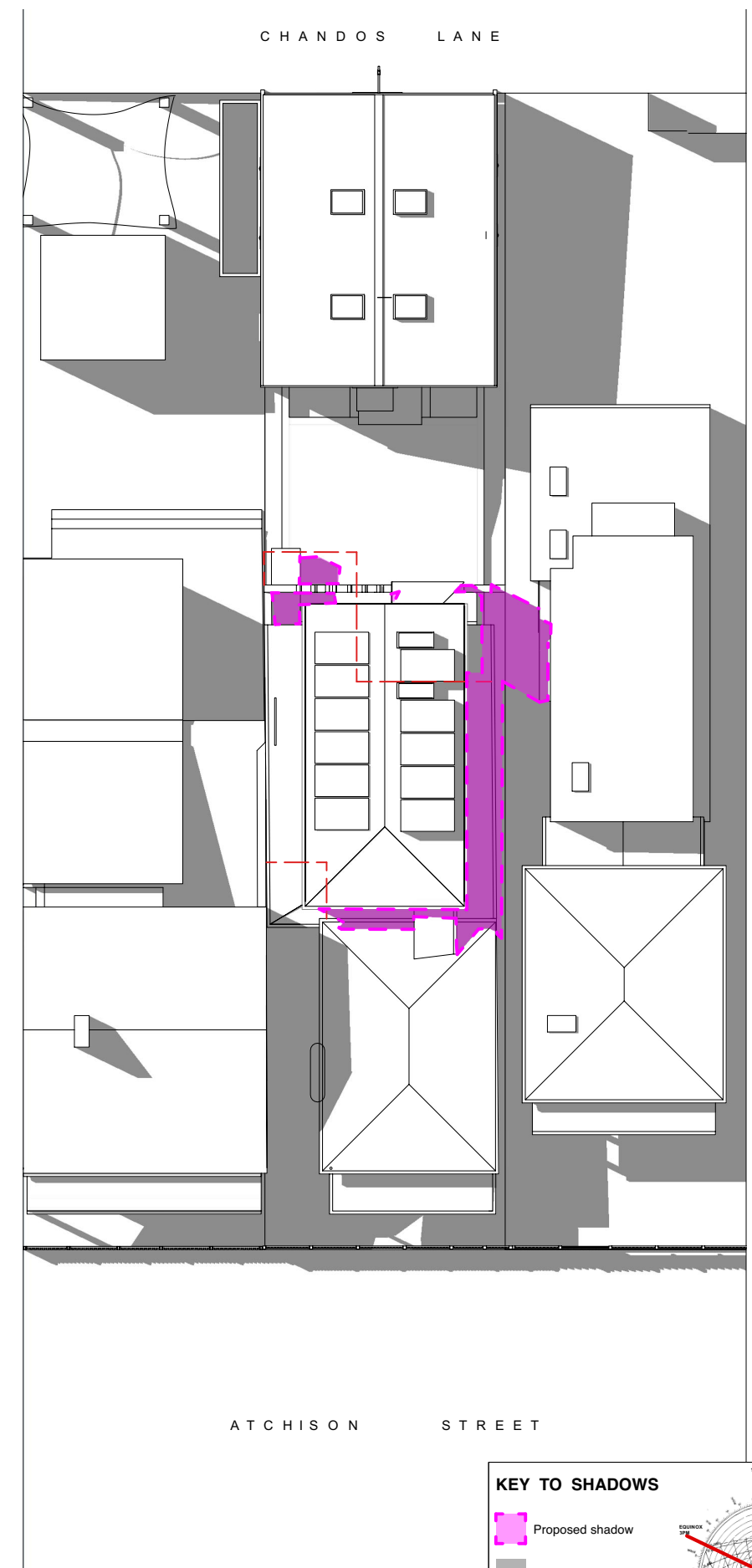
Drawn By
GS
Drawing
9am,12pm,3pm 22 June Shadows
Drawing Number
DA11
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



9AM SHADOW
1:200 @ A3



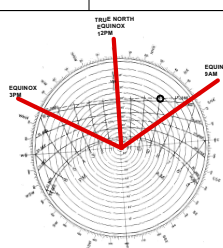
12PM SHADOW
1:200 @ A3



3PM SHADOW
1:200 @ A3

KEY TO SHADOWS

- Proposed shadow
- Existing shadow



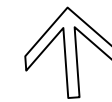
21 MARCH 9am, 12pm, 3pm

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern



Scale
1:100@A3
Drawn By
GS

Project Number
2306

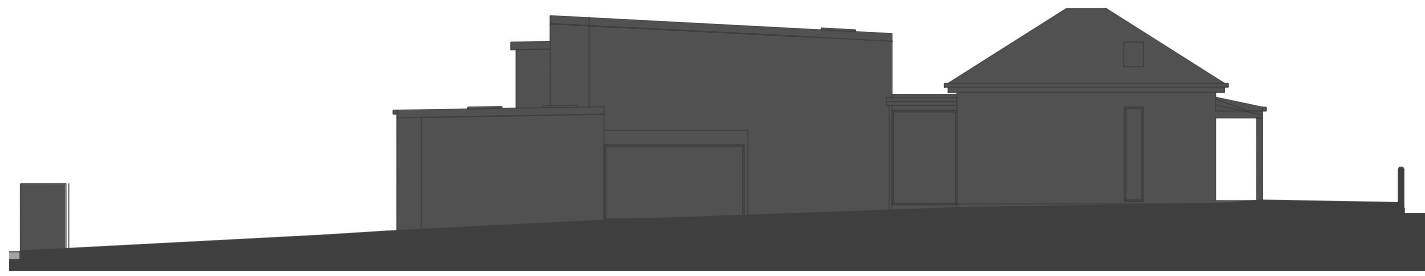
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Drawing
9am, 12pm, 3pm Equinox Shadows

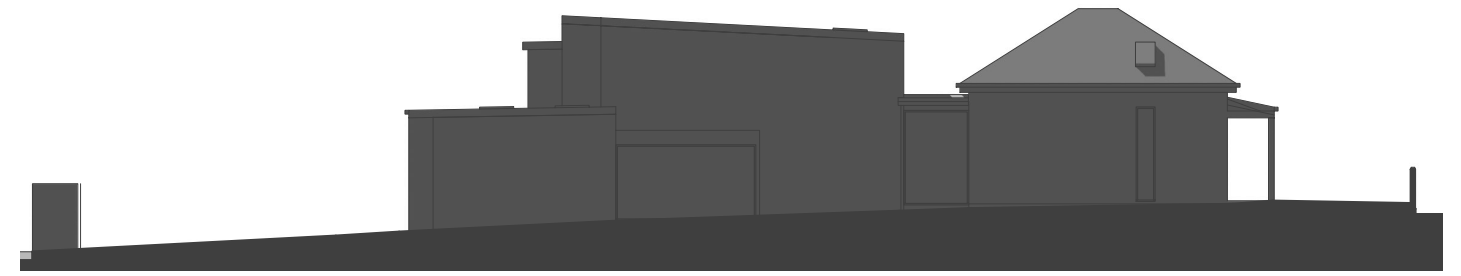
Drawing Number
DA12

Issue
B

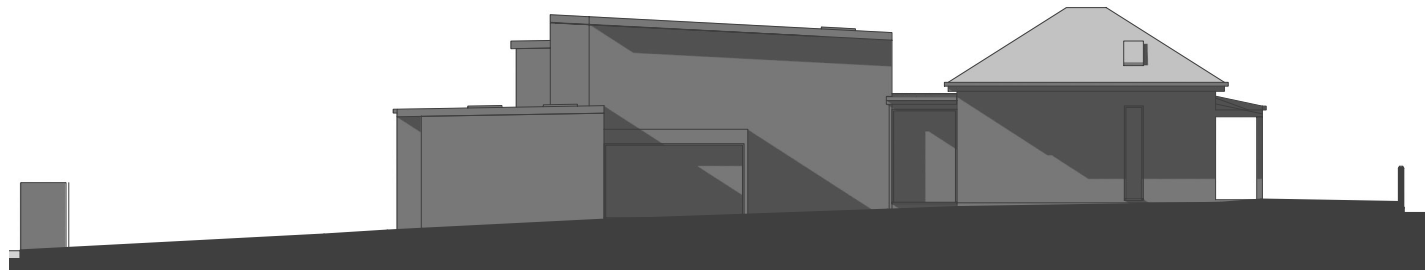
Unit 4 281 Pacific Highway North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



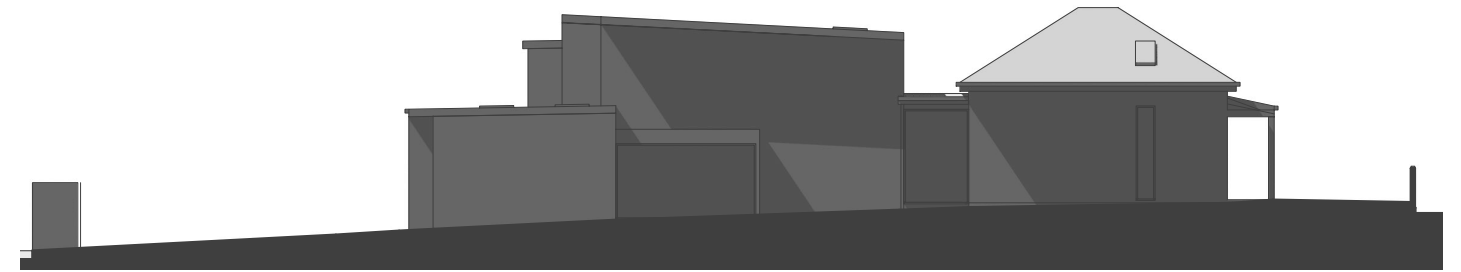
9AM-PROPOSED SHADOW MID WINTER
1:200 @ A3
NO CHANGE TO SHADOW



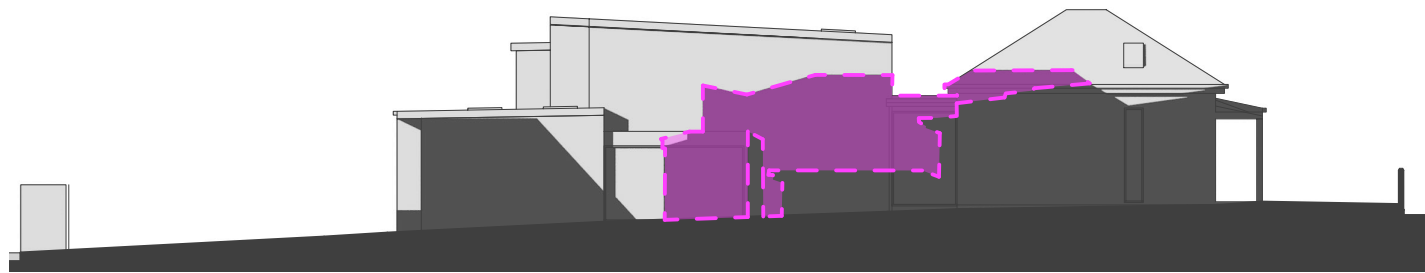
9AM-PROPOSED SHADOW EQUINOX
1:200 @ A3
NO CHANGE TO SHADOW



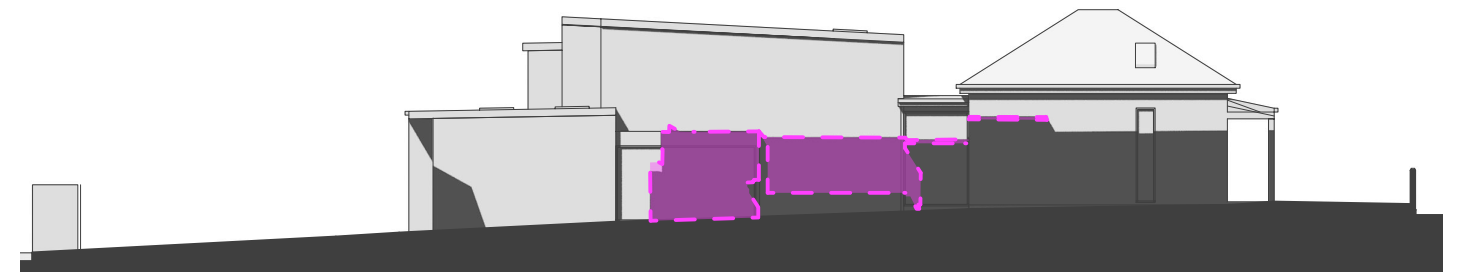
12PM-PROPOSED SHADOW MID WINTER
1:200 @ A3
NO CHANGE TO SHADOW



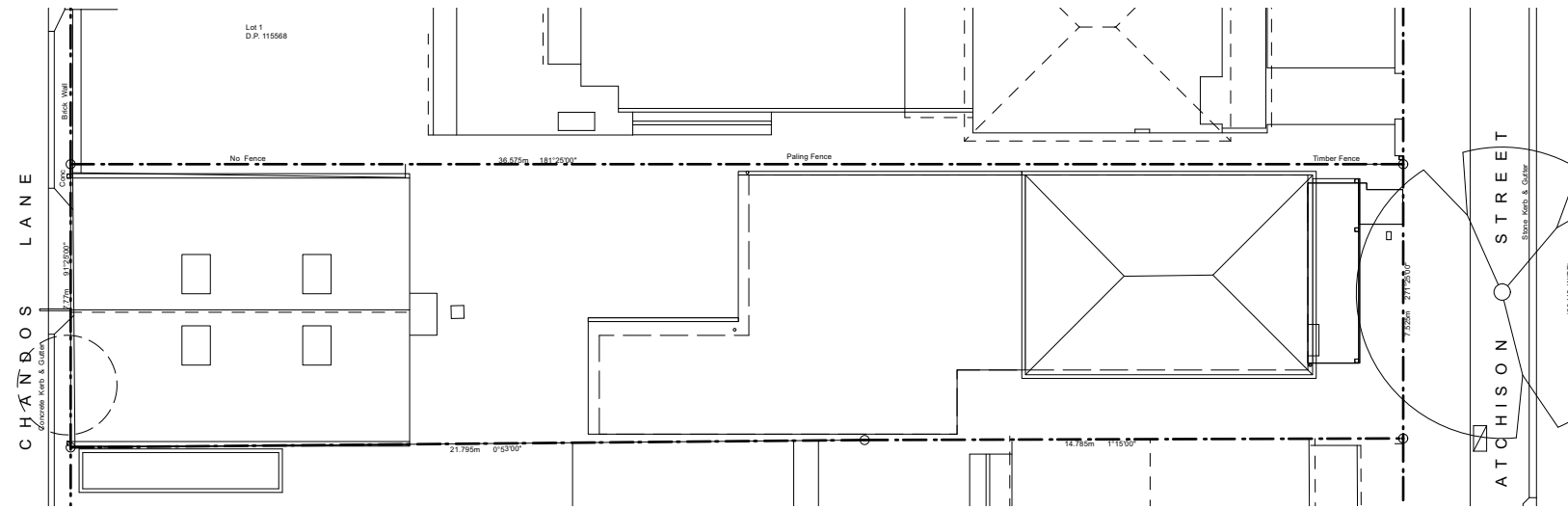
12PM-PROPOSED SHADOW EQUINOX
1:200 @ A3
NO CHANGE TO SHADOW



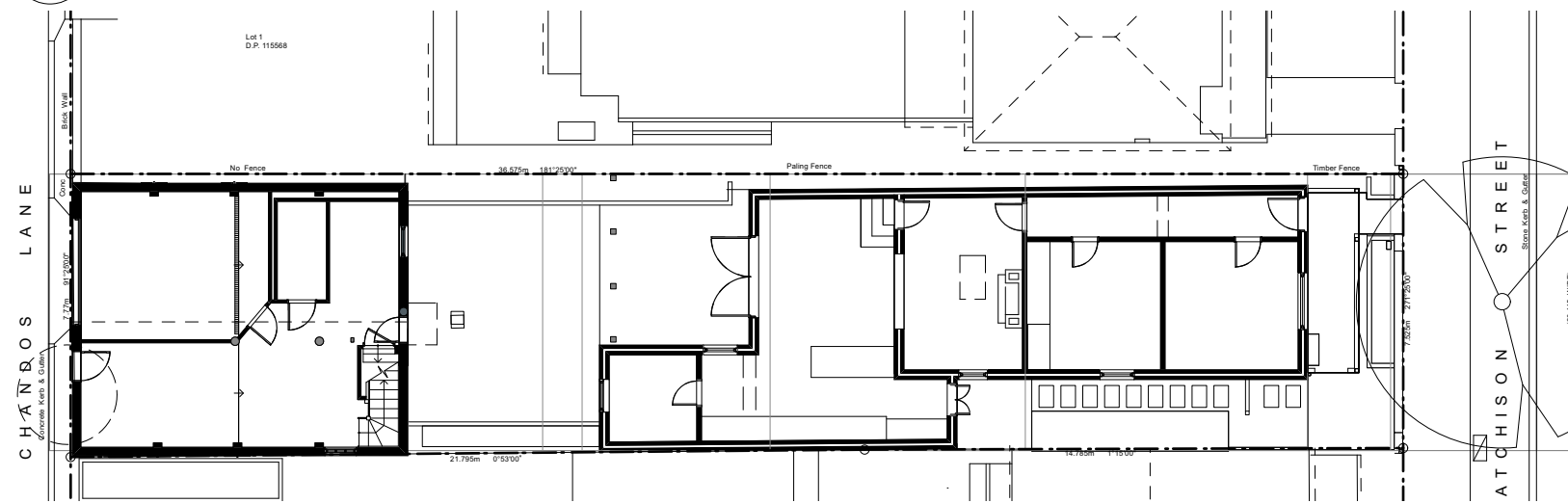
3PM-PROPOSED SHADOW MID WINTER
1:200 @ A3
ADDITIONAL SHADOW AS INDICATED
NOTE: EXISTING FENCE & 3M HIGH
BOUNDARY SCREEN PLANTING
NOT PLOTTED.



3PM-PROPOSED SHADOW EQUINOX
1:200 @ A3
ADDITIONAL SHADOW AS INDICATED



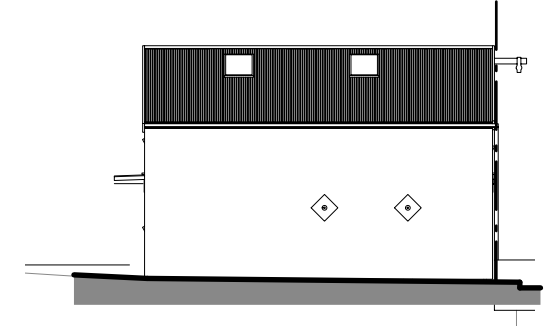
FIRST FLOOR PLAN - House
1:200 @ A3



GROUND FLOOR PLAN - House
1:200 @ A3



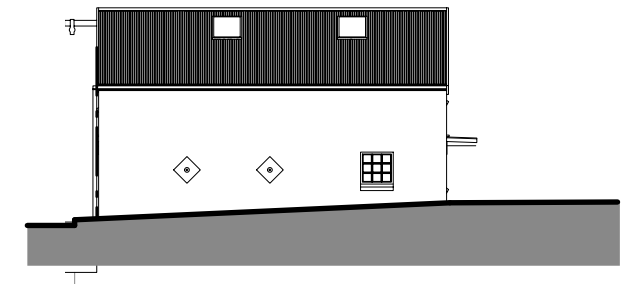
NORTH ELEVATION - BARN
1:200 @ A3



EAST ELEVATION - BARN
1:200 @ A3



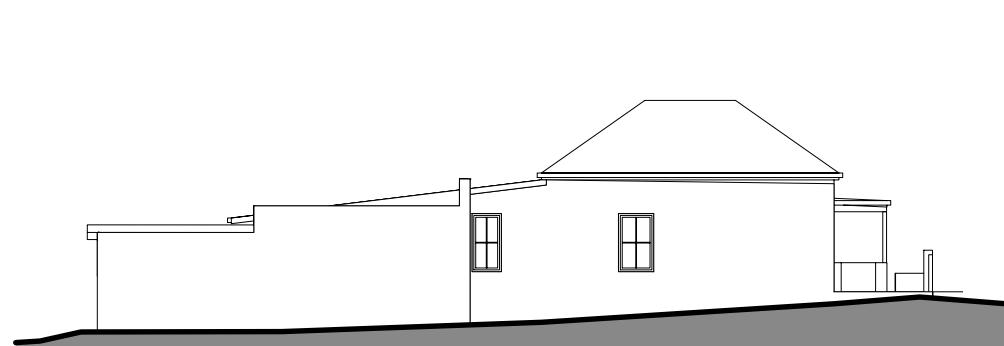
SOUTH ELEVATION - BARN
1:200 @ A3



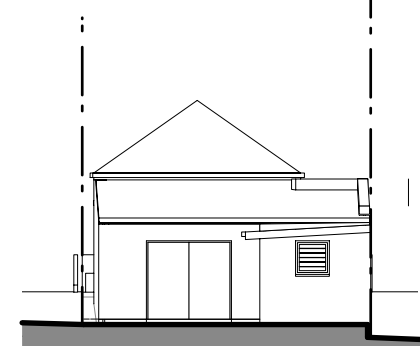
WEST ELEVATION - BARN
1:200 @ A3



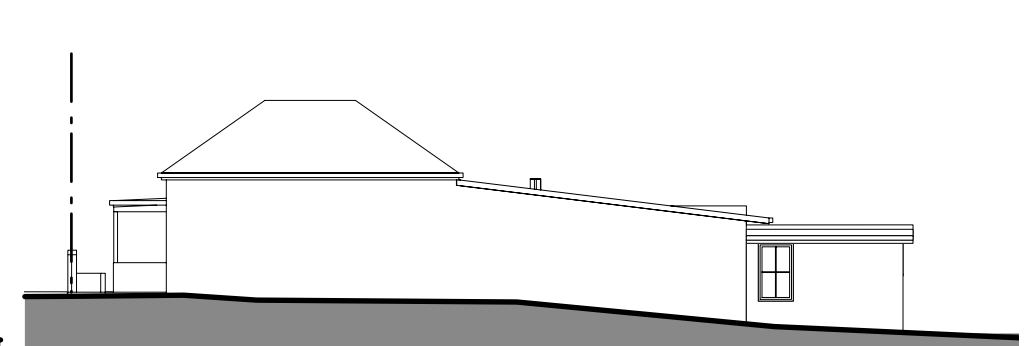
SOUTH ELEVATION - HOUSE
1:200 @ A3



WEST ELEVATION - HOUSE
1:200 @ A3



NORTH ELEVATION - HOUSE
1:200 @ A3



EAST ELEVATION - HOUSE
1:200 @ A3

Notes
This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawing without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components.
Nominated Architect: Paul O'Keefe Registration No. 6373
114 Atchison Street, Crows Nest NSW 2060
Document Set ID: 9842050
Version: 1, Version Date: 18/12/2023

Drawing Notes:
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION

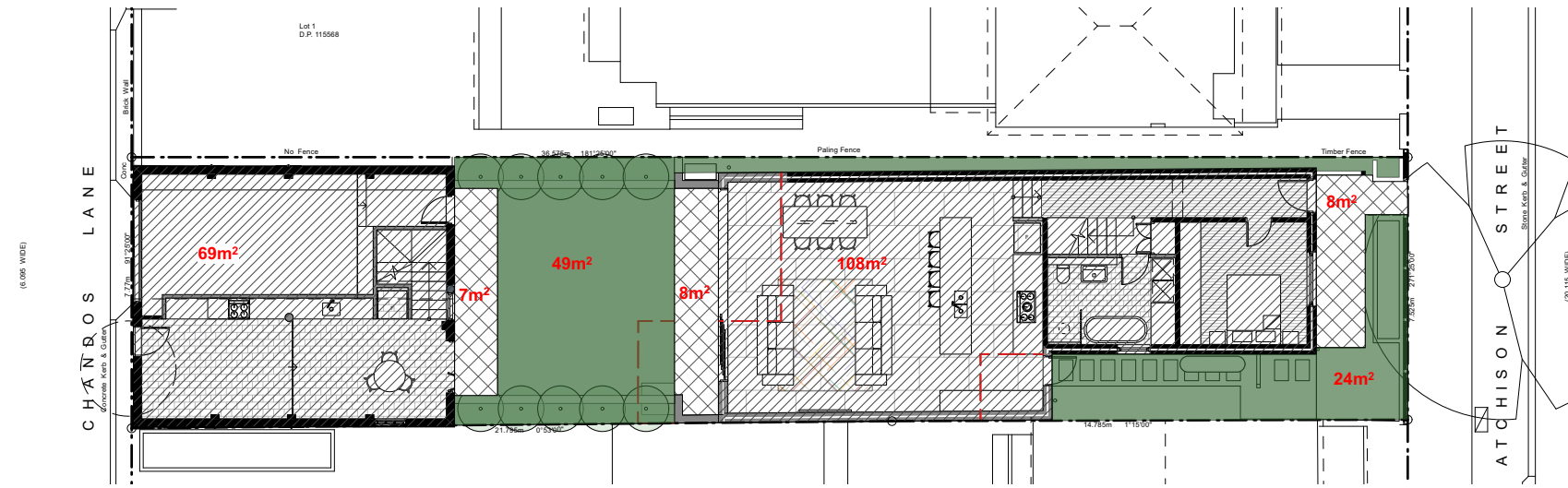
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

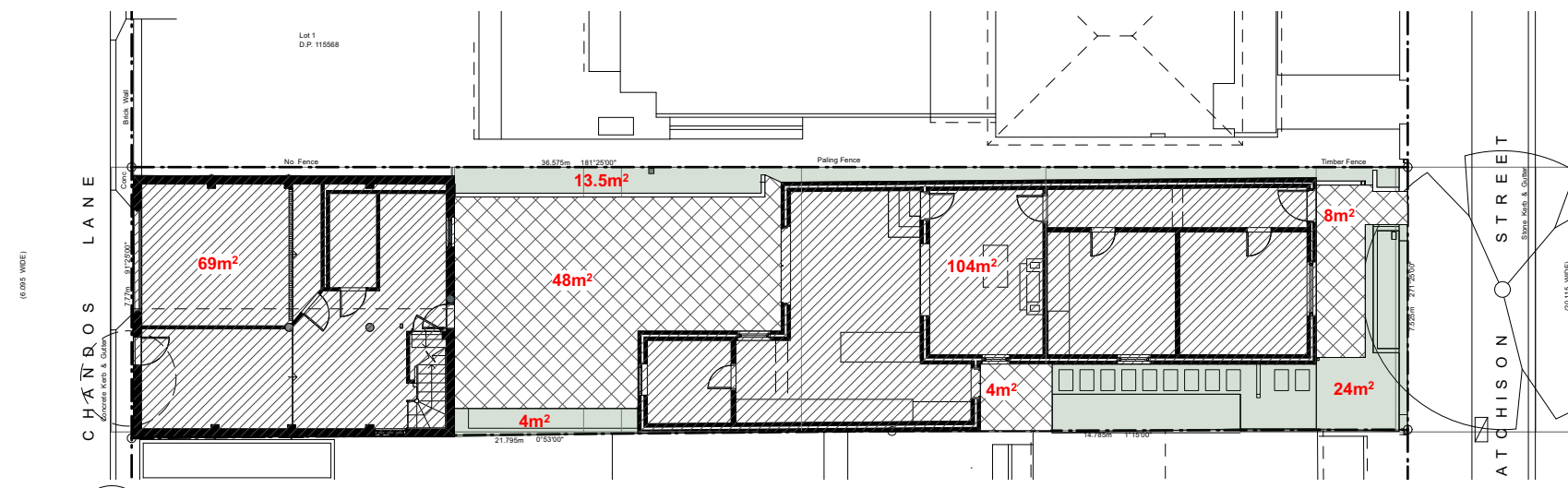
Scale
1:200@A3
Drawn By
GS
Project Number
2306
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Drawing
Existing Plans & Elevations_House+Barn
Drawing Number
DA14
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au

Site Analysis		Development Summary		
Site Area	278.2m ²		Existing	Proposed
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m ²	157m ²
LEP FSR	-	First GFA	61m ²	106m ²
		TOTAL	212m ²	263m ²
Landscaped Area Control	Min 20%		41.5m ² (14.9%)	73m ² (26.3%)
Unbuilt Area	Max 20%		60m ² (21.5%)	23m ² (8.3%)
Site Coverage (Built Upon area) Control	Max 60%		173m ² (62.1%)	177m ² (63.6%)



GROUND FLOOR PLAN - PROPOSED
1:200 @ A3



GROUND FLOOR PLAN - EXISTING
1:200 @ A3

Notes This drawing is protected under the Copyright Act 1968 and is the copyright of Paul O'Keefe Architects Pty Ltd. Do not reproduce, modify or transmit this drawings without the permission of Paul O'Keefe Architects Pty Ltd. Do not scale this drawing. Use figured dimensions only. Confirm all dimensions and levels on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Nominated Architect: Paul O'Keefe Registration No. 6373 114 Crows Nest NSW 2065 Version: 1, Version Date: 18/12/2023	Drawing Notes: THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND ISSUED FOR CONSTRUCTION	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Amendments</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>15/12/23</td> <td>Issue for DA</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Amendments	A	15/12/23	Issue for DA										Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern	Scale 1:200@A3 Project Number 2306	Drawn By GS	Drawing Area Calculations Drawing Number DA15 Issue A	 Unit 4 281 Pacific Highway North Sydney NSW 2060 ABN : 12771617996 T 02 8960 2020 E info@oakeefearchitects.com.au W okeefearchitects.com.au
		Issue	Date	Amendments																		
A	15/12/23	Issue for DA																				
Nominated Architect: Paul O'Keefe Registration No. 6373																						

Statement of Heritage Impact

114 Atchison Street Crows Nest

for

Kylie Maddern



*The Barn,
From Chandos Lane*

Prepared by:

Archnex Designs

Wentech Pty Ltd (ABN 310 735 41803) trading as Archnex Designs.

December 2023

Email: archnex@bigpond.net.au

14 Winchcombe Ave, Haberfield N S W 2045

Phone: 0425 228176

**114 Atchison Street Crows Nest
Statement of Heritage Impact
Table of Contents**

Statement:

A.	Purpose of Statement	Page 1.
B.	Grounds of Statement	Page 1.
C.	Limits of Statement	Page 1.
D.	Location	Page 1.
E.	Context	Page 2.
F.	Proposed Development	Page 7.
G.	Heritage Impacts	Page 9.
H.	Conclusion	Page 14.

Appendix:

Documents

- (i) Inventory Sheets- Subject property & Holtermann Estate A
- (ii) DP1265
- (iii) CT 792-207
- (iv) CT 2956-191
- (v) DP 964617
- (vi) CTRH B964617
- (vii) Sands Directory Search Schedules

Archnex Designs

Wentech Pty Ltd (ABN 310 735 41803) trading as Archnex Designs.
Heritage Building Consultants, Interior Designers

STATEMENT OF HERITAGE IMPACT [SoHI]:

Start Date: 18 October 2023.
Premises: 114 Atchison St Crows Nest
Property Description: Lot B, DP 964617
Prepared By: Greg Patch
 B Sc Arch, B ARCH (Hons), M Herit Cons (Hons),
 14 Winchcombe Ave,
 Haberfield NSW 2045
For: Kylie Maddern

A. PURPOSE OF STATEMENT

This statement has been prepared to assess potential heritage impacts of proposed alterations and additions to the above property.

B. GROUNDS OF STATEMENT

114 Atchison St is listed as a heritage item and is within a Heritage Conservation Area. This has been established through a search of Schedule 5 of North Sydney LEP 2013 and examination of Map HER_001.

C. LIMITS OF STATEMENT

This statement is based on the material at Part E and an inspection of the place in October 2023.

D. LOCATION



1. Location of 114 Atchison St Crows Nest (Source: SIX Maps © NSW Lands 2023).

E. CONTEXT.

E1. DOCUMENTARY

Inventory Sheets

114 Atchison St-Statement of Significance

A single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance.

Statement Of Significance-Holtermann Estate A:

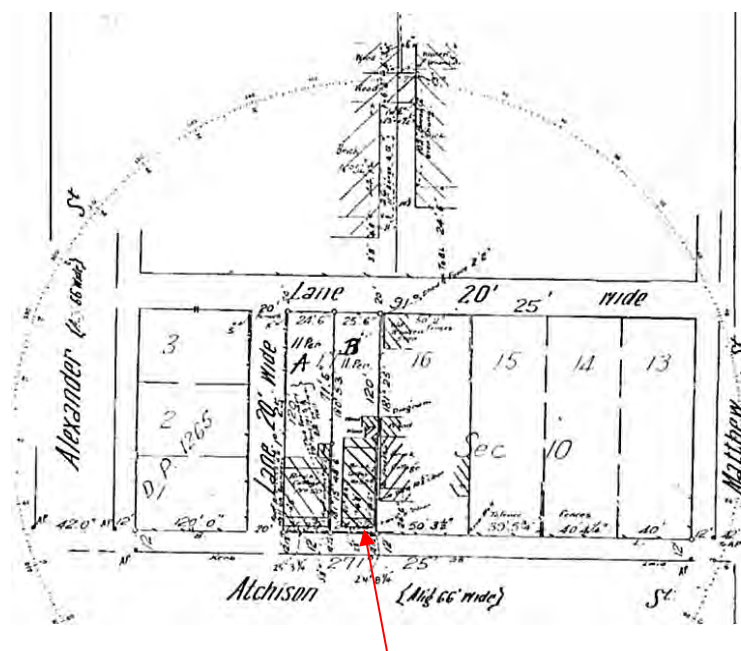
Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings.

Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation [sic] Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Land Titles

The land was originally subdivided under Deposited Plan 1265 ("Berry's Estate"), dated 19 June 1884 and is part of what is now referred to as "Holtermann Estate A". It is part of what was originally Lot 17 Section 10 of the estate and was further subdivided under DP 964617 surveyed in May 1919.

Charles Barber of St Leonards, carter purchased the land and Certificate of Title Volume 792 Folio 207[CT 792-207] was issued to him on 19 June 1886. The land was originally granted to Alexander Berry in 1836. The property was transmitted to Edward Barber and Walter John Barber, both of North Sydney, carters in March 1915. Edward Barber died in mid-1919 and the property was transmitted to Walter John Barber, who transferred part (Lot A) to Sarah Ann Barber (seemingly Charles Barber's widow), and the remainder to Henry Albert Johnson (Lot B).



2. Diagram to DP964617. Subject property.

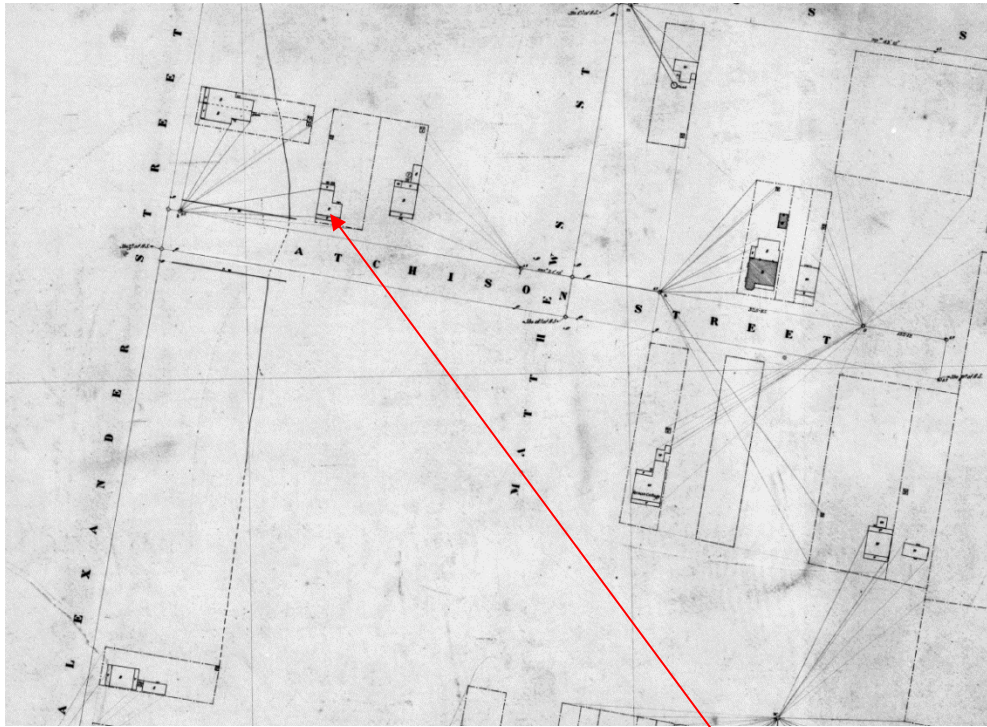
It is of note that the barn is not indicated on the above diagram (as of 1919).

Sands Directory

The John Sands Sydney, Suburban and Country Commercial Directory (1858-1932/33 [except for 1872, 1874, 1878 and 1881]) was “sample” searched from the last years for which it was published (1932/33) backwards until there is no apparent entry for the subject property. It lists occupants & addresses, not vacant buildings.

Charles Barber is first listed as one of nine residents of Atchison St in the 1889 edition of Sands Directory, so it would appear that the adjoining house “Lon” may have been built by that time.

Sydney Water Archives



3. Extract PWDS 1544S821 dated 20 Jan 1891. Adjoining house “Lon”, 112 Atchison Street.

E2. PHYSICAL

The place was inspected on 18th October 2023, when the following photographs were taken:



4. Subject property from opposite.



5. Adjoining house, “Lon” to the west adjacent lane.



5. Streetscape looking east. Subject property.



6. The barn from east on Chandos Lane.



7. The barn - north-east view.



8. Rear upper level addition to adjoining house. The barn from opposite.



9. The barn - west wall.



10. Development opposite on Atchison St.



11. Interior of Roller shutter.



12. Mezzanine floor structure.



13. Ground floor room to western side.



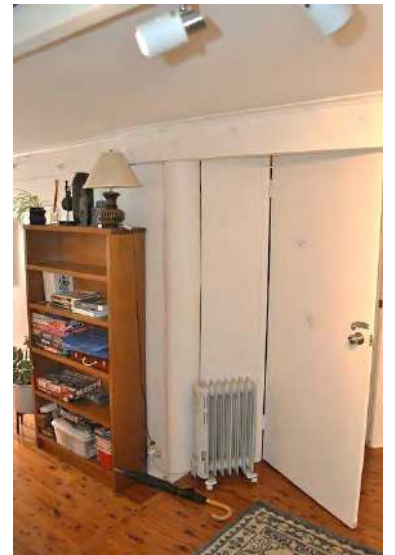
14. Underside of stair- chipboard.



15. Storey post.



16. Storey post -reverse side.



17. Storey post to corner of garage.



18. Roof structure and gantry.



19. Roof structure posts and beams.



20. South wall and gantry opening.



21. Stair from above.



22. Bathroom to ground floor.



23. Rear of the house from gantry opening..



24. Rear of the house from internal courtyard.

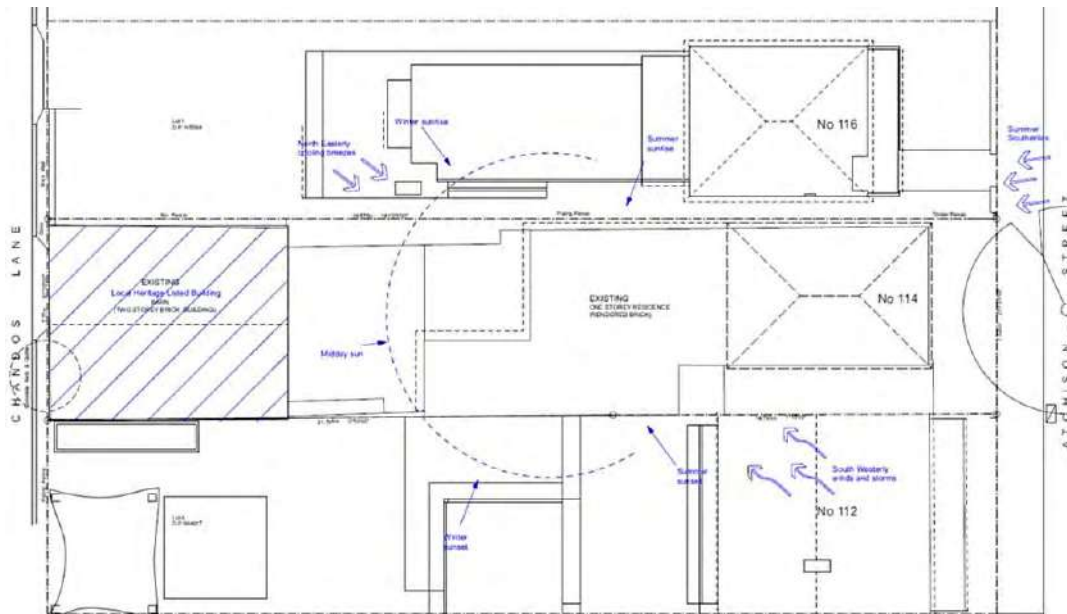


25. House hallway.

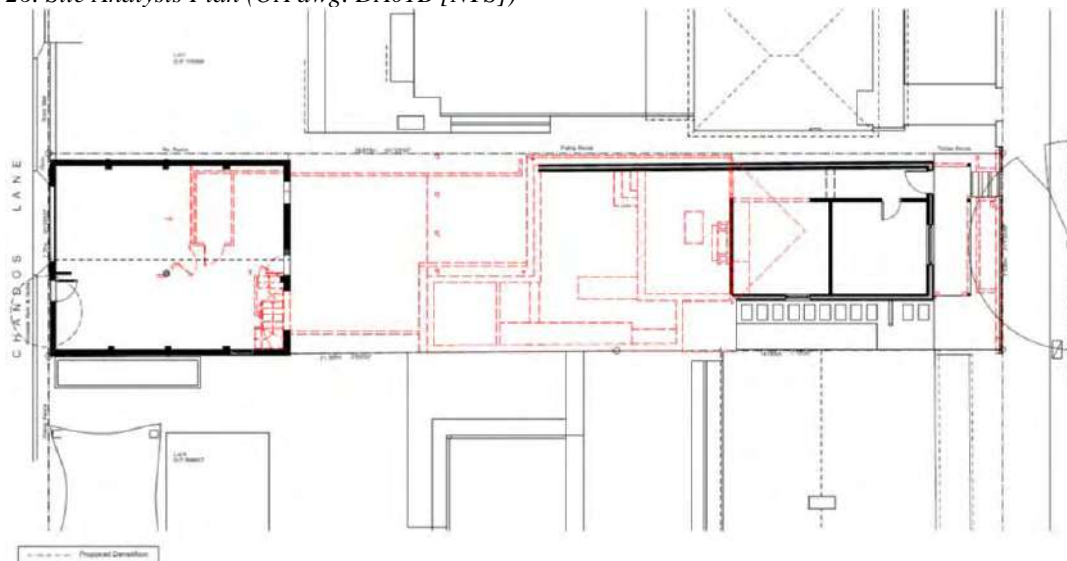
F. PROPOSED DEVELOPMENT

I have examined drawings N^{OS}.2306/00B to -/DA15B prepared by okeefearchitects [OA] and dated 15/12/23.

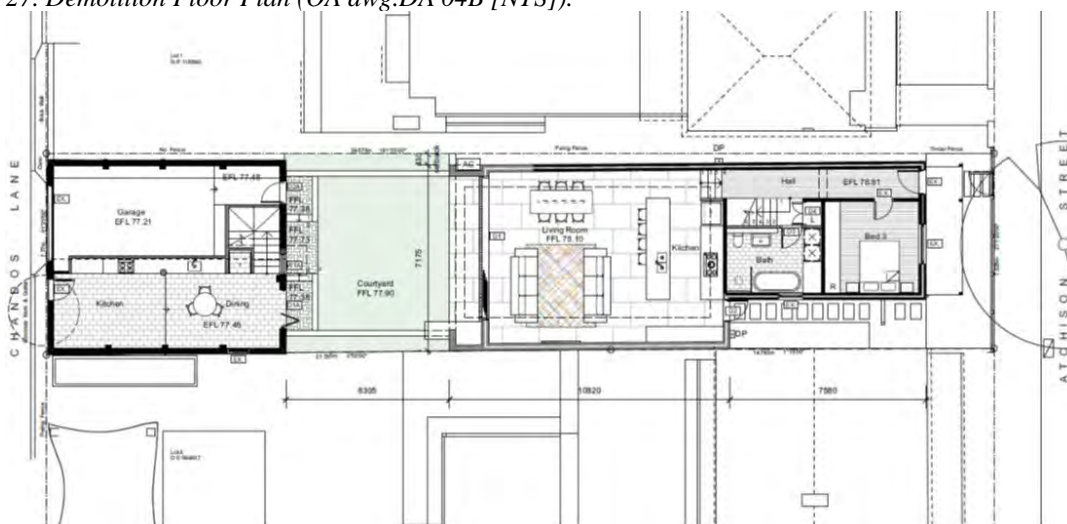
They depict proposed alterations and additions to the subject premises:



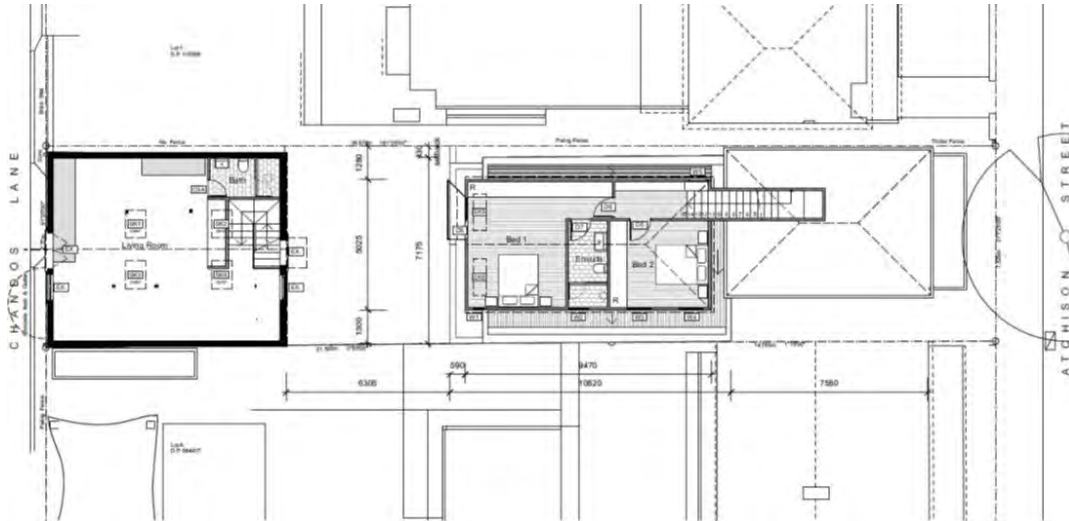
26. Site Analysis Plan (OA dwg. DA01B [NTS])



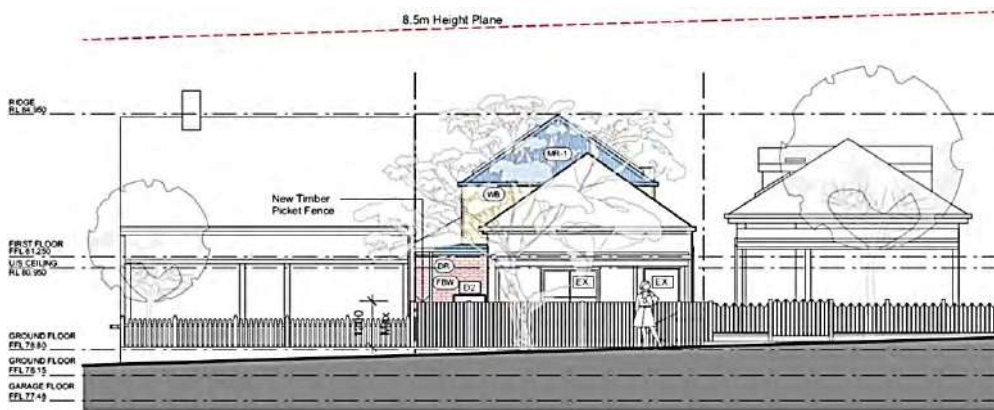
27. Demolition Floor Plan (OA dwg. DA 04B [NTS]).



28. Ground Floor Plan (OA dwg. DA 05B [NTS]).



29. Upper Floor Plan (OA dwg. DA06B [NTS])



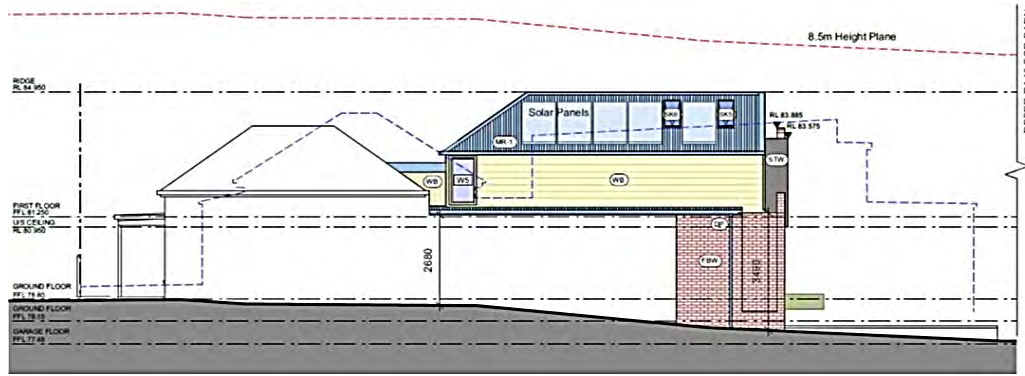
30. South Elevation (OA dwg. DA07B [NTS])



31. West Elevation (OA dwg. DA07B [NTS])



32. North Elevation (OA dwg. DA08B [NTS])



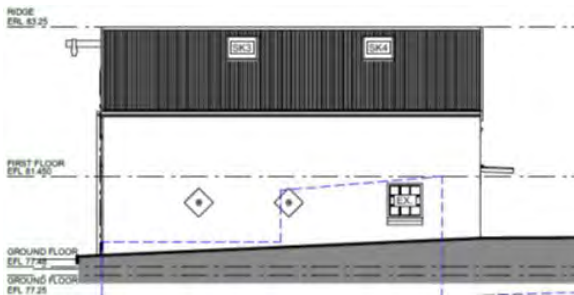
33. East Elevation (OA dwg. DA08B [NTS]).



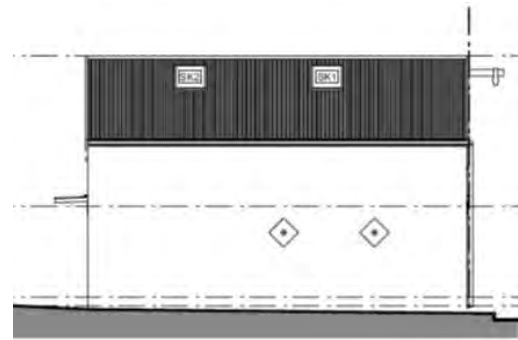
34. Barn -North Elevation (OA dwg. DA10B [NTS]).



35. Barn -South Elevation (OA dwg. DA10B [NTS]).



36. Barn -West Elevation (OA dwg. DA10B [NTS]).



37. Barn -East Elevation (OA dwg. DA10B [NTS]).

Proposed external materials, finishes and colours include:

Finishes Schedule



New Feature Wall



New External Walls



New Windows & Doors



New Roof

G. IMPACT OF THE PROPOSED DEVELOPMENT

The property and the heritage conservation area are listed at:

North Sydney Local Environmental Plan 2013

Schedule 5 Environmental heritage

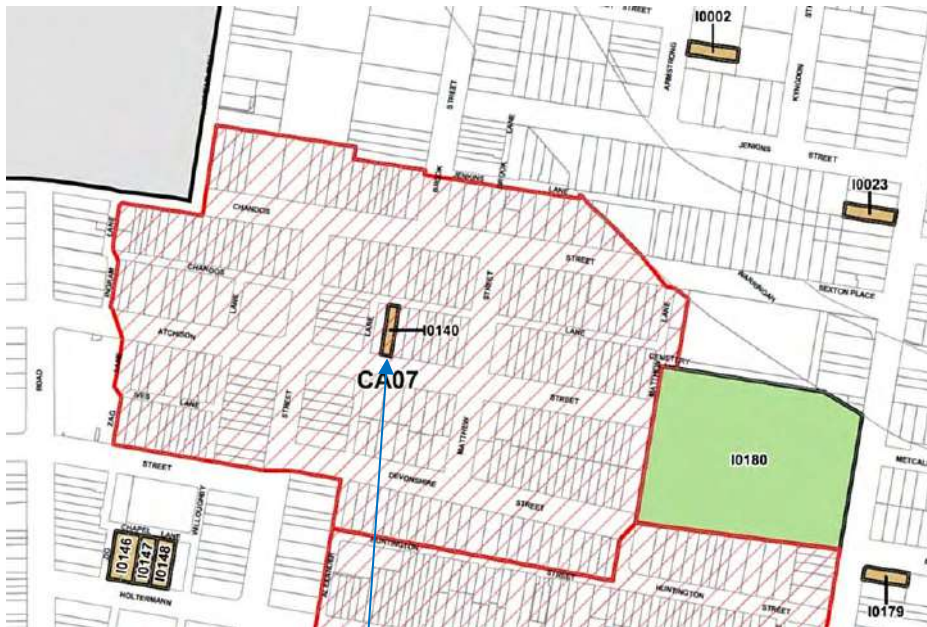
Part 1 Heritage items

Locality	Item name	Address	Property description	Significance	Item no
Crows Nest	Barn, outbuilding at rear	114 Atchison Street	Lot B, DP 964617	Local	I0140

Part 2 Heritage Conservation areas

Name of heritage conservation area	Identification on Heritage Map	Significance
Holtermann Estate A	Shown by red hatching and labelled "CA07"	Local

They are mapped as:



38. Extract Map HER_01 Subject property.

The relevant provisions of North Sydney LEP 2013 are:

5.10 Heritage conservation

Note. Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the [Heritage Map](#) as well as being described in Schedule 5.

Clause	Comment
(1) Objectives	

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of North Sydney,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

(2) Requirement for consent

Development consent is required for any of the following:

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
 - (i) a heritage item,

- (ii) *an Aboriginal object,*
- (iii) *a building, work, relic or tree within a heritage conservation area,*
- (b) *altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,*
- (c) *disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,*
- (d) *disturbing or excavating an Aboriginal place of heritage significance,*
- (e) *erecting a building on land:*
 - (i) *on which a heritage item is located or that is within a heritage conservation area, or*
 - (ii) *on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,*
- (f) *subdividing land:*
 - (i) *on which a heritage item is located or that is within a heritage conservation area, or*
 - (ii) *on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.*

The proposed development entails altering the exterior of a building that is a heritage item.

The proposed development is within the Holterman Estate A HCA.

Nothing is specified in Schedule 5 relating to the item.

(3) When consent not required

However, development consent under this clause is not required if:

Consent is required.

- (a) *the applicant has notified the consent authority of the proposed development and the consent authority has advised the applicant in writing before any work is carried out that it is satisfied that the proposed development:*
 - (i) *is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or archaeological site or a building, work, relic, tree or place within the heritage conservation area, and*
 - (ii) *would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or*
- (b) *the development is in a cemetery or burial ground and the proposed development:*

- (i) *is the creation of a new grave or monument, or excavation or disturbance of land for the purpose of conserving or repairing monuments or grave markers, and*
- (ii) *would not cause disturbance to human remains, relics, Aboriginal objects in the form of grave goods, or to an Aboriginal place of heritage significance, or*
- (c) *the development is limited to the removal of a tree or other vegetation that the Council is satisfied is a risk to human life or property, or*
- (d) *the development is exempt development.*

(4) *Effect of proposed development on heritage significance*

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

The significance of the item is recounted at p. 2, above.

The proposed development will have no substantive impact on the stated significance.

(5) *Heritage assessment*

The consent authority may, before granting consent to any development:

- (a) *on land on which a heritage item is located, or*
- (b) *on land that is within a heritage conservation area, or*
- (c) *on land that is within the vicinity of land referred to in paragraph (a) or (b).*

The proposed development is to land on which a heritage item is located and is within a heritage conservation area.

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

This document has been prepared having general regard to the guideline document "Statements of Heritage Impact" as published by HeritageNSW.

(6) *Heritage conservation management plans*

The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

The preparation of a Conservation Management Plan is not warranted by the nature of the proposed development.

(7) *Archaeological sites*

The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the [Heritage Act 1977](#) applies):

The subject place is not identified as being of archaeological significance.

- (a) *notify the Heritage Council of its intention to grant consent, and*
- (b) *take into consideration any response received from the Heritage Council within 28 days after the notice is sent.*

(8) Aboriginal places of heritage significance

The consent authority must, before granting consent under this clause to the carrying out of development in an Aboriginal place of heritage significance:

- (a) consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and*
- (b) notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.*

The subject place is not identified as being of Aboriginal significance.

(9) Demolition of nominated State heritage items

The consent authority must, before granting consent under this clause for the demolition of a nominated State heritage item:

- (a) notify the Heritage Council about the application, and*
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.*

The subject place is not identified as being of State significance.

(10) Conservation incentives

The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that:

- (a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and*
- (b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and*
- (c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and*
- (d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and*
- (e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.*

Conservation incentives are not sought.

North Sydney Development Control Plan**3.4.3 Statement of Significance**

The Holtermann Estate A Conservation Area is significant:

a) as a late 19th century subdivision for speculative housing.

(b) For its regular grid of streets, rear lanes and cross lanes.

(c) For its consistent late 19th and early 20th century residential character and the unity of its low scale built form that derives from its regular grid subdivision pattern and its single storey, detached and attached dwelling houses in a mixture of late Victorian and early Federation styles.

The proposed development is similar to that that has occurred on similar scale houses within the vicinity (see images 8, p5, and 23, p6 above and the aerial photograph at p.1). A substantial tree exists to the street frontage of the property (see image at p.4, p3.) and will afford considerable screening of the proposed upper-level addition when viewed from the street, while there will be negligible impact on the significance and setting of the identified heritage item (The Barn) when viewed from Chandos Lane.

H. CONCLUSION

Historical research has revealed that the house to the subject property was most probably built around c. 1919-1920 (though possibly earlier) as evidenced in the title diagram relating to the sale to Henry Albert Johnson. The barn appears to have been built following this sale, as it is not noted on the survey diagram to DP964617 reproduced at p. 2, above.

The proposed development seeks to improve the accommodation and amenity of the house, and to refurbish apparently recent past works to the interior of the barn as an associated living area.

In my opinion, there will be no adverse effects of the works and the proposal is supportable in terms of potential heritage impacts.

Prepared by

Greg Patch
Heritage Consultant

Appendix: Documents

Item Details

Name

Barn, outbuilding at rear

SHR/LEP/S170

LEP #I0140

Address

114 Atchison Street CROWS NEST NSW 2065

Local Govt Area

North Sydney

Local Aboriginal Land Council

Unknown



Item Type

Built

Group/Collection

Farming and Grazing

Category

Barn

All Addresses

Addresses

Records Retrieved: 1

Street No	Street Name	Suburb/Town/Postcode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
114	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Primary Address

Significance

Statement Of Significance

A single storey Victorian rendered cottage with a barn at the rear. Rare survival of a utilitarian outbuilding in a suburban environment. The landscape setting and interior are also of significance.

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Criteria f)

Rarity

This item is assessed as historically rare regionally.

Criteria g)

Representative

This item is assessed as aesthetically representative regionally. This item is assessed as socially representative locally.

Integrity/Intactness

—

Owners

Records Retrieved: 0

Organisation	Stakeholder Category	Date Ownership Updated
No Results Found		

Description

Designer

Builder/Maker

Physical Description

Updated

A single storey dwelling that contributes positively to the streetscape as well as a barn. The barn is a one and a half storey rectangular brick building with gable roof of corrugated iron. Lower floor has large opening now filled by roller shutter, as well as a person door. Upper level, within gable, has timber loading door with cathead above.

Physical Condition

Updated

-

Modifications And Dates

Further Comments

Current Use

Former Use

Listings

Listings

Records Retrieved: 2					
Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan	North Sydney Local Environmental Plan 2013	I0140	8/2/2013 12:00:00 AM		
Within a conservation area on an LEP					

Procedures/Exemptions

Records Retrieved: 0

Section of Act	Description	Title	Comments	Action Date	Outcome
No Results Found					

History

Historical Notes or Provenance

Updated

Historic Themes

Records Retrieved: 2

National Theme	State Theme	Local Theme
9. Phases of Life	Events	Unknown
9. Phases of Life	Government and Administration	Unknown

Recommended Management

Management Summary

Management

Records Retrieved: 0

Management Category	Management Name	Date Updated
No Results Found		

Report/Study

Heritage Studies

Records Retrieved: 2

Report/Study Name	Report/Study Code	Report/Study Type	Report/Study Year	Organisation	Author
North Sydney Heritage Study Review			1993		Brassil, T., Irving, R., Pratten, C., Conybeare Morrison
North Sydney Heritage Study Review			1993		Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison

Reference & Internet Links

References**Records Retrieved: 0**

Type	Author	Year	Title	Link
No Results Found				

Data Source

The information for this entry comes from the following source:

Data Source	Record Owner	Heritage Item ID
Local Government	North Sydney Council	2180964

Every effort has been made to ensure that information contained in the State Heritage Inventory is correct. If you find any errors or omissions please send your comments to council@northsydney.nsw.gov.au

All information and pictures on this page are the copyright of the Heritage Division or respective copyright owners.

Item Details

Name

Holtermann Estate A Conservation Area

SHR/LEP/S170

LEP #CA07

Address

CROWS NEST NSW 2065

Local Govt Area

North Sydney

Local Aboriginal Land Council

Unknown

Item Type

Conservation Area

Group/Collection

Urban Area

Category

Other - Urban Area

All Addresses

Addresses

Records Retrieved: 11

Street No	Street Name	Suburb/Town/Postcode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
1A	Wheatleigh Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
110-174 (even numbers only)	Chandos Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
117-215 (odd numbers only)	Chandos Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
1-3 (odd numbers only)	Matthew Lane	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
63-127 (odd numbers only)	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address

92-162 (even numbers only)	Atchison Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
120-144 (even numbers only)	Alexander Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
141-173 (odd numbers only)	Alexander Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
78-98 (even numbers only)	Albany Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
1-49	Devonshire Street	CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Alternate Address
		CROWS NEST/NSW/2065	North Sydney	Unknown			Unknown	Primary Address

Significance

Statement Of Significance

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Owners

Records Retrieved: 0

Organisation	Stakeholder Category	Date Ownership Updated
No Results Found		

Description

Designer Builder/Maker

Physical Description Updated

Physical Condition Updated

Modifications And Dates

Further Comments

Current Use

Former Use

Listings

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Records Retrieved: 1					
Local Environmental Plan	North Sydney Local Environmental Plan 2013	CA07	8/2/2013 12:00:00 AM		

Procedures/Exemptions

Records Retrieved: 0

Section of Act	Description	Title	Comments	Action Date	Outcome
No Results Found					

History

Historical Notes or Provenance**Updated****Historic Themes****Records Retrieved: 0**

National Theme	State Theme	Local Theme
No Results Found		

Recommended Management**Management Summary****Management****Records Retrieved: 0**

Management Category	Management Name	Date Updated
No Results Found		

Report/Study**Heritage Studies****Records Retrieved: 0**

Report/Study Name	Report/Study Code	Report/Study Type	Report/Study Year	Organisation	Author
No Results Found					

Reference & Internet Links**References****Records Retrieved: 0**

Type	Author	Year	Title	Link
No Results Found				

Data Source

The information for this entry comes from the following source:

Data Source	Record Owner	Heritage Item ID
Local Government	North Sydney Council	2186345

Every effort has been made to ensure that information contained in the State Heritage Inventory is correct. If you find any errors or omissions please send your comments to council@northsydney.nsw.gov.au

All information and pictures on this page are the copyright of the Heritage Division or respective copyright owners.

SL 007

CERTIFICATE OF TITLE



(C.)

New South Wales.

[Reference to last Certificate.]
[Vol. 700 Folio 21.]



REGISTER BOOK,
VOL. 792 FOLIO 207

CANCELLED

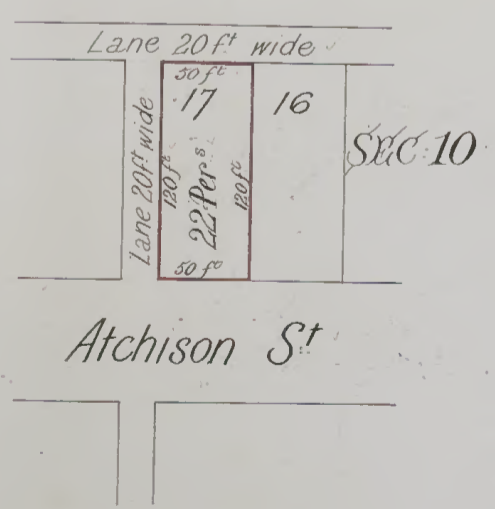
Charles Barber of St Leonards, barter
 TRANSFERREE under Instrument of Transfer from David Berry
 numbered 107830 is now the proprietor of an Estate in Fee Simple,
 subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to
 such encumbrances, liens, and interests as are notified hereon in that piece of land situated at St Leonards
in the Parish of Milboughby, and County of Lumberland, containing Twenty two
perches or thereabouts, as shown on the plan hereon, and therein edged red, being Lot 17
 of Section 10 on a plan deposited in the Land Titles Office, Sydney, numbered 1265 and
part of twenty acres delineated in the public Map of the said
Parish deposited in the office of the Surveyor General, originally
granted to Alexander Berry by Crown grant dated the eight day
of February in Howard eight hundred and thirty six
 In witness whereof, I have hereunto signed my name and affixed my Seal, this 19th day of
June one thousand eight hundred and eighty 80

Signed the 19 day of June 1880,
in the presence of J. M. Crocker

A. Haslam
Registrar General.



NOTIFICATION REFERRED TO.



NO 107831 MORTGAGE DATED 18th May 1880
 FROM THE WITHIN NAMED Charles Barber
 TO The Industrial and Provident Permanent
Benefit Building and Investment Society PRODUCED 27th
May 1886 AT 22 MINUTES 11 O'CLOCK IN THE
fore NOON AND ENTERED 19th June 1886 AT
the O'CLOCK IN THE fore NOON.
A. Haslam DEPRECEN

NO 220418 MORTGAGE DATED 4th January 1894
 FROM THE above NAMED Charles Barber
 TO The Industrial and Provident Permanent Benefit
Building and Investment Society
 PRODUCED & ENTERED 8th January 1894
 AT 8.10.13 O'CLOCK IN THE after NOON.
A. Haslam DEPRECEN

No. 373845 MORTGAGE DATED 2 November 1903
 FROM THE SAID Charles Barber
the Industrial & Provident
Permanent Benefit Building
& Investment Society
 PRODUCED & ENTERED 4 November
1903 AT 12 o'clock in the after noon.
W. McKelvie
 DEPUTY REGISTRAR GENERAL.

No. A 441888 DISCHARGE of within Mortgage
 No. 373845 dated 7 March 1919
 Produced 18 March 1919 and entered
18 March 1919
 at 12 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

No. 377547 MORTGAGE DATED 11 January 1904
 FROM THE SAID Charles Barber
The Industrial and Provident
Permanent Benefit Building and
Investment Society
 PRODUCED & ENTERED 13 January
1904 AT 2 o'clock in the fore noon.
W. McKelvie
 DEPUTY REGISTRAR GENERAL.

No. A 473197 NOTICE of DEATH. Proof having been furnished
 to me of the death of the said Edward Barber
 the surviving Joint Tenant Walter John Barber
 is now registered sole proprietor of the Land within-described.
 Produced and entered 23rd July 1919
 at 12 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

No. A 165962 APPLICATION BY TRANSMISSION
T Edward Barber and Walter John
Barber both of North Sydney barbers
 are now the registered
 Proprietors of the Land within described in pursuance of the above
 Application. Produced 22nd March 1915 and
 entered 24th March 1915
 at 4 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

No. A 473198 TRANSFER dated 3rd July 1919
 from the said Walter John Barber & Sarah
Ann Barber of last
 of the land within described.
 Produced and entered 23rd July 1919
 at 12 o'clock in the after noon.
 Cancelled & Certificate
 of Title issued *W. McKelvie*
 Vol. Fol. REGISTRAR GENERAL.

No. A 165963 CAVEAT dated 22nd March 1915
 by the Registrar General. Produced and entered
27th April 1915
 at 4 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

The within Caveat No. A165963
 is hereby withdrawn.
 Dated 22nd July 1919
W. McKelvie
 REGISTRAR GENERAL.

No. A 441885 DISCHARGE of within Mortgage
 No. 107831 dated 7 March 1919
 Produced 18 March 1919 and entered
18 March 1919
 at 12 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

No. A 473199 TRANSFER dated 3rd July 1919
 from the said Walter John Barber (of Henry
Albert Johnson & part (being the residue)
 of the land within described.
 Produced and entered 23rd July 1919
 at 12 o'clock in the after noon.
 Cancelled & Certificate
 of Title issued *W. McKelvie*
 Vol. 2956 Fol. 198 REGISTRAR GENERAL.

No. A 441886 DISCHARGE of within Mortgage
 No. 220416 dated 7 March 1919
 Produced 18 March 1919 and entered
18 March 1919
 at 12 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

No. A 441887 DISCHARGE of within Mortgage
 No. 377547 dated 7 March 1919
 Produced 18 March 1919 and entered
18 March 1919
 at 12 o'clock in the after noon.
W. McKelvie
 REGISTRAR GENERAL.

4473197A
— 9A

ATTACHMENT TO LPP03 - 05/06/24

Holler

BURLINGTON STREET

STREET

ROAD

FALCON STREET

ALEXANDER STREET

HAYBERRY ST.

COVE

DAVID ST.

Public School

ROAD

MYRTLE

STREET

WEST

BERRY'S ESTATE

NORTH SYDNEY

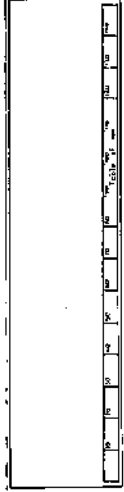
PH. WILLOUGHBY CO. CUMBERLAND

Scale: 100 Feet to one inch

PLP's CL 1.0.01
12/0 0.003

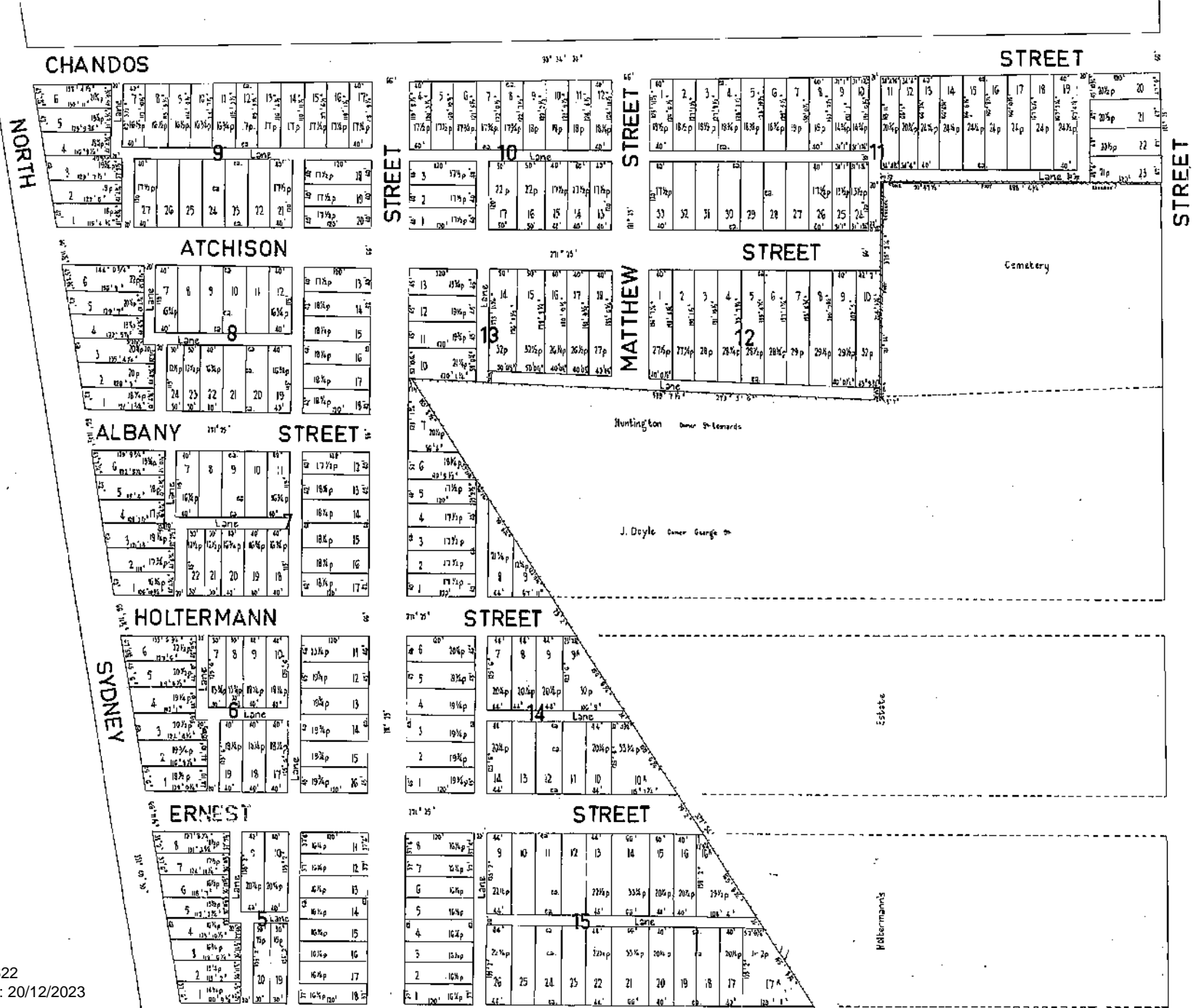
2

I, Bruce Richard Davies, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 22nd day of June, 1979



DP1265

DP 1265



1

I, Bruce Richard Davies, Registrar General for New South Wales, certify that this plan is a true and correct copy of the document in my custody, this 22nd day of June, 1925.

I, Bruce Richard Davies, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 22nd day of June, 1975.

1265

PLAN OF
BERRY'S ESTATE

COPY MADE 4/11/83 30.5.84
EXAMINED 4/11/83

at **S^T LEONARDS**

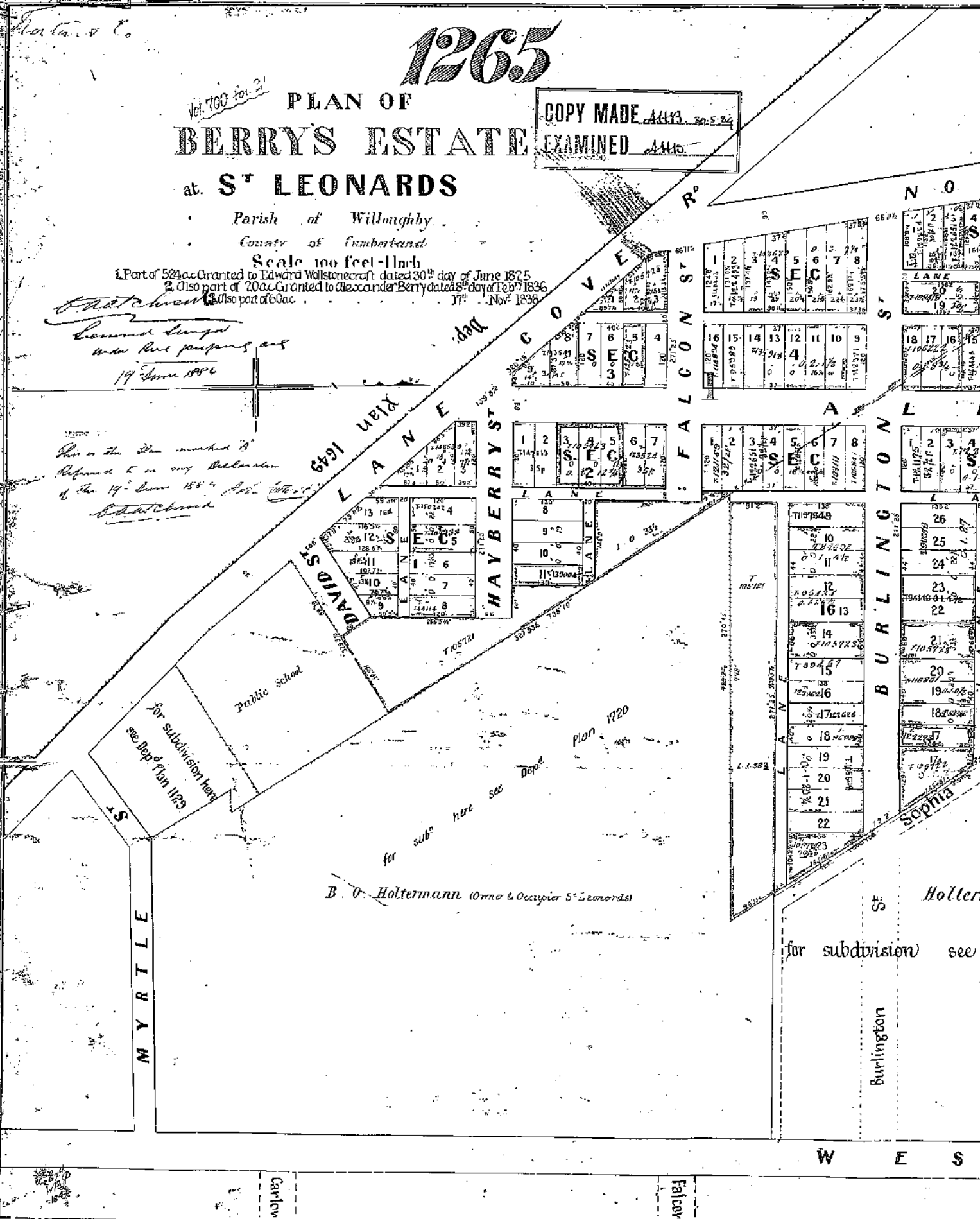
Parish of Willoughby
County of Cumberland

Scale 100 feet = 1 inch

1. Part of 524ac. Granted to Edward Wallstonecraft dated 30th day of June 1825
2. Also part of 200ac. Granted to Alexander Berry dated 8th day of Feb^r 1836
3. Also part of 60ac. JT^r Nov^r 1838

Handwritten:
This is the plan marked B
referred to in my Declaration
of the 14th June 1884
Edw. Chisholm

19 June 1884



B. O. Holtermann. (Owner & Occupier S^t Leonards)

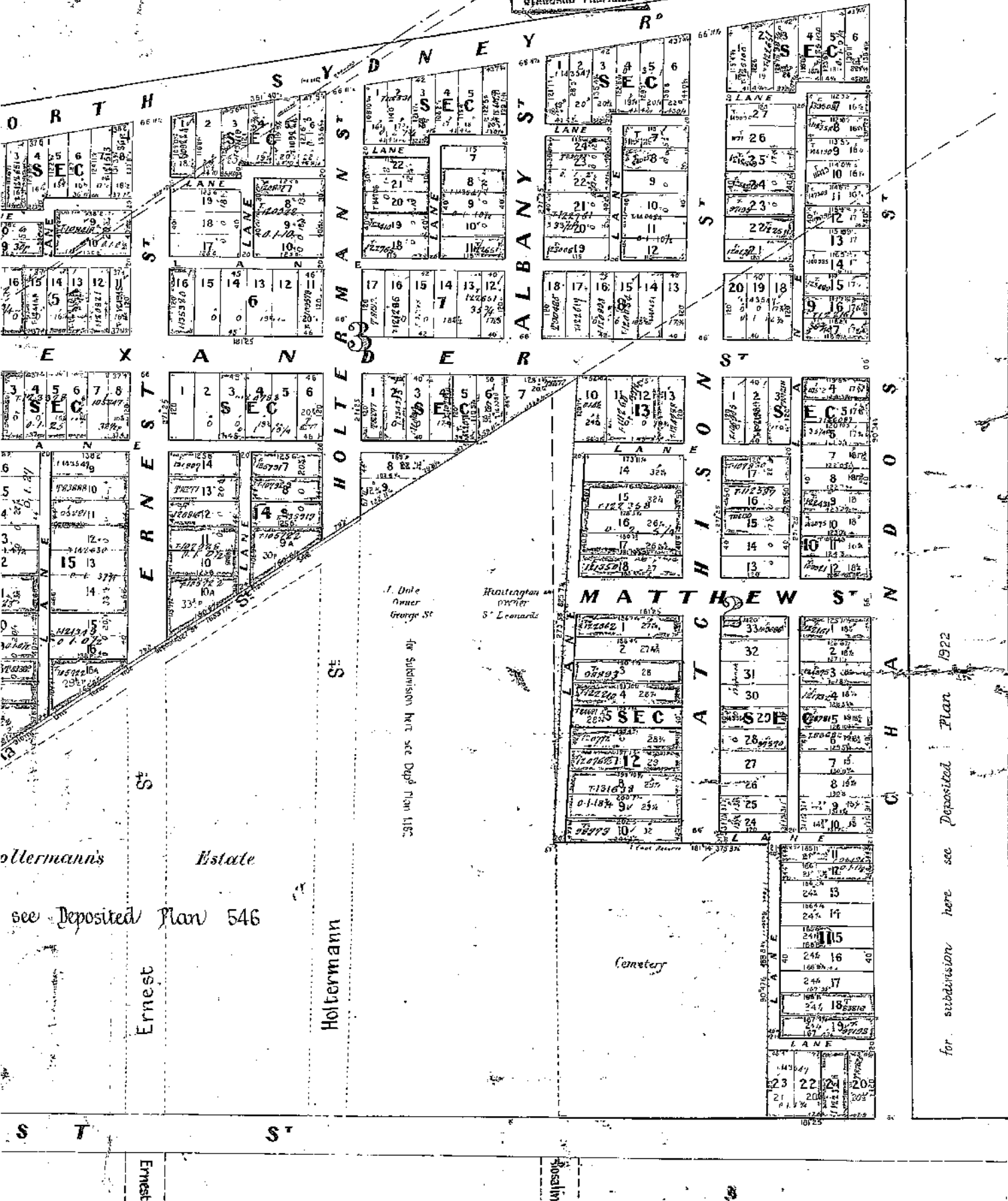
for subdivision see

5

1. Bruce Richard Boyles, Registrar General for New South Wales, certifies that this negative is a photograph made as a permanent record of a document in my custody this 22nd day of June, 1922

DP 1265

STANDARD PREPARED



Holtmann's Estate
 Ernest
 see Deposited Plan 546

J. Dole
 Owner
 George St
 for subdivision here see Depd Plan 1182

MATTHEW ST

for subdivision here see Deposited Plan 1922

Ernest St

Holtmann

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

Table with columns: DP 1265, FEET INCHES, METRES. Rows 1-52.

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

Table with columns: DP 1265 CONTINUED, FEET INCHES, METRES. Rows 53-122.

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

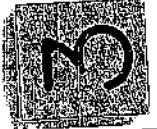
Table with columns: DP 1265 CONTINUED, FEET INCHES, METRES. Rows 122-178.

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

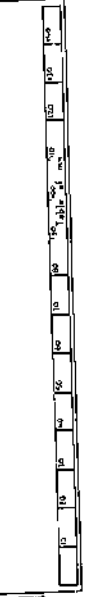
Table with columns: DP 1265 CONTINUED, FEET INCHES, METRES, AC RD P, SQ M. Rows 179-629.

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

Table with columns: DP 1265 CONTINUED, AC RD P, SQ M. Rows 26-2074.



I, Bruce Richard Davies, Registrar General for New South Wales, certify that this negative photograph was made as a permanent record of a document in my custody this 23rd day of June, 1939



CERTIFICATE OF TITLE.

Et 907

(C.)

New South Wales.

[Appⁿ. No. 3083 _____]
 [Reference to last Certificate _____]
 [Vol. 792 _____ Folio 207. _____]



REGISTER BOOK, **CANCELLED** W
 Vol. 2956 Folio 191 03

This Deed is cancelled and Certificate of Title issued.
 Vol. 15369 Fol. 50, dated 22.8.1985
 vide V814542



Henry Albert Johnson, of Hurlstone Park Tramway Employee, Transfers under Instrument of Transfer from Walter John Barber N^o A 473199 is now the proprietor of an Estate in fee simple subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of North Sydney, Parish of Willoughby, and County of Cumberland containing eleven perches or thereabouts as shown in the Plan hereon and therein edged red being part of Lot 17 of Section 10 in a Plan deposited in the Land Titles Office Sydney N^o 1265 and also shown in Plan annexed to Instrument of Transfer N^o A 473198 and being also part of Twenty acres (Portion 127 of Parish) delineated in the Public Map of the said Parish in the Department of Lands originally granted to Alexander Berry by Crown Grant dated the eighth day of February one thousand eight hundred and thirty six.

In witness whereof, I have hereunto signed my name and affixed my Seal, this thirtieth day of July one thousand nine hundred and nineteen

Signed the 30th day of July 1919,
 in the presence of L. McKay

R. A. Williams

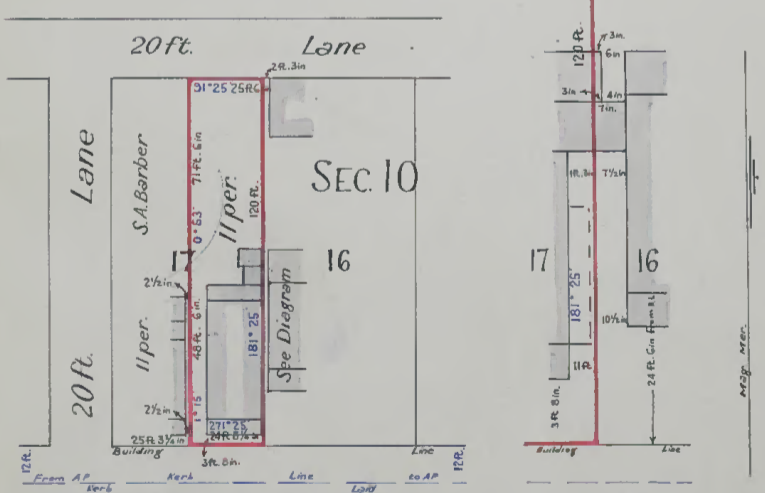


Deputy Registrar General.

NOTIFICATION REFERRED TO.

THE LAND WITHIN DESCRIBED IS NOW LOT 8 IN DP964617

DIAGRAM Not to Scale



SCALE: 50 ft. to one inch

No. B 212260 TRANSFER dated 16th April 1925
 from the said Henry Albert Johnson to George Thomas Johnson of Brook West (Contractor)
 Produced and entered 17th May 1925 of the land within described
 at 11.15 o'clock in the after noon.



R. A. Williams
 REGISTRAR GENERAL.

No. B 22560 MORTGAGE dated 20th May 1925
 from the said George Thomas Johnson
 to Bank of New South Wales
 Produced and entered 23rd May 1925
 at 3.45 o'clock in the forenoon.



R. A. Williams
 REGISTRAR GENERAL.

4473/99
Coth.
1925

No. C 514342 DISCHARGE of within mortgage
B 825602 dated 9th February 1937
Produced and entered 25th February 1937
at 11 o'clock in the fore noon.
Ray W. Mills
REGISTRAR GENERAL

No. C 514343 TRANSFER dated 11th February 1937
from the said George Thomas Johnson to Albert Edward
Blairance King of Cammeray NSW servant
of the Land within described
Produced and entered 25th February 1937
at 11 o'clock in the fore noon.
Ray W. Mills
REGISTRAR GENERAL

No. 228980 TRANSFER dated 10th January 1955
from the said Albert Edward Blairance King
to Charles Wilson Anderson and Vera
Josephine Anderson of North Sydney
contractors and Vera Josephine Anderson
his wife as joint tenants of the land within described
Produced and entered 19th January 1955
at 4.45 o'clock in the after noon.
J. H. Wells
REGISTRAR GENERAL

No. 228981 MORTGAGE dated 10th January 1955
from the said Charles Wilson Anderson and Vera
Josephine Anderson to Albert Edward
Blairance King of Woman Public Servant
Produced 19th January 1955 and entered 19th January 1955
at 4.45 o'clock in the after noon.
J. H. Wells
REGISTRAR GENERAL

No. G 713592 MORTGAGE dated 2nd May 1957
from the said Charles Wilson Anderson and
Vera Josephine Anderson to James
Fredrick Collins of Crows Nest Branch Manager
and Mary Eliza Collins his wife
Entered 17th May 1957
J. H. Wells
REGISTRAR GENERAL

Robert Mitchell of North Sydney
Licensed Accountant
now the registered proprietor of the land within described. See
Application under Section 14 Real Property (Amendment) Act,
1921 No. H328923
Entered 14th December 1959
Jawatson
REGISTRAR GENERAL

MORTGAGE No. G228981 has been discharged.
See H327722 Entered 14th December 1959
Jawatson
REGISTRAR GENERAL

V81541 mortgage to Westpac Savings Bank Limited
Registered 11-7-1985
V81542 mortgage to Australian Guarantee
Company Limited Registered 11-7-1985
this land in this transfer
and new Certificate issued
*for cancellation of
see front page
V65349

MORTGAGE No. G 713598 has been discharged.
See H327723 Entered 14th December 1959
Jawatson
REGISTRAR GENERAL

Alexander James Moore Bailey of NSW
Sydney David Straman
now the registered proprietor of the land within described.
See TRANSFER No. H327724 dated 7th October 1959
Entered 14th December 1959
Jawatson
REGISTRAR GENERAL

No. H330580 MORTGAGE dated 7th October 1959
from the said Alexander James Moore Bailey
to N.S.W. Co-operative Permanent Building
Investment Society Limited
Entered 14th December 1959
Jawatson
REGISTRAR GENERAL

MORTGAGE No. H330580 has been discharged.
See H779574 Entered 5th May 1961
Jawatson
REGISTRAR GENERAL

Director of War Service Homes
now the registered proprietor of the land within described
See TRANSFER No. H779575 dated 13th April 1961
Entered 5th May 1961
Jawatson
REGISTRAR GENERAL

Edna May Dwy of Crows Nest, Femme Gole is
now the registered proprietor of the land within
described
See Sec 14 Transfer No.
See { Application P321000
Transfer No P539960 dated 15th September 1975
Transmission No P539961 dated 30th September 1975
Registered 6th January 1976
Jawatson
Registrar General

REGISTERED PROPRIETOR PUBLIC TRUSTEE BY TRANSMISSION
V653449 REGISTERED 2-4-1985
Jawatson
REGISTRAR GENERAL

REGISTERED PROPRIETOR: Stephen Greedy Lumley in 1/2
share and Beatrix Robert Taylor and Jackson Kay Taylor
in 1/2 share as tenants in common Registered
11-7-1985
42 NC

A473198

FP964617

Plan Form No 6 (for transfers, leases, etc).

Municipality of North Sydney
Shire of

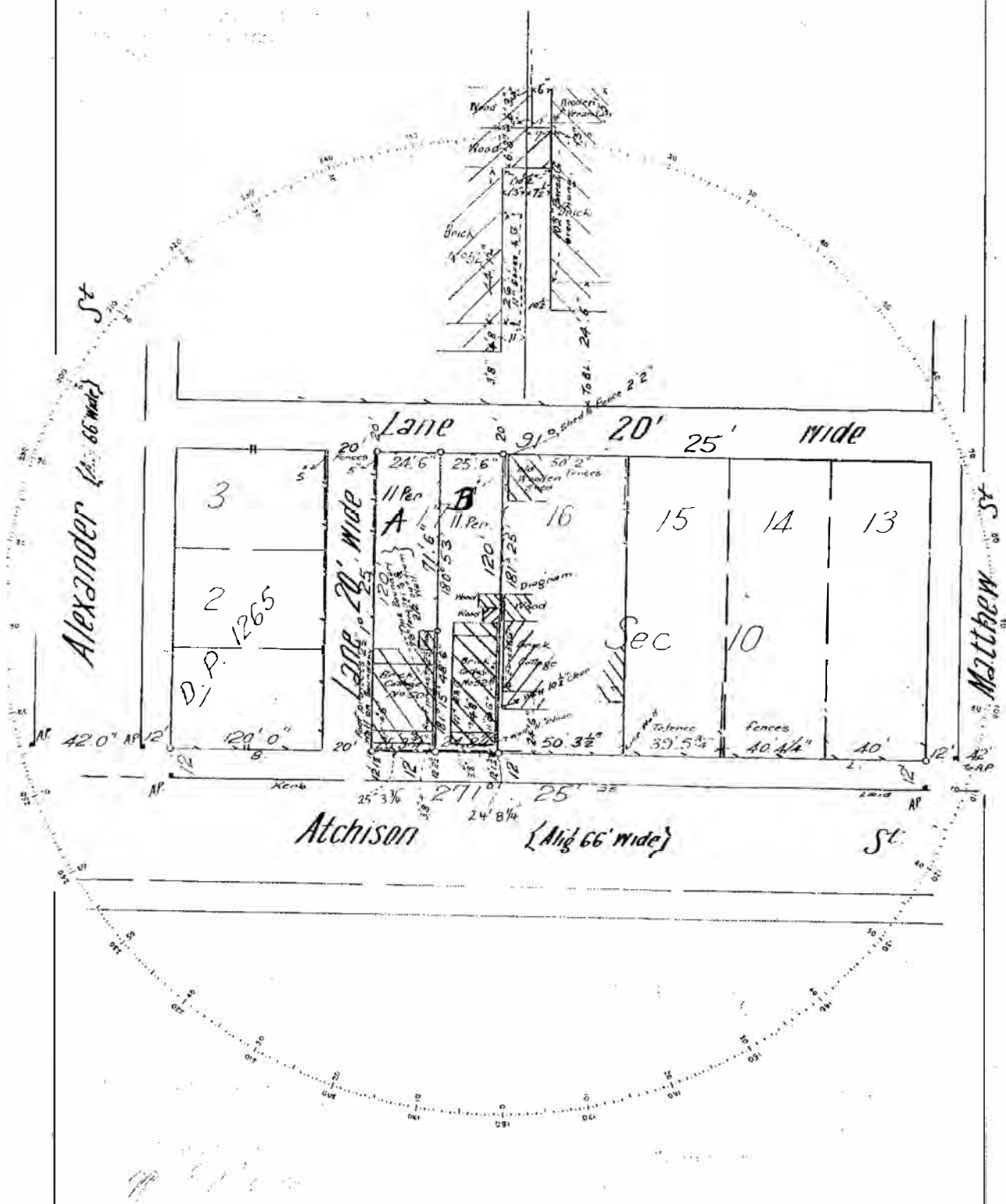
PLAN

of parts of Land in C.T. Vol 792, Fol 207
Parish of Willoughby County of Cumberland

Scale 50 feet to an Inch

(E)

Signatures of parties to be added in this margin



BR 52 B P 36

I William Arthur Chadwick of Sydney
Licensed Surveyor, specially Licensed under the Real Property Act, do hereby solemnly
and sincerely declare that the boundaries and measurements shown in this plan are
correct for the purposes of the said Act, and that the survey of the land to which
this plan relates has been made under my immediate supervision and I make
this solemn declaration conscientiously believing the same to be true, and by virtue
of the provisions of the Oaths Act, 1900.

Subscribed and declared before me at
this 7th day of May A.D. 1919

William A Chadwick
Licensed Surveyor

General West J.P.

Datum line of Azimuth N.B.

Date of Survey May 1919.

This is the plan marked " " referred to in
Dated



NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

17/10/2023 9:41AM

FOLIO: B/964617

First Title(s): SEE PRIOR TITLE(S)
 Prior Title(s): VOL 15369 FOL 50

<u>Recorded</u>	<u>Number</u>	<u>Type of Instrument</u>	<u>C.T. Issue</u>
29/7/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
28/9/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
30/6/1994	U396288	DISCHARGE OF MORTGAGE	
30/6/1994	U396289	MORTGAGE	EDITION 1
28/5/1999	5860797	DISCHARGE OF MORTGAGE	
28/5/1999	5860798	TRANSFER	
28/5/1999	5860799	MORTGAGE	EDITION 2
3/3/2004	AA465419	DISCHARGE OF MORTGAGE	
3/3/2004	AA465420	TRANSFER	EDITION 3
24/11/2022	AS659716	TRANSFER	EDITION 4

*** END OF SEARCH ***

archnex

PRINTED ON 17/10/2023

Quarry road Lane Cove road to common Phillips Robert E., fruit grower Kertham Edward, fruit grower Billington Arthur Berns Edwin	Trevitt's road Lane Cove road to common Dorchester James, fruit grower Dunroos William, Jersey Vale Stephenson Nathaniel, fruit grower Turner Henry, fruit grower	Victoria grove Off Regent street Allen Mrs., 'Diana'	Watt's lane North to Bridge road Vickers William W., fruit grower Judd John, fruit grower Lumpley John, fruit grower Lovell Henry, fruit grower Daley George, fruit grower
St. Ann's street Little Church to Glad street Thompson William, dairy keeper Kells James Adams George, wheelwright Adams William, blacksmith	Gunge Otto Northumberland Goulding Henry Daley Mrs.	Wick's road Hicks John, fruit grower Hicks James, junior, (B.C.) Hicks William, fruit grower Taylor James, fruit grower	Wick's road North to Cor road Hicks John, fruit grower Hicks James, junior, (B.C.) Hicks William, fruit grower Sunday Arthur
Terry's road North to Lane Cove road Jopp Henry, fruit grower Thougliey Alice Deer James, fruit grower	Twinn road Lane Cove road to common Kohler William, fruit grower Hend Henry, fruit grower Billington Robert, farmer Hicks James, junior, (B.C.) Hicks William, fruit grower Taylor James, fruit grower	William street St. Ann to Perce street Harling Joseph Sims Henry O'Toole Michael, contractor Wicks Mrs. A., storekeeper	

ST. LEONARDS.

Bound on north by part of the municipality of North Willoughby, divided by a creek running into Long Bay, commencing above Grandos street; thence by Middle harbour; thence by Bradley's land and Mossman's bay; thence in a line west from Mossman's bay, through Terry's road, and finishing at the north-east corner of Alfred and Margaret streets; thence along Alfred street on western side to Berry street; thence along Berry street on northern side to Walker street; thence Walker street on western side to Mount street; thence by Mount street to Edward street; thence by Edward street to Kelly street and Bank street; from Bank street following creek to head of Bluff bay; thence from Bluff bay to Berry's bay; thence from Sugar Works bay to Chantros street.

Council meets first and third Tuesdays in each month at 7.30 p.m.
Council meets first and third Tuesdays in each month at 7.30 p.m.
Council chamber—West street, St. Leonards.

- MAYOR—**
J. Hoogen
William Massey
- ALDERMEN—**
Andrew Armstrong, J.P.
John Armstrong
Allen Douglas Bell
A. Eaton
F. Punah
O. Conroy
- COUNCIL CLERK—**
W. Barnett Smith
- REGISTRAR OF BIRTHS, DEATHS AND MARRIAGES—**
J. W. Giles, Miller street, St. Leonards
- INSPECTOR OF NUISANCES—**
G. E. Dine

Albany street Of North Sydney road Alexander street—North side Lane Cove road to Chantros street Spencer street— Parsons Griffith, 'Nethercliffe' Tucker William Nash George Korral William, painter South side Inner Joseph, 'Marlow cottage' Moore Edward, bricklayer Mackenzie John, marine surgeon Barrington street—Drum street—Hickson Goodmore Thomas, painter Aitchison street Coonan John Lipsonable Richard, builder Orland Charles, engraver Albany street—Aitchison street—Chantros street	Albert street—East side Berrett to Berry street Anderson James, 'Oakdale' Duchman James, schoolmaster Solomon Lewis, 'Irene kerross' Hopkins William O., 'Irene' Purks H. E., 'Granley' Kenshall John, draughtman, 'Conland college' Barnes William J., agent, 'Rathwyro' Williams Mrs. Emily, 'Lathmona' Milson David, draughtman Armstrong John, 'Courtman' Ernest street Thompson William F., 'Collingbourne' Massey Joseph, professor of music Arthur Frederick, fuel merchant Falcon street—Ridge street—St. Leonard's Eaton Mrs. Mary, 'Glenrock' Eaton George, builder, 'Glenrock'	West side Thompson William F., 'Collingbourne' Massey Joseph, professor of music Arthur Frederick, fuel merchant Falcon street—Ridge street—St. Leonard's Eaton Mrs. Mary, 'Glenrock' Eaton George, builder, 'Glenrock'	West side Thompson William F., 'Collingbourne' Massey Joseph, professor of music Arthur Frederick, fuel merchant Falcon street—Ridge street—St. Leonard's Eaton Mrs. Mary, 'Glenrock' Eaton George, builder, 'Glenrock'
--	--	--	--

Huntington Mrs. Off Ambrose, farmer Wright Mrs.	Avenue road Military road to Aloysian's bay Wicks E. Wain E. Brown Summers, accountant Covles Charles, 'Mysagh' Pier Thomas, contractor Creswick Charles R.	Bank street Off Kelly street Scott Peter Dow David Knox Alexander, bricklayer Hardy John W., painter Smith William, clerk Montgomery William, builder (For remainder see Victoria)	Bay road—North side Lane Cove road to Berry's bay Clarka Nordant W. S., 'Branthwaite' Bolton James	South side Donovan Joseph Barney George H., chief inspector of discharges, 'Toongahula' Old Mrs., 'Waverley' Tornado shop—William Proctor, caretaker	Bay street Bay road to Avenue bay Bayview street Mossman's bay Bladen Thomas Gerard Francis Warren John, watchman, 'Yandye lodge' Bodman Mrs., 'The Nest' School of arts Sunney school hall	Boltravo street Ben Boyd to Hesters road Ball George, carpenter	Boltravo street Residential street to Ernest street Willet Charles, bricklayer Howarth Frank	Bon Boyd road Boundary to Long bay Chantros Charles, clerk Sutherland street Grathead Stephen, painter Kilmer Joseph, clerk Kilmer Joseph, 'Ice street' Ernest George, carrier Ash Mrs. G. North, M.A., (O.E.) Muscandy William, grocer Mendenhall F. S., 'Yarrumulle' Mendenhall street	Bay street Hornby street Moore Thomas Webster S. L., house and land agent Carter Thomas, rancher of dravwing Fry Walter H. Beattie Mrs. J.	Joe street Public school—Thomas Stafford, bond manager Dahlwin Thomas, surgeon Davis Alexander Jackson Robert, stonemason Reynolds Thomas, quarryman Sonderly
--	---	---	--	---	---	--	--	--	---	--

Bent street Off Falcon street Beal — O'Hara James, bootmaker Cunhingham Samuel, tailor Hall George, 'Whitby villa' Foll John E. W., 'Yalta' Morgan George D., builder Earl Alfred, carpenter Bassham C. W., painter Joe William Robinson Robert, engineer Aired street	Berry street—North side Aired to Edward street Langley V. E., joiner, 'The Pines' Harriell Thomas W., 'Nangan' Whitledge John, 'Drahead' Wolfer street Moore James B., 'Geunema' Dun Mrs. Maria, 'Merryoola' North Mrs. Jessie, 'Telamb' Hered street	North side Katon Andrew, builder Leather Thomas A., watchman Katon Thomas, contractors and builders Yates Mrs. G., 'Mintress' Sweeney John, timber merchant Lane Cove road—Edward street Mills Mrs. V. Wheeler William G. Byree John, constable Almy Charles Belton William, E. M. G., 'Porencovillo' Gowin James, plumber Mayer street—Lane Cove road Parker E. Buckingham Vincent, stonemason Hill Thomas, blacksmith Hughes Mrs. Maria Mooney Francis Calton John, baker	Miller street Moore William F., solicitor, 'Woolblane' Taylor George, parcel delivery Scott Joseph H., grocer Selle Philip S., vanholder Egner Anne, boarding house keeper Mann Edward Walker street—Little Arthur street Haycock John, overseer of borough	Bond street Off Millary road Bradley's Head Bradley's Head for telephones—Dumbarter Dugald McIlachlan in charge Quarterly for cattle—S. Strachan, caretaker	Bradley's Head road Off Millary road Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa' Harnett Richard, 'Erean villa'	Brook street Off Chantros street Burlington street—North side Hered street to Lane Cove road Tuckwell William
---	---	---	--	---	--	--

Erch O. F., joiner Tomman Robert T. Lloyd Kate Kathmann T. Dutton William, carpenter Maitson Andrew, carpenter Duncan James, painter Eaton David H., assistant Gregory William, painter Parker — McComisky Mrs. H. Alexander street Tunks Arthur F., clerk Lane Cove road	South side Lane Cove road Killing G., draper, 'Arley cottage' Stephenson A. W., 'Inbury cottage' Erns Robert, 'Cobley cottage' Dergin —, 'Dudley cottage' Thomson George, neocumant Young Mrs. W. McCarthy Mrs. P. Nichols Nathaniel Lewis John W., carpenter Watts John, carpenter Lynch Joseph, builder Smith Shley	Accountant Ray James A., accountant Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U. Hobbs John U.	Carroll street—South side Off Alfred street Orcell Thomas, 'Yemango' Huddle William, carpenter North side Hagan Michael, merchant, 'Pittfield' Sayer W. Dalrymple, 'Berkala'	Carlton street Miller to West street Dyer Augustine E., photographer North Shore Grammar school—E. W. Preston Henry Baxter George Hannibal John, typographer, 'Bilster college' Wallace William, stonemason Cramber Kings, gardener Gate Lane T.	Gart street Hered street to Crow's nest Greenham Thomas, stonemason Gunnis Frank, miller Brickley William, carpenter Hackett Michael Murray James, stonemason	Chantros street Falcon street to West street Reid Mrs. Wernold James W. Wernold, fashion
---	---	---	---	--	--	---

FRY'S COCOA is the best.

FRY'S COCOA is the best.

884	Aib	ST. LEONARDS.	Ban
	William street <i>St. Ann to Parkes street</i> Wloks Mrs. A., storekeeper Dunn George, farmer Walters Joseph, blacksmith	Redshaw John, clerk Salvation Army barracks Jupp William Huxley R.	Winburn street <i>Off Flaxstaff road</i> Jobson Edwin, teacher Public school Wills Wm jun. Mondal Jacob, fruitgrower

ST. LEONARDS.

Gazetted a Municipality in 1867.

Bounded on north by part of the municipality of North Willoughby, divided by a creek running into Long bay, commencing above Chandos street; thence by Middle harbour; thence by Bradley's head and Mossman's bay; thence in a line west from Mossman's bay, through Thrupp's grant to Neutral bay, and finishing at the north-east corner of Alfred and McLaren streets; thence along Alfred street on western side to Berry street; thence along Berry street on northern side to Walker street; thence Walker street on western side to Mount street; thence by Mount street to Edward street; thence by Edward street to Reilly street and Bank street; from Bank street following creek to head of Blue's bay; thence from Blue's bay to Berry's bay; thence from Sugar Works bay to Berry's property to Chandos street.

Council meets first and third Tuesdays in each month at 7.30 p.m.

Office hours—Daily, from 11 a.m. to 3 p.m., and on Mondays, 7 p.m. to 9 p.m.; Saturday, from 11 a.m. to 1 p.m.

Council chambers—Miller street, St. Leonards.

MAYOR—

B. Jenkins

ALDERMEN—

G. Cowles
G. T. Clarke
Allan D. Bell
A. Eaton
J. Hogan
F. Punch
G. Phillips

H. A. Stephenson
J. Hagan

COUNCIL CLERK—

W. Barnett Smith
REGISTRAR OF BIRTHS, DEATHS AND MARRIAGES—
J. W. Guiso, Miller street, St. Leonards

INSPECTOR OF NUISANCES—

G. E. Blue
BOROUGH ENGINEER—
Ganis Clarke

Albany street <i>Off North Sydney road</i> Alexander street—North side <i>Lane Cove road to Chandos street</i> Snowdon terrace— Parsonage Griffith, "Nethercliff" Eastwood Frederick Stewart Andrew Kale Richard Johnson Henry Farrier Mrs.	Marshall John, draftsman, "Conland cottage" Barnett William J., agent, "Rathwyre" Nilson Avid, draftsman <i>Falcon street</i> Armstrong John, "Corrimal" <i>Ernest street</i> Lenahan H. A., "Fernbrook" West side Thompson William F., "Collingbourne" Massey Joseph, professor of music Arthur Fredorick, fuel merchant <i>Falcon street—Ridge street—St. Leonards park</i> Eaton Mrs. Mary, "Glenrock" Eaton George, builder, "Glenrock" Fell Mrs. Ellen, "Braxholm brne" Manning W. A., solicitor, "Denison house" Musgrave Joseph, "Delomine" Molineaux Boulton	Arnot street <i>Off Carlou road</i> Hansen F. Massey Alfred Gato I. T. Atohison street <i>Off North Sydney road</i> Whittaker Josiah Barber Charles McIntyre Joseph Huntington Mrs. Worden Ambrose, farmer Wright Mrs. Donnelly Edward Macaulay C. W. Byrne P. J.
Bauer Joseph, "Marlow cottage" Coleman Denis Maokenzie John, marine surveyor <i>Durkington street</i> Jones William <i>Ernest street—Holtzman street</i> Howard John Mathews J. Hunt Charles Bennett David W. Montgomery H. Gooders Thomas, painter <i>Aitchison street</i> Oonan John Lipcombe Richard, builder <i>Albany street—Aitchison street—Chandos street</i> Alfred street—East side <i>Ernest to Berry street</i> Anderson James, "Oakdale" Buchanan James, schoolmaster Solomons Lewis, "Irene terrace" Hayman H. H., "Wyula" Hopkins William O., "Irene" <i>Carlou street</i> Parkis H. H., "Oranley"	Parsons Thomas H., builder and contractor Ross Alexander, clerk Phillipi H. W. Yates John C., plasterer Alma street <i>Off Military road</i> Amhorst street—West side <i>West to Bellevue street</i> Parsons Thomas H., builder and contractor Ross Alexander, clerk Phillipi H. W. Yates John C., plasterer East side Omphell E. W., merchant, "Lanka cottage" Abbott J. P., M.L.A., solicitor, "Tarolla" Wiseman Fredorick, carpenter Heron William, clerk Sleeman Oliver, farmer	Avenue road <i>Military road to Mossman's bay</i> Wain E., dairyman Kettley W., dairyman Brown Sommers, accountant Wilcox O., refreshment rooms Sawyer George Flew Thomas, contractor Creswick Charles R. Church of England Bank street <i>Off Reilly street</i> Scott Peter Dow David Hardy John W., painter Smith William, clerk Montgomery William, builder <i>(For remainder see Victoria)</i>

Bay	ST. LEONARDS.	Chu	885
Bay road—North side <i>Lane Cove road to Berry's bay</i> Clarke Mordaunt W. S., "Brathwaite" Bolton James South side Donovan Joseph <i>Edward street</i> Barnoy George H., chief inspector of distilleries, "Toongahra" Old Mrs., "Waverton" <i>Carr street</i> Bay street <i>Bay road to Keroseine bay</i> Bayview street <i>Mossman's bay</i> Bladon Thomas Gerrard Francis Warren John, warehouseman, "Vandyke lodge" Badham Mrs., "The Nest" School of Arts Sunday school hall Belgrave street <i>Ben Boyd to Walters road</i> Hall George, carpenter Belmont road <i>Off Military road</i> Cowies Charles, "Myahgah" Bellevue street <i>Rosalind street to Ernest street</i> Willett Charles, bricklayer Howarth Frank Ben Boyd road <i>Boundary to Long bay</i> Oatfield Charles, clerk <i>Sutherland street</i> Greathhead Stephen, painter McDermott Joseph, clerk <i>Military road—Yeo street</i> Kremer George, cutter Macaulay William, grocer McDermott F. S., "Yarrumamle" <i>Belgrave street</i> Moore Thomas Cavie Thomas, teacher of drawing Rover Lewis Waterleigh skating rink Beattie Mrs. J. <i>Yeo street</i> Pablo school—Thomas Stafford, headmaster Haldwin Pearce, surgeon Davis Alexander <i>Boundary</i> Bont street <i>Alfred to Falcon street</i> Heal William O'Hara James, bootmaker Cunningham Samuel, tailor Hall George, "Whitby villa" Fell John F. W., "Yattn" Morgan George B., builder Ward Alfred, carpenter Job William Robinson Robert, engineer Shaw James, "Yatala" <i>Alfred street</i> Berry street—North side <i>Alfred to Edward street</i> Henderson W. B., "The Pines" Wildridge John, engineer and marine surveyor, "Bracehead" <i>Walker street</i> Moore James B., "Goneculla" Y	Bray Mrs. Maria, "Merryooka" Norrie Mrs. Jessie, "Telarrah" <i>Ward street</i> Eaton Andrew, builder Eaton Brothers, contractors and builders Yates Mrs. C., laundress <i>Miller street</i> Stevens John, timber merchant <i>Lane Cove road—Edward street</i> South side Howard Mrs. V. Wheeler William G. Wyatt James, clerk Almey Charles Hope Mrs., "Florenceville" Goodwin James, plumber <i>Napier street—Lane Cove road</i> Anderson John Hill Thomas, blacksmith Mills Mrs. Hughes Mrs. Maria Mooney Francis Crocker and Welch, bakers <i>Miller street</i> Moore William P., solicitor, "Woodbine" Taylor George, parcel delivery Sofie Phillip S., valuator, "Eddystone" Hirsch Gustav Munn Edward Treatt F. B. <i>Walker street—Little Arthur street</i> Perry John Williams Thomas, solicitor Haylock John, overseer of borough Bond street <i>Off Military road</i> Bradley's Head Bradley's Head fortifications—Bombadier Dugald McLachlan in charge Quarantine for cattle—J. Strachan, caretaker Bradley's Head road <i>Off Military road</i> Harnett Richard, "Buena vista" Harnett Richard, jun., "Buena vista" Muston Arthur, "Bokesley" Sayers E. M., merchant, "Klamatta" Noble James, stonemason Athol gardens—Henry Whitman, caretaker Brook street <i>Off Chandos street</i> Burlington street—North side <i>West street to Lane Cove road</i> Nuss George Blandford William Erich O. F., joiner Skewes William Webster Thomas Bartlett J. Luby Mrs. Kate Kinnmount T. Potter Mrs. E. Johnson J. Scott P. Matheson Andrew, carpenter Duncan James, painter Eason David H., assistant <i>Alexander street</i> Tunks Arthur F., clerk <i>Lane Cove road</i> South side <i>Lane Cove road</i> Kitching O., draper, "Armley cottage" Audley Joseph, "Burley cottage" Evans Richard, "Calverley cottage" Montgomery Robert, "Dudley cottage"	<i>Alexander street</i> Rock Thomas H. Nicholls Nathaniel Lewis John W., carpenter Watt John, carpenter Haukins William Stuart Henry Smith Sydney, "Hendlingly cottage" Counolly Edward J. Roberts John U. Hutchison Rev. Henry A., (O.E.) "Limloley cottage" Sutton John H. Lewis Henry Burko James W., carpenter Skewes Richard, grocer Taylor Charles, carpenter Taylor and Ingram builders <i>West street</i> Cammaray Park reserve Blue George E., inspector of nuisances and park ranger Canrobort street (Mossman's bay) Carlou street—South side <i>Off Alfred street</i> Overall Thomas, "Worango" Hiddle William, carpenter North side Hogan Mohael, merchant, "Frithflet" Sayers W. Raleigh, "Eurokn" Carlou street <i>Miller to West street</i> Dyer Augustine E., photographer North Shore Grammar school—K. W. Austin, principal Bromley Andrew Baxter George Hamilton John, upholterer, "Hillster cottage" Wallace William, stonemason Carr street <i>Berry's bay to Crow's nest</i> Crosshaw Thomas, stonemason Cannle Frank, snilmaker Brigdale William, carpenter Murray James, stonemason Chandos street <i>Flat rock road to West street</i> Barker John Read Mrs. Warmold James S. Ingram Henry, painter Webb Herbert Jago Richard Summers Samuel Henry Robinson George B. O'Hara William A. Low Alfred Gallagher William Charles street <i>Lane Cove road to Napier street</i> Stephenson Arthur O. Chowder bay <i>Thompson's Marine hotel—David Thompson</i> Church street—East side <i>McLaren to West street</i> St. Thomas (C.E.)—Rev. Stephen H. Childe B.A., vicar St. Thomas' (O.E.) school—James Buchanan, master	

ANTHONY HORDERN AND SONS, PALACE EMPORIUM, HAYMARKET (ONLY)—SYDNEY.

THE ONLY UNIVERSAL PROVIDERS.

460 Bal

Ball William, coachbuilder, Cook's River rd, St. Peters
Ball William, compositor, 184 Gloucester street
Ball William, miller, Camden st, Newtown
Ball William, teacher, 57 Curtis rd, Balmain
Ball William, 22 Rose st, Darlington
Ball William, Garden st, Kogarah
Ball William H., wharfinger, 102 Oatherlie st, Leichhardt
Ball William T., accountant, Donkivil st, Bondi
Ballam Joseph C., miller, Torry st, St. Peters
Ballam William, off Edgecliffe rd, Woolahra
Ballantine Alfred J., painter, Allan st, Marrickville
Ballantine Andrew, watchmaker, 135 Prince st
Ballantine Henry, com. traveller, 6 Phillip st, Glebe
Ballantine Henry, accountant, 44 Bogg st, Paddington
Ballantine James, 240 Palmer st
Ballantyne J. L., bank inspector "Brenda house," Walker st., St. Leonards east
Ballard Abraham, 70 Wellington st, Newtown
Ballard Alice Mrs., Palmer st, Parramatta
Ballard John, jeweller, 32 Botany rd, Alexandria
Ballard Thomas H., painter, 70 Pitt st, Waterloo
Ballard Timothy E., butcher, 68 Grock st, Glebe
Ballet B. Mrs., 12 Wyndham st, Alexandria
Ballhouse Henry, 223 Rose st, Darlington
Ballhausen Louis A., draftsman, Bayview st, Bexley
Ballhausen Otto W., draftsman, Church st, Ashfield
Ballin J. H., chemist, 164 Woolloomooloo street
Ballinall Mrs., 26 Crown st
Balls Charles G., "Claremont," Toothill st, Petersham
Balls Robert, tailor and clothier, 218 Castlereagh st
Ballmain Bowling club—Thomas H. Alt, president, 166 Darling st, Balmain
BALMAIN BUILDING SOCIETY & SAVINGS BANK Limited—H. Best, secretary, 271 Darling st, Balmain
Balmain Carbonated Beverages Co.—J. Swanzy, 27-29 Oxford st, Balmain
Balmain cemetery, Darbyshire rd, Leichhardt
Balmain Congregational church—Rev. A. J. Griffiths, Darling st, Balmain
Balmain Corporation baths—James Furgerson, lessee, Glassop st, Balmain
Balmain Cottage hospital—Mrs. Svenson, matron; John Clubb, hon. sec., 29 Booth st, Balmain
Balmain Council chambers—H. B. Macintosh, council clerk, Darling st, Balmain
Balmain Engineering Co.—Perdriau and West, Adolphus st, Balmain
Balmain Fuel Co.—George H. Perdriau, manager, Adolphus st, Balmain
Balmain Infant school—Miss Perry headmistress, Nicholson st, Balmain
BALMAIN LEADER Newspaper Co. Limited—52 Beattie st, Balmain
Balmain Masonic hall—551-553-600 Darling st, Balmain

ALPHABETICAL.

BALMAIN OBSERVER—W. E. Macdougall, proprietor, 277-275 Darling st, Balmain
Balmain Oddfellows' hall, 230 Darling st, Balmain
Balmain Police court Darling st, Balmain
Balmain Post and Telegraph office—Andrew Melville, post and telegraph master, Darling st, Balmain
Balmain Primitive Methodist church—Rev. William Kingdon, 586 Darling st, Balmain
Balmain Public school—John Waterman, headmaster, Nicholson st, Balmain
Balmain Superior Public school, corner Vincent lane and Elwin st, Balmain
Balmain Public school—Philip Neillgen, headmaster; Miss E. Arnold, headmistress, Smith st, Balmain
Balmain Public school—W. Teale, headmaster, 102-104, Birchgrove rd, Balmain
Balmain Public school—W. G. Thomas, headmaster, Darling st, Balmain
Balmain Rowing Club sheds, White st, Balmain
Balmain Salvation Army barracks, 145 Beattie st, Balmain
Balmain School of Arts—H. Perdriau, jun., secretary, 148 Darling st, Balmain
Balmain Skating Rink and Dramatic Hall Co. Limited—F. Molloy, manager, Darling st, Balmain
Balmain Steam Ferry Co., Ltd., foot of Erskine st, (Mort's dock, Ball rock and Leichhardt), Watervoy st, Balmain coal sheds, Mansfield st, Balmain—William S. Thomson, Sec.
Balmain Swimming baths, John Byrne, manager, Nicholson st, Balmain
Balmain Temperance hall—Smith caretaker, Montague st, Balmain
Balmain United Friendly Society's dispensary, 70 Beattie st, Balmain
Balmain Volunteer Fire Brigade station, No. 1, James Lowe captain, 1 Booth street
Balmain (west end), Volunteer Fire brigade, 684 Darling st, Balmain
Balmain Wesleyan church—Rev. G. W. R., Stephenson and Rev. S. Wright, ministers, Darling st, Balmain
Balmain Working Men's Institute, Alexander Lewis, sec., 384-6 Darling st, Balmain
Balmain J. H., council clerk for Strathfield, Homebush rd, Homebush
Balmain William, coalpainter, Pennant st, Parramatta
Balmer G. Mrs., grocer, Liberty street, Petersham
Balmer James M.D., builder and contractor, Sandringham rd, Rockdale
Balser Conrad, 16 Ryder st
Balshaw Harry, farmer, Helmore st, Ryde
Balson Charles, 30 Dowling st, Paddington
Balson J. H., tailor, 356 Pitt st
Baltic wharf, William Short, lessee, Wharf street
Baly Edward, Short st, Marrickville
Baly Henry P., Crystal st, Petersham
Baly S. Byron, stock and share broker, 103 Pitt st; p.r. "Doongalla," George st, Marrickville
Balzer William, Military rd, Bondi
Banber Richard, Barker st, Randwick
Banbrough Mathew, 88 Roschill st, Redfern
Banbury John, 158 Darling st, Balmain
Banute Louis, 83 Cary st, Leichhardt
Bandfeld Frederick, printer, Little Underwood st, Paddington
Banfield William, printer, Pile st, Marrickville

Ban

Banfield W., printer, 73 Clarence st
Banford Alfred, 41 Carlisle st, Leichhardt
Banford Charles, 9 William st, Redfern
Banford Frederick, Allan st, Marrickville
Banford George, bootfinisher, 68 Bullanaming st, Redfern
Banford George, "Elba," Westbourne st, Petersham
Banford John, boilermaker, 3 Roschill st, Redfern
Banford Mrs., Carlington st, Concord
Banford John, Judd st, Rockdale
Banpton Arthur H., gardener, 204 Riley street
Banpton Thomas, grocer, 100 Missenden rd, Camperdown
Banbury John, stonemason, 27 Helmore st
Banbury John H., bricklayer, James st, Leichhardt
Banbury Sidney G., 7 Barker's lane
Baneroff Edward, horsetrainer, Roe st, Randwick
Baneroff H. W. Mrs., stationer, 3 Woll st, Redfern
Baneroff John, hairdresser, 397 Crown st, Rockdale
Baneroff Samuel, printer, Cameron st, Rockdale
Bandergoten Edward J., gardener, 140 Walker st, Redfern
Bane —, Park rd
Banfield Janet, Marrickville rd, Marrickville
Banfield John, engineer, 31 Railway place
Banfield John F., commission agent, 17 Gibbon st, Camperdown
Banfield Joseph, skipwright, Pyrmont st
Banfield M. Mrs., Old Canterbury rd, Summer Hill
Banfield William, compositor, 30 Phillip st, Balmain
Bangel Frederick, hawker, Allen st, Leichhardt
Banister Joseph, master mariner, Murray street
Bank of Australasia — Amos Hollicar, manager; head office, 259 George st, corner Junction st; office of inspector, Jamieson st; branches at 557 George st; 142 Pitt st, corner King st; Forest rd, Hurstville; Rocky Point rd, Kogarah; Parramatta rd, Leichhardt; Marrickville rd, Marrickville; Australia st and King st north, Newtown; Crystal st, Petersham; Cook's River rd, St. Peters
BANK OF NEW SOUTH WALES — George Miller, general manager, 346 George st and Wynyard st. Branches at 431 George st; 665 George st; 821 George st; 160r Sussex st; 111 William st; 234 Darling st, Balmain; Weston st, Balmain; Burwood rd, Burwood; 188 King st north, Newtown; Church st, Parramatta; Church and Glebe sts, Ryde; Miller st, Victoria; Carrington rd, Waverley — (See advts.)
BANK OF NEW ZEALAND.—N. F. Giblin, manager, 82 Pitt st, Branch, 538 George st.—(See advertisement opposite preface and at the end of book)
BANK OF NORTH QUEENSLAND, Limited.—A. J. Patterson, manager. Temporary offices, 80 Pitt st, (new premises in course of erection, Queensland Chambers, Bridge st.—(See advt.)
Bank J. B., piano tuner and repairer, 139 Phillip st

Ban

Bankruptcy court—His Honor George H. Delfell, chief judge in bankruptcy; Arthur Henry, registrar; Henry J. Grayville, chief clerk, Macquarie st
Banks Meadow Public school—W. Kellok, headmaster, Stephen rd, Botany
Banks Charles J., builder Orpington st, Ashfield
Banks Edward, schoolmaster, Outley rd, Paddington
Banks Frederick A., painter, 104 Glebe rd, Glebe
Banks George, 70 Elizabeth st, Waterloo
Banks George, Herbert st, Summer Hill
Banks Isaac, contractor, 61 Hanover st, Waterloo
Banks James M., marine surveyor, 40 Pitt st; p.r. 5 Clifton st, Balmain
Banks James, master mariner, Fraser rd, Petersham
Banks John, Edgeware rd, Newtown
Banks John S., "The Oaks," Metropolitan rd, Newtown
Banks Joseph, 72 Kingscote rd, Alexandria
Banks M. A. Mrs., confectioner, 181 King st north, Newtown
Banks Miss, principal Riley at Public school, Riley and Collins sts, Surry Hills
Banks Mrs. 18 O'Connell st, Newtown
Banks R. A., 18 Campbell st, Glebe
Banks Richard, boat proprietor, 129 New South Head rd, Paddington
Banks Richard, mariner, 4 Elger st, Glebe
Banks Robert H., 81 Bayswater rd
Banks Silas A. H., miller, 60 Foster st
Banks Smith H., collector, 18 Barrack st
Banks Thomas, pianoforte tuner, 4 Wallace st, Balmain
Banks Walter, baker, 155 Rose st, Darlington
Banks William, Kogarah rd, Kogarah
Banks William, Robert st, Ashfield
Banks William D., treasurer, Builders' Exchange, 206 Pitt st; p. r., 1-3 Derwent st, Forest Lodge
Banks William J., draftsman, 11 Bridge st
Banks William J., butcher, Church st, Parramatta
Bannan Joseph, 9 Ann st
Bannatyn Mrs., 35 Bellevue st
Banner Ernest, waggon maker, Jesson st, Alexandria
Banner Mrs., 2 Terry's place
Banner S. A. Miss, Mitchell rd, Alexandria
Banner Samuel, "Bounyrigg," Yule st, Petersham
Banner William, Fairmount st, Petersham
Bannerman George, Albert st, Macdonald Town
Bannerman William, 14 Little Upton st
Bannerman William, 25 Elizabeth st, Redfern
Bannin J. Mrs., 62 Roschill st, Redfern
Bannin Peter "Clifton," Point Piper rd, Woolahra
Banning Arthur, 2 Young st
Banning John, 9 Nobbs st
Banning L. Miss, costumier, 722 George st
Banuister E. Mrs., 17 Irving st
Banuister James, D'Aray st, Granville
Banuister R. D., 6 Victoria st
Banuister Thomas, cab proprietor, 27 Rose street
Banuister William, auctioneer, Dowling st
Bannon James, tailor, Little Underwood st, Paddington
Banta M. Mrs., 11 Talford st, glebe
Banyard Charles, Phillip st, Parramatta
Baoan Phinau, master mariner, 10 Miller street
Baptist burial ground, Western rd, Prospect

ALPHABETICAL.

Baptist J. Mrs., 38 Goodhope st, Paddington
Baptist John T., Baptist st, Redfern
Baptist Patrick, Spring st, St. Leonards
Baptiste J., hairdresser, 465 King st, South Newtown
Baragry Dennis, baker, 100 Cumberland st, Ashfield
Barbat Felix, Hansard st, Waterloo
Barber R. and Co., Croydon boot mart, Edwin st, Ashfield
Barber Alfred, decorator, Brown st, Newtown
Barber Charles, 3 Railway place
Barber Charles, Atchison st, St. Leonards
Barber Edward, Oak st, St. Leonards
Barber Edwin, hatter, 10 Wise st, Balmain
Barber F. Mrs., Wentworth st, Parramatta
Barber Francis L., "Meaford," Gower st, Summer Hill
Barber Frederick, storekeeper, Sydney rd, Granville
Barber George, bootmaker, 53 Mary st
Barber George, 174 Darlinghurst rd
Barber George, Talford lane, Glebe
Barber J. S., painter, Parramatta rd, Concord
Barber John, carpenter, Elsie st, Burwood
Barber John, greengrocer, 77 Abercrombie place
Barber John storekeeper, 137 Crown st
Barber John, Thomas st, Victoria
Barber John T., cordialmaker 89 Pitt st, Redfern
Barber Richard, Madeline st, Hunter's Hill
Barber Silas, gardener, Liverpool rd, Strathfield
Barber Thomas, George st, Parramatta
Barber Thomas H., auctioneer, Pennant st, Parramatta
Barber Walter, William st, Victoria
Barber William, mason, King st, North Newtown
Barber William, Chapel st, Marrickville
Barber William, Kingsland rd, Rookwood
Barber William J., saddler, Sydney rd, Prospect
Barber Daniel, butcher, Crescent st, Balmain
Harbour Robert, M.L.A., "Abbotsford," Victoria st, Ashfield
Barclam Benjamin, storekeeper, 6 Phillip st, Alexandria
Barcliff Peter, grocer, 19 Waterloo st
BARCLAY A. H., land & mining agent and stock and sharebroker, Post Office chambers, 114 Pitt st; p.r. "Tranby," Mansfield st, Glebe Point
Barclay Henry, manager Paving Co., 130 Pitt st
Barclay John, 147 Bonrke st
Barclay John, Parramatta rd, Rookwood
Barclay Robert, Wharf rd, Concord
Barclay Sarah Ann, 12 Laabert st, Camperdown
Barclay W. J., dairy keeper, 20 Ircdale st, Newtown
Barclay William, 2 The Avenue, Camperdown
Barclay William, Grafton st, Woolahra
Barden Alfred, woolbroker, Norwich chambers, 60 Lumber st; p.r., Arcadia st, Hurstville
Barden Charles, butcher, Campbell st, Tempo
Barden Charles, produce merchant, Enmore rd and Marian st, Newtown
Barden H., Highbury Barn hotel, Forest rd, Rookdale
Barden Frederick, Queen st, Rockdale
Barden J. T., butcher, Cook's River rd, St. Peters

Bar 461

Barden Jessie, 2 Parkes st, Camperdown
Barden Margaret, Cook's River road, St. Peters
Barden Spencer, son, Cottage of Content hotel, Cook's River rd, St. Peters
Barden Spencer jun., produce merchant, Cook's River road, St. Peters
Barden Wright, dairyman, Middle Harbour rd, Manly
Bardhurst P. H., manager bank of Australasia, (branch) Marrickville road, Marrickville
Bardon James & Sons, bootmakers, Avoca st, Randwick
Bardon Frederick, Wollongong rd, Rockdale
Bardon J. Miss, dressmaker, 17 Church st, Balmain
Bardon James, bootmaker, Lingard st, Randwick
BARDON THOMAS, sen., Jane st, Randwick
BARDSELY JOHN AND CO., wholesale grocers, 93 Bathurst st
Bardseley George, Prosper st, Balmain
Bardseley Isaac O., storekeeper, 62 Harris street
Bardseley James, public schoolmaster Regent st, Kogarah
Bardseley John, meter reader, Smith st, Summer Hill
Bardseley John, Cavendish st, Petersham
Bardseley Robert, Toogood st, Macdonaldtown
Bardseley William, schoolteacher, Pyrmont Bridge rd, Glebe
Bardwell William H., grocer, 41 Mary st
Bare William H., 21 Bourke st
Baret Henry, 8 Mill st
Barff Henry E. M.A., registrar Sydney University, Newtown rd, Camperdown; p.r., 6 Toxteth st, Glebe
Barff S. G., Devonshire st, Burwood
Barford D. Mrs., Sydonham rd, Marrickville
Barford Henry, Austral st, Rockdale
Barford James, dairykeeper, Rocky Point road, Rockdale
Bargary Dennis, 65 Wellington st, Waterloo
Bargh Thomas, stationer, Birrell st, Waverley
Barham Edward, Park avenue, Five Dock
Barham John S., 9 Grosve st, Glebe
Barling and Co., Loan and Discount Bank — A. N. Jansen, manager, 86 Elizabeth street
Bark Frederick, blacksmith, Glebe st, Ryde
Bark William, Toogood st, Macdonaldtown
Bark William, North rd, Ryde
Barkas and Asher, chemists, 384 Oxford st, Paddington, and Ocean st, Woolahra
Barkas W. J., surgeon, "Wardland," Elizabeth st, Paddington
Barkell Thomas, Old South Head rd, Woolahra
Barker and Elsworth, Victoria Livery stables, 23 Bligh st; Brougham st; and at Arthur st, Paddington
Barker —, carpenter, Spring st, Rockdale
Barker —, George st, Marrickville
Barker A. Mrs., "Harbour View," Cooper st, St. Leonards
Barker Alexander, 6 Alma st, Darlington
Barker B. Mrs., 411 Liverpool st
Barker Charles, brassmoulder, 14 Norman street
Barker C. E., tea merchant 176 Clarence street
Barker Edwin G., sour and produce merchant, 141 York st; p.r. "Llanillo," Trafalgar terrace, Petersham
Barker H. Lzn, 63 Thomas st, Camperdown

ANTHONY HORDERN & SONS, PALACE EMPORIUM, HAYMARKET (ONLY), SYDNEY.

412 Alb ST. LEONARDS. Ban

ST. LEONARDS.

Gazetted a Municipality in 1867.

Bounded on north by part of the municipality of North Willoughby, divided by a creek running into Long bay, commencing above Chandos street; thence by Middle harbour; thence by Bradley's head and Mossman's bay; thence in a line west from Mossman's bay, through Thrupp's grant to Neutral bay, and finishing at the north-east corner of Alfred and McLaren streets; thence along Alfred street on western side to Berry street; thence along Berry street on northern side to Walker street; thence Walker street on western side to Mount street; thence by Mount street to Edward street; thence by Edward street to Reilly street and Bank street; from Bank street following creek to head of Blue's bay; thence from Blue's bay to Berry's bay; thence from Sugar Works bay to Derry's property to Chandos street.

Council meets first and third Tuesdays in each month at 7.30 p.m.

Office hours—Daily, from 11 a.m. to 3 p.m., and on Mondays, 7 p.m. to 9 p.m.; Saturdays, from 11 a.m. to 1 p.m.

Council chambers—Miller street, St. Leonards.

MAYOR—F. Punch
ALDERMEN—G. T. Clarko, A. Eaton, G. Phillips, H. A. Stephenson, J. Hagan, G. M. Robinson, J. Jago

COUNCIL CLERK—J. Gainford
REGISTRAR OF BIRTHS, DEATHS, AND MARRIAGES—W. Barnett Smith, J. W. Guise, Miller street, St. Leonards
BOROUGH ENGINEER—Gains Clarke
INSPECTOR OF NUISANCES AND PARKS RANGER—John Parkinson

Albany street Off North Sydney road
Alexander street—North side Lane Cove road to Chandos street
Richardson S., cordial manufacturer
Falcon street
Parsonage Griffiths, 'Nothorcliff'
Hogarth John, stonemason
Swan Alexander, stonemason
Hensby Henry
Burlington street
Johnson Henry, carpenter
Ernest street—Hollermann street
Molton John, stonemason
Albany street—Atchison street—Chandos street
South side
Chandos street
Lipscombe Richard
Coonan John
Atchison street
Goodere Thomas
Montgomery William
Hollermann street—Ernest street
Rumans Henry
Davidson James
Hunt Charles
Jones W. A.
Bergmann George
Howard John
Bell Walter
McEwan Edward J.
Burlington street
McCarthy Mrs.
McDonald Donald
Bauer Joseph
Macourt James S., constable
Falcon street—Lane Cove road
Alfred street—East side
Ernest to Berry street
Buchanan James, schoolmaster
Solomons Lewis, 'Irene terrace'
Hayman H. H., 'Wynla'
Hopkins William O., 'Irene'

Carlton street
Parks H. H., 'Cranley'
Marshall John, draughtsman
Nelson Avid, draughtsman
Falcon street
Austen A. W., North Sydney grammar school
Carey Miss, storekeeper
Armstrong John, 'Corrimal'
West side
Thompson William F., 'Collingbourne'
Massey Joseph, professor of music
Arthur Frederick, fuel merchant
Jackson —, architect
Sharp A.
Falcon street—Ridge street—St. Leonards park
Eaton Mrs. Mary, 'Glenrock'
Eaton George, builder, 'Glenrock'
Fell Mrs. Ellen, 'Braxholm brae'
Manning W. A., solicitor, 'Demison house'
Musgrave Joseph, 'Delomine'
Molineaux Boulton
Weitzel E. R.
Alma street Off Military road
Amhurst street—North side West to Bellevue street
Parsons Thomas H., builder and contractor
South side
Abbott J. P., M.L.A., solicitor, 'Tarella'
Heron William
Sleeman Oliver, dray proprietor
Campbell William
Miller street
Arnot street—East Side Off Carlou street
Haddock George
Hansen P.
Massey Alfred

West side
Gato J. T.
Armstrong street Jenkin to Palmer street
Chapman Frederick, sailmaker
Duncan James, painter
Young George, stonemason
Massey street
Atobison street—North side Off North Sydney road
Byrne P. J.
Montrose Mrs. M.
Gunning Michael
Donnelly Edward
Alexander street
Barber Charles
McIntyre Joseph
Anderson G. G., surveyor
Worden Ambrose, farmer
South side
Stewart R. A.
Robertson George B.
Crisp —
Avenue road Military road to Mossman's bay
Wain E., dairykeeper, 'Laurlevilla'
Kettety W., dairykeeper
Baker William
Wilcox C., refreshment rooms
Brown Summers, accountant
Flow Thomas, contractor
Bank street Off Reilly street
Short William
Fleming William
Duncan William
Erlis William
Hardy John W., painter
Gosper Ephraim
Montgomery William, builder
Townsend Alfred
(For remainder see Victoria)

THE BEST FITTING CORSETS IN THE WORLD.

Bay ST. LEONARDS. Car 413

Bay road—North side Lane Cove road to Berry's bay
Clark Mordaunt W. B., 'Branthwaite'
Bolton James
South side
McKenzie Mrs. E.
Edward street
Barney George H., 'Toongahm'
Carr street
Bay street Bay road to Kerosens bay
Bayview street (Mossman's bay)
Bladen Thomas
Gardener Ceall, reporter
Warren John, warehouseman
Vandyke lodge
Bock Rev. E. O. (C.E.)
McLeod F., accountant
Badham Mrs., 'The Nest'
Sunday school hall
Belgrave street Ben Bond road to Waters road
McCarry Patrick
Callaghan James
Floyd Thomas
Belmont road Off Military road
Covles Charles, 'Myabgal'
Dennis William
Lloyd William

Bortha road Off Rangar's road
Phillips Mrs.
Phillips Miss
Berry street—North side Alfred to Edward street
Molineaux Bolton
Henderson W. B., 'The Plac'
Harriott T. W., 'Nerang'
Wildridge John, ongineer and marine surveyor, 'Bracehead'
Ryan Mrs., 'Tadlumbi'
Walker street
Moore James D., 'Genemaln'
Hall James
Ward street
Clarke Gains, 'Clayton'
Heather Thomas A., 'Falmer'
Eaton Bros., contractors and builders
Yates Mrs. C., laundress
Miller street—Burton street
Stevens John, timber and fuel merchant
Lane Cove road—Edward street
South side Lane Cove road
Howard Mrs. V.
Reeve Joseph
Dibden D.
Dibden Miss, music teacher
Gadd Mrs.
Barrot John
Allmy Charles
Cates Frederick A.
Hoys Mrs., 'Florocoville'
Napier street
Danco Allan
Bullivant Ralph
Mills Albert
Mills Mrs. V.
Lee H. N.
Howard W. H., 'Lindum'
Crocker and Welch, bakers
Miller street
Moore William P., solicitor, 'Woodbine'
Taylor George, van proprietor
Scott James H., house and land agent
Selfe Philip S., valuator, 'Eddylyons'
Paine Warren A.
Carnegie James
Mann Edward
Walker street—Little Arthur street

West side
Cochran John
Burlington street—North side West street to Lane Cove road
Johnson Robert
Blandford William
Erich O. E., joiner and cabinetmaker
Lockhart William P.
Webster Thomas
Birkishaw David, constable
Luby Mrs. Kato
Brenahl Andrew, constable
Hanson Frederick, cab proprietor
Scott P.
Mathieson Andrew, carpenter
Woodridge William
Long Patrick
Ingram Thomas
Sutter Robert
Moloney John
Jurotti Nicholas
Tunks A. F.
Alexander street—Lane Cove road
South side Lane Cove road—Alexander street
Kitching O., draper
Haynes Mrs Ann
Haynes Miss, dressmaker
Evans Richard
Hogg Walter, carpenter
Schmidt R.
Maiton Fredrick O.
Crawforth Phillip
Kerwell Francis
Nottingham Mrs., artist
John O. D., 'Goma'
Hartley Laurence
Mashman F.
Nicholls Nathaniel, gardener
Lewis W., carpenter
Mageo Robert
Metco A.
Hill Samuel
Smith Sydney
Taylor B. O.
Roberts John W.
Hutchinson Roy, Henry A. (Pres.)
Buchanan Frederick
Lewis Henry
Bourke James W., carpenter
Skewes Richard, grocer
Taylor Charles
West street
Burton street Berry to McLaren street
Trott T. W.
Turney W. H.

Bollvue street Rosalind to Ernest street
Willett Charles, bricklayer
Barrow Charles
Burns James
Bon Boyd road Long bay to Boundary
Chatfield Charles
Sutherland street
Greathend Stephen, painter
Davis Charles
Greathend A.
Military road—Yeo street
Bourke John
Oaks brickworks (The)
Murdock James
Macaulay William, grocer
MacDermott F. S., 'Yarmammle'
Belgrave street
Moore Thomas
Cawte Thomas, teacher of drawing
Watersleigh skating rink
Fry W. R., 'Mimosas'
Beattie Mrs. J., 'Jessamine'
Yeo street
Public school—Thomas Stafford, headmaster
Baldwin Pearce, surgeon
Davis Alexander
Ranis Samuel
Keen Henry
Boundary
Bont street Alfred to Falcon street
Cunningham Samuel, tailor
Heal William
O'Hara James, bootmaker
Morgan George B., builder
Ward Alfred, carpenter
Job William
Robinson Robert, engineer
Eshaw James, 'Yatala'
Alfred street

Bond street Off Military road
Lacy George
Bradley's head
Bradley's head fortifications—Bombardier
Dugal McLaelian in charge
Quarantine for cattle—J. Strachan, caretaker
Bradley's Head road Off Military road
Harnett Richard, 'Buena vista'
Harnett Richard, jun., 'Buena vista'
Muston Arthur, 'Blakesley'
Sayers E. M., merchant, 'Eleanatla'
Noble James, stonemason
Athol gardens—Henry Whitoman, caretaker
Brook street—East side Chandos street to creek
Jenkin street
Sharp Charles
Riddle James
Riddle John
Riddle George
Lowe David, plumber

West street
Burton street Berry to McLaren street
Trott T. W.
Turney W. H.
Cammaray Park reserve
Parkinson John, inspector of nuisances
Canrobert street (Mossman's bay)
Carlou street—North side Off Alfred street
Overell Thomas, 'Werango'
Riddle William, carpenter
South side
Hogan Michael, merchant, 'Frithfield'
Sayers W. Raleigh, 'Euroka'
Carlou street—North side Miller to West street
Allen Mrs. J.
Barber Mrs. Jane
O'Brien Mrs.

Atchison street continued—
Alexander street
 Barber Charles
 McIntyre J.
Mathews street
 Anderson Charles, surveyor
 Wadden Ambrose
South side
Alexander street—Mathews street
 Huntington W. L.

Aubin Street—South side
Ben Boyd road to Hayes street
 Keeling H. G.
 Wright D. O., journalist, "Waverley"

North side
 2 Jennings William
 4 Ray Charles
 8 Riddo Robert
 10 Crawford John
 14 Baker Oscar
 18 Sydenham John
 20 Williams Vivian
 24 Hayes J. P.
 26 Carey R. W., tenbroker
 28 Brown James A., merchant

Bank Lane
Off Bank street
 Cook John

Bank Street—East side
 Green George

Riley street
 Hardio John W., painter
 Leviton William J.
Lord street
 Adamson Thomas, sen.
 Ellen Thomas, packer
 Hazellian John
 Laws Frederick
 Vickers A.
 Gardino David
 Munro Charles, engineer
 Pass William H.
 Matthews Williams
 Lyndall Frederick, clerk
 McKenzio Donald, accountant
 Sugden J. W., shipping clerk
 Godfrey John, "Iona"
 More Walter, engineer
 Smith James, compositor
 Robertson Thomas, carpenter
 Connor Mrs. C.

West side
 Lees Robert
 Anderson Charles
 Ohlson Frederick
 Bennett David
 Bridge Alma
 Duncan William
 Cowan John
 Posker John, grocer
 Leggo Joseph H.
 Peachy Charles
 Hepburn John
 Kelleher William
 Walker John
 Munro John
 Scholtz Valentine H.
 Dunne Samuel, storekeeper
 Hemmer Henry
 Thorne George H., stonemason

Bay Road—North side
From Lane Cove road to Berry's Bay
 Clarke M. W. S., "Branthwaite"

South side
 Thomley Thomas
Edward street
 Lister John, "Toongahra"
Carr street
 Gay rowl station—S. Smythe, station
 master
 Vanthweys W. G.

Bolgrave Street
From Ben Boyd road to Waters road
 Feeley Thomas
 O'Callaghan James
 Olancy Michael
Young street—Waters road

Bellevue Street—West side
From Ernest street to Long Bay
 Gately Hugh, quarryman

Swan, Andrew
 Kenny Thomas
 Dorny S. J., compositor
 Gresty George
 Whentley John
Amhurst street—Palmer street—Pine street
—Long Bay

East side
 Government pound
Amhurst street
 Frederick Wilhelm, draughtsman
 Smeal Ernest
Pine street—Long Bay

Bon Boyd Road—West side
Karara road to Middle Harbour
 2 Emever Robert G., wholesale confec-
 tioner
 4 Scott Alexander
 8 Donke Andrew J., "Urara"
Parraheen street
 Post and Telegraph office—Mrs. War-
 drop, postmistress
 12 Anderson William
 14 Selway Walter, bank manager
 16 Chetter Pitts and Co., butchers
 Garland O. L.
 Macdermott F. S., "Yarrammio"
 Horton George, grocer

Yeo street
 Oaks hotel—Robert Reekless
Military road
 McKenzie Alexander
 Davis O., bricklayer
 Tyrett Henry
 McManus J. R., "Killenden"
Sutherland street
 Stevens Mrs. Jane, "Chatsfield"

East side
 3 Arthurs Henry
Aubin street
 7 Gavin Thomas J., draper
 9 Inglis Mrs. O.
 11 Thompson R. S.
 13 Barnett O. H. H.
 15 Halstead Isaac
 17 Corbett Henry, plumber
 23 Walker A.
 29 Smith Edwin
 31 Vardey William, fruiterer
 33 Muggridge A., stock and station agent
 35 Holder Thomas, storekeeper
 37 Campbell John

Phillip street
 39 Brown J. H., "Montone"
 43 Smith J. M.
 45 Henderson W.

47 Allerton William T.
 49 Polglase B.
 57 Aldiss Samuel, carrier
 59 Taylor, A. H., draughtsman
 61 Kildgell E.
 63 Weston F.
Undercliff street
 Barry Gerald J., "Reulands"
 Staifford Thomas, teacher
 Public School—Thomas Stafford, head-
 master

Yeo Street
 McCrao E. H.
 Stevenson James
 Neutral Bay School of Arts—H. F. Purday
 secretary
 O'Connell H.
 Covey George T.
Military road
 Gosper J., baker
 Bourke John
 Symington William, dairykeeper
 Lintgn O. H., "Glenalvon"
Grosvenor street—Sutherland street

Bennett Street
Off Cooper street
 Tulloh Mrs. W. H.
 Anderson William
 Edwards E. S.
 Wiltshire J. T., J.P.

Bent Street
Alfred to Neutral street
 Job William, gasfitter
 Robertson Robert, engineer
 Kirendle William
 Tulloh A. H.
 Bedwell Alfred
 Morgan George B., mariner
 Tyers Tom
 Weston Stephen, "Tatala"
 Ward Alfred, carpenter
 O'Hara James, bootmaker
 O'Connell Samuel

Berry Street—South side
Alfred to Edward street
 1 Barton T., clerk
 3 Naughton F. E., Mathew
Arthur street—Little Walker street—
Walker street
 Shadler A., "Althona"
 Anderson Robert, warehouseman
 Perry John, solicitor
 Scott Joseph
 Sherwood James J., painter
 Moore W. P., solicitor
 Hutchins H., butcher
 Parker J., surgeon
 Charkley Frank
 Barber Walter
Lane Cove road—Napier street
 Thompson John, butcher
 Boret Edward
 Dibden Frederick
 Itevo Joseph, "Lolsbury"
 Howard Mrs. V.

North side
Miller street
 North Shore hotel—W. Northam
 Eaton Brothers, builders
 Armstrong J. H., commercial traveller
 Brothers Francis J.
 Newmaroh Bernard J., J.P., surgeon

Ward street
 McKay Mrs. E.
 Moore J. B., "Genemala"
Walker street
 Shadler E. O., "Floana"
 Wilbridge John, "Branchend"
 Harriott T. W., "Nerang"
Arthur street
 Henderson W., mining inspector
 Molineux Boultop, woolbroker

Bertha Street
From Murdoch to Edward street
 Phillips Mrs. E.
 Card G. W., "The Bower"

Bligh Street—North side
From Broughton street to Carabella street
 Neilson James, carpenter
 Kirkland W. M., tailor, "Fairies cottage"
 Drummond Louis S., accountant
 Warno Henry
 Kerr G. D., engineer

South side
 Darcy George, compositor
 Redfern Alfred
Carabella street

Blue Street—South side
From Junction to William street
 Goodwin J. and Co., plumbers
 Eaton J. W., timber merchant
Walker street
 Cantor E., "Highgate house"
 St. Francis Xavier's School
 Garvan O. F., surveyor
Blue's Point road—William street

North side
Walker street
 Roads and Bridges Office—Joseph Hope,
 resident engineer
 Scott W. J., tailor
 Macdonald Col. Malcolm, "Romaka"
 Superior Public School—Nimrod Green-
 wood, head master; Miss Chandler,
 head mistress
 Atchison Mrs., "Marly"
Miller street
 Elliott James
 Ritchie James, wharfinger, "Bay View"
William street

Blue's Point Road—East side
From Blue street to Blue's Point
 3 Reynolds Joseph
 5 Ounnis Frank
 17 Swinney Will, "Beaulieu house"
 19 Werner F.
 McDougall A.
 St. Peter's School Hall
 Spanswlok George, "Trent cottage"
 Anderson J. G.
 Christen H. J., chemist
 Russell A. D.
 Wyatt Joseph, "Ellerslie"
 Liebmann H. B., "Preston house"
George street

Willington and Son, grocers
 Horner Thomas, butcher
 Lancaster William
 Pearson Daniel
 Layton E., "Dresden"
 Nott T. E., "Attenburg"
East Crescent road
 Hogan Joseph, painter
 Clewett Robert

Evans Louis
 Collins Charles M., "Spec cottage"
 Hancock Phillip
 Barker Henry
 O'Donnell James
 Turner C. E.
 Hillman P. H., "Alma"
Parke street
East Crescent street
 Langford Thomas, clerk
 Webb Charles
 Langford George, sawyer
 Stevens J., fuel merchant

West side
 Mackinnon Rev. Roger (Pres.), St. Peter's
 Manse
 St. Peter's Pres. Church
 Bnsst O., butcher
Union street

Robertson William, baker
 Old Commodore Hotel—Angus McKay
 Buckingham H., junr., bootmaker
 Whatmore J. S., butcher
 Royal Hotel—L. G. Cranney
Victoria street
 Lawrence R. H., grocer
 Flecknell W., bootmaker
 Hahn Alfred, bootmaker

Mitchell street
 Buckman Edward, contractor
 Harding John, dairykeeper
 Saulers W., brass finisher
 Malton Henry, tobacconist and fruiterer
 Rynan John

Tate street
 Royce George
 Schofield Mrs.
Carr street
 Reynolds Henry
 Rafter Henry, "Erin cottage"
French street
 North Shore hotel—D. H. Hughes
 Cooper E. A., accountant
 Bourne Charles
 Stent Walter, "Moreton"
 Dennis Andrew, "Wythmore"
 Royhouse T. R., "Elsmore"
 Phillips W. J.

West Crescent lane
 McWilliam Samuel
 George St. Jalm, "Touka"
 Day William
 Nurse Alfred

West Crescent road
 Webb Bros., lightermen
 Bellion Benjamin H.
 Pratt W. H., journalist
 McQuade Hugh, blacksmith
 Warren John
 Courtney Edward
 Fly Tree hotel—Robert Stevens
 Hall W. E., "Bayview"
 Drysdale W. J.
 Bell Ernest "Bellevue"
 Hore James
 Gutler Francis, clerk
 Ives Frederick, "Gibraltar"
Blue's point

Bray Street—West side
Off Alfred street
 Knoller Mrs. Emily
 Thomas H. J.
 McGugan Malcolm

Neutral street
 Pell Archibald, accountant
 Wiles William, warehouseman
East side
 Johnston Charles, draper
 Thomas G. A., artist
Neutral street
 Ormlston C. S., "Glenormiston"

Brisbane Street—East side
Off Willoughby street
 1 Jones W. H.
 5 Barrell Herbert
 7 Brooks Samuel, portrait painter
 13 Wilson O.
 19 Buckingham George, contractor
 23 Winter F. A.
 25 Gunn Walter
 31 Lindsay William, solicitor
 33 Griffiths Sydney
 37 Sibthorpe Robert H.

West side
Willoughby street
 2 Rodgers Thomas
 4 Gordon William, I.M.C.
 6 Bailey James
 8 Coventry J.

Brook Street
Off Chandos street
 Harwood J.
 Low David, gasfitter
 Tucker H., dairykeeper

Broughton Street—West side
Fitzroy to Willoughby street
 1 Mitchell Theophilus
 5 Parrott Thomas H.
 Phillips George O., clerk
Burton street

11 Allen Charles
 13 Stewart William, clerk
 19 Pepper A.
 21 Camro Charles
 23 Levy Frederick
 25 Hill George
 27 Hope George
 29 Kerr John

East side
Burton street
 6 Seymour Edward B.
 Wylie John, "Cromer"
 St. John the Baptist's (O. of B.)—Roy.
 A. Yarnold

Burlington Street—North side
West street to North Sydney road
 Kirk Samuel
 Walker Alfred
 Anderson John
 Lindsay Mrs. M.
 Oldfield A., draughtsman
 Martin William
Sophia street
 Proctor Alexander, "Tatala"
 Brennan Richard, sergeant
 Stewart Andrew
Alexander street—North Sydney road

South side
From West street to North Sydney road
 Taylor O. F., confectioner
 Gray Frank
 Kenstridge Ernest
 Boehlco O. F.
 Roberts John
 Orulokshank George O.
 Sweeney Michael
 Smith Sydney, "Headingley cottage"
 McGee Patrick
 Smith Ellis, "Stanley villa"
 Nicholls N., gardener
 Blandford W.
 Hunter J., "Coma"
 Macdonald James, "Warrane"
 Hollowby Horace

ANTHONY HORDERN & SONS, UNIVERSAL PROVIDERS (HAYMARKET AND EXHIBITION BUILDING), SYDNEY.

ANTHONY HORDERN'S FOR TAILOR-MADE CLOTHES

458 Atc NORTH SYDNEY. Bel

Bel NORTH SYDNEY Ber 459

Arthur street continued—
 86 Henry James
 88 Clarke Thomas, builder
 90 Agutter Mrs. F. S.
 92 Williams Mrs. Margaret
 94 Rattray Mrs. M.
 96 Jones Mrs. M. A.
 98 Chalmers William
 100 Pearce W. G.

Mount street
 120 Dunn William
 122 Valkenburg Jos., printer
 124 Trimble J. O., clerk
 126 Pullen Alfred
 128 Ferguson John
 Smith Archibald
 130 Perry W. H.
 142 Rudd William
 144 Patten James
 146 Casern P. A.
 151 Holmes Miss A. M., "Cliffe villa"
 156 Orisford Mrs. Edward
 160 Riccardi T., "Montana"
 162 Underwood Samuel, J.P., plumber
 164 Cohen Mrs. S.
 166 Cohen B. E., jeweller

Atchison Street—North side
North Sydney road to Cemetery
 16 Byrns P. J.
 28 Stephenson S., cooper
 32 Keys George

Alexander street
 50 Barber Charles
 52 Fray Frederick
 54 Haley W.

Matthews street
 86 Anderson Charles, surveyor
 88 Worden Ambrose

South side
Alexander street—Matthews street
 135 Huntington W.
 O'Connell William
 Maher Patrick
 Symington D.
 Symington W.

Aubin Street (Neutral Bay)
South side
Ben Boyd road to Hayes street
 23 Swanson Mrs. S.
 25 Evers Mrs. F.
 27 Smith Frederick
 28 Norton Percy, "Elswick"
 29 Wright E. O., "Waverley"

North side
 18 Olsen Marshall
 20 Williams Thomas
 22 Smith Mrs. R.
 24 Corbett Frank
 26 Sampson John
 28 Smith Carl, mariner
 30 Martin George
 32 Bacon P. O.
 40 Williams Vivian W., "Killegar"
 44 Wilschre F. H.
 46 Eastwood A.

Undercliff street
 50 Hayes P. A.
 52 Carey H. W., tea broker
 72 Brown James A., merchant, "Kulburn"

Bank Lane
Off Bank street
 Wahlberg Thomas

Bank Street—East side
Off Union street
 91 Dmouen Charles

Ritely street
 87 Hardy John W., painter
 83 Ward Mrs. A.

Lord street
 68 Charnock James
 53 De Bayo Mrs.
 51 Flynn Mrs. E.
 37 Nimmo William
 35 Thorntwaite Frederick C., painter
 33 Griffiths Sydney C.
 31 Duncan Mrs. C.
 29 Williams Charles
 27 Gaff James
 25 Wilson James
 23 Marcolino Thomas
 19 Matthews W. J.
 17 Thomson Andrew
 15 Marshall Alfred
 13 Carzelsch Albert
 11 Roseby Samuel
 9 Godfrey John, "Irsue"
 7 Mora Walter, engineer, "Glamis"
 5 Smith Mrs. J.
 3 Robertson Thomas, carpenter
 1 Connor Mrs. C.

West side
 106 Trovaskis Richard
 104 Anderson Halwah
 102 Anderson Charles
 100 Wenzel Charles
 98 Tripp John
 94 Fleming Mrs. M.
 70 Barker John
 74 Croushaw Thomas
 72 Hayes Mrs. E.
 70 Chudleigh John, "Avon cottage"
 68 Bridge Alma
 66 Duncan William
 64 Gaff William
 62 Carrow John
 60 Poskar John, grocer
 58 Rosabotham James J.
 56 Phillips John
 54 Willington W. A.
 52 Walker J.
 50 Hepburn John
 48 Kether William
 46 Grant John
 44 Bullock Mrs. Elizabeth
 42 Cox Frederick
 40 Bell John W.
 36 Rosendale Alexander
 Findlater Alfred
 30 Hewitt Mrs. P., storekeeper
 28 Dunn Samuel
 26 Hewitt Mrs. L.
 22 Bennett T., bootmaker
 14-16 Thorne Mrs. G., fruiterer

Bannerman Street
From Shell Cove road to Murdoch street

Rarry Street (Neutral Bay)—East side
Military road to Cooper street
 Neutral and Mosman's Bay Presby-
 terian Church—Rev. R. H. Waugh
 87 Bastard O. W., "Elserville"
 86 Penrice John, "Pomporvol"
 83 Williamson G. J., "Imogene"
 81 Smithers Alfred
 29 Baker Reuben
 25 Hastings James
 27 Summers Thomas
 17 Brown Edward, J.P., "Woodleigh"
 17 Brown Miss A. E.

West side
 72 Stenning Edwin J.
 70 Johnston J. T., machinist
 68 Donaldson Harry

Yeo street
 18 Chyten E. H., merchant
 16 Farley William
 14 Ward Cecil
 12 Sponlley Henry, "Miramar"
 10 Waugh Rev. R. H., M.A.
 8 McCredie T. O., insurance agent
 2 Barry Gerald J., solicitor, "Westleigh"
 Neutral Bay Lawn Tennis Club
 Grounds

Bay Road—North side
From Lane Cove road to Berry's bay
 Clarke M. W. S., "Branthwaite"
 Davies Rev. D. (O. of E.), "Cartret"
 Burrell Alexander
 Hall R.
 Dhu Roderick, diver

South side
Off—Beton John H.
 Holpher Walter
 Hamilton R., laundry
Edward street
 Old Richard, "Waverton"
Carr street
 Bay Road Station—R. S. Smythe, sta-
 tionmaster
 Haines Mrs. S.
 Ringdahl Andreas, machinist
 Wangstaff J. W.

Berry's bay

Bayview Street—East side
From George street to East Crescent road
 Cooper James, "Perryview"
 Nathan Septimus, "Cardale"
 Scott Thomas D., "Hofleberg"
 Leys Charles, "Umaralla"
 Cooper James P.

53 Hondley Mrs. A., "Lendlicott"
 51 Burgo William G., "Killarney"
 40 Beadell Edwin, "Windside"
 46 Petherick E. J., dentist
Off—Green H. T., "Bungalow"
 45 Bird Capt. C. E., "Glendonnel"
 31 Spour Richard, "Inglebrook"
 Taylor Orlando
 26 Bridge S.
 23 Fremlin S. F.
 21 Chwue Charles
 18 Goddard W. J.
 13 Turnbull J.
 11 Venus Charles
 9 Oppenheimer Adolphus
 7 Maschwitz W., "Idonero"

East Crescent road

West side
 28 Bnanh Mrs. H. N., "Sunny Bank"
 12 Ulter F. W., auctioneer, "Branchly"
 10 Witham J. D.
 8 Ham Henry, broker, "Wharrelliff"
East Crescent road

Belgrave Street
From Ben Boyd to Waters road
 Montgomery John
 Sealey Mrs. A.
 Fleetwood John
 Thompson Hon. J. Malbon, M.L.O.,
 solicitor
Young street—Waters road

Bellovno Street—West side
From Ernest street to Long bay
 Martin J.
 Murphy Francis
 Swann Andrew

Roadind street
 Groaty George
 Manco P. O.
 Whentley Joseph
 Bargoynne G. A., "Lynington"
 Smith J. H., "Stanfield"
 Brounand James H.
 Dorney Wilfred
 Gunther William B.
 Morley James H., "Waisted"
 Hammond J. W., "Teakatarawa"
Amhurst street—Palmer street—Pine street
 Long bay

East side
 Government Pound
Amhurst street
 Friederich Wilhelm, draughtsman
 Mackney Alonzo
 Donnelly John
 Arneemann Harry
 Yates John
 Richmond John
 Geo O.
 Butcher J.
 Young Walter
 Kirby William

Pine street—Long bay

Ben Boyd Road (Neutral Bay)—West side
Karraba road to Willoughby bay
 10 Emever Robert G., wholesale con-
 fectioner, "Mercedith"
 18 Rowney G. H.
 44 Evans Mrs. A. F., "Lynton"
 46 Hepburn Mrs., "Dohwell"
 48 Donk Andrew J., J.P., "Urnra"
Phillip street
 80 Stavenhagen J. W.
 62-60 Post and Telegraph Office—Mrs.
 Wardrop, postmistress
 64 Anderson William, J.P.
 68 Kerry John Edward
 80 Garland C. L., mining agent
 82 Osborne Frank, solicitor
 84 Broken Mrs. M., "Melrose"
 86 Turner John, grocer

Hardie street
 158 Horton George, grocer
Yeo street
 166 Wilkinson J. D., "Dalmeny"
 168 Carey H. H., ten merchant
 170 McDermott E. S.
 172 Hay Captain O. W., "Nemory"
 174 Maclean H. J.
 176 Robison Percy, "Palgrave"
 178 Radford Mrs. G.

Military road
 208 Cowell J. S., "Lidjdale"
 206 Bell Harold
 210 Phillips Mrs. H.

Oak avenue
 212 Holt A. T.
 214 Davis Mrs. M., "Roslyn"
 216 Boyden F. E., commercial traveller
 218 Skagg Alfred J.
 220 McManus J. H., "Kilkeaden"
 McManus Mrs. A., "Itahcen"
 224 Baker F., "Berblce"

226 Mansell R. D., "Parkhurst"
 228 Evans Mrs. O. A., "Esperanza"
Sutherland street
 238 Hurvey Mrs. Elizabeth, "Chatfield"
Grasmere road—Willoughby bay

East side
 16 Arthur Henry, bootmaker
Aubin street
 17 Shore Herbert, grocer
 19 Blvin Mrs. E.
 23 Davis Charles, solicitor, "Valetta"
 27 Brennan James
 27 Fairweather W. J., "Lorraine"
 29 Mortimer Mrs. S., "Manningham"
 37 Roberts Mrs. A.
 39 Taylor Robert
 41 Gavan Thomas J., draper
 48 Stewart Mrs. G.
 45 Cameron Mrs. E. S., grocer
 49 Muggridge A., stock and station agent
 51 Bonahy A. F., grocer
 53 Newborn George

Phillip street
 60 Thomson Mrs. A.
 71 Wickham Edgar, "Sorrento"
 73 Andrews William
 77 Murrell W. H., ten merchant
 79 Fyno Joseph N., "Victoria cottage"
 81 Philip Edward
 87 Dawson George
 85 Watson E. H. D.
 106 Fraser B.
 107 Johnson Frederick
Undercliff street
 132 Davis Alexander
 135 Lindsay Mrs. M.
 137 Dew Patrick
 139 Walker Abner

Indray street
 173 Reid D., shipping agent, "Yeolands"
 176 Public School—S. H. Smith, head
 master

Yeo street
 181 Beattie Mrs. M. J., "Jessum ne"
 Beattie E. H., architect
 183 Rabbage Poulal
 187 Williams William, painter
 189 Chen H.
 201 Moore T., drayman
 Hughes and Moore Misses, dressmakers

Military road
 209 Riddle William
 211 Dart Mrs. H.

Grosvenor street
 217 Model Dairy—W. Carbery, manager
 223 Linton C. H., "Glennavon"
 225 Graham Mrs. O. J., "Hamstead"
 227 Drew E. L., architect

Belgrave street—Sutherland street
 Willoughby bay

Bennett Street (Neutral Bay)—North side
Off Cooper street
 Johnson F. H., "Woolscott"
 Macpherson Capt. Alex., "Dannottur"
 Edwards E. S., "Mosyn"
 Dobbie Stewart, "Leppington"
 Bodo Heber, "Irraloug"
 Harris F. J., "Howburg"
 Dobbott William, "Coolool"
South side
 Brown Ernest E.
 Crossman Charles, "Inglatook"
 Dale J. T., "Wilga"
 Stinson Mrs. M., "Lalgerath"

Bont Street—East side
Alfred to Falcon street
 Atherton John, builder
 Cunningham Samuel
 Macdonald Mrs. M.
 Hughes William, engineer
 Jones John
 O'Hara James, carpenter
 Ward Alfred, cooper
 Falconer T., professor of music
 Ward Wilfred
 Winter F. A., agent
 Mackenzie James M. E.

Carlou street
 Allport Ronald, chemist, "Medbury"
 Canning William
 Morgans George B., mariner
 Lefebvre G., shirtmaker
 Shaw J., "Yntala"

West side
 Virgoe W. H.
 Job William, "Tipton villa"
 Robertson Robert, engineer
 Bland W.
 Fuller Charles
 Belwell Captain Alfred

Berry Street—South side
Alfred to Edward street
 115 Wall David
 117 Oush Richard H.
 119 Heydon A. E.

Arthur street—Little Walker street
 109 Reid W. Voro, "Vorohead"
Walker street
 89 Stewart Miss S., boardinghouse.
 "Altona"
 87 Ware Mrs. J. M., "Baden"
 83 Francis Philip
 81 Adams Miss S.
 79 Clark John, "Walton"
 76 Scott J. H.
 71 Lawless John
 66 Harrington A.

Miller street
 65 Callen Theobald J.
 Lyons Edmund
 51 Mooney Francis
 47 Barber Walter
 45 Tomlin John Thomas
 41 Barber E.
 30 Jackson Isaac

Lane Cove road—Napier street
 19 Thwaites David
 17 Llewellyn E. P., harnessmaker
 15 Keming Henry
 13 Kennedy Sydney
 11 Liddle R. L.
 9 Matthews William H.
 7 Reeves Joseph, "Lolsbury"
 5 Howard Mrs. V.

North side
Miller street
 66 Eaton Brothers, builders
 58 Blizzard and Co., house and land
 agents
 60 Green William
 62 Moxham E. A.
 68 Murray His Honor Judge, "Dalguny"
Ward street
 70 Moore J. D., "Telarah"
 72 Armitage Mrs.
 74 Oummings Reginald, "Gonemais"
Walker street

WOOD & COMPANY, Undertakers & Embalmers, Bay Street, Rookdale.

Our Drivers are picked men, steady and courteous.

Pages 428 to 545 missing

ANTHONY HORDERN & SONS, UNIVERSAL PROVIDERS; HAYMARKET (ONLY), SYDNEY.

OLD AGE MADE COMFORTABLE PER ANTHONY HORDERN'S FAMOUS LOW PRICES.

446 Ato

NORTH SYDNEY.

Bay

Arthur street continued—
119 Walsh Patrick
125 Fowler G. K.
127 McDonnell L., cab proprietor
129 Newland Charles, builder
131 McFarland Mrs. J.
133 Smith George, tramway inspector
135 Procter Peter
137 Maguire W. H., postal inspector,

Hurl James, "Lansdowne"
Driver John G., "Wyandra"
Adamson John
Willoughby road
Gardyne George
Aubin Street (Neutral Bay)
South side
Ben Boyd road to Hayes street
21 Bayer Ernest Edward
23 Lambert James
25 Grant Alexander
27 Norton John, "Boronia"
63 Norton Percy, "Elswick"
Isanos L. E., "Arklands"
65 Wright E. O., "Waveney"
North side
16 Arthur H. A.
18 Wilson Mrs. A.
20 Spencer Mrs. H.
22 Johns —
24 Pennon Victor
26 Sampson John
28 Webb Arthur
30 Nixon B. A.
32 Bannatyne Robert
40 Williams Vivian W., "Killegar"
44 Leslie A. L., "Matal"
Thomas Rev. A. C. (Ch. of England),
"Clarence"

West side
21 Waterhouse Joseph
23 Fox E. J., J.P.
25 Lewington Mrs. M.
31 Bulley S., "Montross"
32 Hale Mrs. B.
34 Morgan Charles
36 Leuehan Nicholas
38 Scougall Mrs. J.
40 McAlister F. W.
42 Munro Mrs. C.
44-45 Hill Mrs. John
50 Macleau Mrs. M. A.
52 Oiler O. J.
62a O'Connor Mrs. A.

44 Milner Herbert
68 NORTH SHORE and MANLY TIMES
Office—James Hobson, proprietor
68 Farley Joseph P.
70 Boyce Richard H.
76 Johnson John
78 Ashton Samuel
84 Scholfield Mrs. S. A.
86 Henry James
88 Clarke Thomas, builder
90 Agutter Mrs. F. S.
92 Williams Mrs. Margaret
94 Rattray Mrs. M.
96 Jones Mrs. A.
98 Scholfield Robert S.
100 Pearce W. G.

120 Campbell John O.
122 Crisp Richard H.
124 Trimble J. O., clerk
126 Kenyon Mrs. E. O.
128 Douglas Mrs. R. J.
130 Perry W. H.
142 Rudd William
166 Mitchell Mrs. E. A.
167 Copper H. S., M.D.
168 Underwood Samuel, J.P., plumber
162 Cohen Mrs. S.
186 Beely G. S., collector, "Mascotte"

Aitchison Street—North side
Willoughby road to Cemetery
18 Byron P. J.
28 Stephenson S., cooper
32 Keys George
34 Ivey James
Alexander street
60 Barber Charles
52 Frary Frederick
54 Haley W.

Matthews street
84 Anderson Charles, surveyor
South side
Alexander street—Matthews street
135 Huntington W.
O'Brien Mrs. H.
O'Connell William
Maher Patrick
Wise John
Evans Ernest G.
Alexander street
Malngren Mrs. E. M., "Yarralla"
Dickson William, "Barwah"

Undercliff street
50 Hayes P. A.
62 Carey H. W., tea broker, "Cathay"
72 Brown James A., merchant, "Kulaura"
Bank Lane
Off Bank street
Wahlberg Thomas
Bank Street—East side
Off Union street
01 Duncan Mrs. C.
Riley street
80 Hanly John W., painter
Ward Mrs. A.
Lord street
63 Robinson R., storekeeper
65 Smith Mrs. M.
37 Nimmo John
35 Woodley Mrs. E.
33 Williams Charles H.
31 Pulsford Edward
29 Gardyne David
27 Carroll John
26 Wilson James
25 Marcolino Thomas
21 Dunn A.
19 Matthews W. J.
17 Thomson Andrew
16 Marshall Alfred
13 Carmichael Albert
9 Johnson John, "Irene"
7 More Walter, engineer, "Glamis"
6 Smith Mrs. J.
3 Robertson Thomas, carpenter
1 Connor Mrs. C.

Undercliff street
50 Hayes P. A.
62 Carey H. W., tea broker, "Cathay"
72 Brown James A., merchant, "Kulaura"
Bank Lane
Off Bank street
Wahlberg Thomas
Bank Street—East side
Off Union street
01 Duncan Mrs. C.
Riley street
80 Hanly John W., painter
Ward Mrs. A.
Lord street
63 Robinson R., storekeeper
65 Smith Mrs. M.
37 Nimmo John
35 Woodley Mrs. E.
33 Williams Charles H.
31 Pulsford Edward
29 Gardyne David
27 Carroll John
26 Wilson James
25 Marcolino Thomas
21 Dunn A.
19 Matthews W. J.
17 Thomson Andrew
16 Marshall Alfred
13 Carmichael Albert
9 Johnson John, "Irene"
7 More Walter, engineer, "Glamis"
6 Smith Mrs. J.
3 Robertson Thomas, carpenter
1 Connor Mrs. C.

South side
Off—Wright Charles
Off—Holpun Walter
Hamilton R.
Edward street
Bryant G. E., J.P., "Toongarah"
Old Richard, "Waverton"
Carr street
Bay Road Station—R. S. Smythe, stationmaster
Anderson A., boatbuilder
Wagstaff J. W.
Berry's bay

West side
104 Anderson Halwah
102 Anderson Charles
100 Kessler Mrs. H.
98 Scholfield Horace
96 Whitefield William
94 Fleming Mrs. M.
70 Adams Miss B.
74 Cronshaw Thomas
72 Hayes Mrs. E.
68 O'Brien James, "Avon Cottage"
66 Bridge Alma
64 Duncan William
62 Littleprond Henry F.
60 Quinton Robert
60 Poskar John, grocer
58 Rosbotham James J.
56 Phillips Joseph
54 Wellington W. A.

62 Walker J.
60 Hopburn John
48 Kellar William
46 Grant John
44 Humphrey Thomas
38 Scholtz Valentine
36 Linfoot Joseph
34 Stevens Thomas W.
30 Linfoot Joseph, storekeeper
28 Dunn Samuel
22 Bennett T., bootmaker
18 Lower W.
14-16 Thorne Mrs. G., fruiterer

Bannerman Street
From Shell cove road to Murdoch street
Barry Street (Neutral Bay)—East side
Off Military road
37 Bastard U. W., "Edenville"
35 Ponrico John, "Pommorvol"
33 Williamson G. J., "Inogene"
81 Smithers Alfred
29 Baker Renben
27 Summers Thomas
25 Hastings James
Rosa Alfred II., "Abingdon"

West side
72 Stenning Edwin J.
70 Hawkless Mrs. Marion
68 Donaldson Harry
Yeo street—Lindsay street
18 Olyton E. H., merchant
16 Farley William
14 Forsyth Mrs. J. M. O.
12 Spinkley Henry, "Mlramar"
2 Barry Gerald J., solicitor, "Westleigh"
Neutral Bay Lawn Tennis Club Grounds

Bay Road—North side
From Lane cove road to Berry's bay
Clarke M. W. S., "Branthwaite"
Davies Rev. D. (C. of E.), "Carrett"
Nash Herbert M., "Lawnhead"
Winckelmann Edwin J.
Spurrett George W.
Hall R.
Dhu Roderick, diver

South side
Off—Wright Charles
Off—Holpun Walter
Hamilton R.
Edward street
Bryant G. E., J.P., "Toongarah"
Old Richard, "Waverton"
Carr street
Bay Road Station—R. S. Smythe, stationmaster
Anderson A., boatbuilder
Wagstaff J. W.
Berry's bay

Bayview Street—East side
From George street to East crescent road
31 Taylor Orlando, "Inglouook"
46 Hepburn N. O., bookbinder
25 Hamill Walter
23 Bootyer Mrs. H., dressmaker
16 Halatod James
18 Hall Stanley
11 Ireland Robert, carpenter
9 Oppenheimer Adolphus
7 Maschwitz W., "Idemero"
Danner Harwood W., "To Whare"
Nathan Stephen, "Caridale"
Barrington M., "Fairly View"
Richards Thomas R., "Lendliest"
Burge William O., "Killarney"
Beadell Edwin, "Windulu"
Whittell Mrs. S. R., "Althorne"
Off—Fallon Malachy, "Dunglow"
Hurstwhite Frederick, "Glendonnel"

Bel

NORTH SYDNEY.

Ber

447

West side
McIntyre William J.P. chief electoral officer, "Sunny Bank"
Komura Tomisakuro
Ulmer F. W., auctioneer, "Brennelly"
10 Witham J. D.
8 Ham Henry, broker, "Wharacoff"
East crescent road

Belgrave Street—North side
From Ben Boyd to Waters road
Jackson John
Townsend Henry
Feeley Thomas
Gardly John

Young street
South side
Asha John, commercial traveller
Blackman Charles H., "Windsor"
Miller William, "Gulldford"
Miller Gustave A., "Baronia"
Bellevue Street—West side
From Ernest street to Long bay
Gately, Martin
Massey J.
Swan Andrew

Rosalind street
Lewington Arthur J., "Wahumetta"
Gresty George
Manco F. S.
Whitely Joseph
Ryan John, "Brooklyn"
Macfarlane Malcolm, "Lynton"
Spinks Capt. Christopher, "Sunfield"
Gardner William P.
Morgan C. H., "Iona"
Punch Miss M., "San Antonio"
Hunter-Brown Charles H., "Ehiliwah"
Hills Hamilton, "The Cottage"
Cuthbert John, marine surveyor, "Roseyarl"
Lambert Mark W.
Jack Captain A. W., "Anchorage"
Dorney Wilfred
Morley James H., "Walsted"

Amhurst street—Palmer street—Pine street
Long bay
East side
Government Pound
Amhurst street
Friederich Wilhelm, draughtsman
Haokacy Alouzo
Stevenson Mrs. A. B.
Donnelly Mrs. John
Arnemann Harry
Haron J. B., painter
Geo Olomont M.
Butcher Charles
Young Walter
Kirby William

Pine street—Long bay
Ben Boyd Road (Neutral Bay)—West side
Karraba road to Willoughby bay
16 Emmever Robert G., "Meroldich"
44 Stokes E. S., M.B., surgeon, "Lynton"
46 Hepburn Mrs., "Bothwell"
Evans Mrs. A. P., "Bothwell"
48 Deak Andrew J., J.P., "Urnara"
Phillips street
Stavenhagen J. W.

62-60 Post and Telegraph Office—Mrs.
Wardrop, postmistress
64 Anderson William, J.P.
68 Dick Thomas
70 Turner John, baker
88 Garland C. L., "Aveling"
82 Oehorus Frank, solicitor
94 Weston Major E. H., "Melrose"
Harold street
188 Horton George, grocer
160 Maguire Mrs. A.

166 Wilkinson T. B., "Dalmeny"
168 Carey H. H., tea merchant
170 McDermott E. S.
172 Manchoe Arthur
174 Maclean H. J.
176 Wells H. V. S., dentist "Palgrave"
178 Raiford Mrs. G.

Military road
246 Ford-Cowell Mrs. M., "Lilydalo"
208 Bell Harold
210 Phillips Mrs. R.

Oak avenue
212 Clark Mrs. M.
214 Newman Miss E. A., "Avoca"
216 Peck Walter, engineer
218 Shugg Alfred J.
220 MoManus Mrs. A., "Killendon"
222 MoManus J. R., "Itahohu"
224 Baker F., "Derbioce"
226 Johnston F. L.
228 Mason Stuart, J.P., "Asperanza"

Harvey John, "Chaffield"
Grassmere road—Willoughby bay
East side
Richard Eric

Aubin street
17 Taylor W. H., grocer
19 Elvin Mrs. E.
21 Davis Mrs. Charles, "Burrin"
23 Martin G.
25 Burke Arthur J., "Merlino"
27 Fairweather W. J., "Lorraino"
29 Snowden Laurence, "Manningham"
37 Close Herbert
39 Murray J. M.
41 Ager Thomas, bootmaker
43 Stewart G.
45 Mungridge A., stock and station agent
61 Halpin R., grocer

Phillip street
69 Wood Joseph H., "Onpri"
Frooman Herbert G.
71 Wickham Edgar, "Sorreato"
73 Basto J. H.
75 White Harry
77 Murrell W. H., tea merchant
79 Pyne Joseph N., "Victoria Cottage"
87 Dawson George
95 Morris Charles
105 Fraser Rev. W. G. (Presbyterian)
107 Thompson Charles K.

Undercliff street
133 Davis Mrs. Alexander
135 Marshall John
137 Dew Patrick
139 Walker Abner

Lindsay street
173 Reid D., shipping agent, "Yeolands"
175 Public School—Alexander James Kilgour, head master
Yeo street

181 Beattie Mrs. M. J., "Jessamine"
Beattie E. H., architect
183 Brommer James
197 Williams William, painter
189 Chalm H.
201 Moore T., drayman
Military road
209 Elliott Henry
211 Scott John
Grosvenor street
217 Model Dairy—W. Chabery, manager
223 Reeves George, builder, "Glenavou"
225 Mann Mrs. G. F., "Hamstead"
227 Drew E. L., architect
Belgrave street—Sutherland street
Willoughby bay

Bennett Street (Neutral Bay)—North side
Off Cooper street
Clowes Frank, "Waitaki"

Murray Cyril O., "Minnetonka"
Johnson F. H., "Woolcott"
Macpherson Capt. Alex., "Dannottar"
Edwards E. S., "Mostyn"
Dobble Stewart, "Leppington"
Bode Haber, "Irralong"
Harris F. J., "Howbury"
Willshire J. T., "Coolooli"

South side
Bremner Thomas W., "Othrys"
Crossman Charles, "Ingleueuk"
Laman Arthur O.
Stinson Mrs. M., "Ledgereath"

Bent Street—East side
Affred to Falcon street
Cunningham Samuel
Ward Hubert
Hughes William, engineer
Jones John
O'Hara James, bootmaker
Lough Mrs. M.
Charlton Jonathan, "Deep Deue"
Morgans Mrs. George B.
Thomas Henry
Shaw J., "Yatala"

West side
Lewia Mrs. M. W., "Chunes"
Beidwell Captain A.
Job William, "Tipton Villa"
Robertson Robert, engineer
Carnegie Charles
Fuller William, "Djin Djin Cottage"
King Ernest G.
Winter F. A., "Preston"
Taylor James

Berry Street—South side
Affred to Edward street
117 Green William H.
Arthur street—Little Walker street
115 Wall David
109 Jeffrey Walter, "Voresbeed"
Walker street
89 Stewart Miss S., boardinghouse, "Altona"
87 Harrington Alexander, "Baden"
83 Mellmay Mrs. B.
81 Parke Mrs.
79 Baker Mrs. O.
75 Scott J. H.
71 Green itelhard
65 Gulse Mrs. J. M.

Miller street
55 Lyons Edmond
61 Purcell William J.
47 Barber Walter
45 Trott Thomas
43 Barber Robert
41 Hall George
39 Johnson Isano

Lane Cove road—Napter street
21 Masters George
19 Boland Maurice
15 Kennung Henry
13 Kennedy Sydney
11 Liddle R. D.
0 Matthews William H.
7 Reeves Joseph, "Lolsbury"
5 Howard Mrs. V.

North side
Kirkland James, coachbuilder
Miller street
68 Long Mrs. L. A. J., house & land agent
60 Bouison Mrs. M. O.
62 Grace A. H., solicitor
68 Copper H., Selwyn, M.D.

Ward street
70 Moore J. B., "Telarahl"
72 Cristford Harold B.
74 Cummings Reginald, "Genemala"
Walker street
Studdy W. B., surgeon, "Monterey"
84 Cowan Mrs. E.

ANTHONY HORDERN & SONS, ONLY UNIVERSAL PROVIDERS, SYDNEY.

THE SITUATION SAVED BY ANTHONY HORDERN'S FAMOUS LOW PRICES.

Table with columns for 'Alm' and 'Art' in 'NORTH SYDNEY'. Lists names and addresses for various streets including Alfred street, Berry street, Hampden street, Ridge street, Alma Street, Amhurst Street, Anorom Street, and Mount street.

Table with columns for 'Atc' and 'Bel' in 'NORTH SYDNEY'. Lists names and addresses for various streets including North side, West side, Junction street, Hayes street, Bank Lane, Wainborg Thomas, Bank Street, Hardy John W., Lord street, Atchison Street, South side, and West side.

ANTHONY HORDERNS'—THE SHOP FOR THE MASSES.

ANTHONY HORDERNS'—THE SHOP FOR THE CLASSES.

508 Atc NORTH SYDNEY. Bay

Bay NORTH SYDNEY. Ben 509

Arthur street continued— West side 2 Conway Mrs. Catherine 4 Beoby Edward A., solicitor 22 Winter Alfred M. 24 Wilkinson John H. 26 Fox Ebenzer J., J.P. 28 Wells Mrs. Mary 30 Bailey S. B., "Montrose" 32 Wilson Mrs. Margaret 34 Ambrose Mrs. Fanny 36 Jepson Mrs. Helen, "Eglinton" 38 Macintosh Mrs. Margaret 40 McAllister F. W. 42 Howe Mrs. Thomas 44-46 Millett Mrs., "Tranby Croft" 48 Cohen Joseph 60 Robinson Alfred 62 Hough R. T. 64 O'Connor Mrs. A. Junction street 64 Huddley Mrs., dressmaker Johnson Miss, dressmaker 66 NORTH SHORN AND MANTY TIMES Office—James Hobson, proprietor 68 Furley Joseph P. 70 Hay James 72 Thompson Mrs. Emily 74 Johnson John 76 Ashton Sam, marine engineer 84 Boyce Richard H. 86 Pearce James C. 88 Clarke Thomas, builder 90 Agutter Mrs. Mary J. 92 Storn John 98 O'Brien Alfred Thomas 100 Davis Alfred 102 Elliott Mrs. Julia Mount street 122 Hughes William 124 Glover Arthur 126 McWilliam Mrs. William 128 Atherton Mrs. Elizabeth 130 Wells George 142 Rudd Mrs. Rebecca 154 Maclean John F. 156 Gray William S., solicitor 160 Clarke George T., J.P., "Montana" 162 Parkis Arthur, "Loongana" 164 Underwood Samuel 166 Makin Henry T., "Mascotte" Atchison Street—North side W'Iloughby road to Cemetery 14 Ward William 16 Turnbull Percy 18 Byrne P. J., "St. Valerie" 20 Fisher William 28 Stephenson Samuel, cooper 32 Keys George 34 Lake Mrs. Annie Alexander street 50 Diron John J. 52a Taylor Frank 52 Fry Frederick 54 Lytle Robert J. Matthews street 84 Green V. H. 88 King William South side Alexander street—Matthews street 135 Huntington W. Matthews street 61 O'Brien Mrs. H. 57 Scannell Henry 53 O'Connell Patrick 51 Radd John A. 49 Evans Ernest O. Alexander street 47 Clark A. B., "Denton" 45 Ebert Augustine F. 43 Haylen Thomas 41 Morris John

39 Hedge Edward J. 64 Gaif William 37 Boyd Mrs. M. 62 Onson Andrew 35 Hankins William 60 Berocoy John, fruiterer 25 Adamson John W'Iloughby road 58 Shaw Mrs. K. G. 9 Gardyne George 56 Wettenten John Boundary 54 Walker John Aubin Street (Neutral Bay) South side 52 Cohen Miss, dressmaker Ben Boyd road to Hayes street 50 Hepburn John 21 Murphy Mrs. D. O. 48 Kelleher William 23 Meggy Percy R. 44 Bullock Mrs. Eliza 25 White Henry, "Bonorlu" 42 Green George E. 27 Crane Thomas E. 40 Webster William, grocer 33 Norton Percy, "Elswick" 38 Campbell Thomas 34 Potts Albert 37 Glyde William E. 32 Stevens Thomas W. 30 Stanton Edward 80 Burton John, storekeeper 28 Dunn Charles 26 Humphries Arthur W. 22 Bennett Thomas, bootmaker 20 Marshall Frank 18 Lower W. 16 Thorne John Bannerman Street (Neutral Bay) North side From Shell Cove road to Murdoch street Taylor George 30 Taylor George 32 Upton Mrs. L. 40 Williams Vivian W., "Killegar" 48 Leslie Lind, "Grafton" Undercliff street 60 Hayes Patrick A., "Glenroy" 62 Carey H. W., J.P., tea broker, "Cnthay" 72 Brown James A., merchant, "Kilnura" Hayes street Bank Lane Off Bank street Jacobs Frederick O. Bank Street—East side Off Union street 91 Collins Charles Riley street 83 Hardy John W., painter Nicol William Lorri street 63 Wood and Huskine, butchers Off—Carey Charles E. 37 Nhimu John 35 Jackson Harry 33 Liston Arthur O. 31 Schofield Horace 29 Gardyne David 27 Haynes Mrs. Catherine, "Realling Cottage" 25 Wilson James 23 Marcoollo Thomas 21 Douglas John W. 19 Pratt Edmund 17 Thomson Andrew 15 Marshall Alfred 13 Ormichael Albert E. J. 11 Humphries Thomas 7 Lyons John T. 5 Connolly John F. 3 Tierney Phillip 1 Connor Mrs. Catherine West side 106 Johnstone Mrs. Sarah 104 Anderson Halwan 102 Anderson Charles 100 Niddler Mrs. Annie 98 Smithers Alfred 96 Aokerum Walter John 94 Fleming Mrs. M. 91 Burton John 88 Calahan Andrew 86 Croushaw Thomas 84 Lord Michael 82 Bush Edgar W. 80 Bartlett James

66 Dumann William 64 Gaif William 62 Onson Andrew 60 Berocoy John, fruiterer 58 Shaw Mrs. K. G. 56 Wettenten John 54 Walker John 52 Cohen Miss, dressmaker 50 Hepburn John 48 Kelleher William 44 Bullock Mrs. Eliza 42 Green George E. 40 Webster William, grocer 38 Campbell Thomas 34 Potts Albert 32 Stevens Thomas W. 30 Stanton Edward 80 Burton John, storekeeper 28 Dunn Charles 26 Humphries Arthur W. 22 Bennett Thomas, bootmaker 20 Marshall Frank 18 Lower W. 16 Thorne John Bannerman Street (Neutral Bay) North side From Shell Cove road to Murdoch street Taylor George 30 Taylor George 32 Upton Mrs. L. 40 Williams Vivian W., "Killegar" 48 Leslie Lind, "Grafton" Undercliff street 60 Hayes Patrick A., "Glenroy" 62 Carey H. W., J.P., tea broker, "Cnthay" 72 Brown James A., merchant, "Kilnura" Hayes street Bank Lane Off Bank street Jacobs Frederick O. Bank Street—East side Off Union street 91 Collins Charles Riley street 83 Hardy John W., painter Nicol William Lorri street 63 Wood and Huskine, butchers Off—Carey Charles E. 37 Nhimu John 35 Jackson Harry 33 Liston Arthur O. 31 Schofield Horace 29 Gardyne David 27 Haynes Mrs. Catherine, "Realling Cottage" 25 Wilson James 23 Marcoollo Thomas 21 Douglas John W. 19 Pratt Edmund 17 Thomson Andrew 15 Marshall Alfred 13 Ormichael Albert E. J. 11 Humphries Thomas 7 Lyons John T. 5 Connolly John F. 3 Tierney Phillip 1 Connor Mrs. Catherine West side 106 Johnstone Mrs. Sarah 104 Anderson Halwan 102 Anderson Charles 100 Niddler Mrs. Annie 98 Smithers Alfred 96 Aokerum Walter John 94 Fleming Mrs. M. 91 Burton John 88 Calahan Andrew 86 Croushaw Thomas 84 Lord Michael 82 Bush Edgar W. 80 Bartlett James

Johnson William J. Aird James Gaffney Thomas Dlm Roderick, ilvrer Reed George, junr., N.S.W. Powell Wood Process, Ltd. Woodley's, Ltd., boilermakers, &c. Adamson George Mullane John South side Brown lane Gordon J., Carrington Laundry Richmond John, "Carlotta" Clements Edward, "Waroona" Anderson John, "Hawthorn" Edward street—Harrtoll street Gunton Mrs. Mary L., "Toongarah" Old Richard, "Waverton" Carr street Bay Road Station—A. J. Cameron, stationmaster Steel Wings Windmill Co., Ltd. Universal Wheel Company, Ltd. Off—Wagstaff J. W. Off—McMaster Oswald Bayview Street—East side From George street to East Crescent street Off—Taylor Orlando 31 Collins Frederick, "Brookland" Off—Acme Engineering Works Off—Danish Marino Motor Co. Off—Knowles Automobile Co. 24 Holts Mrs. Ellen 27 Gmderson N. C., hookbinder 25 Carmody Mrs. Margaret 23 Bulmer John 21 Eve Sydney 15 Halstead Luban 13 Sullivan Harry W. 11 Evans Mrs. Dora Spencer Arthur Wm. Gaden Charles W., J.P., "Idemere" Beuganin Mrs. R. S., boardlighthouse, "Heldelberg" Lever Sims, "Umaralla" Price Edwin J., "Carildale" Robbison Alfred, "Perryview" Benjamin Mrs. R. S., boardlighthouse, "Claremont" Senrie Mrs. Florence, "Althorne" Off—Bethel W. E., "Bungalong" Wulf J., "Altona" Co-Operative Motor Society, Ltd. Taylor John M., "Woomool" West side Brkmyre Mrs. W. W., "Sunny Bank" Bridge Leslie, "Lewlston" Bates Mrs. M., b'house, "Brenchly" 10 Lindsay Norman 8 Nathan Stephen, "Wharncliffe" East Crescent street Belgrave Street (Neutral Bay) North side From Ben Boyd to Waters road 2 Dietrich E. S. 4 Wormald Hugh 6 Grant Robert 8 Fenner Edwin, "Broolin" Foying street 56 Kohlhoff Christian 58 Sewell John F. 60 Watt Rev. William (Pres.) 62 Thomas David 64 Mouro Alexander P. 66 Underwood Frederick 68 Coggins W. D. 70 Corsellis George 72 Wyly Sydney 74 Burns Ernest W. 76 Bell William 78 Hauptmann Michael 80 Watson Oscar, "Gulldford" 82 Olyde Dudley K.

South side McLeann Alexander 11 Jackson John 13 Feeley Thomas 15 Garrily John Symes H. O., "Dover" Hayes Sydney Callaghan Mrs. Kate Young street 53 Lacey W. O. 56 Collins Alfred 67 Brown George 69 Harding Charles R. 61 Hewl Thomas 63 Ferguson Robert 65 Wyly Reginald 67 Seldin H. Vivian 69 Fayle Richard H. 71 Dee Perelval H. 73 Atkinson Robert J. 75 Wilson Charles A. Bellevue Street—West side From Ernest street to Long bay 2 Potts Alfred Bale William T., "Thelma" 10 Swan Andrew Rosalind street 16 Adamson John 20 Mincee F. S., "Glenden" 22 Wheatley Edward J., "Wahroonga" 24 Baird John W., "Yerani" 26 Morley James H., "Wulstead" 28 Fowler John, "Brooklyn" 30 Dorney Mrs. Caroline, "Coombera" 32 Garrard William P., "Oraya" 34 Seymour Mrs. Barbara 36 Macfarlane M., J.P., "Lymington" 38 Hoskins Leslie T., "Ione" 40 Keenan Mrs. Margaret 42 Hunter-Brown Charles H., "Ellilawal" 44 Cameron Miss Jessie, "The Cottage" 46 Edwell Horace H. 48 Neville Richard 60 Bennett Robert 62 Benson Walter Amhurst street Macdonald Kenneth, "Blumurst" Bateigh street—Palmer street Lawry J. L., "Glen Vile" Moylan J. J., "Glen View" Pine street—Long bay East side Government Pound Leggatt Frank, "Moeraki" Fairfax Mrs. William, "Gloucester" Arntemann Harry Montgomery Mrs. M. Miller J. S. Pope Charles Amhurst street 63 Mitchell Thomas 55 Fredericks William 57 List Mrs. Hannah 63 Huokney Alonzo 65 Rowley Mrs. Isabella 67 Windram James 69 Vincent George 71 Thev William 73 Ebert John Francis 77 Kelled Henry de O. 79 Court Edward L. 81 Hirst Percy 83 Vanlee Ernest, "Glenview" 85 Sheaves John 87 Friend John 80 Brice David Pine street—Long bay Ben Boyd Road (Neutral Bay) West side Kurraha road to W'Iloughby bay Joyce William H., bontsheds 16 Emeyer Robert G., "Mercedth" 20 Stokes E. S., M.B., surgeon, "Drumrin"

44 Delolte Marnaduke, "Ashmont" 46 Hepburn Mrs., "Bothwell" 48 Donk Andrew J., J.P., "Urara" Phillp street 56 Stavenhagen Julius W., "Mt. Edgecombe" 62-60 Post and Telegraph Office—Mrs. Warlrop, postmistress 64 Anderson William, J.P., "Clifton" 70 McCorinnack John C., grocer 86 Rickard Arthur, "Irrubel" Highrise avenue Lawson George Wilfrid, "Hartwell" Gellatly James, "Kilmarnock" Gellatly Frank M., "Callender" Lindsay street 126 Osborne Frank, solicitor 130 Holmes Miss A. M., "Meryula" Hardie street Wilkinson T. B., J.P., "Dalmeny" Coombe Ernest W., J.P., "Kuring-gal" 158 Horton George, grocer 160 Bailie Samuel Feo street 166 Gurdner Mrs. M., "Mia-Gnyah" 168 Cameron Edmund, "Oban" 170 Gibson Mrs. E. O., "Araluen" 172 Miller Charles, "Nemvry" 174 Beau W. H., "Ararat" 176 Thompson Mrs. F., "Collingbourne" 178 Cook Robert, "Lindley" Military road McGauly Donald, "Brammar" Donoghue John, "Nether Edge" Walker Walter D., "Almondbury" Barns H. L., "Ormuil" Moorhouse Frederick, "Beverley" Montefiore Miss O., "Inzelwood" Varley Arthur H., "Merlba" 206 Wells Richard, "Lilydale" 208 Farrant-Smith L., "Bryntirion" 210 McGauly William, "St. Elmo" Oaks avenue 212 Clark Mrs. Mary, "Kinowna" 214 Burke James A., "Almosa" 216 McManus Mrs. Margaret 218 Watson Miss M. E. 220 Innesfall Mrs. M. 222 McManus J. R. 224 McManus Mrs. H. M. 226 Cowell Mrs. Ford 228 Mnedomild, John R., J.P., "Esperanza" Sutherland street East side Abbin street 17 McDonald Rholmond, grocer 19 Tully Walter 21 Marks Percy, "Burrum" 23 Aulin Miss M. E. 25 Taylor Miss Ohra 27 Fischer Hermann, "Lorraino" 29 Neal Charles 37 Agar Wallace 39 Stewart George 41 Clinton Peter 43 Harrison Frederick 45a Statunton Mrs. Margaret 45 Ray John 47 Hoskins Bernard 48 Muggidge Arthur, J.P. 51 Halph M., grocer Wilson V. S., "Capri" Phillp street 69 Huxley Mrs. M. 71 Wlokham Edgar, "Sorrento" 73 Nixon Arthur 75 Smith Mrs. Matilde 77 Olose Herbert, "Victoria Cottage" 87 Milne Mrs. Alice 96 Morris Charles T., "Huxley" Salmon John, "Lebnal" 105 Brown J. Bryden

ANTHONY HORDERNS' FOR FASHION'S FAIREST FAVOURS.

ANTHONY HORDERNS' FOR ALL THINGS NEEDFUL AND NICE.

652 Anc

NORTH SYDNEY.

Atc

Amhurst street continued—
 Moore Frank F., "Relford"
 Osborne Albert H., "Astoria"
 Iredale Mrs. L. F., "Eridge"
 Morris Walter A., "Doreen"
 Eckford Stanley, "Ba'gowlah"
 Dibben Wallace E., "Wourah"
 Anderson Cyril, "Beryl"
 Willoughby William J., "Maldston"
 Savell Shipworth, "Muskoka"
Elio street
 Hawke Frank, "Carvill"
 Pittard Rupert, "Sugastaweekee"
Warringa road
South side
 Stockley Harold, "Paritatu"
 35 Taylor Charles
 37 Lee William Yinson, "Sunny Anthony"
 39 Palmer Mrs. Ellen
 41 Turner Martin Henry
Miller street
 47 Ide Henry, "Chamoux"
 49 Gray Walter
 51 Harricks J. D. F.
 53 Flower A. G. Addison, "Dalkceith"
Bellevue street
 59 Spencer Malcolm, "Rosebrook"
 Kellett Henry de O., "Lota Begg"
 Diederichsen Mrs. Ruby, "Sunliaven"
 Kitt Albert M., "Sherholm"
 Nelsen Ernest, "Lochinvar"
 Goodwin Eric N., "Merimbah"
 Gillespie Charles, "Ralston"
 Brown Mrs., "Illilawa"
 Benson Harold, "Quilimamba"
 Pelquest Thomas, "The Braes"
 Neave Jacob, "Morongu"
Echo street—Warringa road
Anorum Street—West side
Off Euroka street
 2 Smith John
 4 Hedge Horace
 8 Dawson P.
 10 Bolton George Albert
 12 Coste Victor H.
 14 Marr Arthur
 18 Thompson John
 22 Adamson Thomas
 26 Bourke William Nicholas
 30 Wimpey Mrs. Susan
 34 Murphy William
 38 Clayton William
 42 Woodcock Charles J.
 46 Johnson Mrs. Amy
East side
 3 Lower Miss Kate
 5 Bounds Alfred W.
 7 Lawson S. P.
 9 Willatt Percy J.
 19 Burreson Olaf
 23 Lipscombe William S.
 25 Munro Stanley
 27 Hilder David
 29 Dessalx Peter
 31 Ivory John
 35 Stevens John J.
 39 Pelquest Frederick C.
 41 Knox George
 43 Gardiner William E.
Angelo Street
Berry to McLaren street
Arkland Street—East side
Off Warringa road
 Somerville George O.
 Madden James, "Cauberra"
 Keeling Arthur R., contractor
West side
 Ferguson Ronald, "Coolha"
 Keobing Alexander, "Zwecca"
 Horley Courad F., "Narellan"

Armstrong Street—East side
From Jenkins to Palmer street
 Aspinall Mrs. J., grocer
 9 Woodall Thomas
 11 Tipping Daniel C.
 Hager Charles
 Shupson John, "Wanganui"
 Burne T., "Oamaru"
West side
 6 Chapman Frederick
 8 Sullivan Richard, daryman
 Heath James
 11 Smith Mrs. Eliza
 16 Nolan John
Palmer street
Arthur Street—East side
Lavender Bay to Berry street
 Morris Charles Edward, "Runglota"
 5 Brainwood G. B., watchmaker
 7 Long Joseph William
 9 Vokes Mrs. T. W., "Walmara"
 11 Rankston Harvey, "Wesford"
 9 Simfield Joseph, "Norwood"
 11a Schmidt Hermann, "Hollyrool"
 Peterson Mrs. Geoffrey, "Rose Blanche"
 O'Brien William, "Bon Accord"
 Millie Mrs. Alice, "Manilla"
 10 McIlroy Mrs. Rose, "Rhodesia"
 21 Ross Henry John, "Motoppo"
Lavender street
 23 Kearney Mrs. A. M., "Camjwel"
 25 Palmer Mrs. Edith, "Lymien"
 29-33 Ives Mrs. Mary, "Carlisle"
 35 Marshall Randolph, "Cudoxton"
 Stinson Mrs. S.
 37 Nelson Charles, "Charming"
 39 Boland Mrs. Eliza Jane
 41 George William
 43 Carroll Mrs. Mary
 45 Watt James
 47 Lenihan Nicholas P.
 49-51 Lewis Mrs. Kate
 53 Simmons Albert Edward
Junction street
 55 Morgan C. A.
 57 Simons Gerard
 59 Wise Frederick James
 61 Miles Mrs. Sarah
 Boyl Robert H.
 63 Gregory Walter C.
 65 Barton Mrs. Helen M.
 67 Taylor Mrs. Elizabeth
 69 Birtchell Ernest V.
 71 Harral Frank
 73 Lapham Walter
 75 Drysdale Frederick S.
 77 King Mrs. Marron E.
 79 Knuth Albert E., "Cosey Nook"
 81 Pearce James C., "Morua"
 83 Downie Andrew R.
 85 Hancock John
 87 Popillarie Mrs. Lily
 89 McDonald Donald Andrew
 91 Granow Ardolph
 93 Watt Mrs. Emma O.
 95 Knight Edwin
 97 Taylor Frederick N.
 99 Allen Mrs. Rosa
 101 Pearce Mrs. Ann M.
 103 Ashton Samuel, "Avoca"
 107 Butler Mrs. John C.
 113 Robinson Mrs. M. J.
 115 West John
 117 Wood Mrs. Amy
 119a Brennan Walter
 121 King V. and W., carriers
Mount street
 119 Dunn Albert
 125 Hynes John W.
 127 McDonnell L., cab proprietor
 129 Woods Mrs. Bertha
 131 Best Mrs. Mary
 133 Sharp Miss Gertrude

135 Carlton Thomas
 137 Nancarrow Misses L. and G.
 139 Turnbull James, watchmaker
 Meulling Henry, "Arnn House"
 141 Pittard George F., "Clifton"
 143 Padden Captain Daniel
 145 Pearce Mrs. Woodward, music teacher
 147 Vandenberg Mrs. H.
 149 Shaw John, "Fareham"
 151 Powell William P., "Highbury"
 153 Stokes Vincent W.
 155 Johnson Charles
West side
 2 Conway Mrs. Catherine
 4 Daudle Peter
 22 McNaught A.
 24 Wilkinson John H.
 26 Fox Mrs. Margaret
 28 Wells Mrs. Mary
 30 Bailey E. F., "Montrose"
 32 Baldick David
 34 Harkess Mrs. M.
 36 Newbery William, "Inley"
 38 MacIntosh Mrs. Margaret
 40 Roe Mrs. Julia
 42 Rowe Mrs. Thomas
 44 Suttle Mrs. Mary, "Tranby Croft"
 46 Nelson Mrs. N., "Tenelba"
 48 Cohen Joseph
 50 Robinson Alfred D.
 52 Mitchell Mrs. Mary P.
 54 Johnson Miss Ada
Junction street
 64 Huddley Mrs. E. E., dressmaker
 Younger Mrs. T. M.
 66 NORTH SHORTE AND MANLY TIMES
 Office—James Hobson, proprietor
 68 Farley Joseph F.
 70 Nelson Walter
 72 Wulffing Mrs. Lydia
 74 Jeffrey Reginald A.
 76 Johnson John
 78 Ashton Sam, marine engineer
 84 Boyce Richard H.
 86 Brown John, tailor
 88 Clarke Thomas, builder
 90 Pipe Herbert
 92 Staunton Henry
 94 Hickson James G.
 96 Jones Henry John Edgar
 98 O'Brien Alfred Thomas
 100 Sullivan Mrs. Mary T., "Burwarra"
 102 Johnson J., "Aramac"
 104 Hall Frank
 106 Zilm Mrs. Alice
 108 Schofield Leonard
Mount street
 120 King William H.
 122 Ritzum Mrs. John
 124 Glover Arthur
 126 McWilliam Mrs. William
 128 Sibthorpe Robert H.
 130 Wells George
 142 Rudd Mrs. Rebecca
 164 Maclean John F.
 156 Gray William S., solicitor
 160 Clarke George T., J.P., "Montana"
 162 Withers Mrs. Ida M.
 164 Underwood Samuel
 166 Johnson Alfred, "Mascotte"
Berry street
Atchison Street—North side
Willoughby road to Cemetery
 14 Fulton Thomas
 16 Dolg Mrs. Barbara
 18 Reynolds John, "St. Valerie"
 20 Tuft Robert
 24 Thompson Arthur
 Dec Percival B., "Lawrence"
 28 Stephenson Samuel, cooper
 32 Keys George
 34 Bennett George H.
Alexander street

Aub

NORTH SYDNEY.

Bay 653

50 Barber Mrs. Sarah "Lon"
 52a Hilton John G.
 52 Frary Frederick
 54 Lytle Mrs.
 56 McCartyne Albert
 58 Barnes Herbert
 60 Townsall Albert E.
 62 Hunt Gordon A.
 64 Tripp Reginald
 68 Gartrell Herbert
Matthews street
 Diekson Henry S., "Merlyn"
 Cortthorne Oscar
 Latcham John, "Tahiti"
 Bailey Edgar H.
 82 Cruickshank John G.
 84 Douglas Alfred R.
 88 King William
 90 Bunyan George
 92 Mellow William H.
 102 Leeder Charles
South side
Alexander street—Matthews street
 135 Huntington W.
Matthews street
 63 Draw William J.
 61 McRobb John
 57 Worrall Arthur
 53 Elsley George
 51 Cowan Alexander
 49 Evans Ernest C.
Alexander street
 47 Lambert Alexander
 45 Long Mrs. Eliza J., music teacher
 41 Hancock Frederick
 Riley William
 39 Hancock Kenneth G.
 37 Glover George
 35 Reidy John
 33 Cluneligh John G.
 31 Maliesoh W.
 25 Adamson John
Willoughby road
 9 Gardyne George
Boundary
Aubin Street (Neutral Bay)
Ben Boyd road to Hayes street
South side
 21 Jackson John Edmond
 23 Meggy Percy R.
 25 Wright Mrs. Margaret
 27 White Henry
 33 Norton Percy, "Eiswick"
 37 Wigg J. R., "Nungara"
Undercliff lane
 Hughes William O. G., dentist, "Reg-
 gate"
 Beetham C., "Arklands"
 45 McCrea Charles
Thrupp street—Wycombe road
North side
 12 Wickham Mrs. Emily
 14 Fraser William G.
Ben Boyd road
 18 Boyes Alexander
 20 Smith William J.
 22 Prior Albert
 24 Greening Victor
 26 White James H.
 28 Watson Sydney
 30 Mansford A. J.
 32 Cooper Alfred R.
 40 Williams Vivian W., "Killegrar"
 Stevenson Robert, "Sterling"
 Mackey James, "Clarence"
 48 Donk Miss Rhoda, "Grafton"
 Spooner Cyril
Undercliff street
 50 Crane Thomas E., "Glenroy"
 62 Burke James A., "Halishot"
 72 Brown James A., merchant, "Kulntra"
Thrupp street

Balfour Street
Off Carlyle street
West side
 Newton Charles V., "Mlnoru"
East side
 Davis Oscar
Bank Lane
Off Bank street
 Langer William
Bank Street—East side
To Union street
 91 Collins Charles
 89 McKenzie Miss M.
Riley street
 83 Sword James
 81 Jackson James, "Brookland Villa"
 73 Madeley William
 71 Galbraith Thomas
 69 Gardiner Ernest E.
 67 Wyeth James
Lord street
 63 Edwards John
 59-59 Carey Charles E.
 55 Webster Herbert
 53 Duggan Charles A. R.
 51 Hollins Harry
 37 Nimmo John
 35 McDermott William E. H.
 33 Houghton Harry
 31 Adams James
 29 McKeelnie Alexander
 27 Nabbs Cyril, "Reading Cottage"
 25 Adams John
 23 Beerey John P.
 21-21-Lawler Patrick
 19 Strachan Hanton
 17 Thomson Andrew
 15 Marshall Mrs. Alfred
 13 Carmichael Albert E. J.
 11 Cormack Mrs. Jessie
 9 Godfrey John
 7 Simmons John H.
 5 Connolly John P.
 3 Hawkins William
 1 Connor Mrs. Catherine
West side
 118 Goulding Frederick
 104 Anderson Halwah
 102 Anderson Charles
 100 Kelly Thomas
 98 Graham John
 96 Collins John
 94 Fleming Mrs. Margaret
 92 Lewis Arthur
 78 Cronshaw Thomas
 76 Foley Mrs. C.
 74 McCaskell Alexander
 72 Jackson William R.
 70 Duckworth William
 68 Coomles Mrs. Ephraim
 66 Jones Evan
 64 Cotton Frank
 62 Carson Andrew
 60 Poskar John H.
 58 Pattinson James
 56 McLennan Mrs. Mary
 54 Walker John
 52 Tierney Phillip
 50 Hepburn John
 48 Kelleher William
 44 Bullock Mrs. Eliza
 42 Seal Henry D.
 40 Kent T.
 38 Nevison William H.
 36 Shaw George Henry
 34 Potts Albert
 32 Stevens Thomas W.
 30 Fizzell Samuel, grocer
 28 Francis John
 26 Humphries Arthur W.
 24 Bennett Thomas, bootmaker
 20 Roberts James

18 Lower W.
 16 Thorne John
Bannerman Street (Neutral Bay)
From Shell Cove road to Mardoch street
North side
 Baker William P.
 20 Taylor George
 Whiddon Frank, "Dalkceith"
Guthrie avenue
 Ewing J., "Akarama"
 Sayers Geo. P., "Roundhay"
 Nathan Albert, "Helester"
Claude avenue
 Cleland J. B., physician, "Conramyn"
 Russell F. A., "Laurieston"
Murdoch street
South side
From Mardoch street
 Reid D'Arcy C., "Hazeldean"
 Phillips Captain J. D. S., "Kintara"
 Cameron Robert, "Kapal"
 Morgan W. S., "Kinnell"
 Shrimpton H. C., "Kynamu"
 Clark Mrs. M. M., "Knoble"
 Haslington H. A., "Warra"
 Haslington the Misses, private school
 Ayling F. D., "Wollundry"
 Davidson James
Shell Cove road
Barry Street (Neutral Bay)
Military road to Anderson street
East side
 41 Prentice Mrs. Annie, "Wonga"
 39 Taylor C. E., "Tundanya"
 37 Inyard C. W., "Elsleville"
 35 McCoy Delambre, J.P., "Cap-Crip"
 33 Bondy Frank P., "Milford"
 31 Monk John
 29 Ingram Mrs. A., dressmaker
 27 Summers Thomas
 25 Gardner Mrs. Noroline
 17 Moss Alfred H., "Abingdon"
West side
Military road
 72 Stenning Fred E.
 70 Hayes Edward T.
 68 Corbett George
Geo street
 Lawrence Maurice H., "Loloma"
 Pope Wilfred, "Tarrawra"
 Howe Miss Emma, "Na-Navie"
 Fora Thomas W. H., "Ilimona"
 Hanson Mrs. M. A., "Creewood"
 Nisbitt J. H., J.P., "Pyree"
 Webster Edward, "Aston"
 Kenny Eugene, "Mourable"
Lindsay street
 Clayton Ernest H., "Allowah"
 16 Pearsall A., "Chansman"
 14 Sherry Mrs. Emily, "Rahan"
 Williamson George J., "Imogene"
 Waugh Rev. R. H., M.A.
West-11th street
 8 Taylor Frank B., "Huntley"
 Savers W., B.Sc., "Rahnie"
 2 Girls' College and Preparatory School
 —Miss Rhoda Thomson and Miss
 Hilda Carey
 Neutral Bay Lawn Tennis Club
 Grounds
Bay Road—North side
From Lane Cove road to Berry's bay
 Clarke M. W. S., "Brantwhite"
 Davies Rev. D. (C. of E.), "Cartrif"
Harrill street
 McCormick Mrs. John, "Goldcourt"
 Johnston Herbert J., "Ullmaroa"
 Cooke John G., "Elswick"
 Wilson Thomas, "Linhaden"
 Young David C., "Hilverina"
 Mellville Norman, "Lorraine"
 Atkins Frederick W., "Koorobah"
Curr street—Craw's Nest road

JOHN SANDS' LTD. RUBBER STAMPS GIVE COMPLETE SATISFACTION.

JOHN SANDS' LTD. "SAN JUSTO" PERFECT LOOSE-LEAF LEDGER.

Table with columns for '440 All', 'NORTH SYDNEY', and 'A/c'. Lists names and addresses in various streets like Keen Leonard R., Archer Street, and others.

Table with columns for 'Aub', 'NORTH SYDNEY', and 'Bay'. Lists names and addresses in various streets like Adamson John, Forbes Edward R., and others.

WINDOW TRANSPARENCIES ARE A SPECIALITY WITH JOHN SANDS LTD. JOHN SANDS' LTD. "ALL-IN" FILING SYSTEMS SAVE TIME.

- Albany of cont.—
45 Wilton Peter H.
43 Williams Mrs. Ethel
41 Wydale W. J.
39 Yrks Mrs. Beata, L.

- Law Edwin J.
118 Smithers Miss F. A.
Albany street
120 Wilson John
122 Brown Henry J.

- Alfred Street East side
Fitzroy to Ernest at
88 Hindle Hotel — Edward
Jeausy
11 Woughby street

- 488-486 St. Leonard's Grammar School — R. H. Peacock, headmaster
487 Flats —
487 Wesley Allan

- 94 Garnett Mrs. L.
96 Harpell Mrs. M.
106 Williams Mrs. Louisa

- 250 McCarron W. J.
280 Thorpe Mrs. Thomas
302 Montgomery William O.

- 60 Duff Mrs. Alice G.
78 Baxter Mrs. Alice G.
80 Bennett James C.

- Angelo Street
Berry to Malross street
Arklands Street East side

- 181 Best Mrs. Mary
182 Smith Mrs. Catherine
185 Cooper Mrs. M.

- 127 Huntington Mrs. R.
125 Murphy Thos. P.
123 Tomkins Thomas

Statement of Environmental Effects

For:

Alterations & Additions
114 Atchison Street,
Crows Nest NSW 2065

Issue

A 10th December 2023

Prepared by

O'Keefe Architects
4/281 Pacific Highway
North Sydney

Nominated Architect: Paul O'Keefe
Reg 6373

Table Of Contents

1.	Introduction
2.	The Site
2.1	Location
2.2	Real Property Description
2.3	Topography.
2.4	Areas And Frontages
2.5	Improvements
2.6	Access
3.	Surrounding Environment
3.1	To The North
3.2	To The West
3.3	To The East
3.4	To The South
3.5	General Observations
4.	The Proposed Development
4.1	The Development
4.2	Site Calculations
5.	Zoning And Development Controls
5.1	North Sydney Local Environmental Plan 2013
5.2	North Sydney Development Control Plan 2013
6.	Assessment Of Environmental Effects
6.1	Division 4.15 - Statutory Planning Considerations
6.2	Division 4.15 - Environmental, Social And Economic Impacts
6.3	Division 4.15 - The Suitability Of The Site
6.4	Division 4.15 – Submissions
6.5	Division 4.15 - Public Interest
7.	Conclusion
8.	Appendices
	Appendix 1: Site Photographs

1. Introduction

This Statement of Environmental Effects (“SEE”) accompanies a development application (“DA”) for alterations and additions to an existing dwelling comprising; demolition works, first floor addition, internal alterations, alterations to existing window and door openings, and alterations to an existing two storey ‘Barn’ containing an existing secondary dwelling and garage located at the rear lane.

The impacts of the development application are assessed herein.

The Statement of Environmental Effects:

- describes the land to which the DA relates;
- describes the characteristics of the surrounding locality;
- describes the statutory planning framework within which the DA is to be assessed and determined;
- describes the form of the proposed development; and
- assesses the proposed development in the light of all the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Act, 1997 (“EPAA Act”).

The SEE is accompanied by:

- Architectural plans prepared by O’Keefe Architects and set out on drawings numbered 2306_DA00 to 2306 DA_15 Issue for DA
- Heritage Impact Statement prepared by Archnex Designs
- Survey Plan prepared by Bennett & O’Donnell Surveyors
- BASIX Certificate No. 1730129S

2. The Site



Figure 1: Site Location Map.

2.1 Location

The site is located within the suburb of Crows Nest in a residential area typified by tightly spaced detached dwellings. The property is located on the Northern side of Atchison Street and is within the Holtermann Estate A Heritage Conservation Area. The property is listed as a Local Heritage item.

2.2 Real Property Description

The site comprises Lot B in DP964617. The boundaries of the site are shown on drawing DA03 'Site / Roof Plan', and on the survey that accompanies the DA submission.

2.3 Topography

The site falls from South to North by approximately 1.5m.
The site falls from East to West by approximately 0.225m.

2.4 Areas and Frontage

The site is a regular lot and has an area of 278.2m² with a frontage of 7.525m to Atchison Street.
The site has a depth of approximately 36.575m and frontage of 7.77m (rear boundary) to Chandos Lane.

2.5 Improvements

Existing improvements comprise a single storey rendered brick dwelling with a pitched metal roof, facing Atchison Street. The dwelling has been subject to numerous interventions over time including unsympathetic works to the frontage and extensions to the rear of the property.

A substantial two storey brick 'Barn' is located on the rear (Chandos Lane) boundary. The barn has been modified over time to incorporate a single garage and additional self contained living areas.

2.6 Access

The primary pedestrian access to the main house is off Atchison Street. Access to the secondary dwelling and to the Garage is via Chandos Lane.



Figure 2A: The Site viewed from Atchison Street



Figure 2B: Rear 'Barn' viewed from Chandos Lane

3. Surrounding Environment

3.1 General Observations

Atchison St is an established street with formal footpaths, verge landscaping and mature street trees. The surrounding streetscape is comprised of tightly spaced lots generally consisting of a mix of original free-standing and semi-detached dwellings. The street facing facades are generally maintained in their original configuration with contemporary extensions, including second floor additions, set behind the original frontage. A number of unsympathetic mid to late 20th Century properties are located on the southern side of Atchison St, however, the original character of the street remains otherwise largely intact.

3.2 To the North

The site is serviced at the rear by Chandos Lane which provides rear lane access and parking to adjoining properties on Atchison Street and Chandos Street. The lane is fronted by a mix of rear boundary fences, open parking spaces, carports and garages.

3.3 To the West

112 Atchison street is located to the West of the site and comprises a part single, part two storey brick and weatherboard dwelling. The dwelling comprises an original cottage fronting Atchison St, with contemporary part single storey, part two storey alterations extending into the site. No 112 is constructed to both side boundaries.

3.4 To the East

116 Atchison street is located directly to the East of the site and comprises a contemporary two storey brick and weatherboard dwelling. Further to the east Number 118 Atchison St is a substantial 2 storey dwelling incorporating contemporary additions. A series of original semidetached dwellings with contemporary rear extensions, second storey additions and rear lane garages extends further east.

3.5 To the South

The Southern side of Atchison Street contains a mix of small apartment blocks, a series of original stand-alone and semi-detached dwellings and a number of unsympathetic mid – late 20th century buildings.

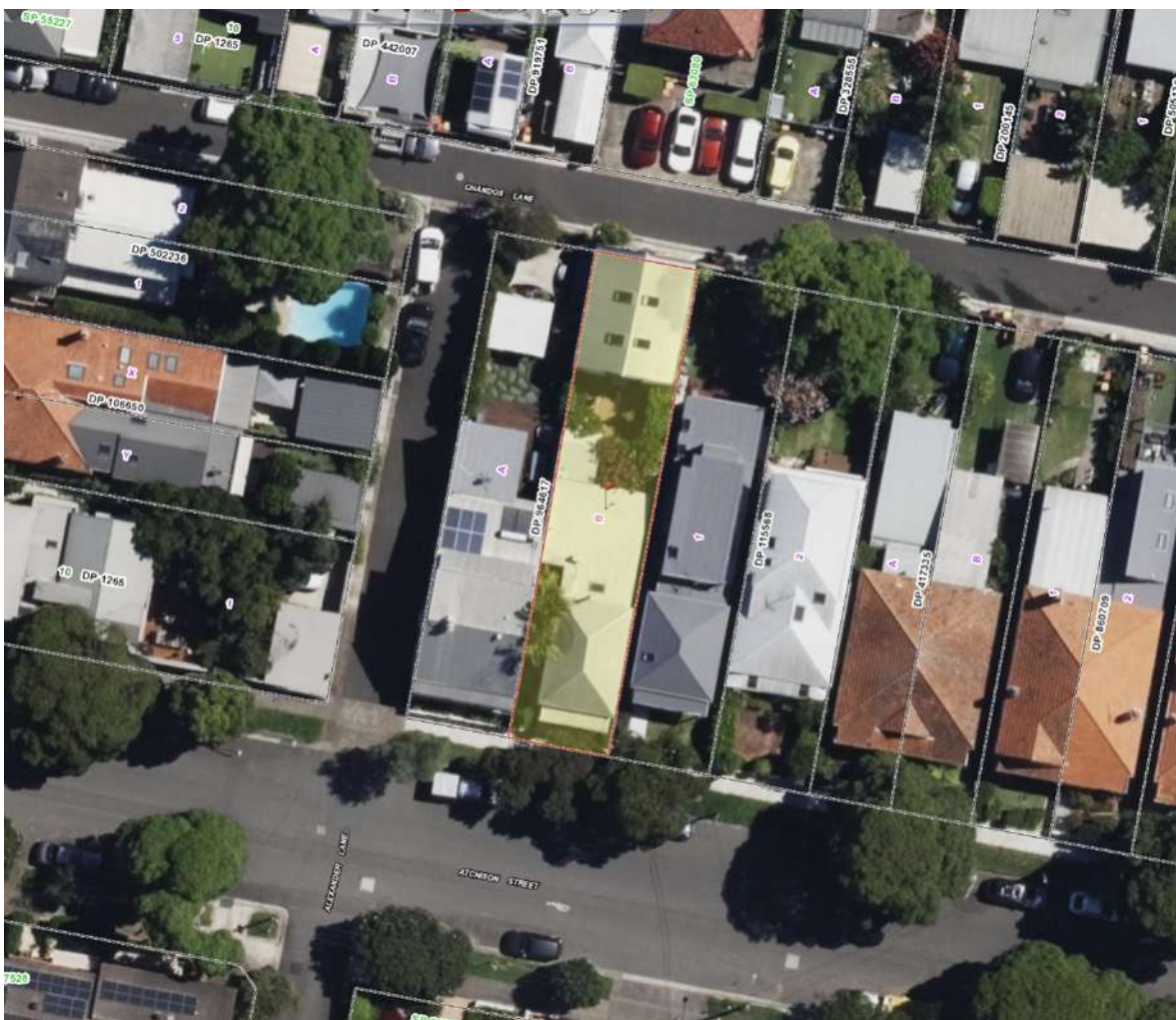


Figure 3: Aerial View: Context.

4. Proposed Development

4.1 The Development

The proposed works involve the retention and refurbishment of the original front section of the existing cottage, internal alterations, partial demolition of the rear portion of the house, and construction of a new two storey addition.

Internal alterations are proposed to the rear Barn structure with related new windows and doors proposed to the Southern façade.

The proposed works will comprise:

Dwelling:

- Internal alterations to front rooms
- Demolition of rear extension and construction of new two storey addition
- New works set behind the line of the original front cottage

Barn:

- Internal alterations including reconfigured kitchen, relocated stair, relocated bathroom
- Alterations to south facing windows and doors
- Incorporation of direct access between the Garage and the Rear garden

Landscape:

- Removal of unsympathetic elements within Atchison St frontage
- New timber paling fence to Atchison St
- New Landscaped rear courtyard including replacement screen planting to side boundaries

4.2 Development Calculations

(figures incorporate House and Barn)

Site Area	278.2m ²		Existing	Proposed
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m ²	157m ²
LEP FSR	-	First GFA	61m ²	106m ²
		TOTAL	212m ²	263m ²
Landscaped Area Control	Min 20%		41.5m ² (14.9%)	73m ² (26.3%)
Unbuilt Area	Max 20%		60m ² (21.5%)	23m ² (8.3%)
Site Coverage (Built Upon area) Control	Max 60%		173m ² (62.1%)	177m ² (63.6%)

5. Development Controls

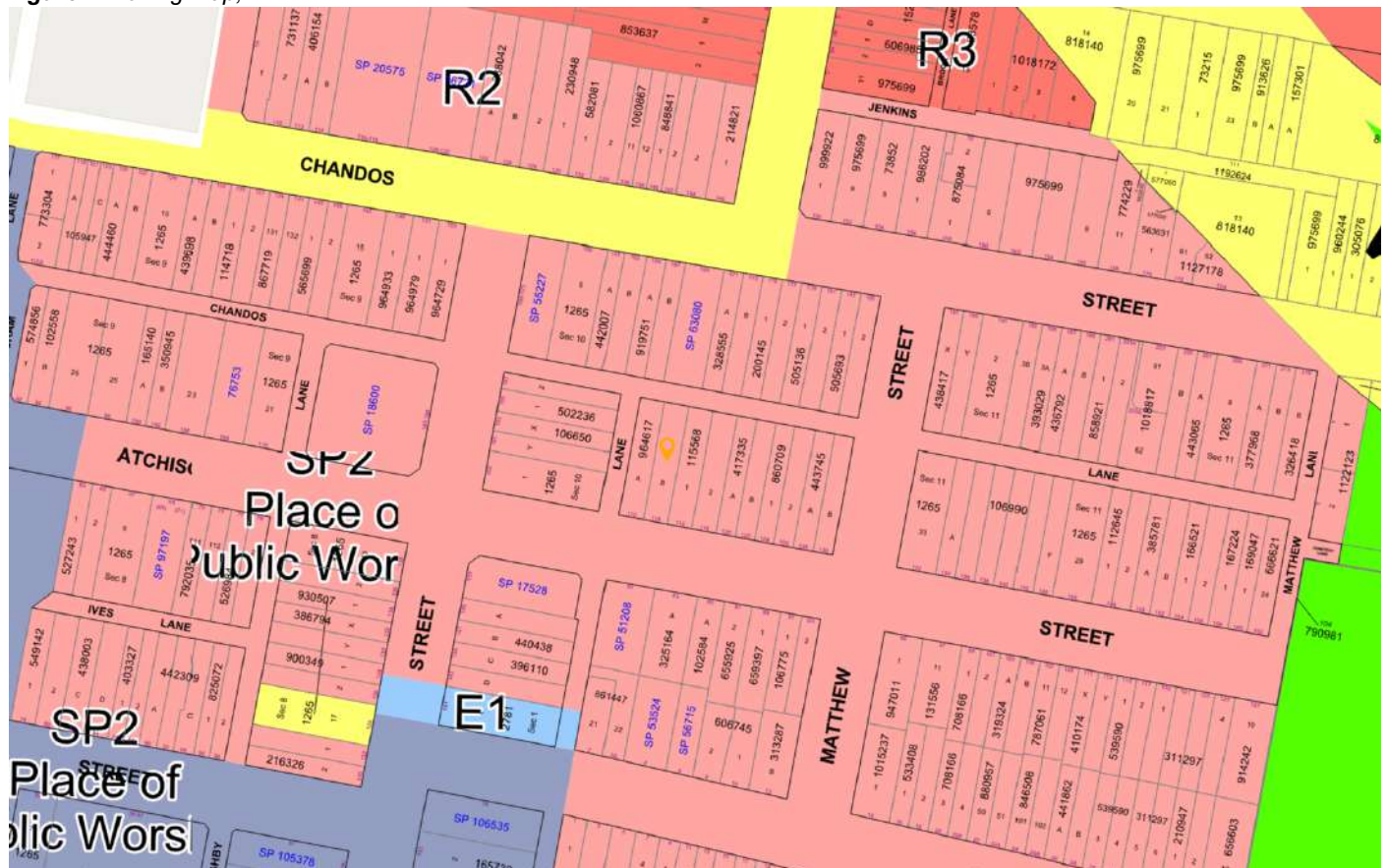
5.1 North Sydney Local Environmental Plan 2013

The relevant clauses of the North Sydney Local Environmental Plan 2013 are addressed below.

Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the North Sydney Local Environmental Plan 2013. The proposed development is a permissible use in the R2 zone which permits alterations and additions to residential dwelling with development consent.

Figure 4: Zoning Map, LEP



Height

Clause 4.3 of the LEP restricts the height of any development on the subject site to 8.5 metres. The proposed development complies with a maximum proposed height of 7.2m. The project complies with the development standard and the objectives of clause 4.3 of the LEP.

Figure 5: Height of Building Map, LEP



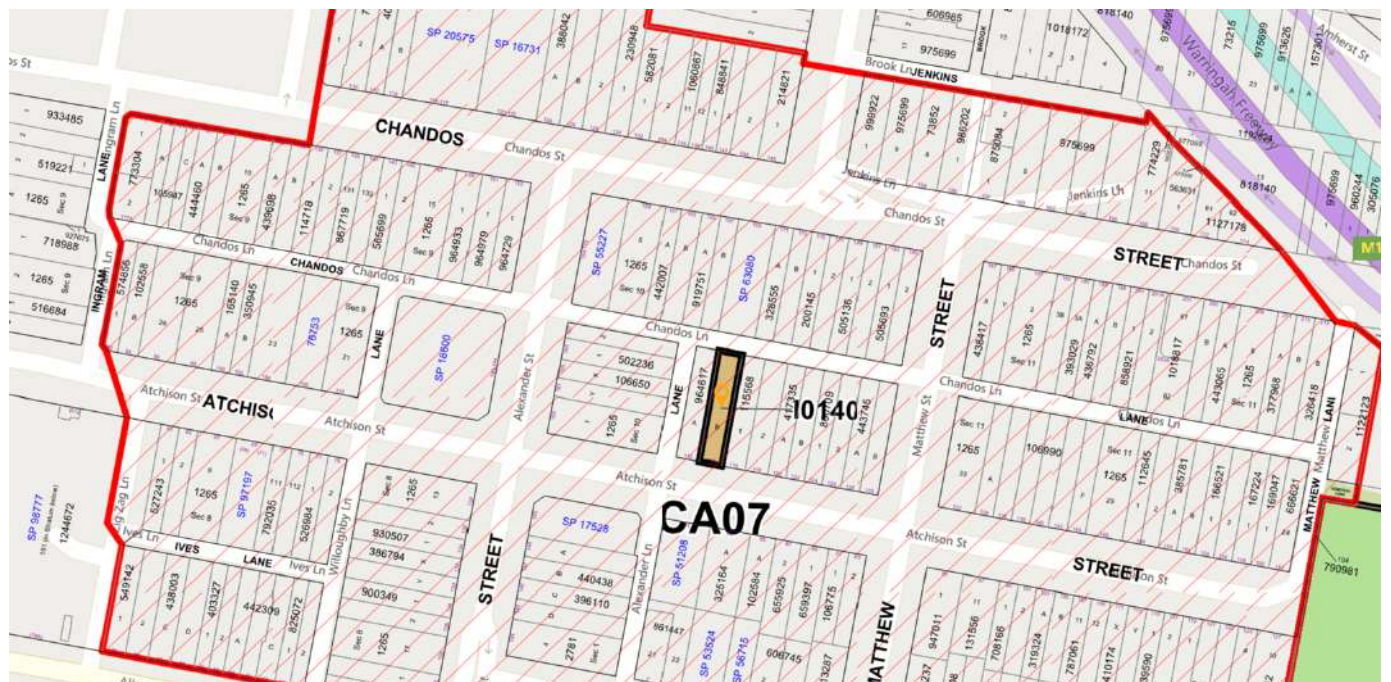
Heritage

The property is listed as a local heritage item and is located within the Holtermann A Heritage Conservation Area.

The proposed development respects the heritage context of the property. Works in the frontage are limited to replacement on unsympathetic fencing with more appropriate paling fencing. All major works are located behind the original front portion of the dwelling, with the original roof form of that structure to be retained. The form and materiality of the new works has been designed to minimise bulk and to be considerate of the heritage context of the property.

A Heritage Impact Statement is provided in support of the application under separate cover.

Figure 7: Heritage Map- LEP



Floor Space Ratio

The floor space ratio control has not been adopted for the subject site.

Acid Sulfate Soils

The site is not located in an area nominated as being affected by Acid Sulfate soils.

5.2 North Sydney Development Control Plan 2013.

The relevant sections of the DCP are addressed below.

Section 1- Residential Development

General Objectives

Relevant controls and objectives are met by the proposed development as discussed below:

1. Reinforces the aims and targets of Council's Residential Development Strategy;

The proposed redevelopment is appropriate when considered against Council's Residential Development strategy, with existing residential stock being retained with improved amenity and increased accommodation.

2. Is consistent with the principles contained within the Integrated Land Use and Transport Policy;

The proposal has no material impact on the Integrated Land Use and Transport Policy.

3. Provides a range of living opportunities that attract and cater for a diverse population;

Improving the amenity of the property is consistent with this objective.

4. Does not have adverse impacts on residential amenity or environmental quality;

The proposal does not give rise to any material adverse amenity or environmental impacts on the adjoining properties or the surrounding area.

5. Is in context with surrounding development;

The upper floor extension is designed to complement the immediate heritage context of the property and the broader context of the heritage conservation area. The scale of the proposal is consistent with adjoining development and is formatted to ensure that the existing structures facing Atchison St and Chandos Lane remain the primary visual elements on the site.

6. Contributes to the garden setting and lower scale character of North Sydney's residential neighbourhoods;

The streetscape will be enhanced by the removal of solid masonry fencing to Atchison St and introduction of open paling fencing providing a visual connection between Atchison Street and the landscaping within the frontage.

7. Provides safe and comfortable accommodation;

The proposed works provide for improved amenity within the property.

8. Is consistent with the character that is described in the relevant area character statements;

The additions proposed to the existing dwelling are consistent with the heritage character of the Holtermann Estate A conservation area and are consistent with the objectives of the character statement.

9. Incorporates innovative sustainable design to reduce energy and water consumption, and meets or exceeds sustainability requirements, and

A BASIX Certificate is provided with the Development Application.

10. Minimise stormwater

There is a general increase in soft landscaping as a result of the proposal along with the incorporation of a rainwater storage tank, both of which contribute to a reduction in Stormwater run off.

Environmental Criteria

Topography

The site is relatively level and contains an existing dwelling. The proposed works at the rear of the site will have no impacts on the existing topography of the site.

Properties on Bush Fire Prone Land

The site is not located in a bushfire prone area.

Properties with a foreshore frontage

The site is not located with a foreshore frontage.

Visual Impact

The dwelling is not visible from the harbour. Works are set back from Atchison St and obscured by the existing structure. The generous setbacks and pitched roof form of the proposed first floor addition minimises visual impact.

Views

No views will be impacted by the proposed works.

Solar Access

The proposal results in minor incremental shadow which falls on the roof the adjoining property at 112 Atchison St and onto the side setback of No. 116 Atchison St. It is noted that the shadows cast by the existing boundary fence, pergola and screen planting adjacent the Eastern Boundary have not been plotted. When taken into consideration the actual net incremental overshadowing of the side setback of 116 Atchison St is significantly less than indicated on the Shadow Diagrams. The private outdoor and indoor living spaces of all three properties face onto the Northern rear garden and are unaffected by the proposal. Shadow Diagrams are included in the Architectural drawing set.

Visual Privacy

First floor windows are located to avoid overlooking. Windows 3 & 4 (Bedroom 2) look onto adjoining rooftop. W1 Bed 1 and W2 (Ensuite) will be fitted with frosted glass.

Context

The alterations and additions will be appropriate when considered with regard to site layout and characteristics of the local area.

Streetscape

The streetscape of Atchison Street will be enhanced by the replacement of unsympathetic masonry fencing with paling fencing. The proposed first floor additions are well set back and do not impact the streetscape. The Chandos Lane streetscape remains unchanged.

Laneways

Chandos Lane is the secondary frontage to the site. The existing barn is to remain and it's presentation to Chandos Lane is unchanged.

Siting

Proposed works are generally located over the existing building footprint.

Setbacks

Front: The front setback will be unchanged.

Rear: The proposed rear setback (house) will be increased by 1.05m to 15.56m. The existing nil rear setback for the Barn is unchanged.

Side: Side setbacks of 900mm are permitted for a single storey (up to 4m) and 1.5 metres for second storeys for dwellings in the R2 zone. The existing Ground Floor side setbacks are retained including a 0m setback to the Western Boundary and a reduced setback of 430mm on the Eastern Boundary. The proposed first floor is setback 1280mm from the East and 1300mm from the West.

The proposed first floor addition will vary the setback requirement on the western side by 200mm and on the eastern side by 220mm. The reduced setbacks are offset by the use of a raked ceiling which reduces the wall height to 5.25m which is substantially less than the 7m allowable wall height referenced in the control.

Provision 1.4.6 of the DCP

Provision 1.4.6 of the DCP relating to side setbacks provides the following:

Council may grant consent to a development with a 0m setback to a side boundary. However, Council must not grant consent, unless the applicant has satisfactorily addressed the questions identified in the Land and Environment Court Planning Principle "Building to the side boundary in residential areas" established in North Sydney Development Control Plan 2013 Residential Development Part B Page B1-17 Galea v Marrickville Council [2003] NSWLEC 113 and consideration has been given to that statement. The Planning Principle is available to view on the Land and Environment Court's website (http://www.lev.justice.nsw.gov.au/planning_principles).

The relevant questions are summarised below, with comment providing an assessment of the proposed replacement wall located on the Western boundary:

(a) Is the street characterised by terrace housing? Building to the boundary is only considered appropriate in streets where the existing form of development is characterised by attached dwellings, semi detached dwellings and multi dwelling housing (e.g. villas and townhouses).

Comment: Yes, the street contains a number of examples of attached housing, built to boundary dwellings and townhouse development. The existing dwelling is built to the Western boundary and the adjoining property, no. 112 Atchison St, is built to both side boundaries. The proposed wall replaces an existing wall located on the boundary.

(b) What is the height and length of the wall on the boundary? The length and height of any wall built to the boundary should be minimised to limit any adverse impacts in terms of overshadowing and visual privacy.

Comment: The length of the Western wall constructed with 0m setback is 10.8m and replaces an existing wall that is 12.3m long. (Proposed is a reduction in length of the wall of 1.05m compared to the existing wall).

The wall is proposed to be 3.45m high at it's highest point.

(c) Has the applicant control over the adjoining site(s) or the agreement of their owners? Unrestricted access should be made to all components of a building which is built to the boundary to ensure that those components can be adequately maintained over its life.

Comment: The applicant does not have control over the adjoining site. However the proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

(d) What are the impacts on the amenity and/or development potential of adjoining sites? It must be adequately demonstrated above all else that building to the boundary will not result in any adverse amenity impacts or development potential of adjoining sites.

Comment: As the proposal is for the replacement of an existing wall and for a reduction in length, and as the neighbouring property at 112 Atchison St is constructed to both it's East and West boundaries, the construction of the wall does not result in any material adverse amenity impacts or affect the development potential of the adjoining property. The Shadow Diagrams included in the architectural set demonstrate that the proposal does not result in any material incremental overshadowing of the adjoining property.

(e) Are there arrangements in place for the maintenance of the wall or gutters? Access and maintenance arrangements should be in place before a development application is assessed by Council to avoid disputes later on.

Comment: The proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

Form, massing and scale

The built form will be consistent with neighbouring dwellings. The overall bulk of the site will be only minimally impacted and the development as proposed is considered to be suitable for the site and its surrounds. Visual impact on the street is minimal with the works being set well back behind the original roof and effectively screened by a substantial street tree located directly in front of the property. Privacy, overshadowing and views are all adequately addressed and of negligible impact.

Built form character

The front façade is retained and enhanced through the reinstatement of traditional paling fence to the front boundary. The second storey is set back within the site and located behind the original roof, which is retained. A pitched roof form is proposed for the second story in keeping with development on the site and to reduce bulk. The form is appropriate and of consistent scale for the location.

Dwelling Entry

The dwelling entry is retained at the front of the site.

Roofs

The proposed pitched roof to the second storey is consistent with the existing pitched roof and reduces overall bulk.

Colours and Materials

The additions have been designed to complement the existing site and surrounds. Materials and colours have been sourced to ensure that the alterations compliment the conservation area.

Vehicular Access & Car Parking

A single garage is retained with access from Chandos Lane.

Site Coverage

For a lot area of 278.2m², the DCP permits a maximum site coverage of 60%.

Based on the DCP definition of site coverage the existing dwelling has a non-compliant site coverage of 173m² (62.1%). The proposed works involve minor additional site coverage and will be 177m² or 63.6%. Site coverage is affected by the presence of a substantial heritage listed outbuilding / barn which is to be retained.

Landscape Area

The DCP requires a minimum landscape area of 20% (55.64m²). The site has an existing landscape area of 41.5m² or 14.9%. The landscaped area of the subject site as proposed to be increased to 73m² or 26.3%, complying with the DCP requirement.

Excavation

There is minimal excavation proposed as a part of the development.

Landscaping

The proposed landscaping provides general improvement to the existing garden space. The garden and landscaping in the frontage will be maintained and enhanced by the proposed development. Screen planting to replace existing screen planting is proposed to the rear garden.

Energy Efficiency

A BASIX Certificate is provided in support of the proposed works.

Stormwater Management

The alterations and additions will be connected to the existing drainage on the site and fed by gravity to Council's stormwater system.

Private and Communal Open Space

Private open space of 40m² is required for the dwelling. Private Open Space is retained and is compliant at 57m² (Rear Garden).

Part B – Heritage and Conservation

The site is located within the Holtermann Estate A Conservation Area. Accordingly, the proposed works are located behind the original building and, accordingly, the Atchison Street streetscape remains largely unchanged. The proposed first floor additions are scaled to be consistent with surrounding development and designed to be sympathetic to the dwelling and the conservation area.

The proposed alterations retain the primary roof of the original dwelling and involve removal on unsympathetic brick fencing to the Atchison St frontage. There are no changes proposed to the Chandos Lane facade of the Barn / Outbuilding.

The HIS prepared by Archnex Designs concludes that *"there will be no adverse effects of the works and proposal is supportable in terms of potential heritage impacts."*

The proposal is consistent with the provisions of Clause 5.10.

Topography

Existing levels are largely retained. There will be no impact on the existing topography as a result of the rear addition to the existing dwelling.

Subdivision

No subdivision is proposed.

Streetscape

The proposed addition will retain the characteristic Atchison Street and Chandos Lane streetscapes.

Views

There is no impact on views as a result of the development.

Numerical Control Table

	Standard	Proposed	Compliance
North Sydney LEP			
Zone	R2-Low Density residential	Alterations & additions to an existing dwelling	Permitted with consent
Lot Size	230m ²	278.2m ²	N/A – No change
Building Height	8.5 metres	7.15 metres	Yes
Floor Space Ratio	N/A		
Heritage	Holtermann Estate A Conservation Area	note	Note
North Sydney DCP			
Solar Access	3 hours sunlight to solar panels, main living room windows and private open space, on the subject site and adjoining residential properties between 9am and 3pm on June 21	Proposed shadows have minimal additional impact and fall within side setbacks. Subject site and adjoining site primary internal and external living areas are orientated to the north and are unaffected by the proposal.	Yes
Front Setback	Consistent with or average of adjoining properties.	Unchanged	Yes
Side Setbacks	R2 Zone 900mm first storey up to 4m 1.5m second storey up to 7m	Existing setbacks to be retained Second storey setback 1.28m (east) and 1.4m (west). Wall height is 4.8m high.	No – existing setbacks No – minor non-compliance which is compensated for by reduced wall height of 4.8m (vs 7m control). Net result is reduced bulk and scale and reduced overshadowing.
Rear Boundary Setbacks	Consistent with adjoining properties.	15.56m Proposed rear wall of dwelling is setback further than both adjoining properties and represents a 1m increase vs existing setback.	Yes
Floor to Ceiling Height	2.7m	2.8m Ground Floor Raked ceiling First Floor	Yes
Roof Pitch	25° to 36°	35° (to match existing)	Yes
Site Coverage	60% (max)	Existing 62.1% Proposed 63.6%	No. Proposed change to Site Coverage is minor (4m ²). A small non-compliance in site coverage results from the substantial existing heritage listed barn structure. The proposed dwelling footprint is not excessive, with the proposed rear setback line set behind the line of adjoining properties. Landscape area and un-built upon areas are compliant.
Landscaped Area	20% (min)	26.3%	Yes
Unbuilt upon Area (max)	20% (max)	8.3%	Yes

6. Assessment Of Environmental Effects

In determining the subject DA, council is required to consider those relevant matters listed in Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997. Each of the relevant matters is addressed below.

6.1 Division 4.15 - Statutory Planning Considerations

Division 4.15 requires the consent authority to take into consideration:

- “(a) the provision of:*
- (i) any environmental planning instrument; and*
 - (ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority; and*
 - (iii) any development control plan; and*
 - (iv) any matters prescribed by the regulations that apply to the land to which the development application relates.”*

These matters (and others) are addressed in both Section 5 of this report, and below. The proposal complies with all the requirements of the statutory controls and is permissible with the consent of the Council.

6.2 Division 4.15 - Environmental, Social and Economic Impacts

Division 4.15 requires the consent authority to consider:

- “(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.”*

The proposed development involves modest alterations and addition to the existing dwelling.

The improvements do not involve any intensification of development on the site and have no material adverse affect on neighbouring properties. The proposed development does not extend into natural bushland areas of the site and does not encroach the drainage easement or right of drainage that affects the site.

The proposal will not have any unreasonable adverse impact on any adjoining natural and built environments. It will not have any adverse social or economic impacts.

6.3 Division 4.15 - The Suitability of the Site

Division 4.15 requires the consent authority to consider:

- “(c) the suitability of the site for the development.”*

The subject site is of substantial dimensions and is currently occupied by a two storey dwelling. The proposed development involves modest alterations and addition to the existing dwelling.

The proposed works are permissible within the zoning and are compliant with the numeric controls applicable to the site. The proposed development is appropriate to the size of the allotment.

The subject site is accordingly considered suitable for the proposed development.

6.4 Division 4.15 - Submissions

Division 4.15 requires the consent authority to consider:

- “(d) any submissions made in accordance with this Act or the regulations”.*

Any relevant representations will need to be considered by the consent authority in the determination of the development application.

6.5 Division 4.15 - Public Interest

Division 4.15 requires the consent authority to consider:

- “(e) the public interest”.*

The proposal allows for alterations to improve the amenity of the existing dwelling, with those improvements achieved without any material adverse impact on adjoining natural or built environment. The proposal provides for ongoing utilization of the existing structures on the site. The proposal is considered to be in the public interest.

7. Conclusion

The development is permissible with consent on the subject site and is in compliance with applicable planning objectives, provisions and controls. The proposal is compatible with surrounding development and development in the locality generally.

The proposal will not result in any unreasonable adverse impact on adjoining properties, and is considered to be appropriate development for the subject site. The proposal is considered to be satisfactory with regard to the public interest.

Having regard to the above, and with reference to the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997, the proposal is considered to be appropriate and worthy of favourable consideration by Council.

APPENDIX A: Site Photos



1. View of existing Barn from rear Chandos lane.



2. View of existing Barn from rear Chandos lane.



3. View of existing Barn from rear.



4. View of existing Entry to Dwelling off Atchison Street.



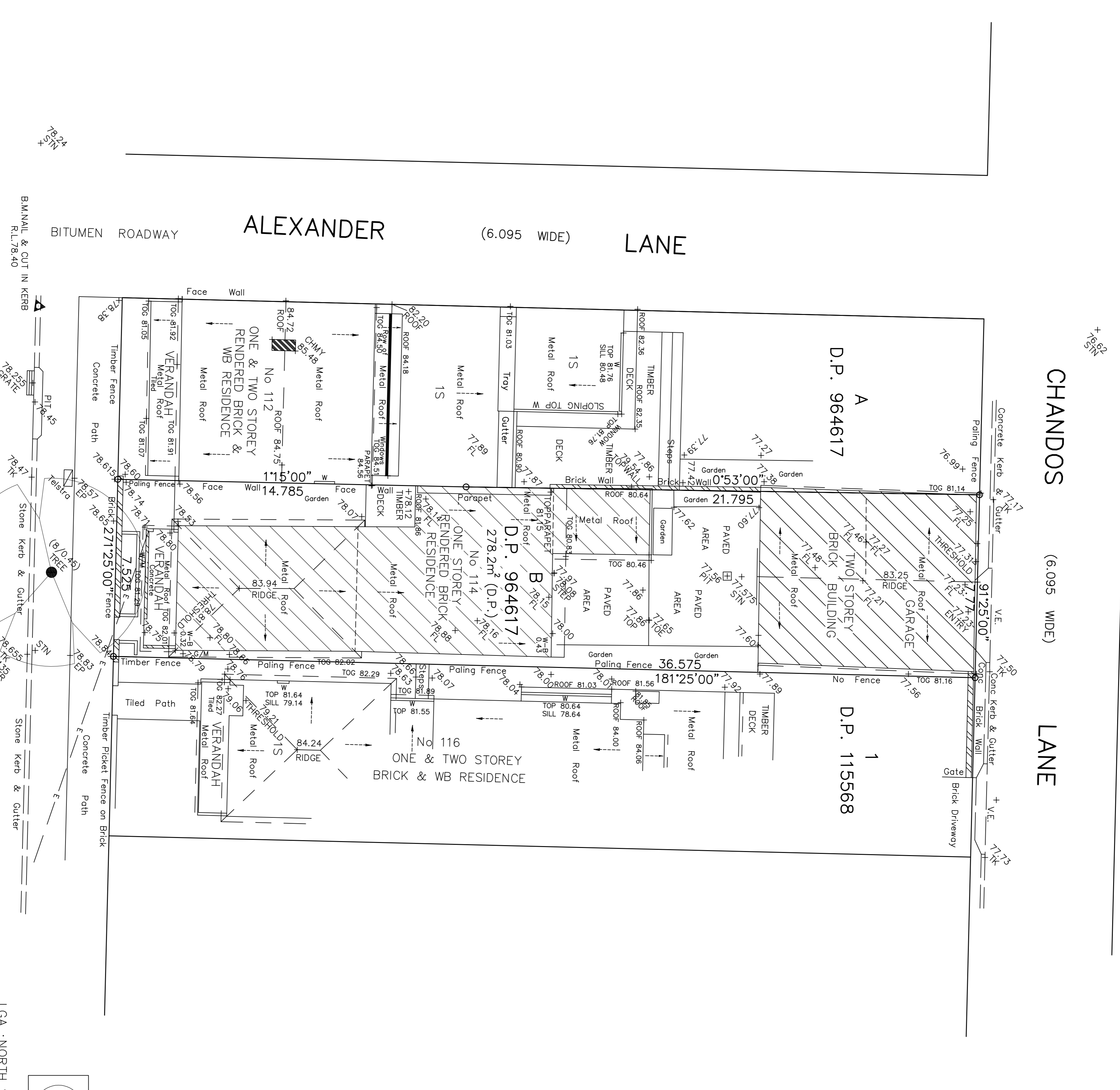
5. View of existing Neighbour at 112 Atchison Street.



6. View of existing Neighbour at 116 Atchison Street.



7. Atchison Street View (Incl Street tree)

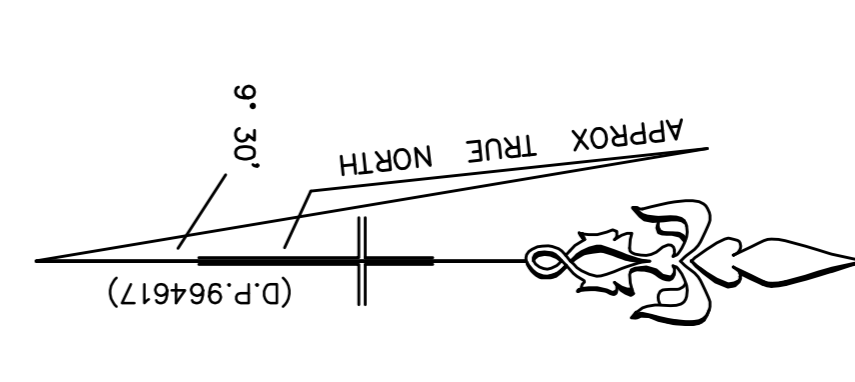


CHANDOS LANE (6.095 WIDE)

ALEXANDER LANE (6.095 WIDE)

ATCHISON STREET (20.115 WIDE)

MAGNETIC MERIDIAN



LEGEND

[Symbol]	BUILDINGS
[Symbol]	CONCRETE
[Symbol]	PAVING
[Symbol]	STONE WALL
[Symbol]	BRICK/CONC. BLK. WALL
[Symbol]	W.M. WATER METER
[Symbol]	G.M. GAS METER
[Symbol]	TK. TOP OF KERB
[Symbol]	TOP OF CURB
[Symbol]	TOP OF KERB DIRECTION
[Symbol]	TOG. CHANGE IN GRADE
[Symbol]	E/O. HEAD ELECTRICAL LINE
[Symbol]	EP. EDGE OF PATH
[Symbol]	W-B WALL TO BOUNDARY
[Symbol]	C.H.V. TOP OF CHIMNEY STACK
[Symbol]	POT. TOP OF CHIMNEY POT
[Symbol]	W-CLEAR WINDOW OPENING
[Symbol]	UPPER WINDOW
[Symbol]	PAV. PAVERS
[Symbol]	VE. VEHICLE CROSSING

- NOTES**
1. A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
 2. WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
 3. ORIGIN OF LEVEL DATUM FOR P.M. 25/281 - R.L. 98.08 A.I.D. CLASS D1. SOURCE: SOME (1-8-2023).
 4. FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER MATTER.
 5. EXCEPT WHERE SHOWN BY DIMENSION THE RELATIONSHIP OF STRUCTURES TO BOUNDARIES IS DIAGRAMMATIC ONLY, WHERE DIMENSIONS ARE SHOWN BY DIMENSION.
 6. THE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF SURVEY.
 7. THE LOCATION OF SERVICES HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION/EXCAVATION CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH THE POSITION, SPREAD AND DIAMETER OF TREES ARE APPROXIMATE ONLY WHERE THE POSITION OF TREES IS CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 8. DENOTES A TREE/TREES
 9. DENOTES A PALM
 10. DENOTES A SHRUB
 11. DENOTES APPROX SPREAD/DIAM. & DENOTES DIAM. SP. DENOTES SPREAD. H DENOTES ABOUT HEIGHT TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT NECESSARILY BE SYMMETRICAL AND IF CRITICAL MAY REQUIRE FURTHER ASSESSMENT.
 12. THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 13. EXACT LEVEL AT ANY PARTICULAR POINT.
 14. IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
 15. THESE NOTES ARE AN INTEGRAL PART OF THE PLAN.

NOTE:
THE SUBJECT TITLE IS AFFECTED BY:
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT (S)

The arrangement between N.K Bennett & O'Donnell and Kylie L. Madden, is that this plan is a survey under Clause 9 of the Surveying & Spatial Information Regulation 2017 (NSW).

ATTENTION
The position and heights of Ridges, Gutters, Parapets, Upper Windows, Chimneys and also any Windows and Structures shown on adjoining properties have been determined by indirect survey methods and are therefore approximate only.

DIAL BEFORE YOU DIG
www.1100.com.au



SURVEY PLAN SHOWING LEVELS AND DETAILS OF LOT B
IN D.P. 964617 AND ADJOINING LAND,
114 ATCHISON STREET CROWS NEST.

N. K. BENNETT & O'DONNELL
LAND & ENGINEERING SURVEYORS
15 DOBROYD RD.
BALGOWLAH HEIGHTS N.S.W. 2093
PHONE : 02 9949 1954
EMAIL : nbennett@optusnet.com.au
ABN 79 701 971 803

LGA : NORTH SYDNEY
PARISH : WILLOUGHBY
COUNTY : CUMBERLAND

NSW REGISTERED SURVEYOR (ID S1001767)
BARRY P. O'DONNELL
THE COPYRIGHT IN THIS DRAWING REMAINS THE PROPERTY OF N.BENNETT & O'DONNELL

LB 288-48

REDUCTION RATIO	1:100	SHEET
DATUM	A.H.D.	OF SHEETS
DATE	8-8-2023	10555-1L2