

JUSTIN NG 40 Brightmore Street CREMORNE NSW 2029		Basic Requirements Summary - Multi Units Prepared by Chapman Environmental Services www.basiccertificates.com.au 1300 004 914		CES CHAPMAN	
Water Target	40	Water Score	42		
Energy Target	35	Energy Score	41		
Max Average Heating Load is (MJ/m <sup>2</sup> )	40	Actual Average Heating Load	19.8		
Max Average Cooling Load is (MJ/m <sup>2</sup> )	26	Actual Average Cooling Load	9.4		
Basic Commitments					
Landscaping	Total area of garden & lawn (m <sup>2</sup> )	420	Area of indigenous/low water use plants (m <sup>2</sup> )	0	
Fixtures	Shower heads	4 star (> 6 but <= 7.5 L/min)	Toilets	4 star	All taps 4 star
Energy	Hot water system	Gas instantaneous	Rating	5 star	
	Bathroom ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Kitchens ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Laundry ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Cooling - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	n/a
	Cooling - bedrooms	No active cooling system	Rating		
	Heating - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Heating - bedrooms	No active heating system	Rating		
Alternate Energy	Photovoltaic system able to generate at least	N/A	peak kilowatts of electricity		
Gas cooktop & electric oven	No outdoor clothesline required		indoor clothesline required		
Thermal Performance Assessment Based on the Following Requirements					
Floor Types	Concrete slab on ground	with	Nil		
	Suspended concrete slab	with	Nil		
Floor Coverings	Tiles	Through Out	Timber	Nil	
	Carpet	Nil	Concrete	Nil	
External Walls	Concrete block lined	with	Sarking plus R1.5 bulk insulation	Colour	Medium
Internal Walls	Plasterboard	with	Nil		
	190mm Blockwork	with	Nil		
Ceiling (floor over)	Concrete above plasterboard	with	Nil		
Ceilings (roof over)	Concrete above plasterboard	with	R3.5 Foilboard insulation (L1.01 Only)		
Roof	Concrete	1 degrees	with	Waterproof membrane only	Colour Medium
Windows and Doors	Architectural Window Systems 6-38 Comfort Plus Single Glazed		AWS-011-06 A AWS Uval 4.38 SHGC 0.45 Glass 6.38CP Frame AWS-011 541-542 Al Sliding Door SG		
	to all windows and glazed doors unless noted otherwise		AWS-066-03 A AWS Uval 3.91 SHGC 0.62 Glass 6.38CP/PI/Cr Frame AWS-066 RES SERIES S16 FIXED WINDOW SG		

Notes

**Nationwide House Energy Rating Scheme — Class 2 summary**  
**NatHERS Certificate No. 0005895840**

Generated on 19 Dec 2022 using BERS Pro v4.4.1.5d (3.21)

**Property**  
 Address 40 Brightmore Street, CREMORNE, NSW, 2029  
 Lot/DP 6/SP/2026  
 NatHERS climate zone 56  
 Accredited assessor Terry Chapman  
 CHAPMAN ENVIRONMENTAL SERVICES PTY LTD  
 terry@basiccertificates.com.au  
 0414 265 292  
 Accreditation No. 20920  
 Assessor Accrediting Organisation ABSA

**7.6**  
Average Rating

**NATIONWIDE HOUSE ENERGY RATING SCHEME**

The rating above is the average of all dwellings in this summary.

**Verification**  
 To verify this certificate, scan the QR code or visit hear.com.au/QR/Generate/?r=CkHmP1  
 When using either link, ensure you are visiting hear.com.au

**Summary of all dwellings**

Certificate number and link	Unik Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
0008323008	-2.01	19	7.9	17.9	8.7
0008323016	-3.01	12.6	3.3	16	8.8
0008323024	G.01	32.7	11.3	44.1	8.6
0008323032	L1.01	31.1	15.2	46.3	8.4
Average		21.6	9.4	31.05	7.62

**National Construction Code (NCC) requirements**  
 The NCC's requirements for NatHERS-rated buildings are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in 3.2.2 and 3.9.3 of the NCC Volume One.  
 In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to, insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.  
 State and territory variations and additions to the NCC may also apply.

Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see www.nathers.gov.au. Page 1 of 2

0005895840 NatHERS Certificate Average 7.6 Star Rating as of 19 Dec 2022

**Explanatory Notes**

**About this report**  
 This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

**Accredited Assessors**  
 To ensure the NatHERS Certificate is of a high quality, always use an accredited or licensed assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

**Disclaimer**  
 The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

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### AMMENDMENTS TO ORIGINAL DA

- Existing car parking retaining wall and fence demolished
- Lift overrun moved into building envelope
- New car stacker with roof planter box
- Planning layout adjusted to suit new lift location
- New surround frame to windows
- New front entry surround frame
- Existing car park returned to landscape
- New communal space and BBQ
- Revised brick colour

BLUE AMENDMENTS : DA03 02/05/2023

### AMMENDMENTS TO DA03

- Level 01 Northern facade set back
- Unit -3.01 removed

RED AMENDMENTS : DA04 18/08/2023

### AMMENDMENTS TO DA05

- Waiting bay

RED AMENDMENTS : DA04 27/02/2024



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COVER A0000 DA03

PLAN: LOCATION A1001 DA01  
 PLAN: SITE ANALYSIS A1002 DA05  
 PLAN: DEMOLITION A1050 DA03

PLAN: ROOF A2201 DA03  
 PLAN: LEVEL 01 A2202 DA04  
 PLAN: GROUND A2203 DA04  
 PLAN: GROUND -1 A2204 DA02  
 PLAN: GROUND -2 A2205 DA02  
 PLAN: GROUND -3 A2206 DA04

SITE COVERAGE, LANDSCAPE & UNBUILT UPON A2401 DA03

SHADOWS: JUNE 21 9:00AM,10:00PM,10:45AM A2601 DA02  
 SHADOWS: JUNE 21 11:00AM,11:45AM, 12:00PM A2602 DA02  
 SHADOWS: JUNE 21 1:00PM,3:00PM A2603 DA02

SOLAR ACCESS: VIEWS FROM THE SUN A2701 DA02  
 SOLAR ACCESS: VIEWS FROM THE SUN A2702 DA02  
 SOLAR ACCESS: VIEWS FROM THE SUN A2703 DA02

ELEVATION: SOUTH (BRIGHTMORE STREET) A3101 DA03  
 ELEVATION: SOUTH (BRIGHTMORE STREET- NO LANDSCAPE) A3101A DA01  
 ELEVATION: NORTH A3102 DA04  
 ELEVATION: NORTH (FENCE) A3103 DA04  
 ELEVATION: EAST A3104 DA04  
 ELEVATION: EAST (FENCE) A3105 DA04  
 ELEVATION: WEST A3106 DA04  
 ELEVATION: WEST (FENCE) A3107 DA04  
 ELEVATION: NORTH (NO LANDSCAPE) A3108 DA04  
 ELEVATION: NORTH (FENCE, NO LANDSCAPE) A3109 DA04  
 ELEVATION: EAST (NO LANDSCAPE) A3110 DA04  
 ELEVATION: EAST (FENCE, NO LANDSCAPE) A3111 DA04  
 ELEVATION: WEST (NO LANDSCAPE) A3112 DA04  
 ELEVATION: WEST (FENCE, NO LANDSCAPE) A3113 DA04

SECTION: A A3201 DA04  
 SECTION: B A3202 DA03  
 SECTION: C A3203 DA03  
 SECTION: F A3206 DA03  
 SECTION: G A3207 DA04  
 SECTION: H A3208 DA03  
 SECTION: I A3209 DA04  
 SECTION: J A3210 DA04  
 SECTION: K A3211 DA04

MATERIALITY A8201 DA02

DEVELOPMENT APPLICATION

27.02.24

40 BRIGHTMORE STREET, CREMORNE





No. 40  
BRIGHTMORE STREET  
LOT 1  
SP 30226



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Client  
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PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
CREMORNE**

Proje Start Date  
APRIL 2019

Proje Number  
0203

Drawing Title

**LOCATION PLAN**

Drawing Stage  
**DEVELOPMENT APPLICATION**

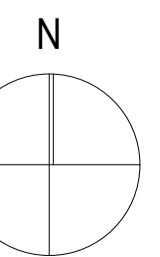
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Drawing Scale  
**NTS**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		







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Client  
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Project  
**40 BRIGHTMORE STREET  
 CREMORNE**

Project Start Date  
 APRIL 2019

Project Number  
 0203

Drawing Title  
**SITE ANALYSIS**

Drawing Stage  
 DEVELOPMENT APPLICATION

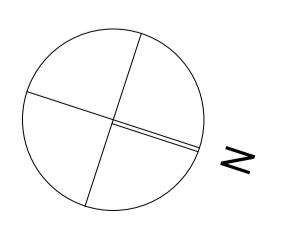
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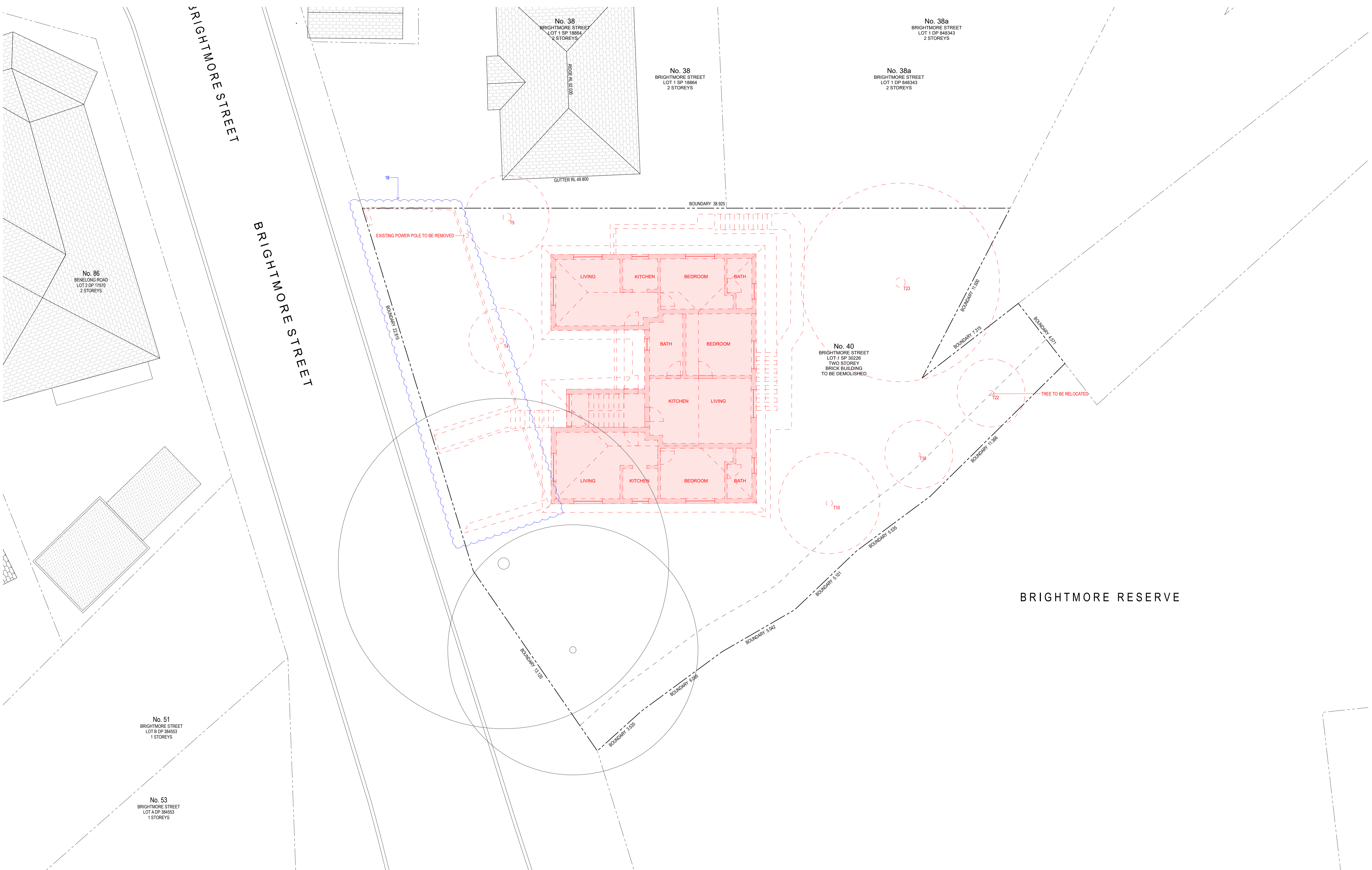
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23
DA05	DEVELOPMENT APPLICATION	27.02.24

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
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DR:02	Sliding door, 2 panel clear glass aluminium framed	MF:01	Metal grate floor, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	ST:01	Crushed stone
DR:04	Hinged fire door, white		
DR:05	Pivot door, clear glass aluminium framed		
RN:01	Render, colour to match brick		







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**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**DEMOLITION**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A1050**

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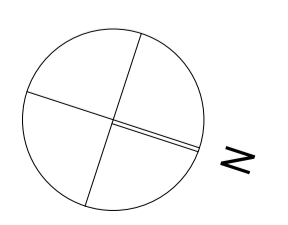
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DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23

**LEGEND**

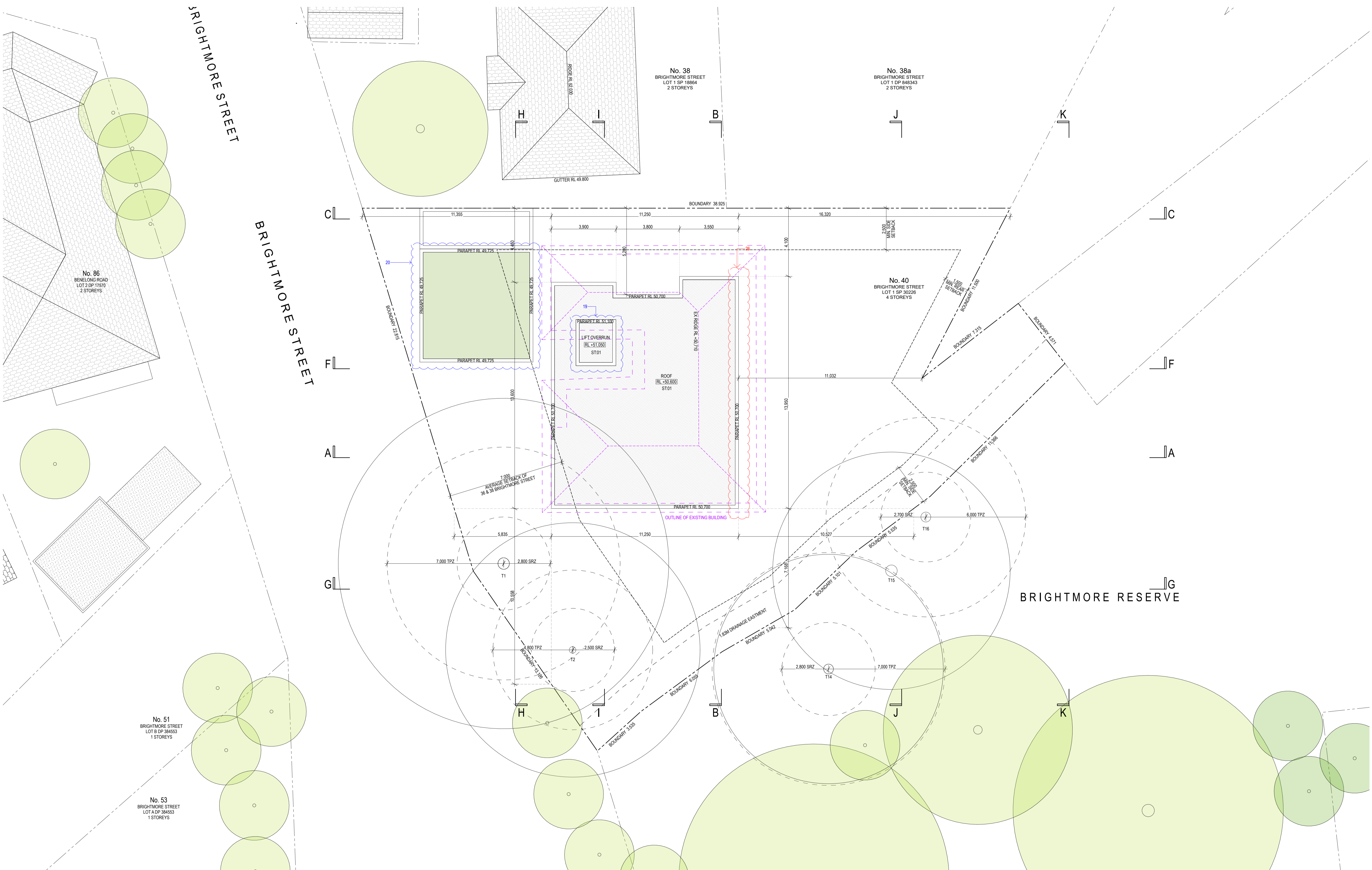
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DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick

WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone

■ TO REMAIN  
 ■ TO BE DEMOLISHED







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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**PLAN : GENERAL ARRANGEMENT  
 ROOF**

Drawing No.  
**A2201**

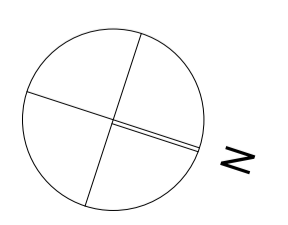
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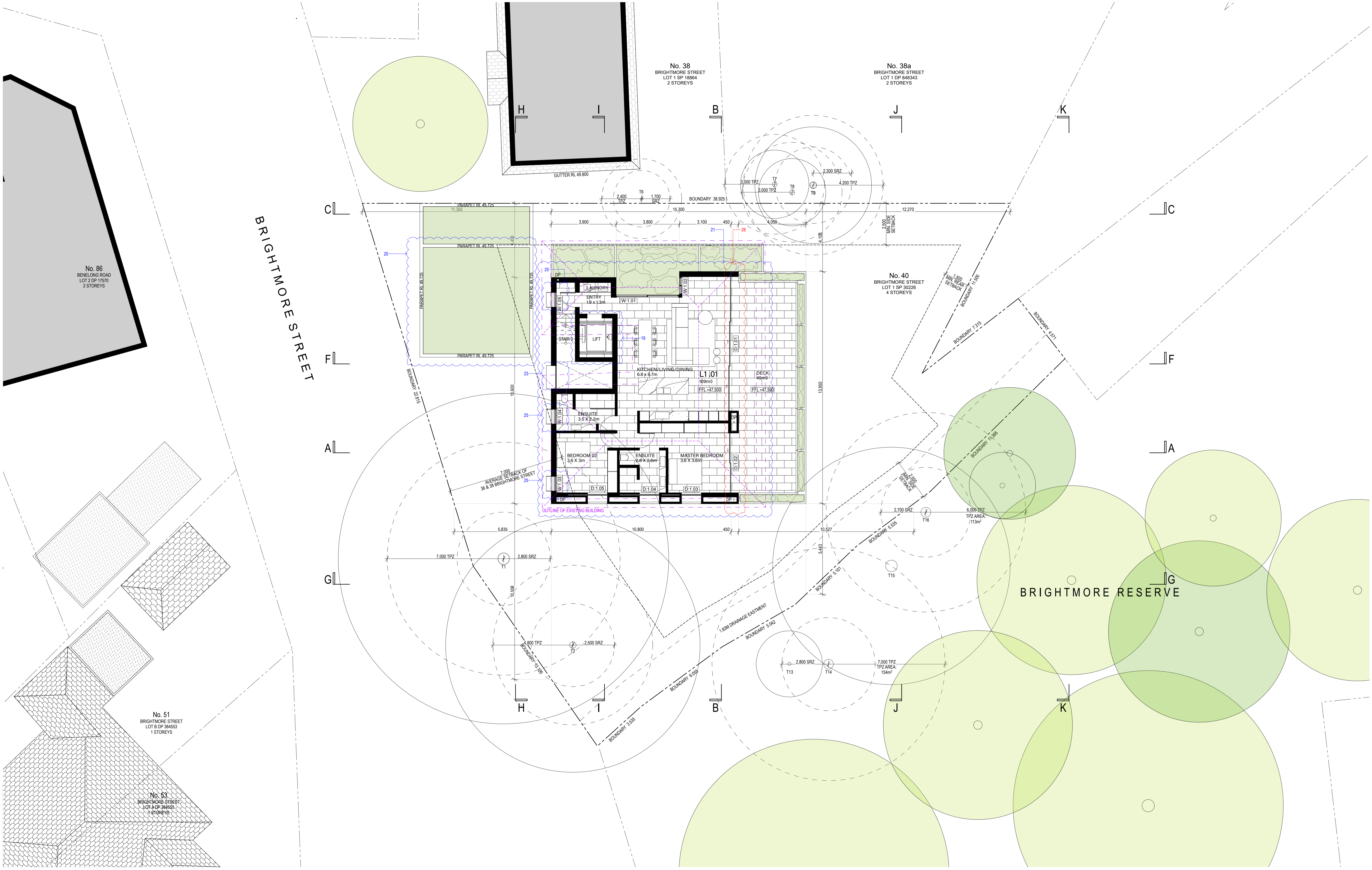
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	02.05.23
DA03	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

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DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
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**40 BRIGHTMORE STREET  
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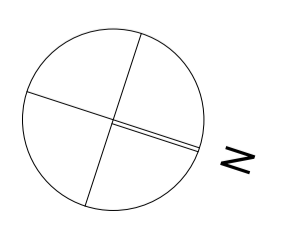
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 LEVEL 01**  
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 DEVELOPMENT APPLICATION  
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

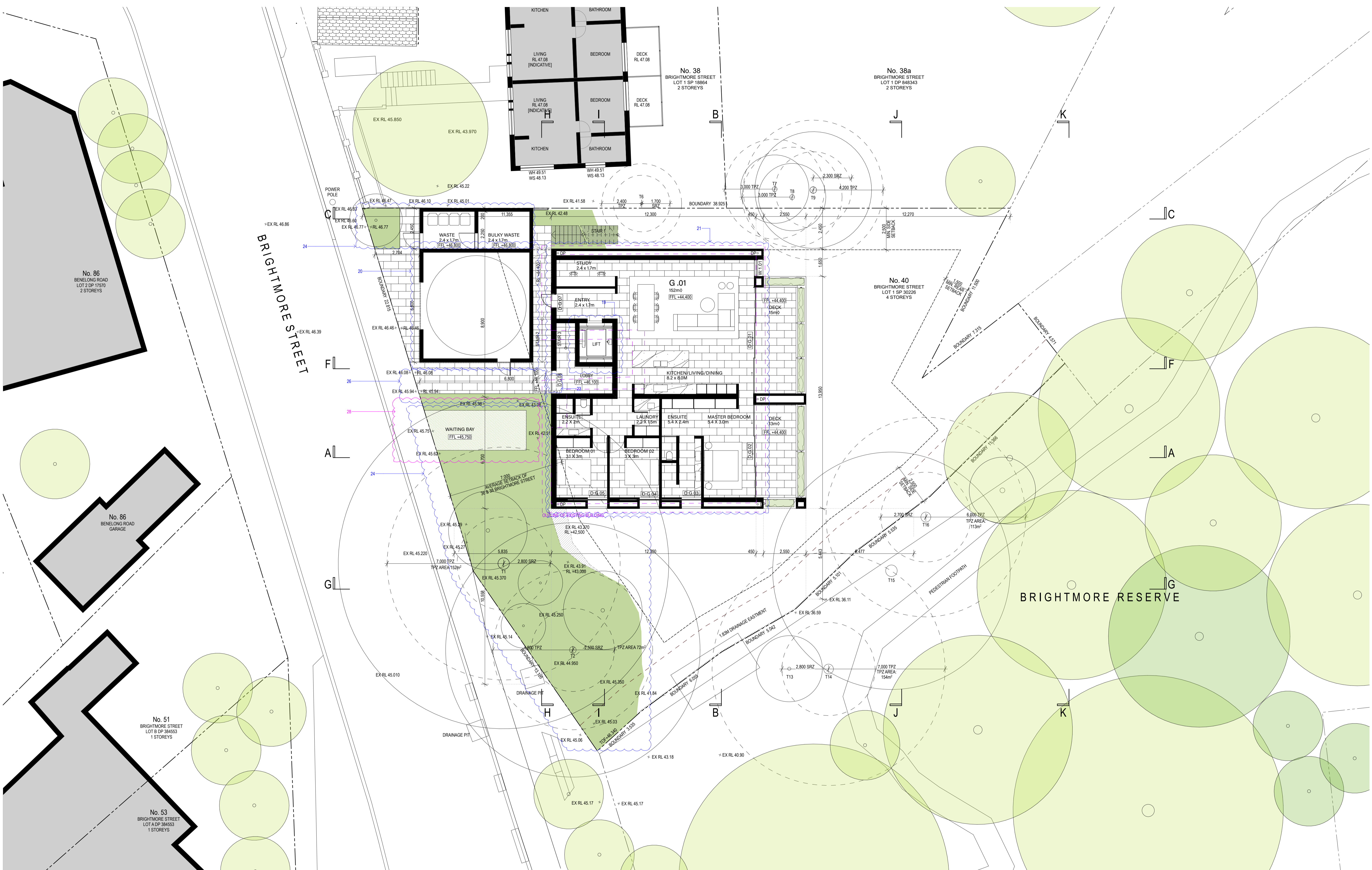
**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick

WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
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ST:01	Crushed stone







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Project  
**40 BRIGHTMORE STREET  
 CREMORNE**

Project Start Date  
 APRIL 2019

Project Number  
 0203

Drawing Title  
**PLAN : GENERAL ARRANGEMENT  
 GROUND**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A2203**

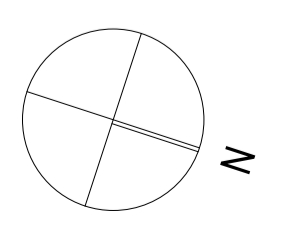
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DA01	DEVELOPMENT APPLICATION	05.12.22
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WD:01	Sliding window, Clear glass aluminium framed
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ST:01	Crushed stone







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 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**PLAN : GENERAL ARRANGEMENT  
 GROUND -1**

Drawing Stage  
 DEVELOPMENT APPLICATION

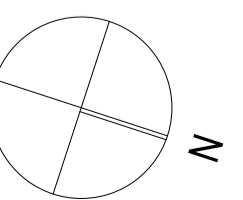
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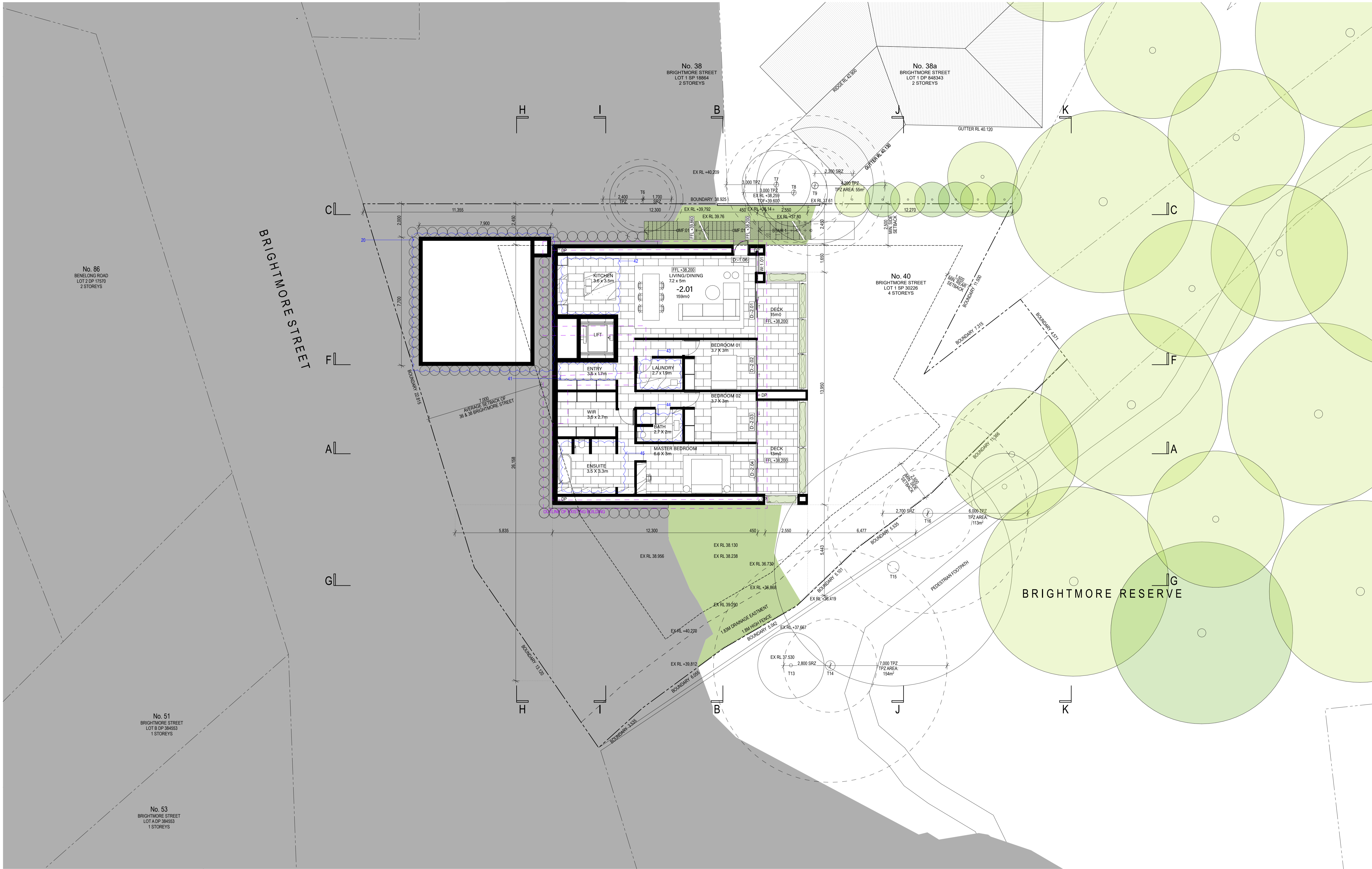
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	02.05.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
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RN:01	Render, colour to match brick		







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Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**PLAN : GENERAL ARRANGEMENT  
 GROUND -2**

Drawing Stage  
 DEVELOPMENT APPLICATION

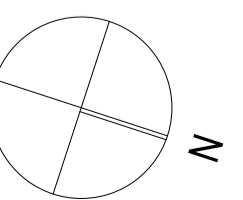
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	02.05.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
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Drawing Title  
**PLAN : GENERAL ARRANGEMENT  
 GROUND -3**

Drawing Stage  
 DEVELOPMENT APPLICATION

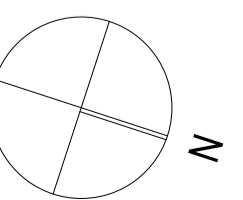
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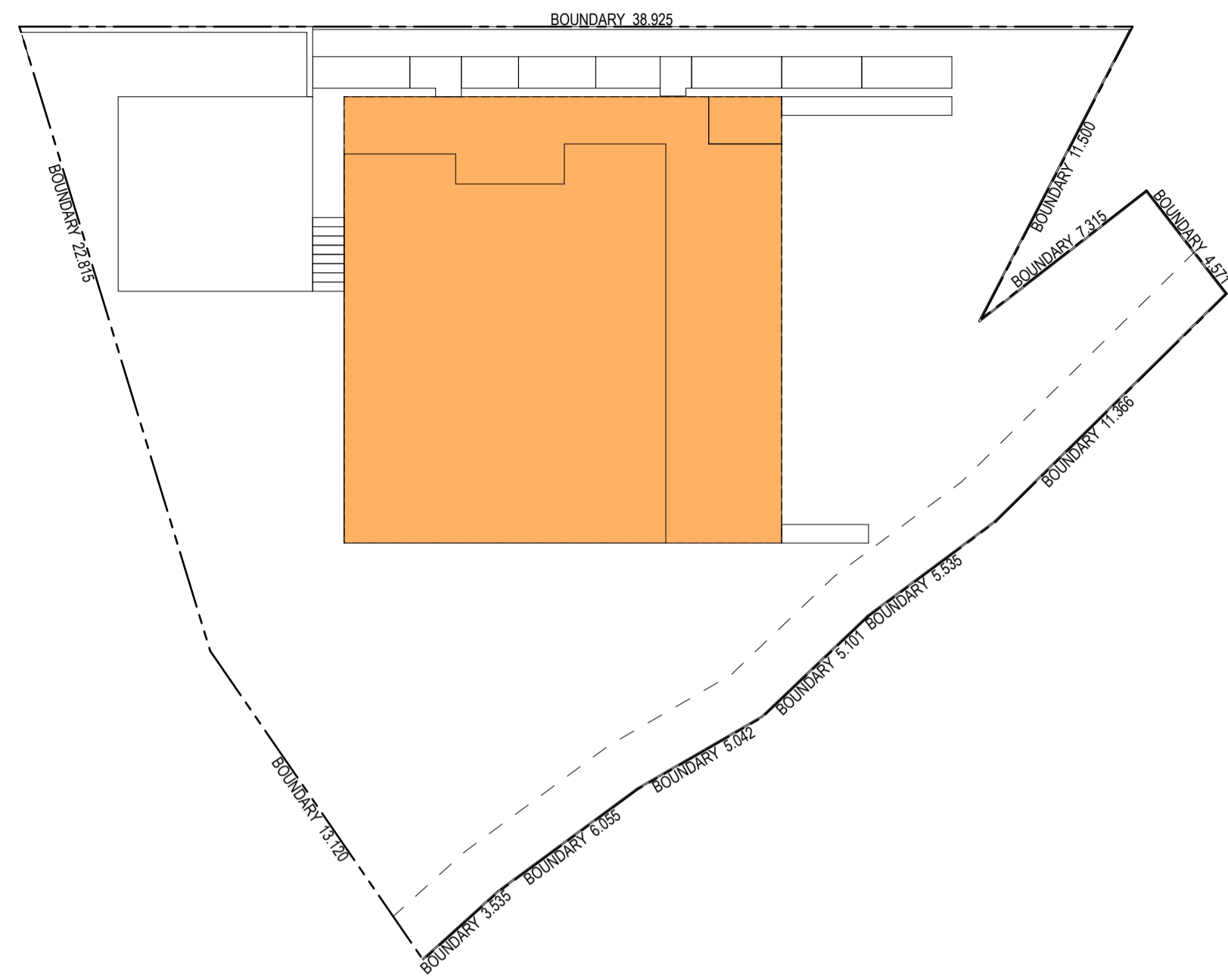
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DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

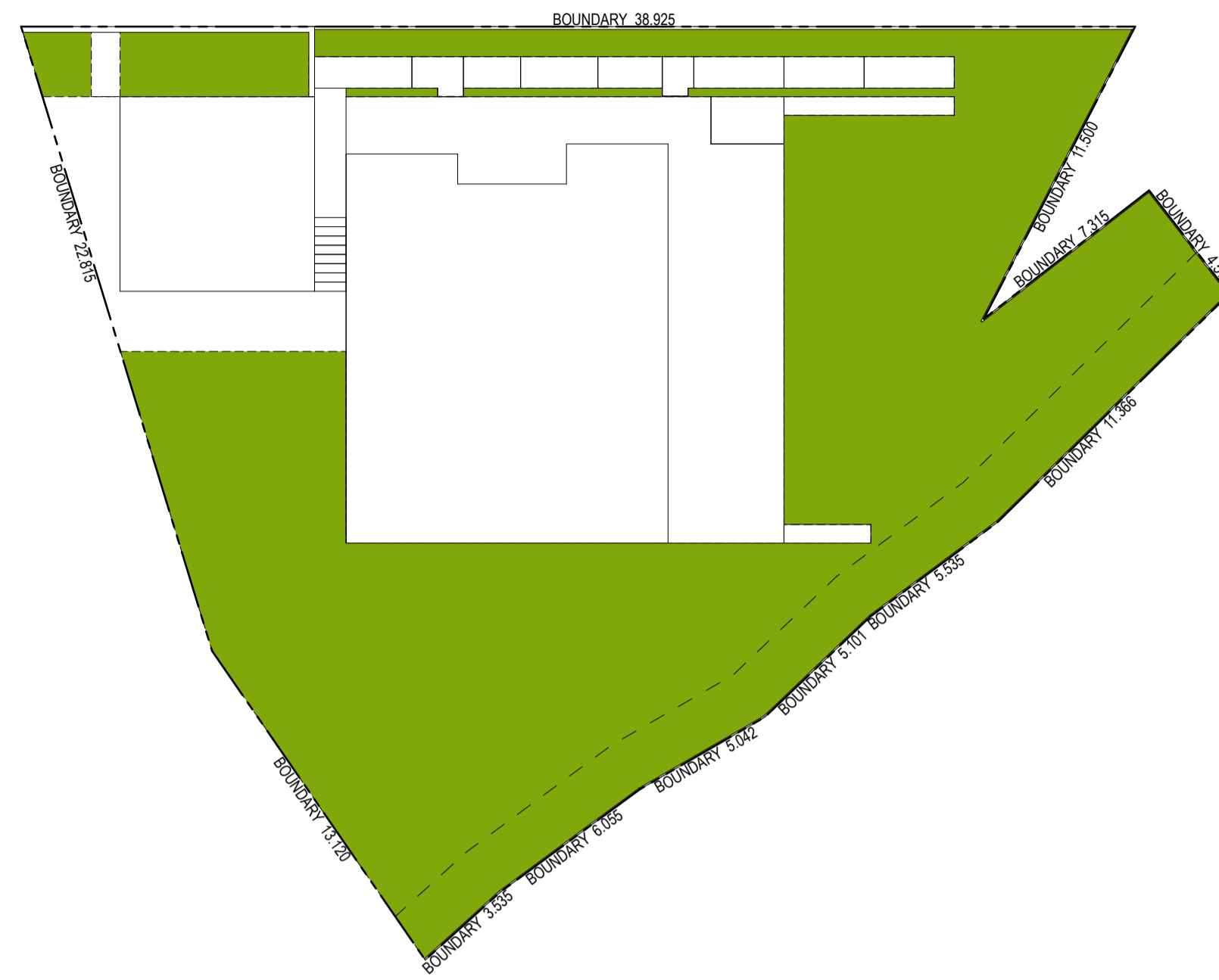
BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BD:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		



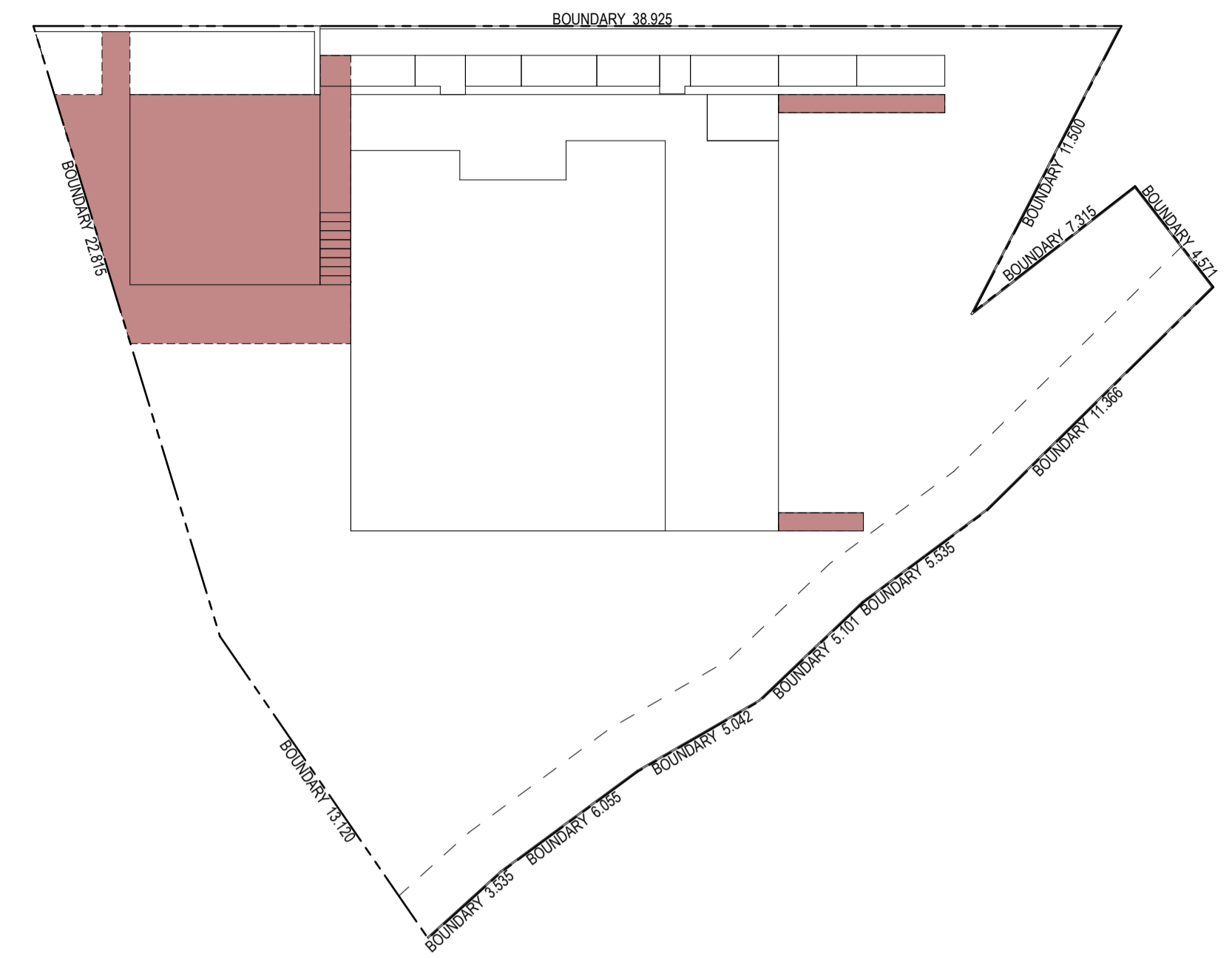




SITE COVERAGE



LANDSCAPE



UNBUILT UPON

<b>SITE COVERAGE</b> SITE AREA: 842M <sup>2</sup>	
<b>Levels</b>	<b>SITE COVERAGE</b>
GROUND	239m <sup>2</sup>
<b>TOTAL</b>	<b>239m<sup>2</sup> 28%</b>
<b>DCP [RFB]</b>	<b>379m<sup>2</sup> 45%</b>
<b>DCP [DUAL OCC]</b>	<b>379m<sup>2</sup> 45%</b>
<b>LANDSCAPE</b> SITE AREA: 842M <sup>2</sup>	
<b>Levels</b>	<b>LANDSCAPE</b>
GROUND	487m <sup>2</sup>
<b>TOTAL</b>	<b>487m<sup>2</sup> 58%</b>
<b>DCP [RFB]</b>	<b>337m<sup>2</sup> 40%</b>
<b>DCP [DUAL OCC]</b>	<b>337m<sup>2</sup> 40%</b>
<b>UN-BUILT UPON</b> SITE AREA: 842M <sup>2</sup>	
<b>Levels</b>	<b>UN-BUILT</b>
GROUND	92m <sup>2</sup>
<b>TOTAL</b>	<b>98m<sup>2</sup> 11%</b>
<b>DCP [RFB]</b>	<b>126m<sup>2</sup> 15%</b>
<b>DCP [DUAL OCC]</b>	<b>126m<sup>2</sup> 15%</b>



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 NSW registered architect  
 Robert Gordon Woodward 9363

Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**AREAS  
 SITE COVERAGE, LANDSCAPE & UNBUILT UPON**

Drawing Stage  
 DEVELOPMENT APPLICATION

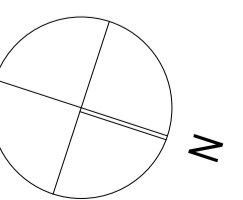
Drawing No.  
**A2401**

Drawing Scale  
**1:200@A1  
 1:400@A3**

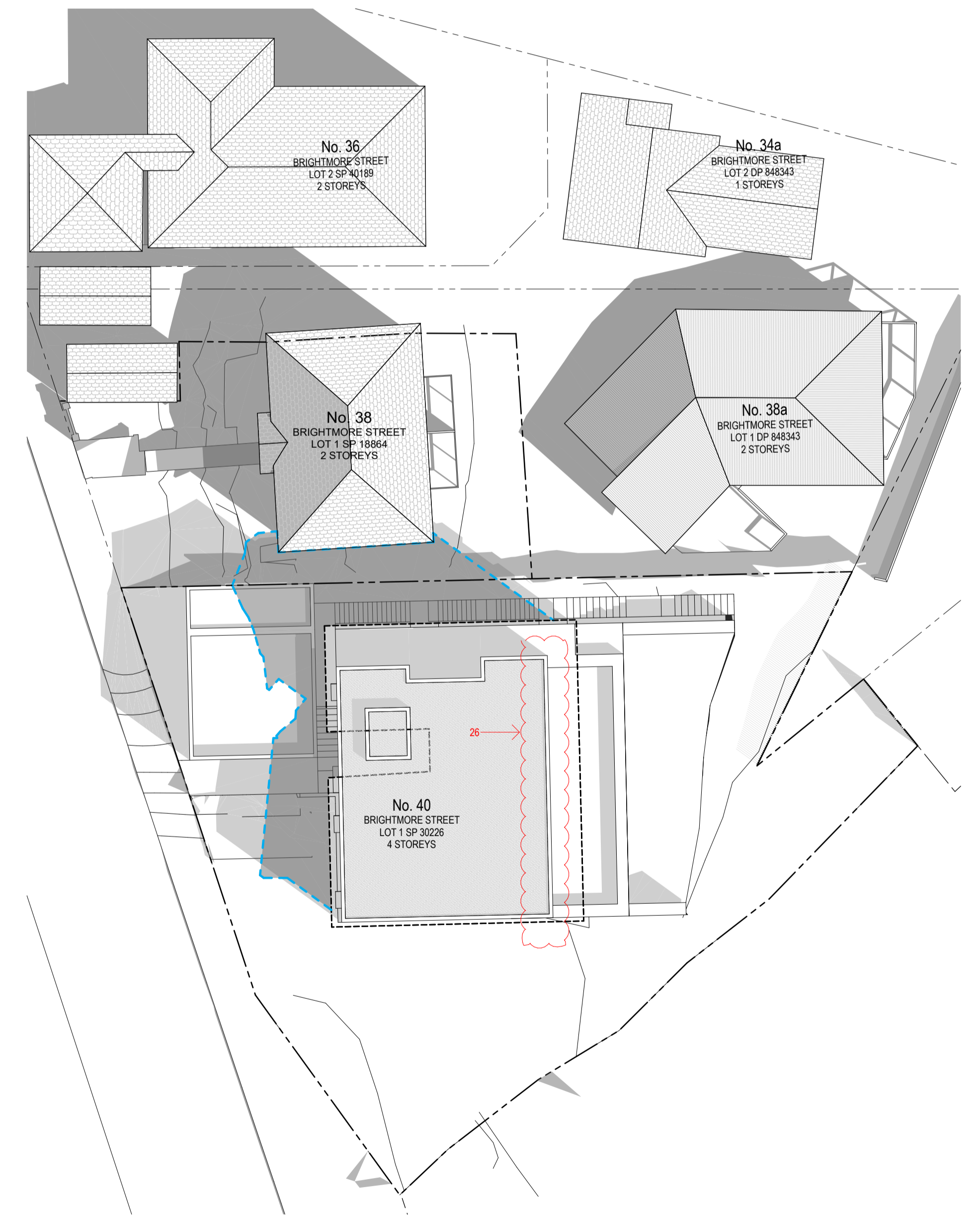
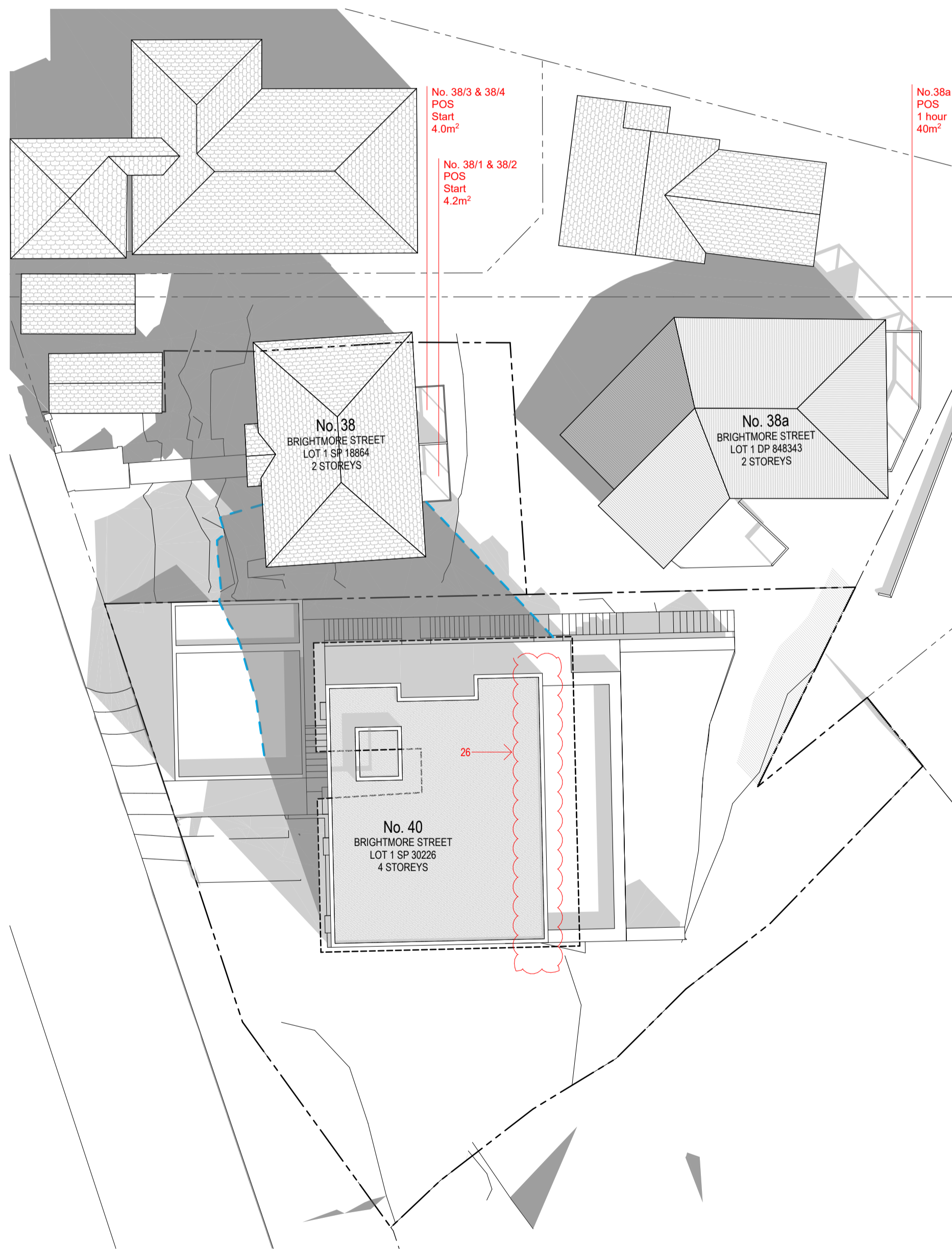
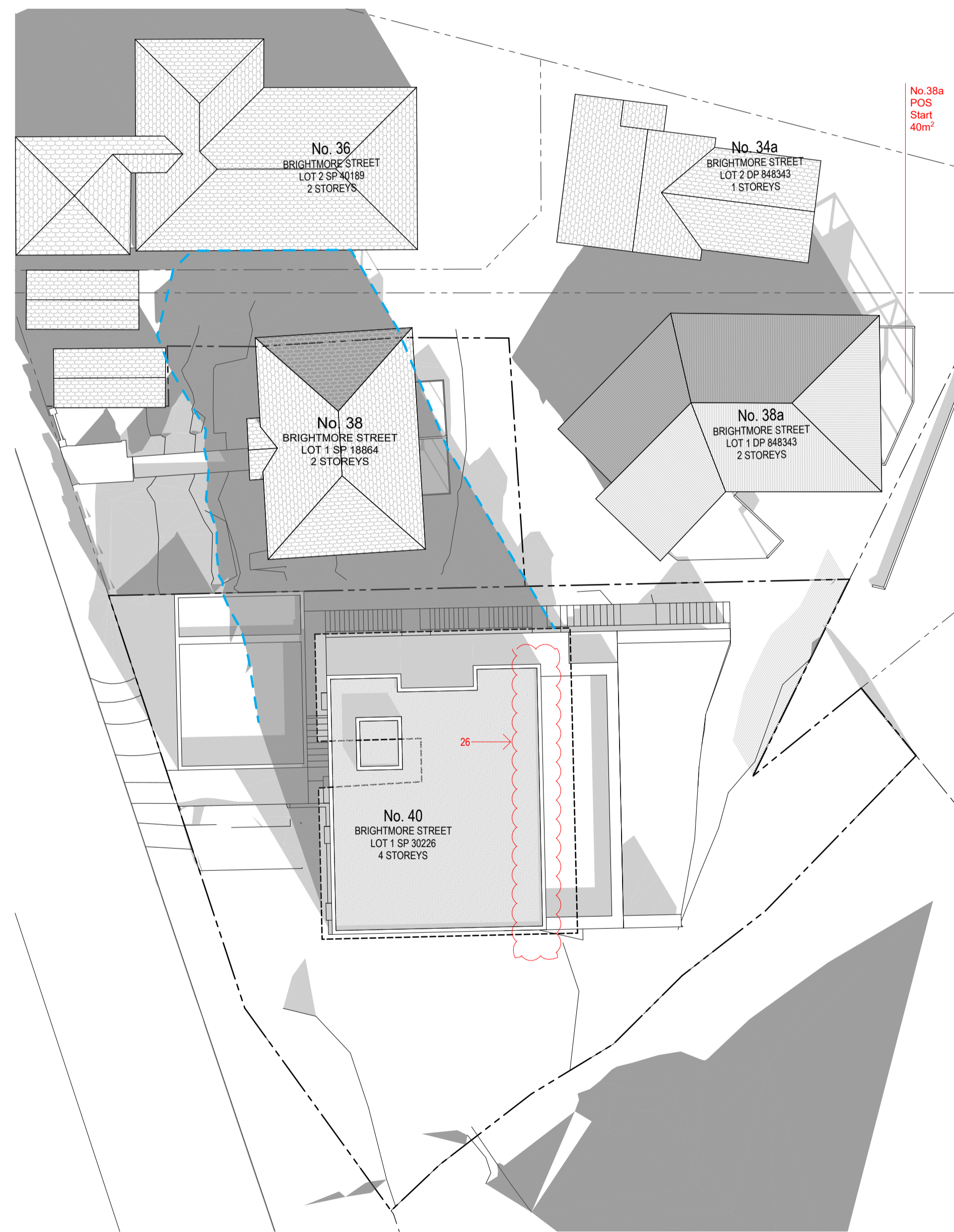
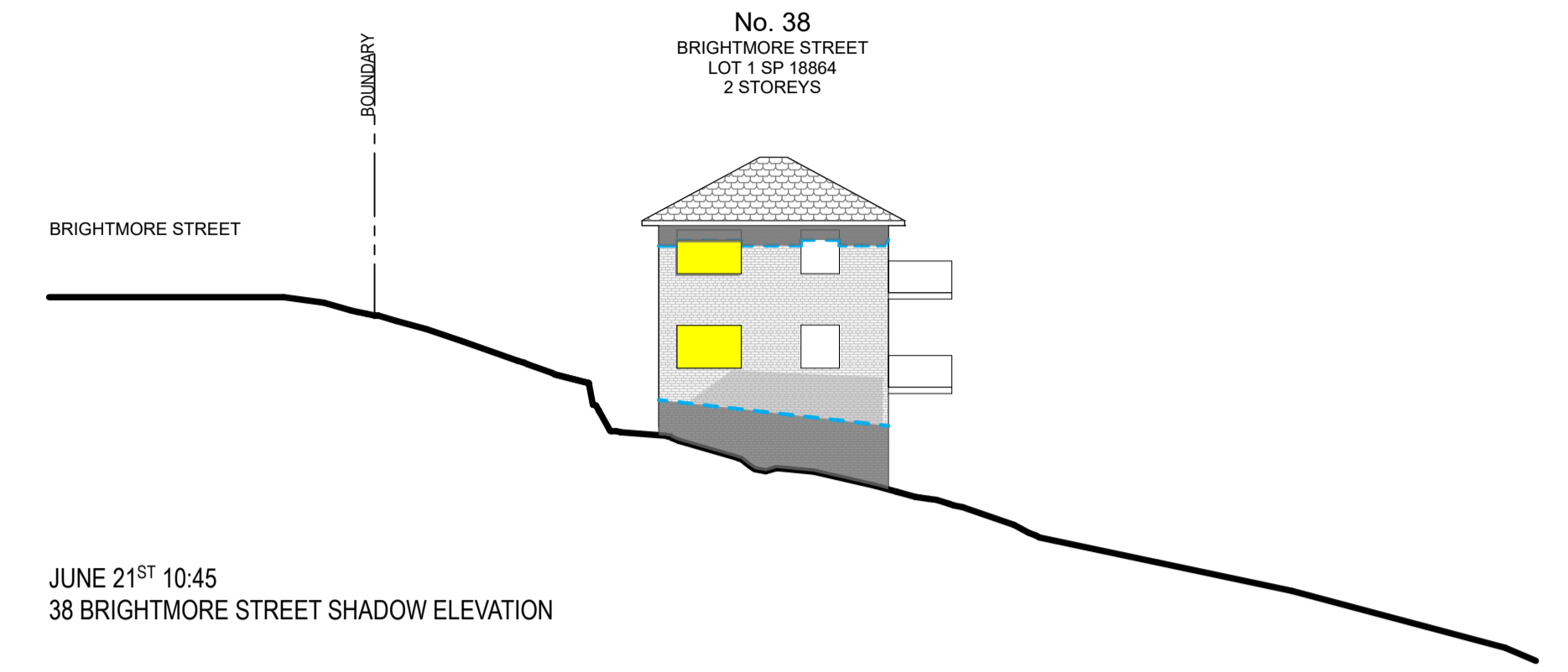
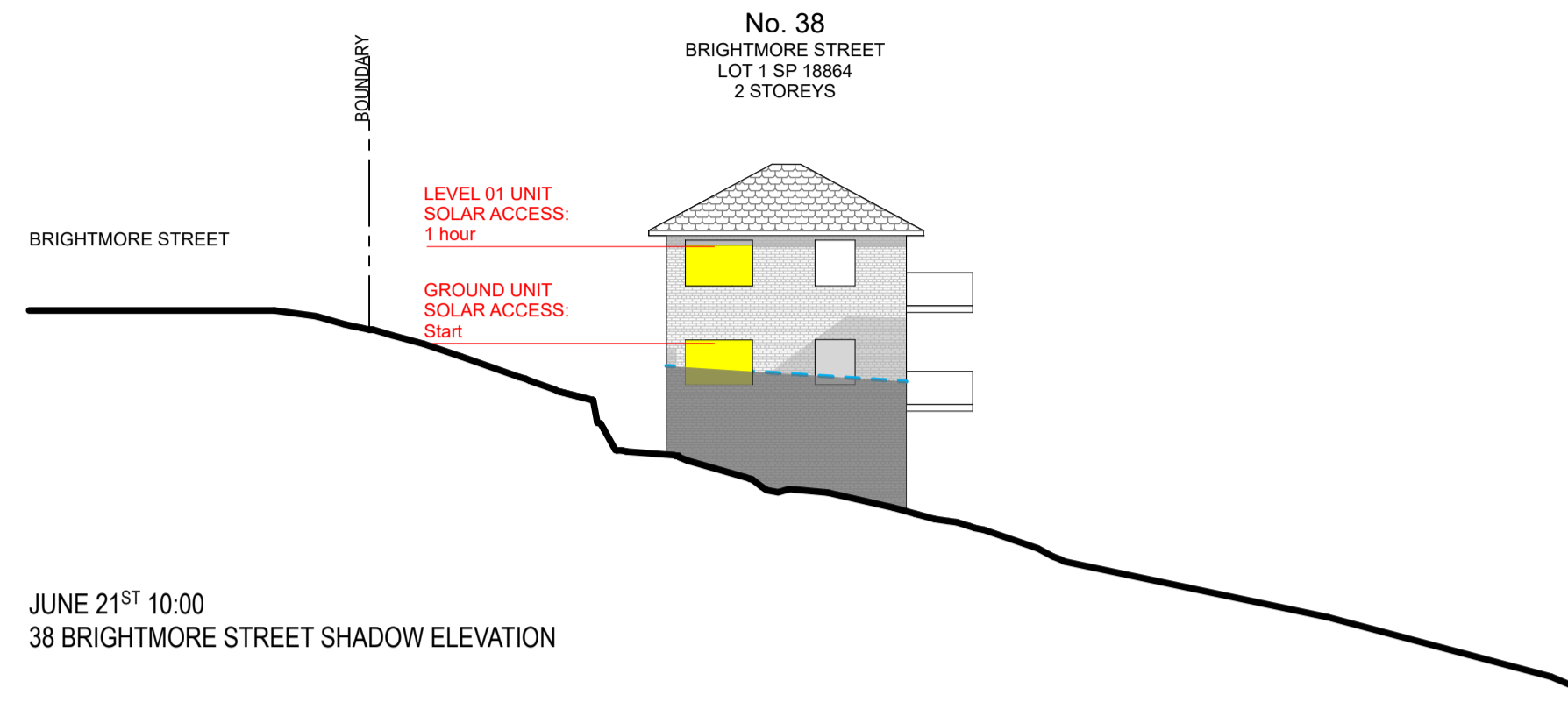
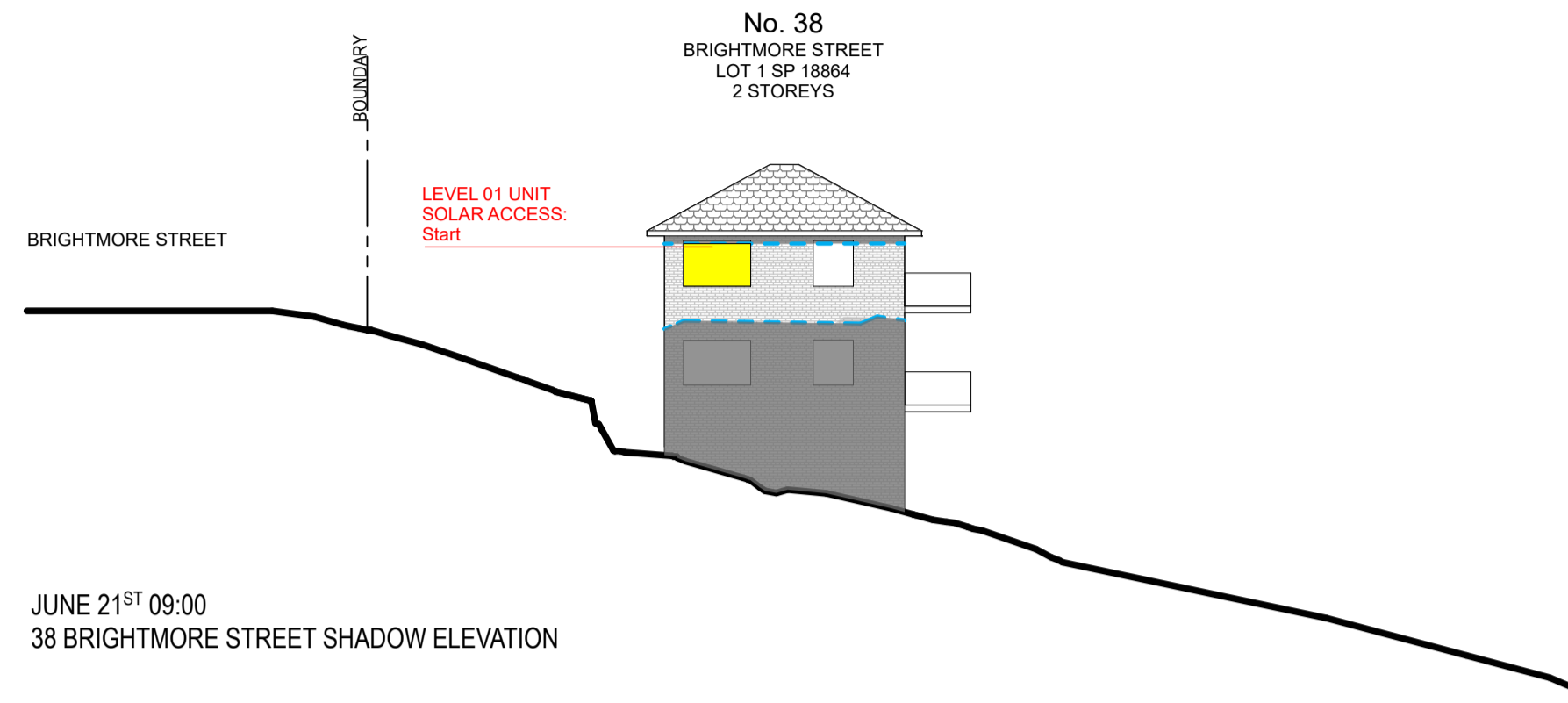
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		







SHADOW\_JUNE 21 09:00

SHADOW\_JUNE 21 10:00

JUNE 21 10:45



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Client  
**BRIGHTMORE RESIDENCE  
PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
CREMORNE**

Proje Start Date  
APRIL 2019

Proje Number  
0203

Drawing Title  
**SHADOWS  
JUNE 21 SHADOWS**

Drawing Stage  
DEVELOPMENT APPLICATION

Drawing No.  
**A2601**

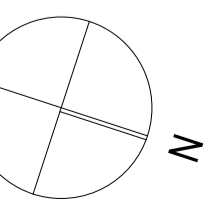
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	18.08.23

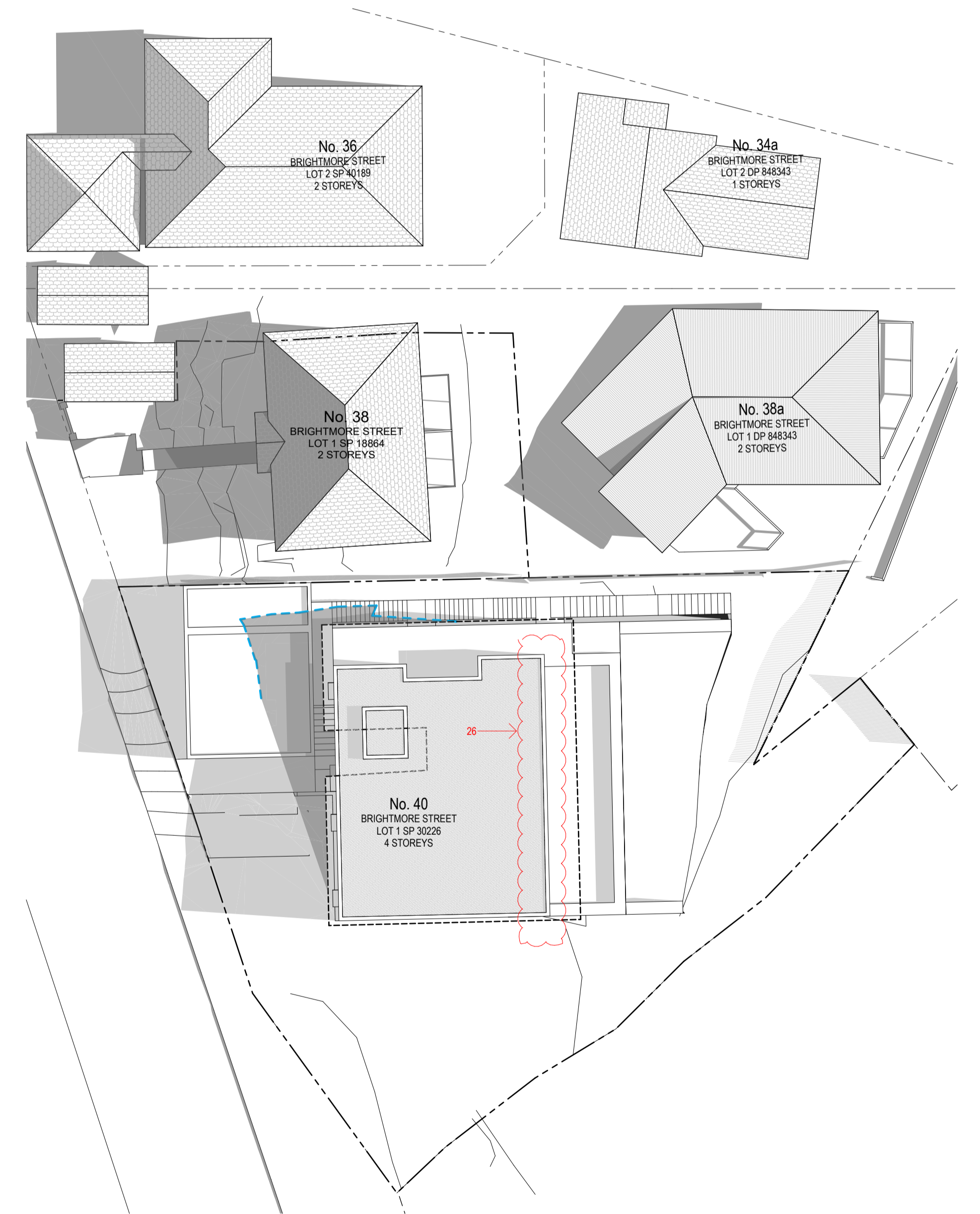
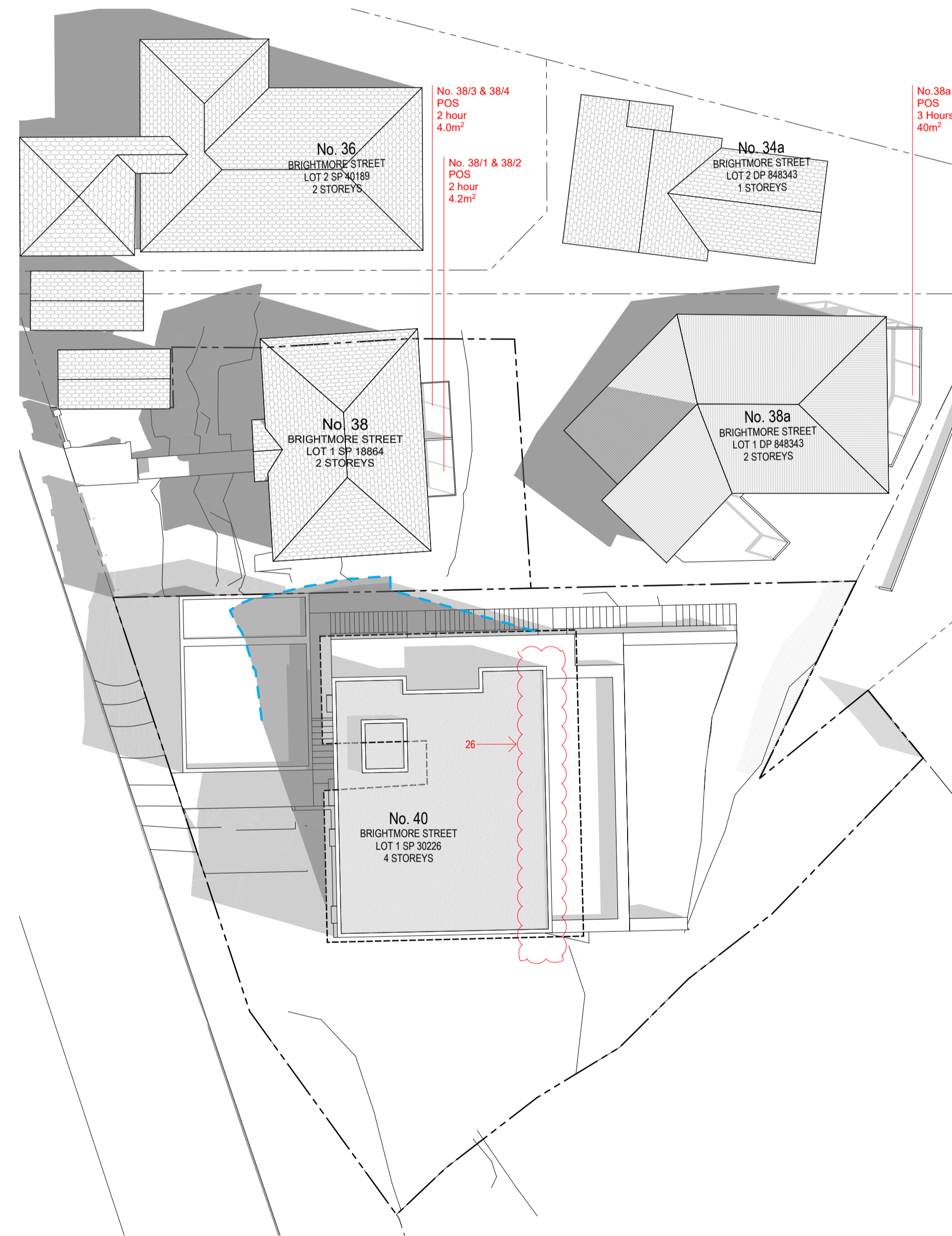
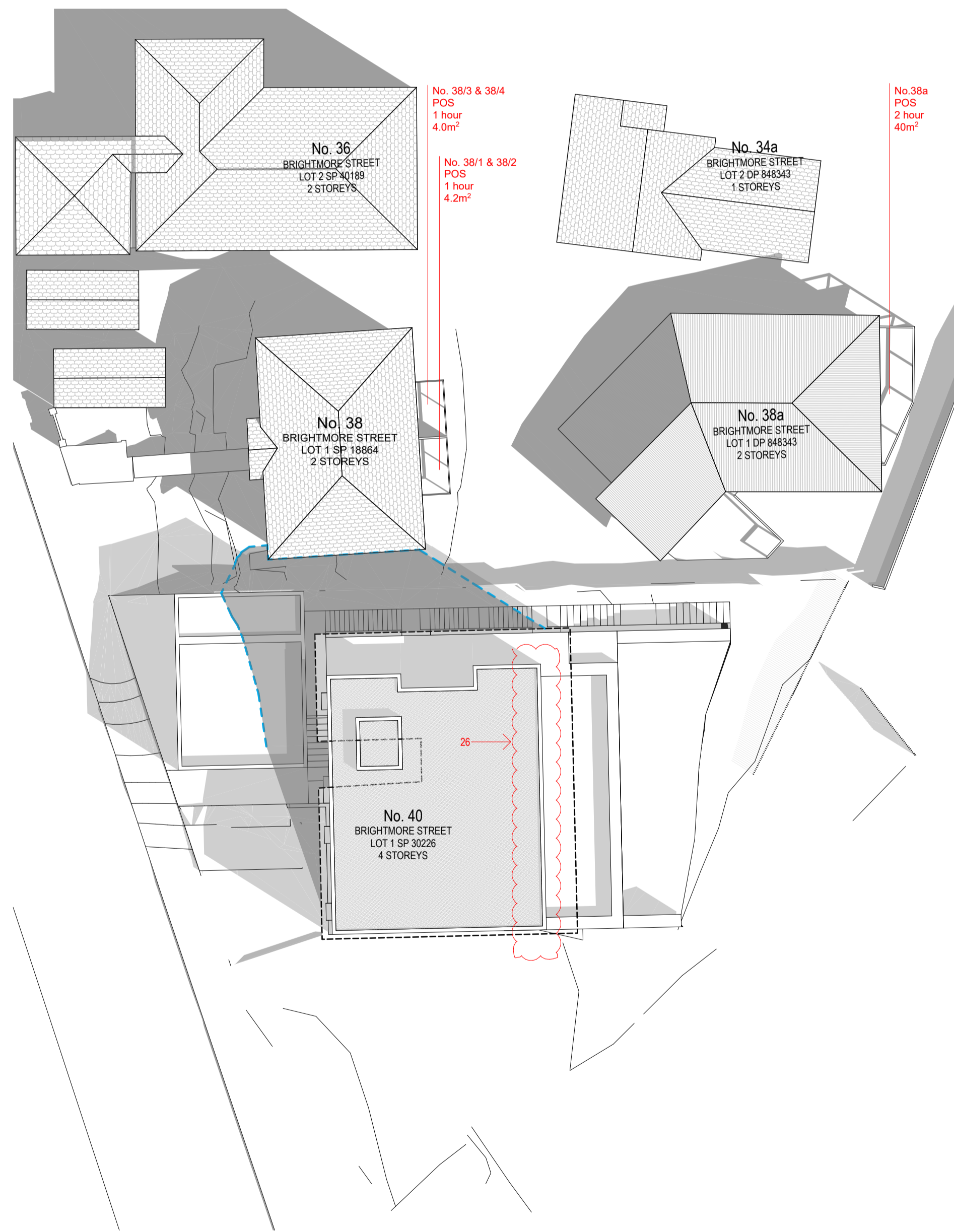
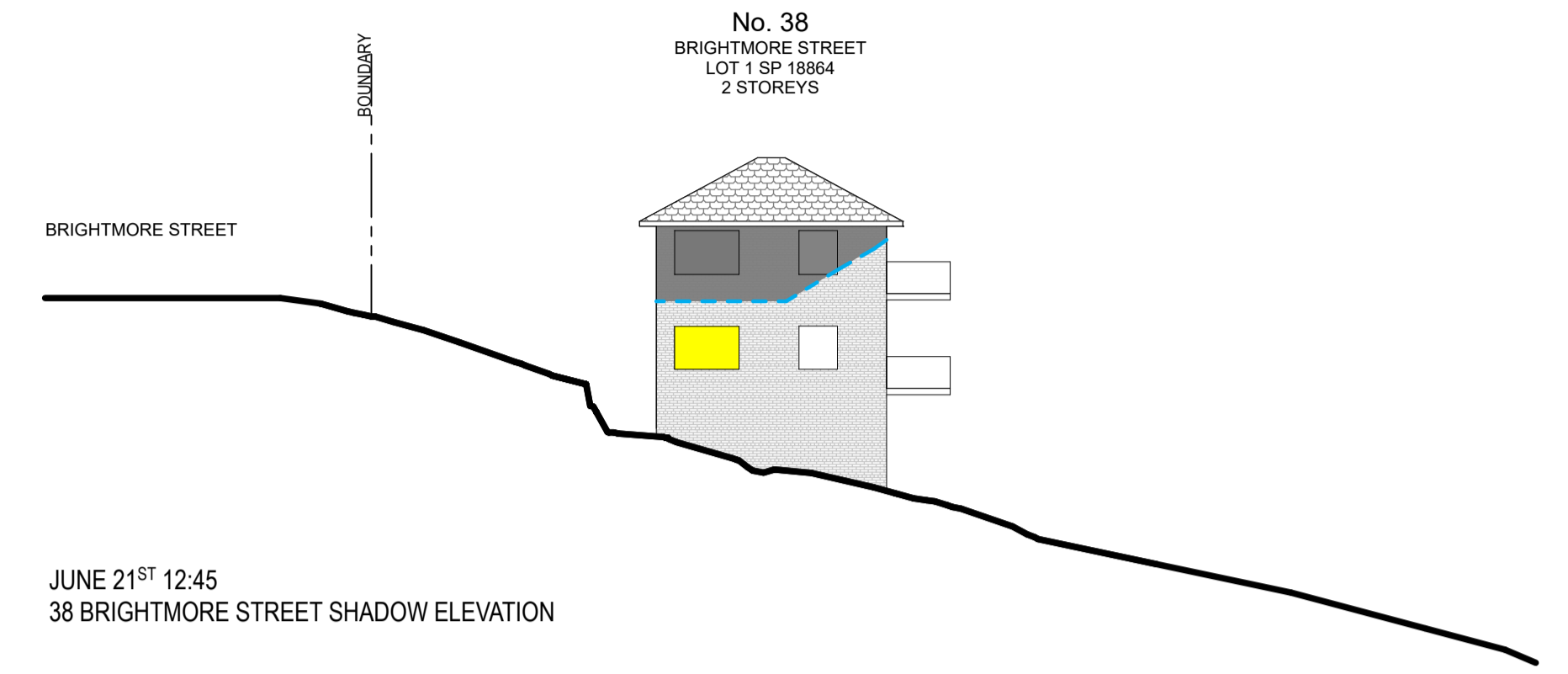
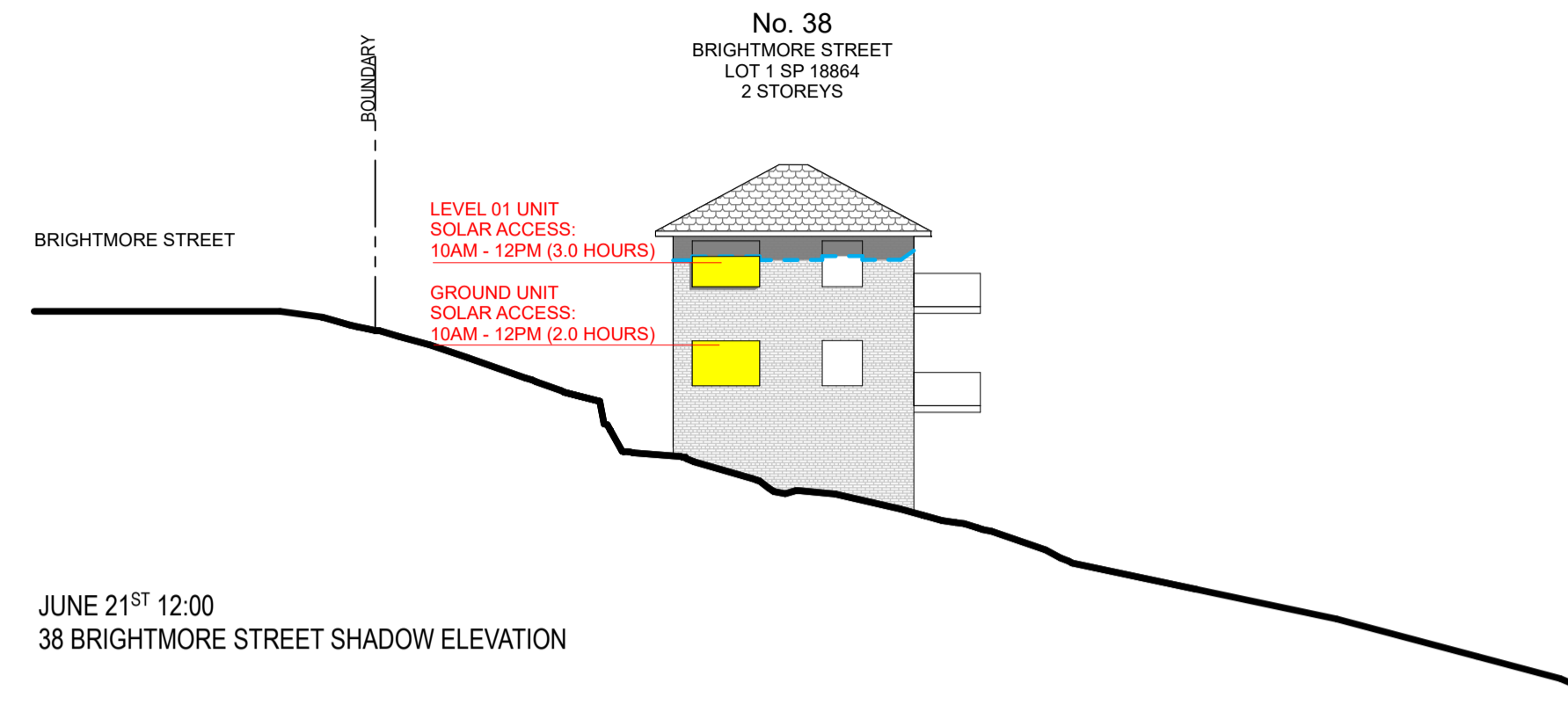
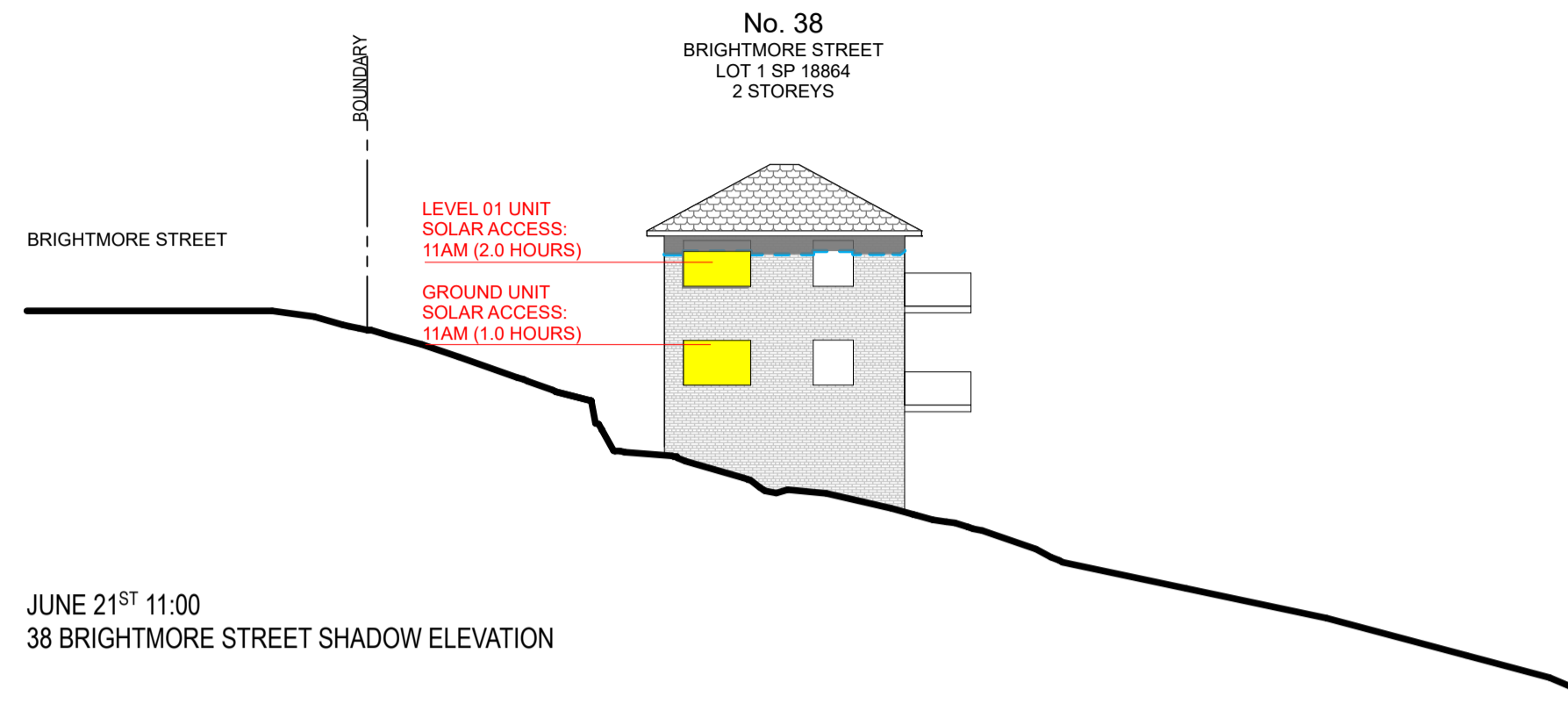
**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		

■ EXISTING BUILDING SHADOW OUTLINE  
■ EXISTING SHADOWS  
■ PROPOSED SHADOWS



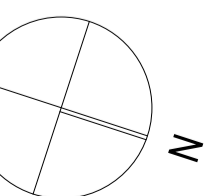




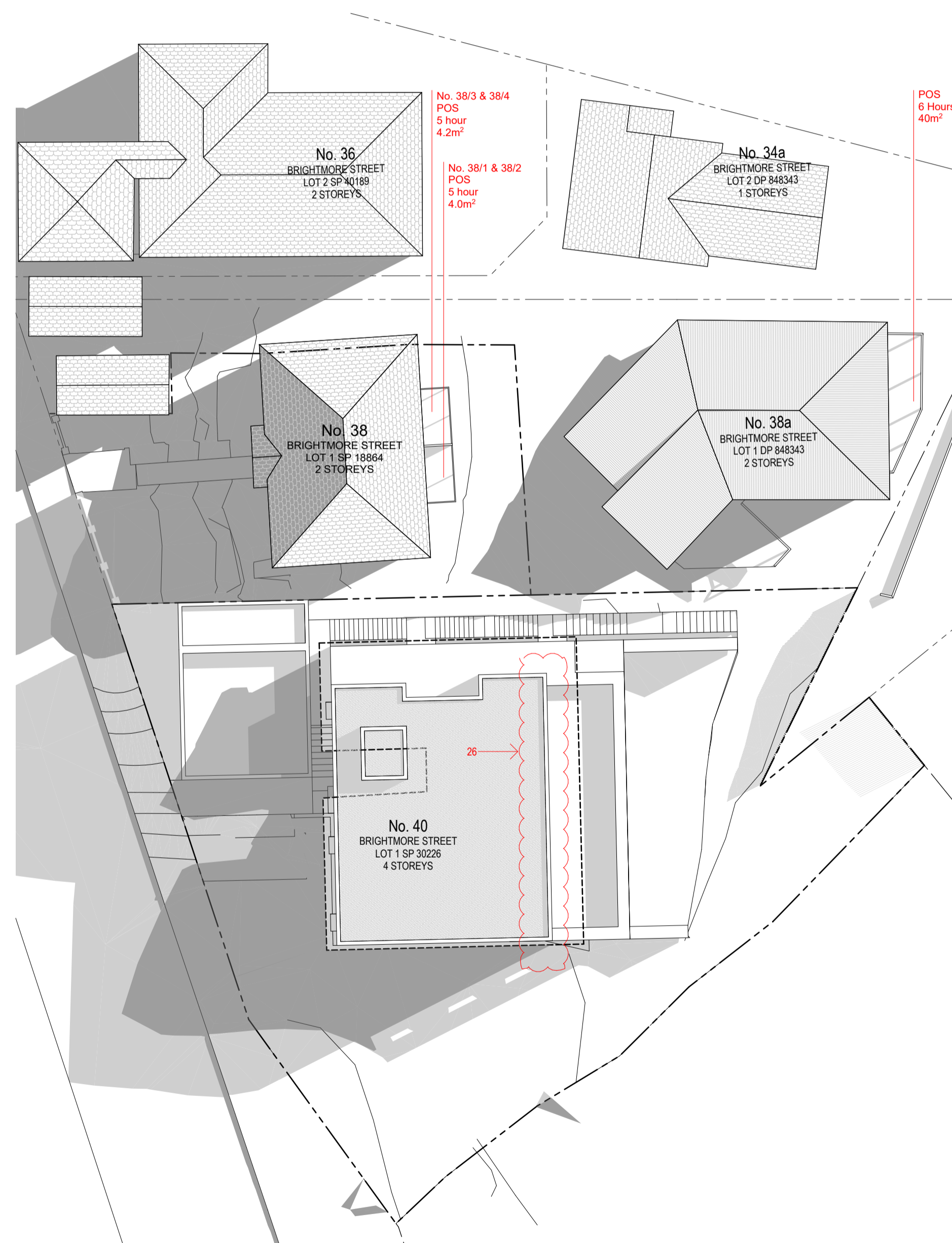
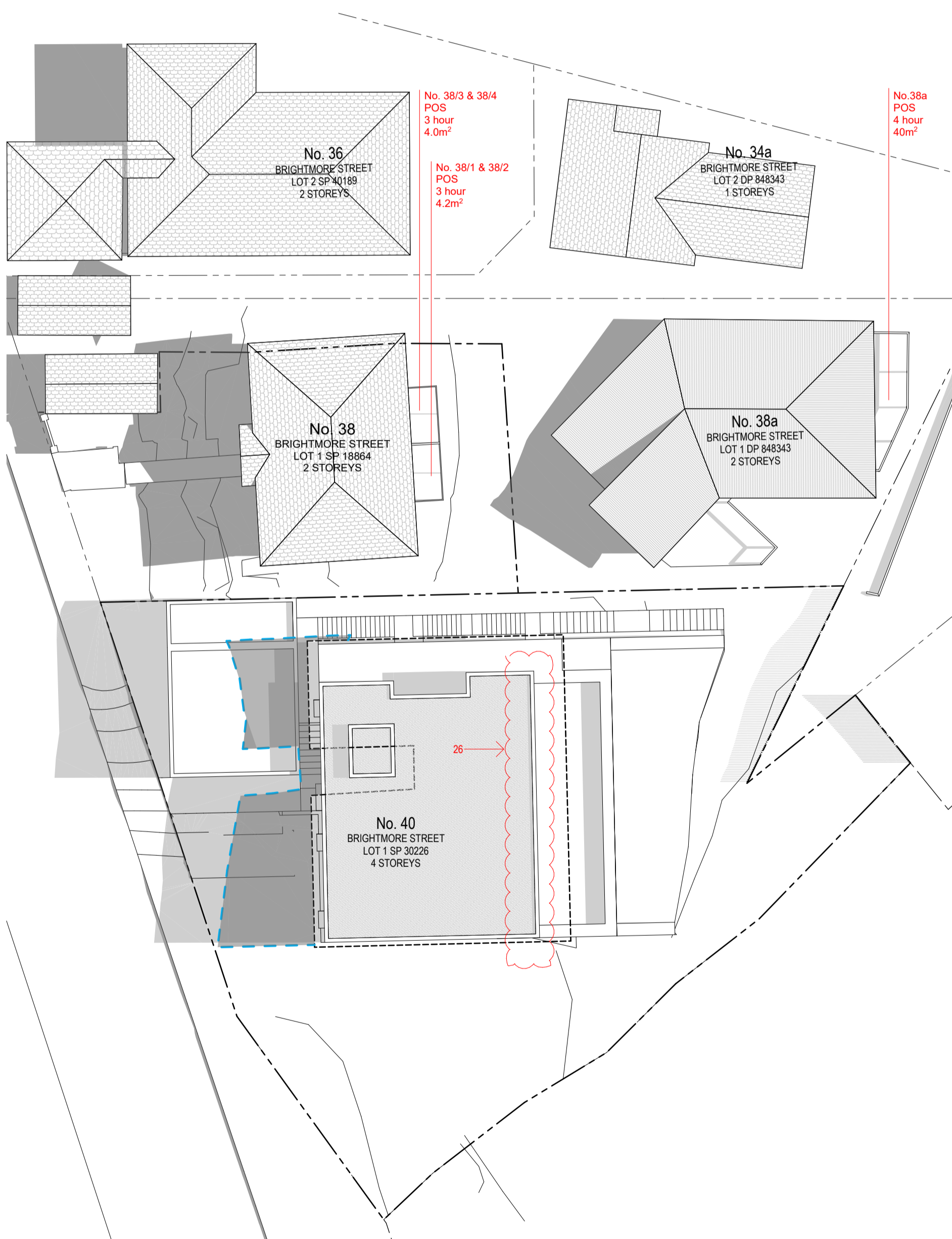
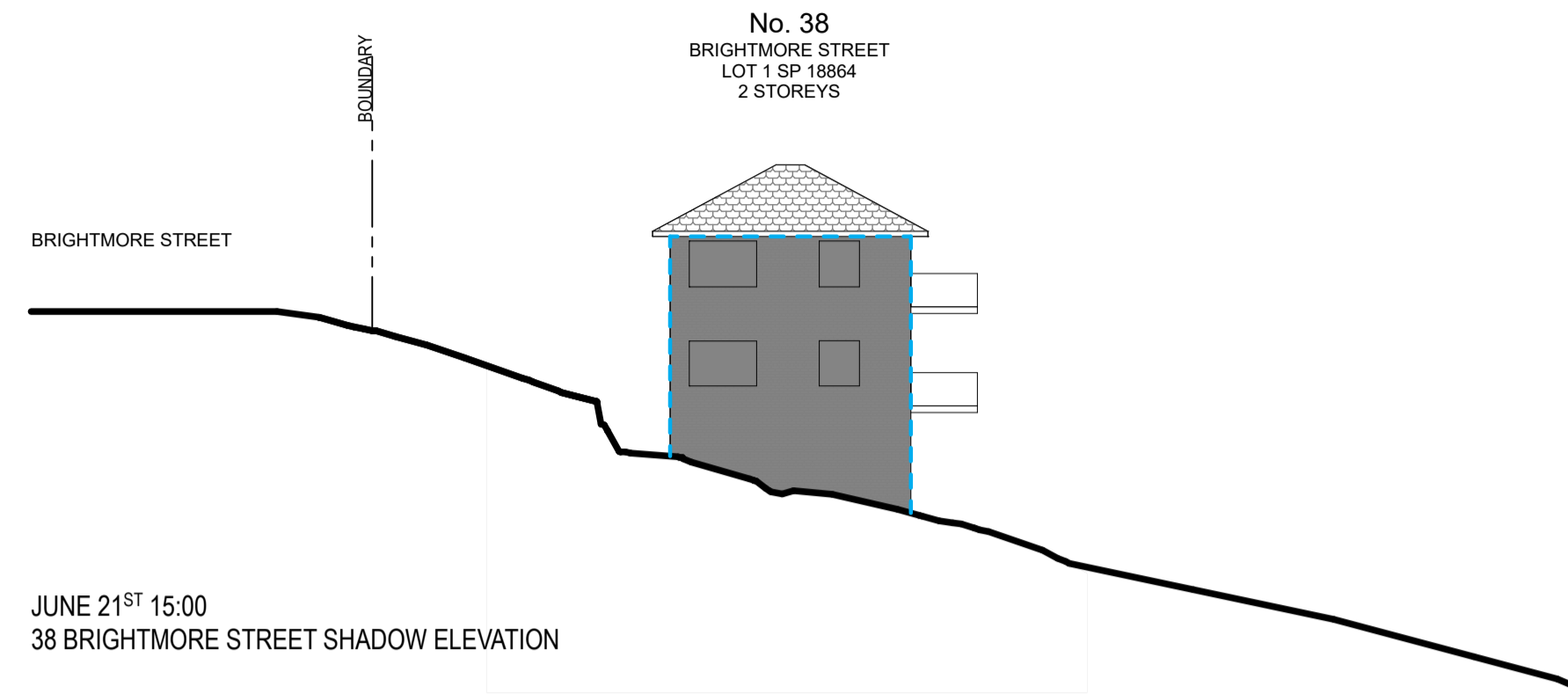
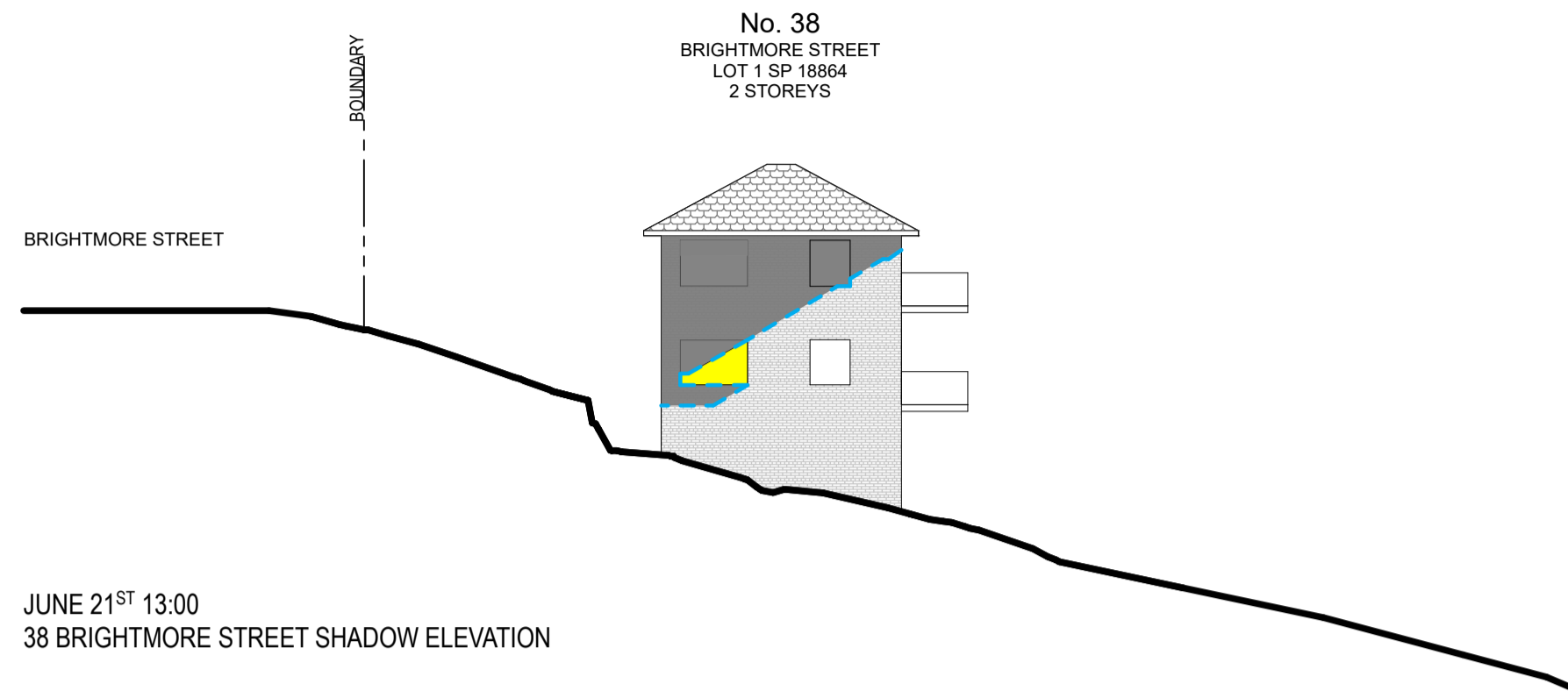
**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		

	EXISTING BUILDING SHADOW OUTLINE
	EXISTING SHADOWS
	PROPOSED SHADOWS







38 BRIGHTMORE STREET SOLAR ACCESS POS\_JUNE 21ST

SOLAR	09:00AM	10:00AM	10:45AM	11:00AM	12:00PM	12:45PM	13:00PM	14:00PM	15:00PM	TOTAL
LEVEL 01 UNIT	Start	1 hour		2 hour	3 hour					3 hour
GROUND UNIT		Start		1 hour	2 hour					2 hour

SHADOW\_JUNE 21 13:00

SHADOW\_JUNE 21 15:00



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Client  
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PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
CREMORNE**

Proje Start Date  
APRIL 2019

Proje Number  
0203

Drawing Title  
**SHADOWS  
JUNE 21 SHADOWS**

Drawing Stage  
DEVELOPMENT APPLICATION

Drawing No.  
**A2603**

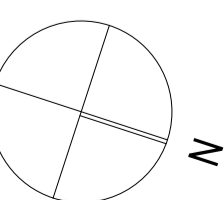
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1:400@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	18.08.23

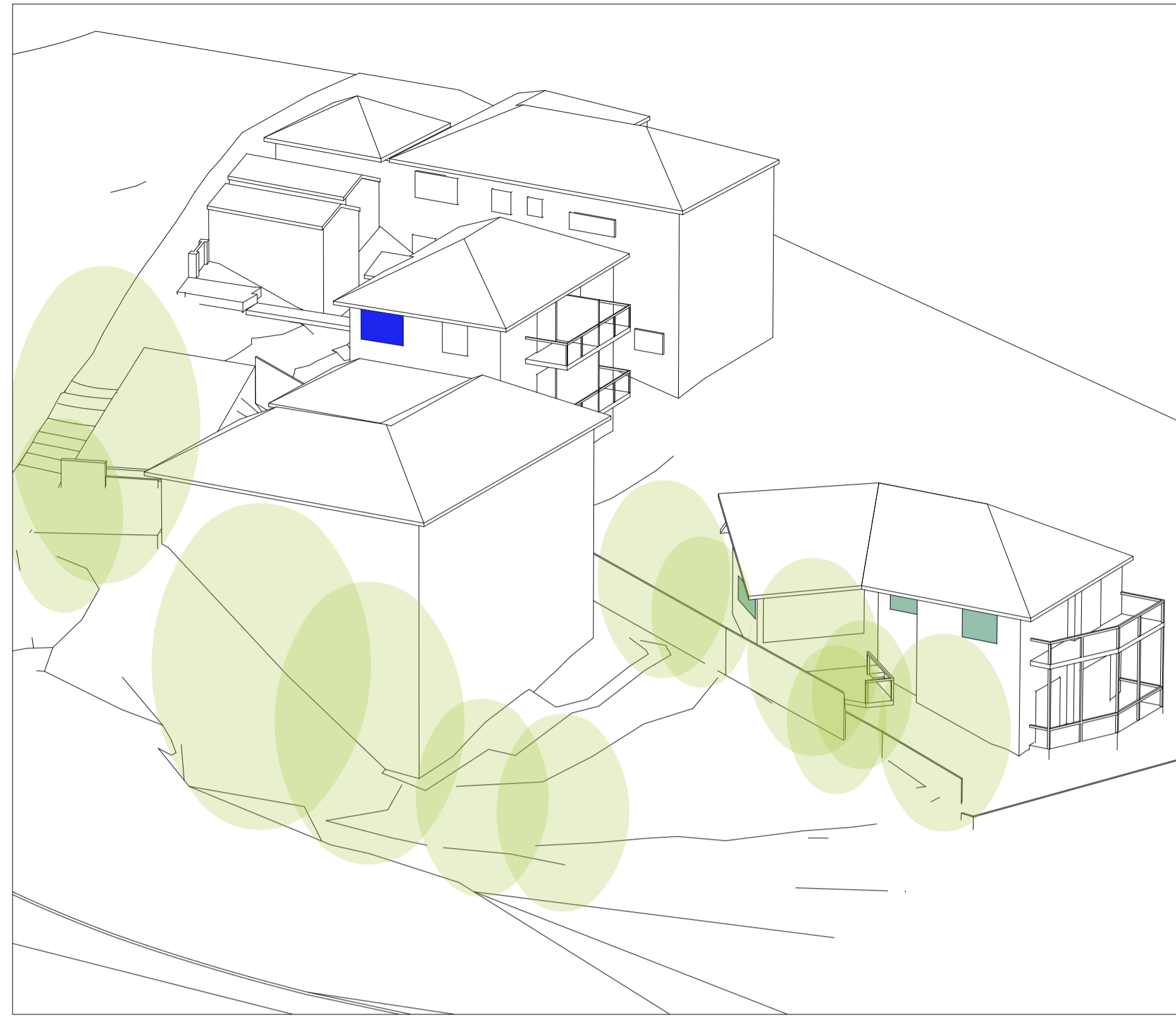
**LEGEND**

- |   |  |
|---|--|
| BA:01 Balustrade, Clear glass barrier, top rail black powdercoat finish | WD:01 Sliding window, Clear glass aluminium framed   |
| BK:01 Earthy red brick  | WD:02 Fixed, Clear glass aluminium framed            |
| DR:01 Sliding door, 3 panel clear glass aluminium framed                | FE:02 Aluminium fence, black ace powdercoat finish.  |
| DR:02 Sliding door, 2 panel clear glass aluminium framed                | FE:03 Timber paling fence, natural finish.           |
| DR:03 Sliding door, 1 panel clear glass aluminium framed                | FE:04 Aluminium batten, black ace powdercoat finish. |
| DR:04 Hinged fire door, white   | MF:01 Metal grate floor, natural finish.             |
| DR:05 Pivot door, clear glass aluminium framed                          | ST:01 Crushed stone                                  |
| RN:01 Render, colour to match brick                                     |  |

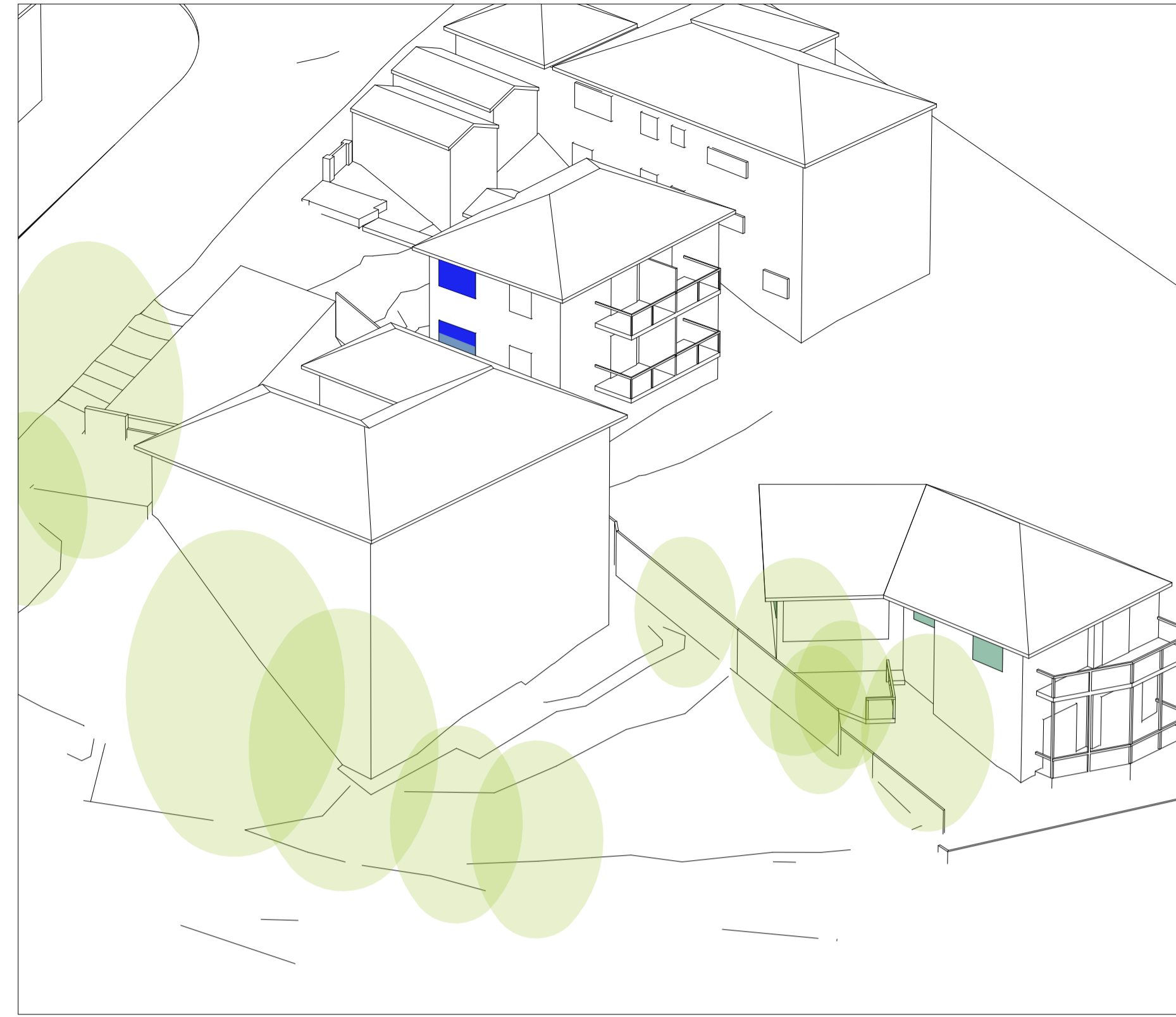
- ▬ EXISTING BUILDING SHADOW OUTLINE
- ▬ EXISTING SHADOWS
- ▬ PROPOSED SHADOWS



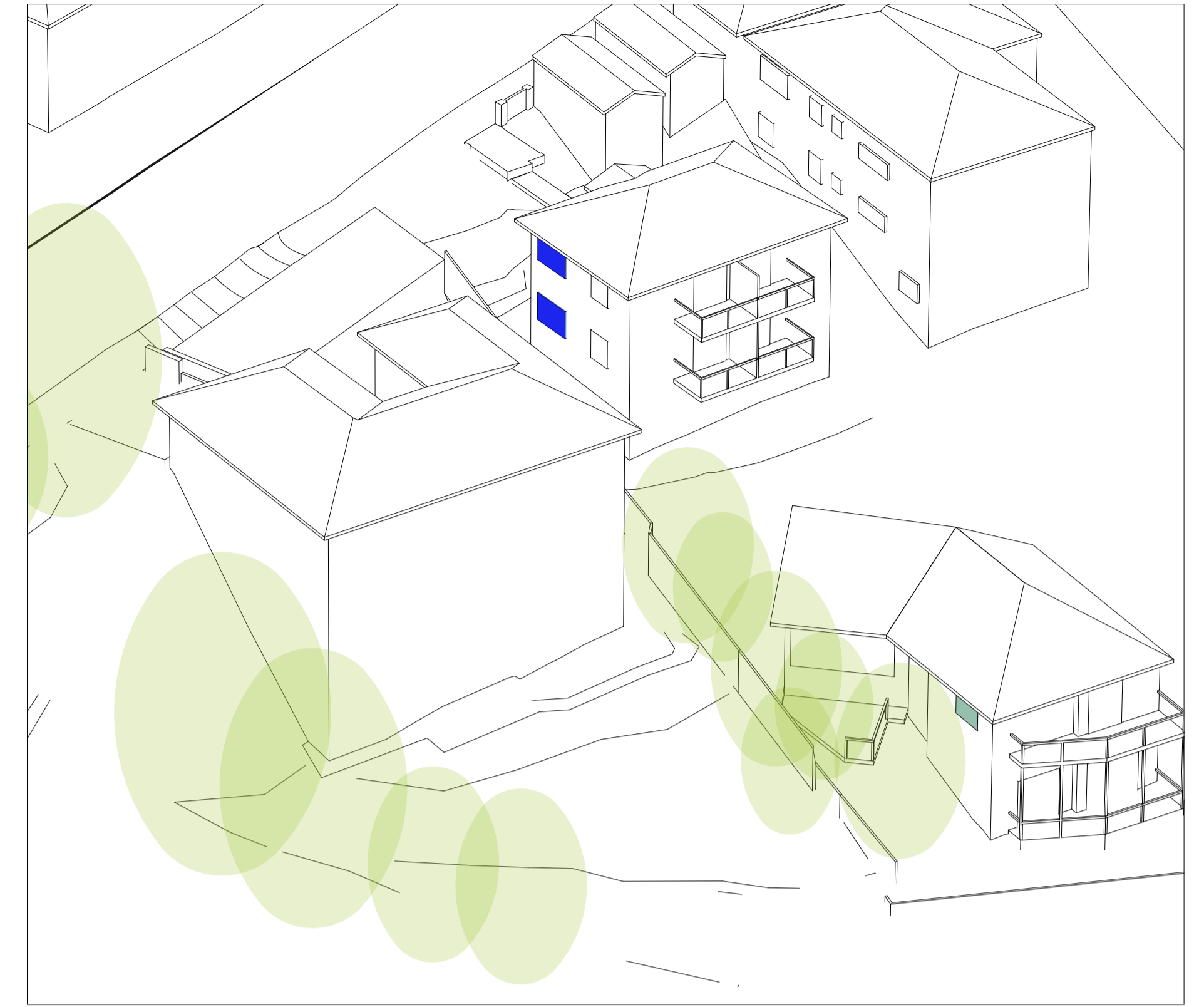




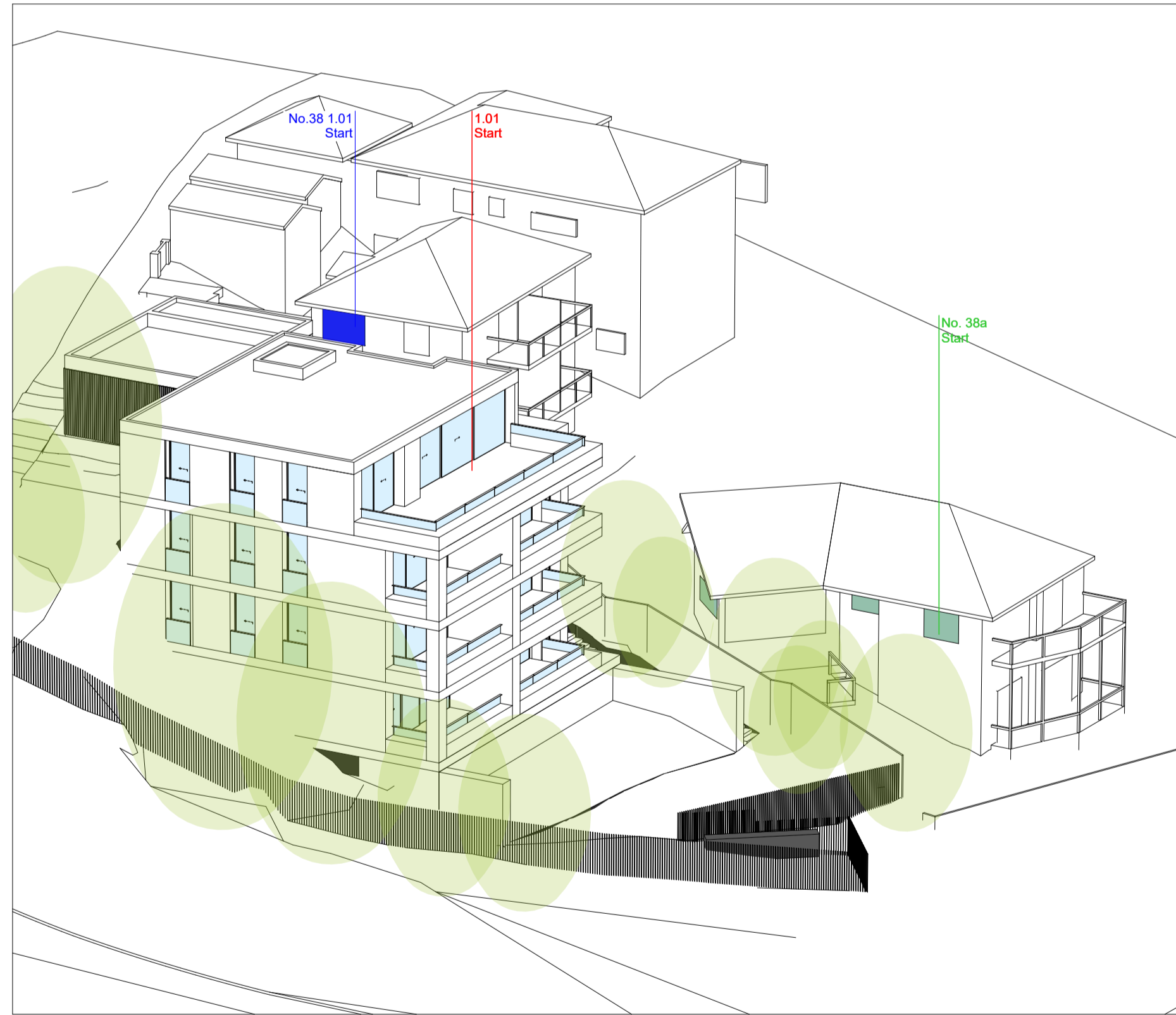
EXISTING 09:00



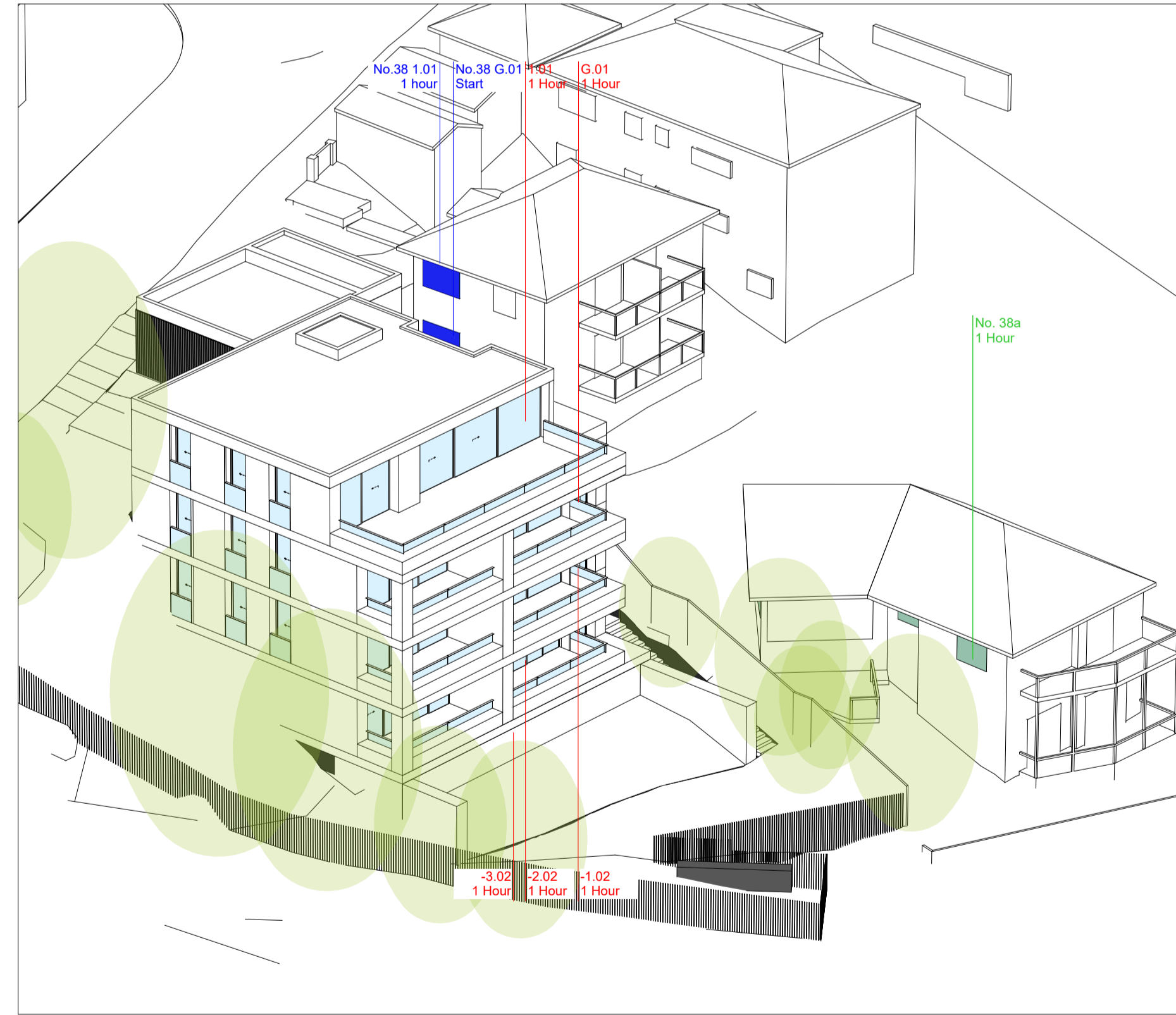
EXISTING 10:00



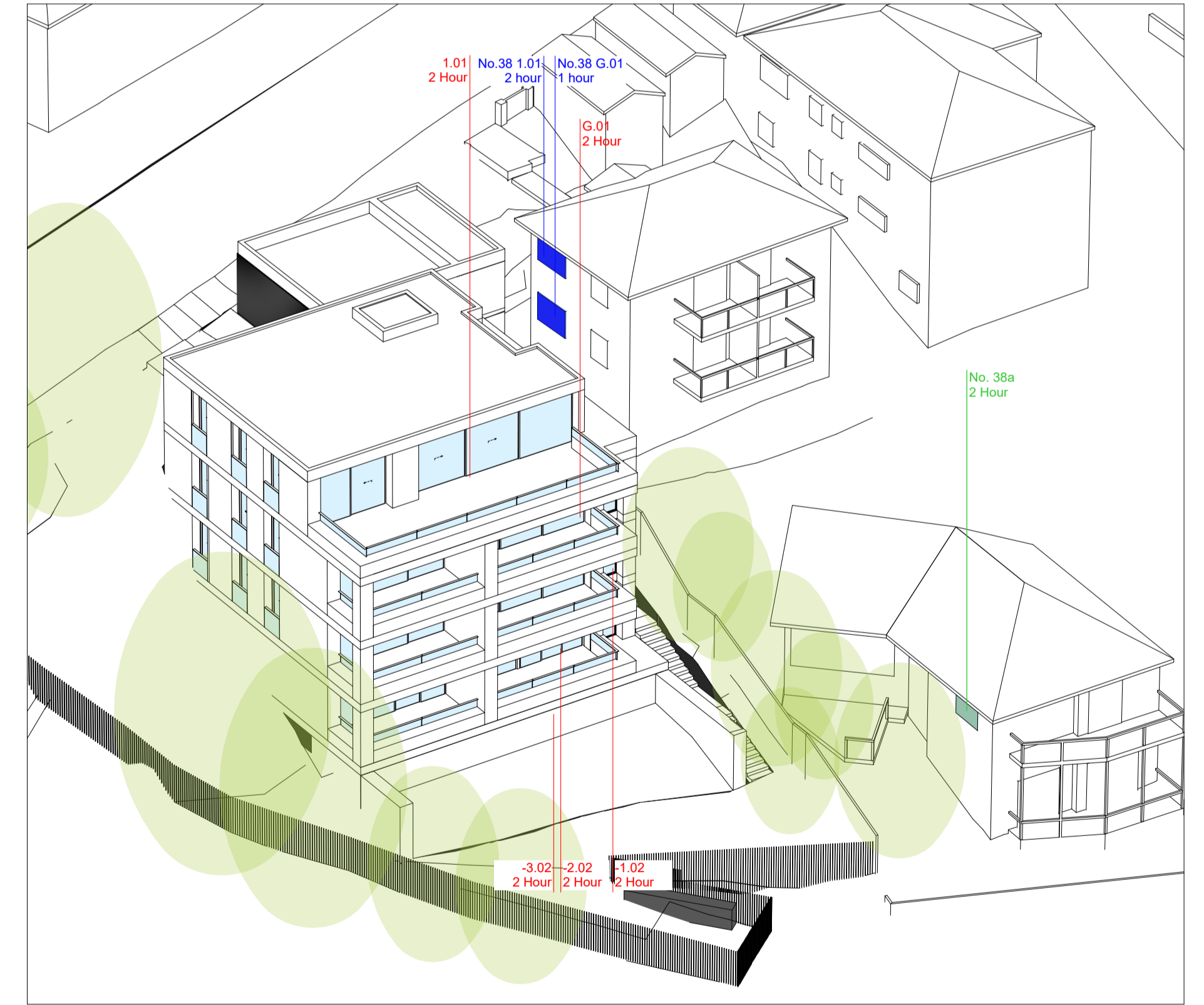
EXISTING 11:00



PROPOSED 09:00



PROPOSED 10:00



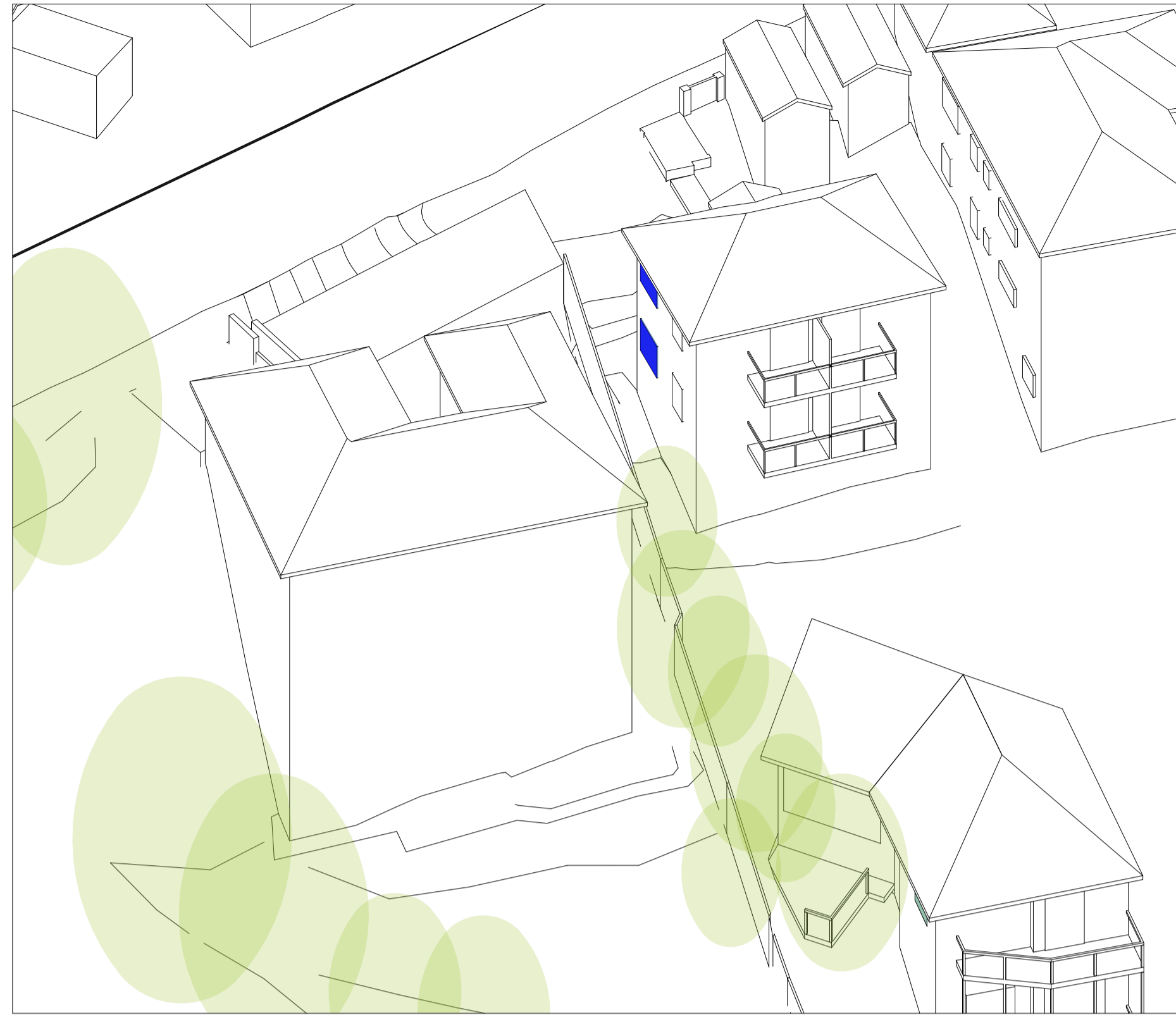
PROPOSED 11:00

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		

<span style="color: red;">■</span>	PROPOSED SOLAR ACCESS
<span style="color: blue;">■</span>	NO. 38 BRIGHTMORE STREET SOLAR ACCESS
<span style="color: green;">■</span>	NO. 38A BRIGHTMORE STREET SOLAR ACCESS

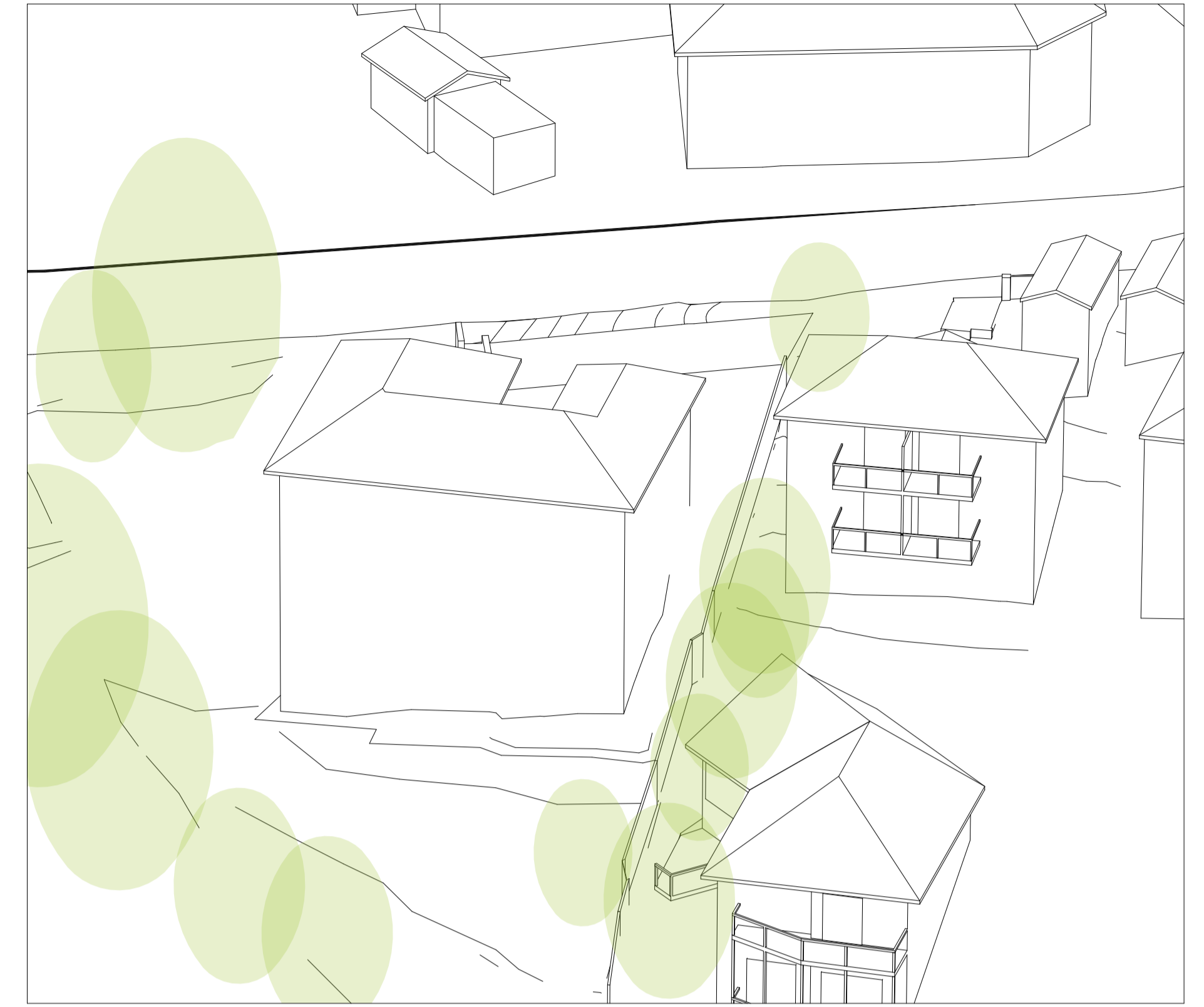




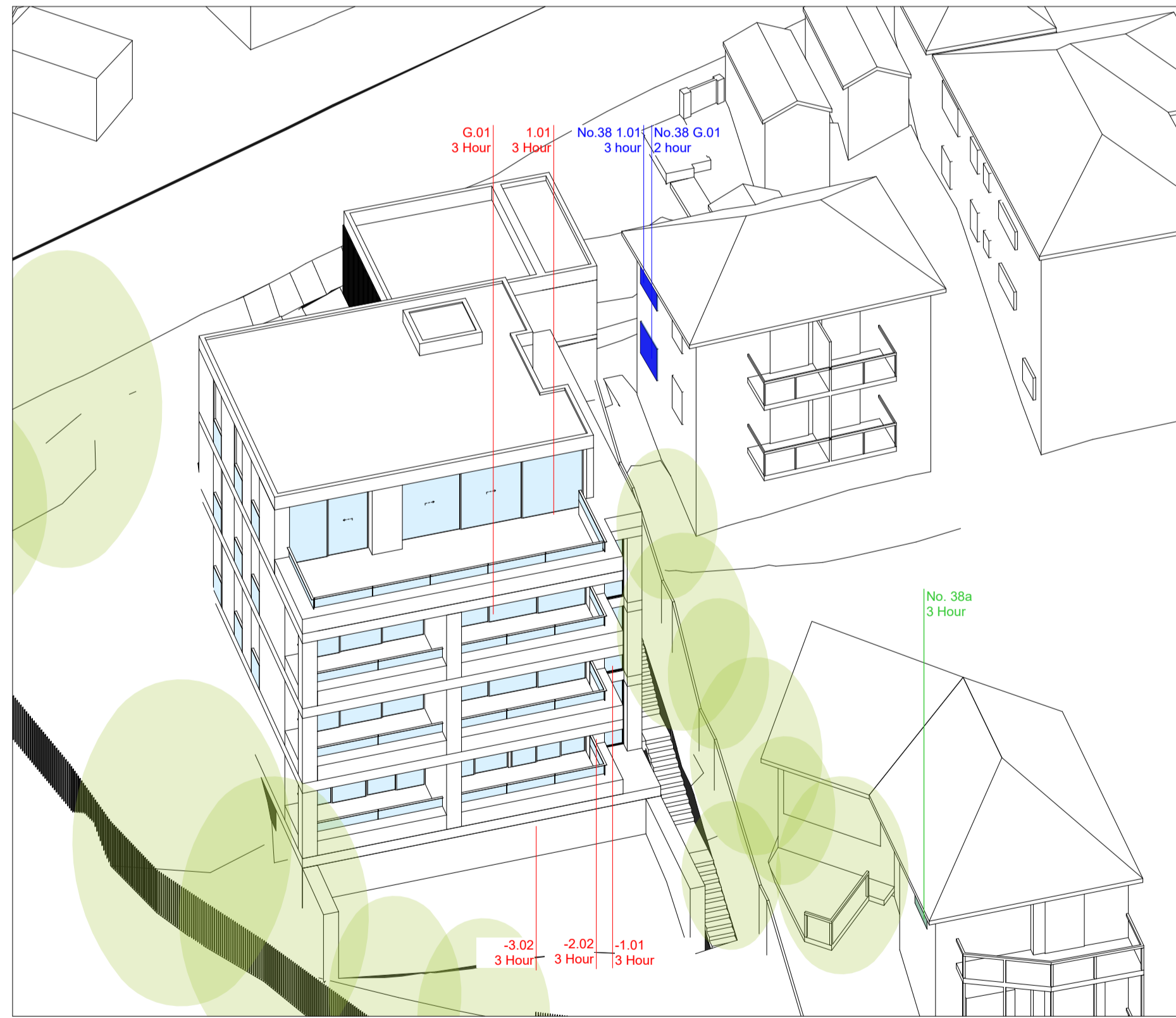
EXISTING 12:00



EXISTING 13:00



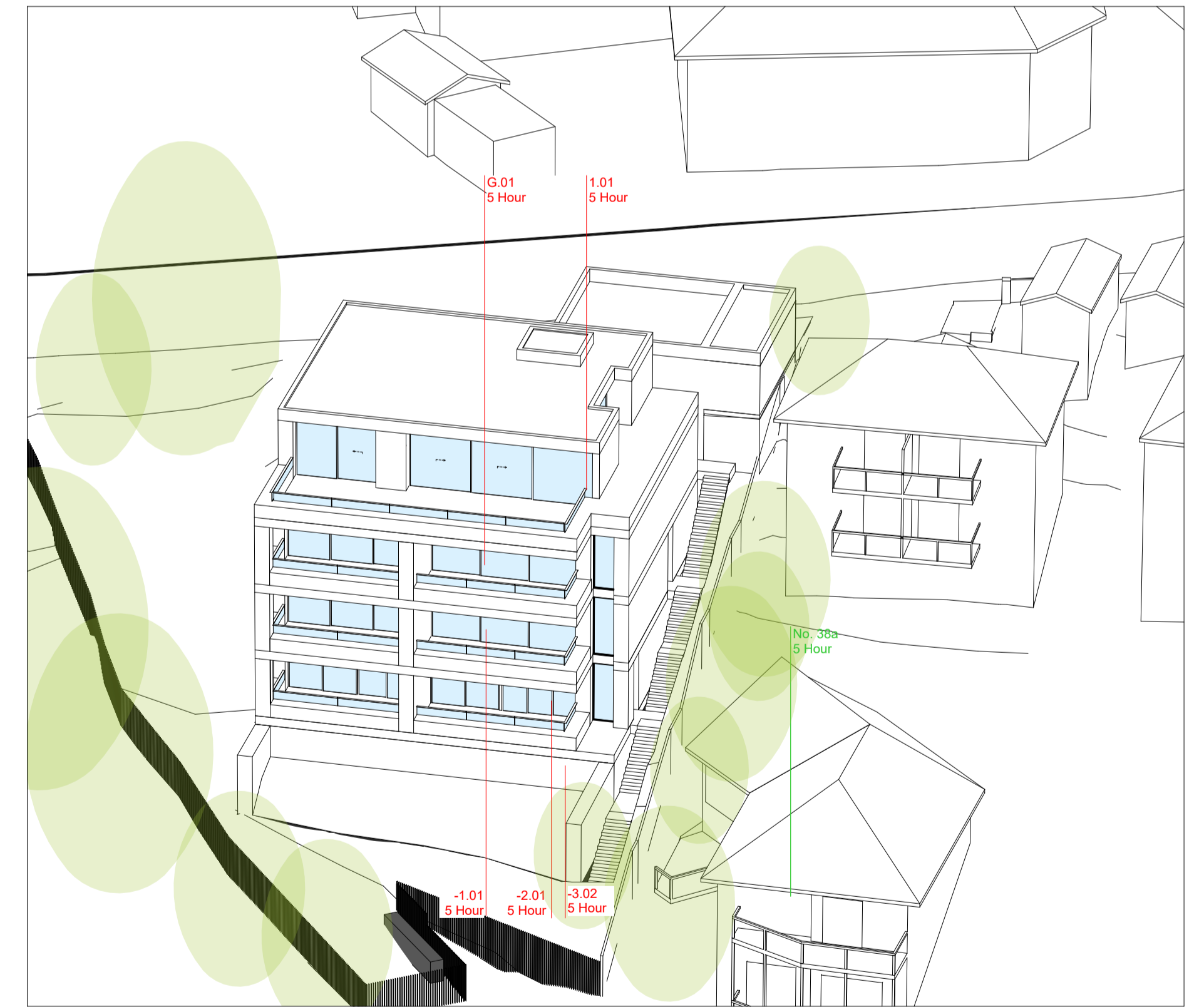
EXISTING 14:00



PROPOSED 12:00



PROPOSED 13:00



PROPOSED 14:00

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 2 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		

■	PROPOSED SOLAR ACCESS
■	NO. 38 BRIGHTMORE STREET SOLAR ACCESS
■	NO. 38A BRIGHTMORE STREET SOLAR ACCESS





EXISTING 15:00

**40 BRIGHTMORE STREET SOLAR ACCESS\_JUNE 21ST**

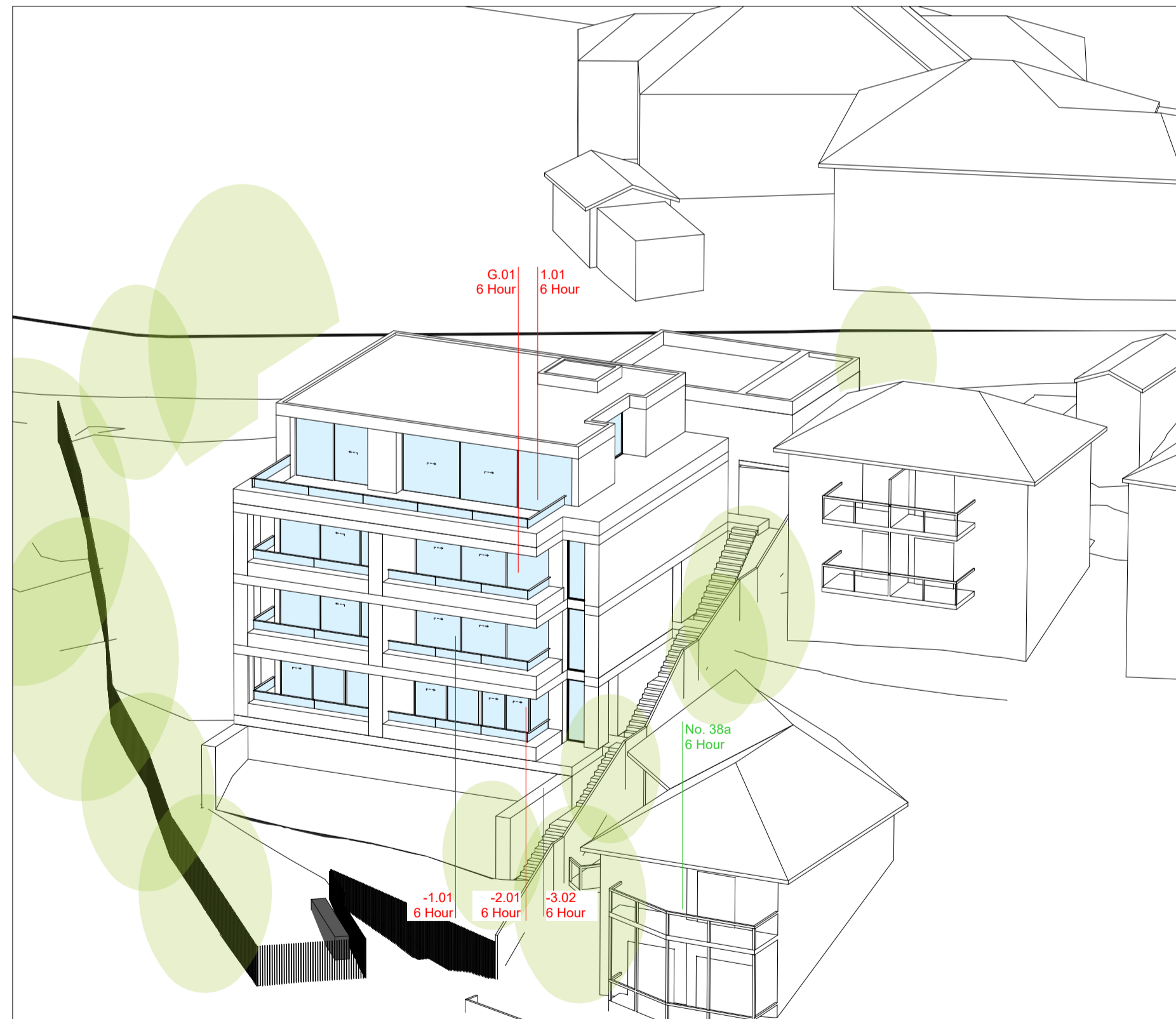
SOLAR	09:00AM	10:00AM	11:00AM	12:00PM	13:00PM	14:00PM	15:00PM	TOTAL
1.01	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>
G.01	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>
-1.01	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>
-2.01	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>
-3.01	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>

**38A BRIGHTMORE STREET SOLAR ACCESS\_JUNE 21ST**

SOLAR	09:00AM	10:00AM	11:00AM	12:00PM	13:00PM	14:00PM	15:00PM	TOTAL
LIVING ROOM	Start	1 hour	2 hour	3 hour	4 hour	5 hour	6 hour	<b>6 hour</b>

**38 BRIGHTMORE STREET SOLAR ACCESS TO DINING ROOM WINDOW\_JUNE 21ST**

SOLAR	09:00AM	10:00AM	11:00AM	12:00PM	13:00PM	14:00PM	15:00PM	TOTAL
LEVEL 01 UNIT	Start	1 hour	2 hour	3 hour				<b>3 hour</b>
GROUND UNIT		Start	1 hour	2 hour				<b>2 hour</b>



PROPOSED 15:00



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 NSW registered architect  
 Robert Gordon Woodward 9363

Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SOLAR COMPLIANCE  
 VIEWS FROM THE SUN**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A2703**

Drawing Scale  
**NTS**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

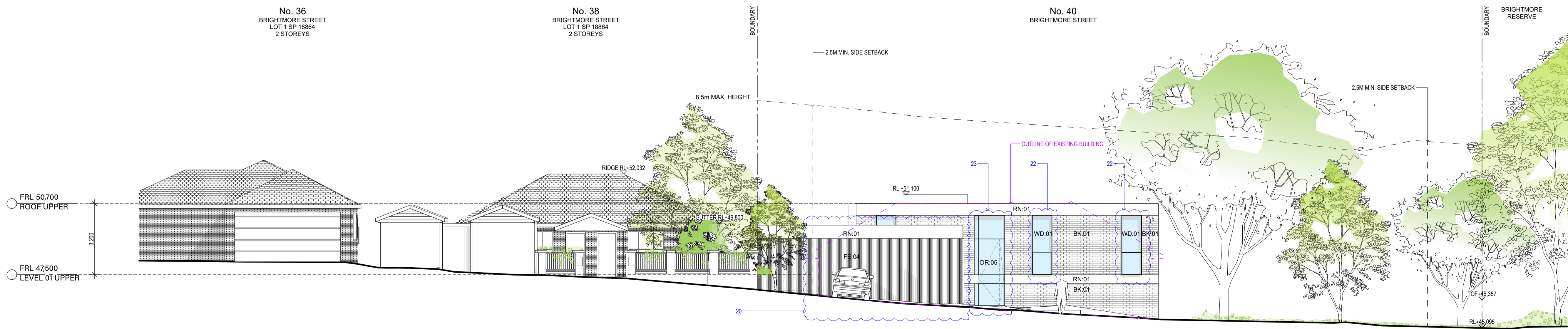
BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		

PROPOSED SOLAR ACCESS  
 NO. 38 BRIGHTMORE STREET SOLAR ACCESS  
 NO. 38A BRIGHTMORE STREET SOLAR ACCESS





ELEVATION SOUTH\_EXISTING



FRL 50,700  
ROOF UPPER

3,200

FRL 47,500  
LEVEL 01 UPPER

2.5M MIN. SIDE SETBACK

8.5m MAX. HEIGHT

2.5M MIN. SIDE SETBACK

OUTLINE OF EXISTING BUILDING

20

RL+51.100

TOP+46.357

RL+45.095



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NSW registered architect  
Robert Gordon Woodward 9363

Client  
**BRIGHTMORE RESIDENCE  
PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
CREMORNE**

Proje Start Date  
APRIL 2019

Proje Number  
0203

Drawing Title  
**ELEVATION  
SOUTH ELEVATION (BRIGHTMORE STREET)**

Drawing Stage  
DEVELOPMENT APPLICATION

Drawing No.  
**A3101A**

Drawing Scale  
**1:100@A1  
1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	22.05.23

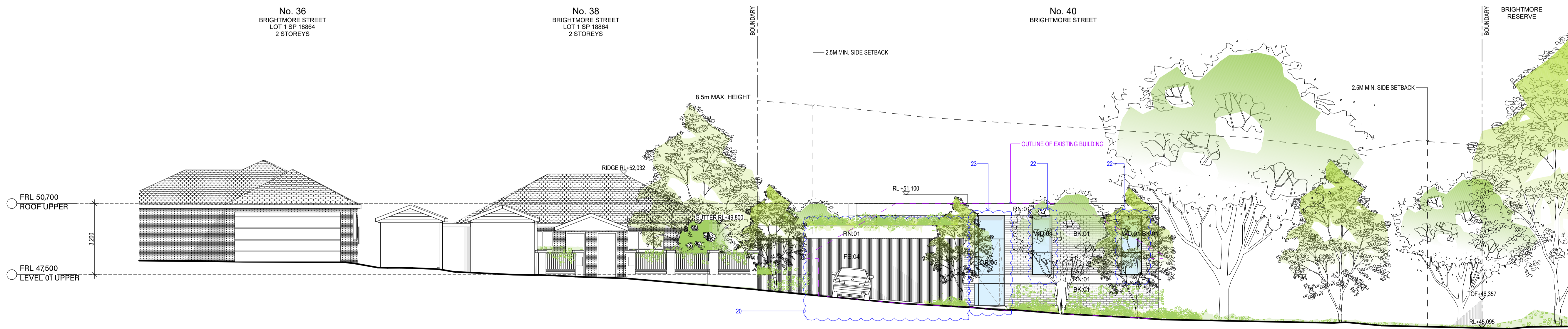
**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





ELEVATION SOUTH\_EXISTING



ELEVATION SOUTH\_PROPOSED

**ess**

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Client  
**BRIGHTMORE RESIDENCE  
PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
CREMORNE**

Proje Start Date  
APRIL 2019

Proje Number  
0203

Drawing Title  
**ELEVATION  
SOUTH ELEVATION (BRIGHTMORE STREET)**

Drawing Stage  
DEVELOPMENT APPLICATION

Drawing No.  
**A3101**

Drawing Scale  
**1:100@A1  
1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 NORTH ELEVATION (FENCE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3102**

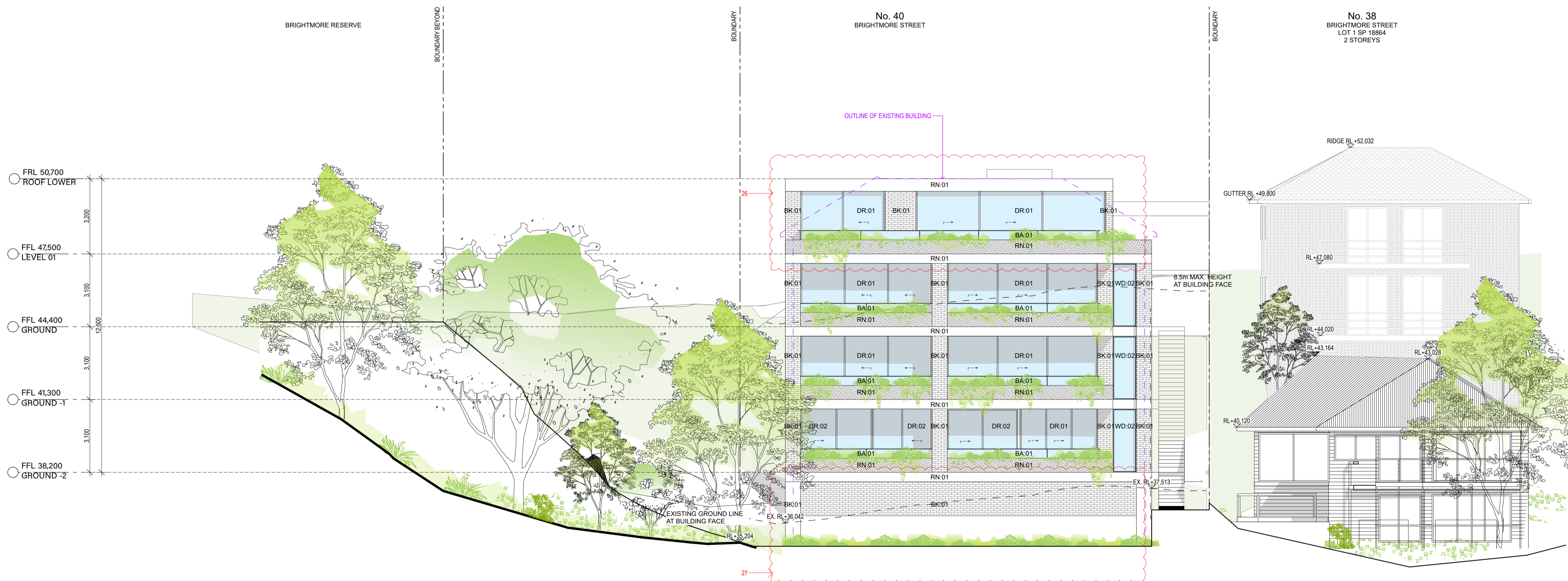
Drawing Scale  
**1:100@A1  
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 NORTH ELEVATION**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3103**

Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 EAST ELEVATION (FENCE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3104**

Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 EAST ELEVATION**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3105**

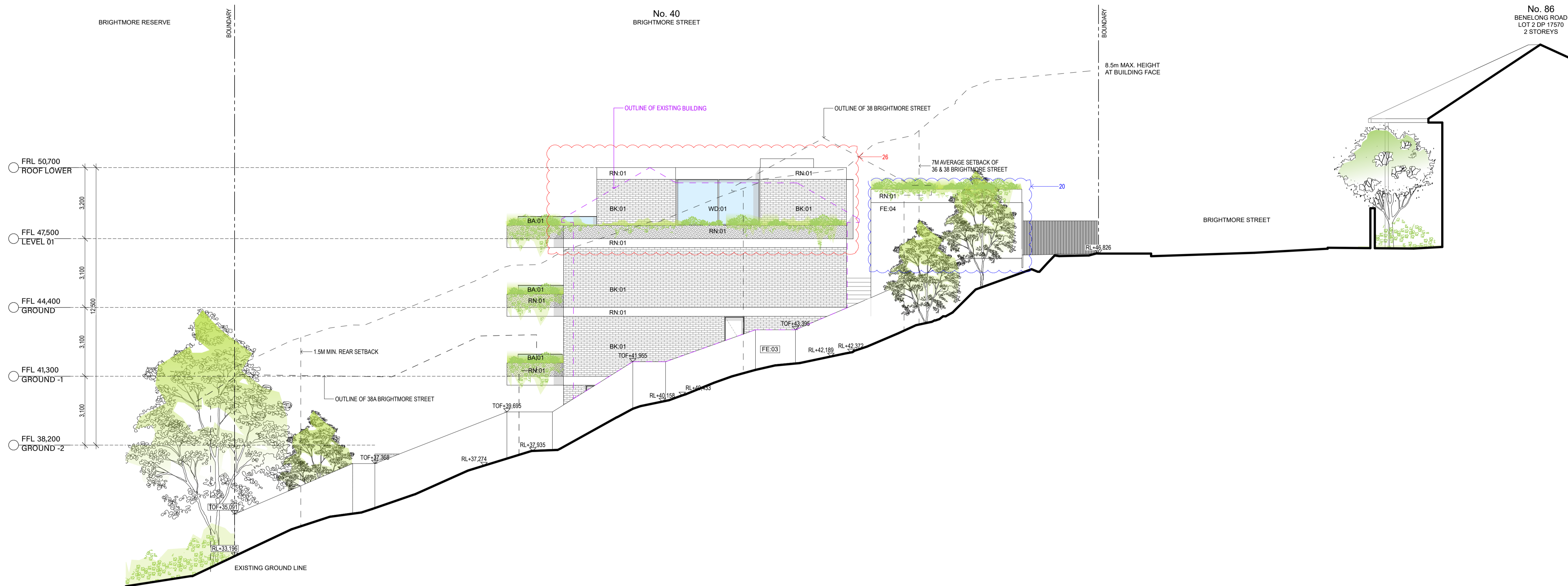
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 WEST ELEVATION (FENCE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3106**

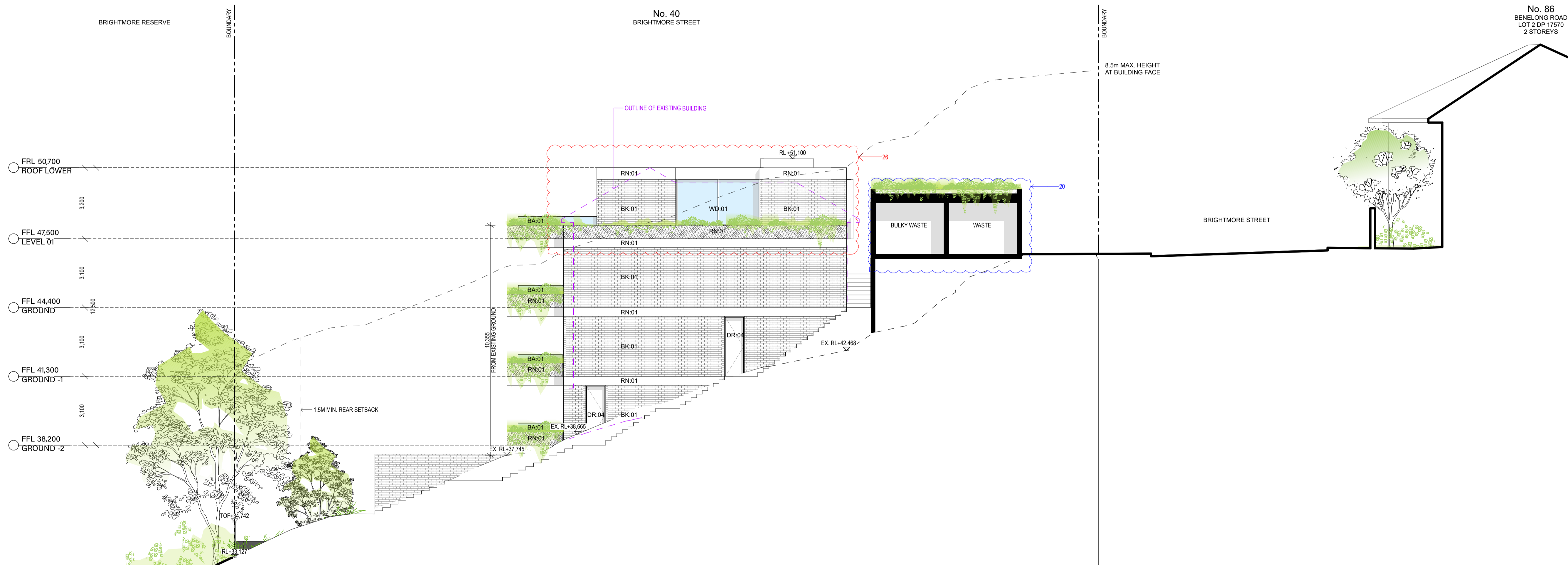
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 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 WEST ELEVATION**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3107**

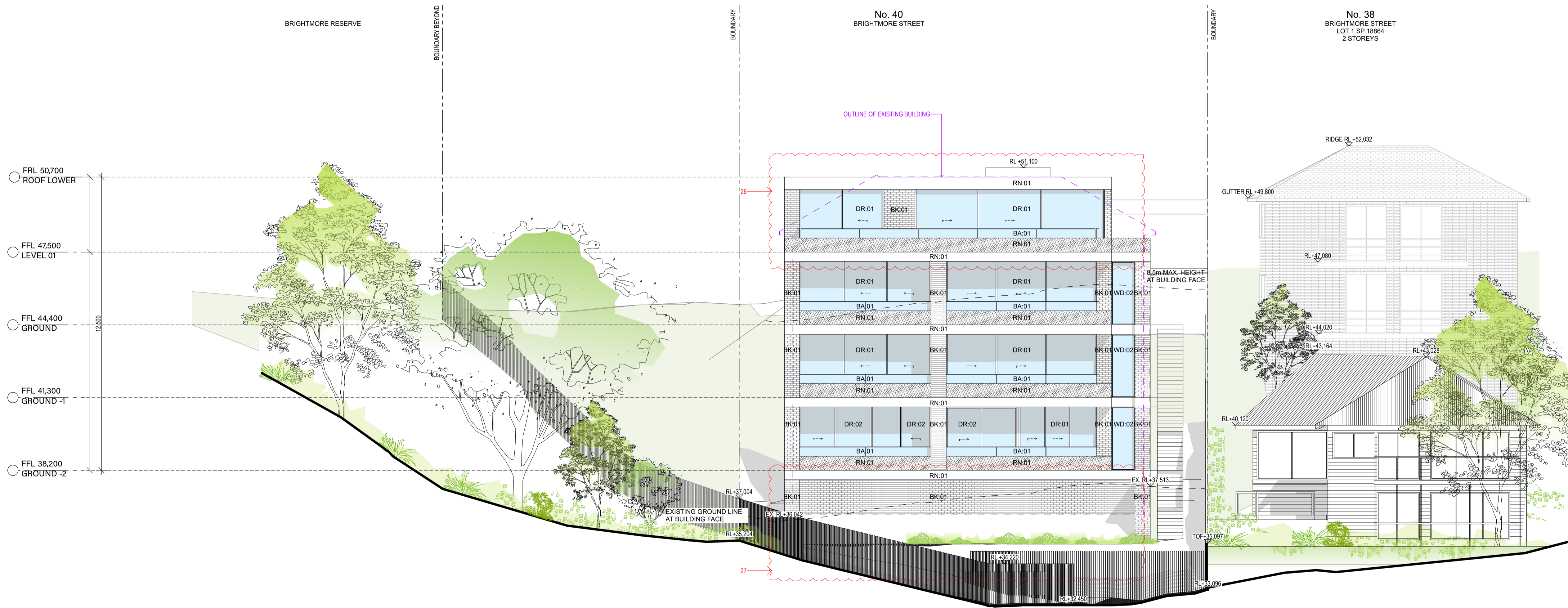
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**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 NORTH ELEVATION (FENCE, NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3108**

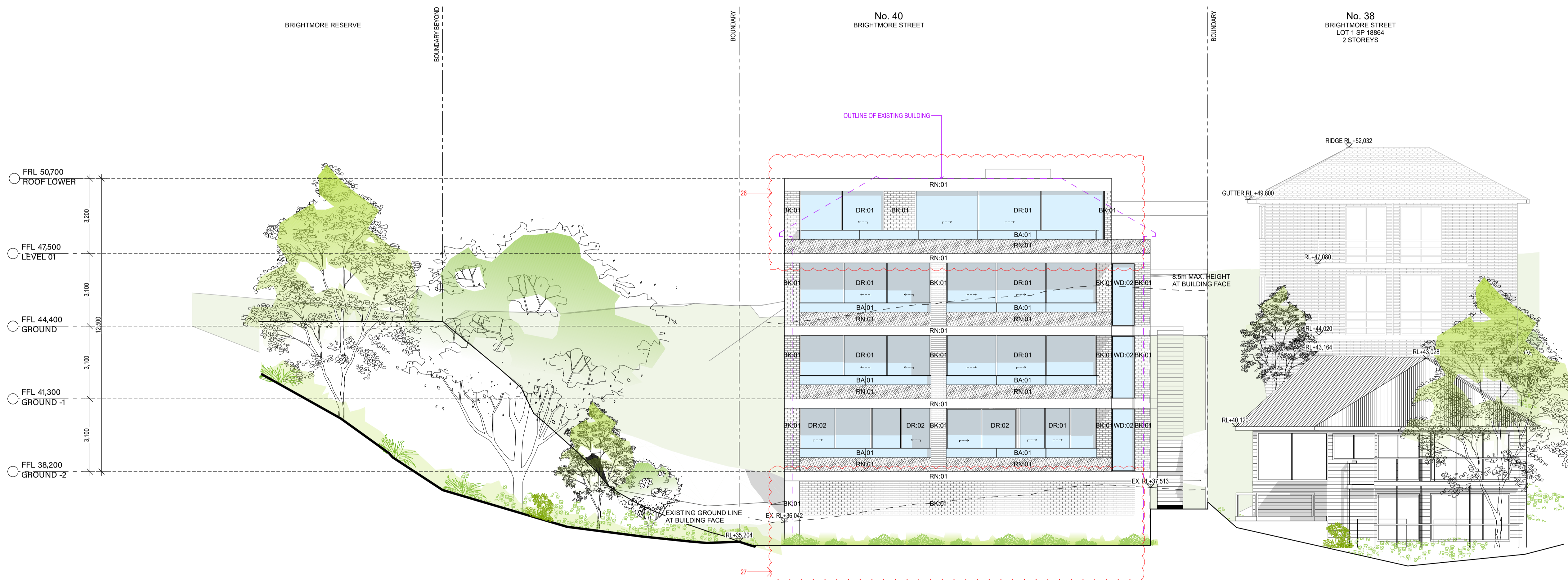
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 NORTH ELEVATION (NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3109**

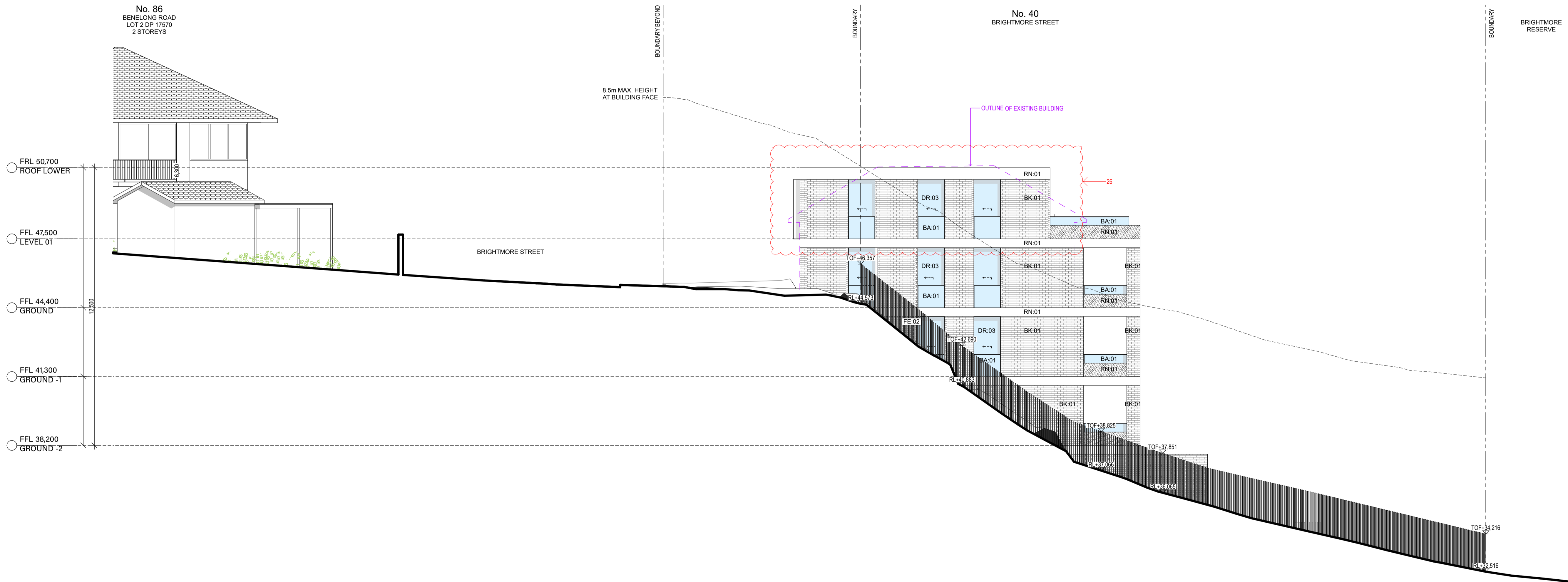
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**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 EAST ELEVATION (FENCE, NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3110**

Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.03.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 EAST ELEVATION (NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3111**

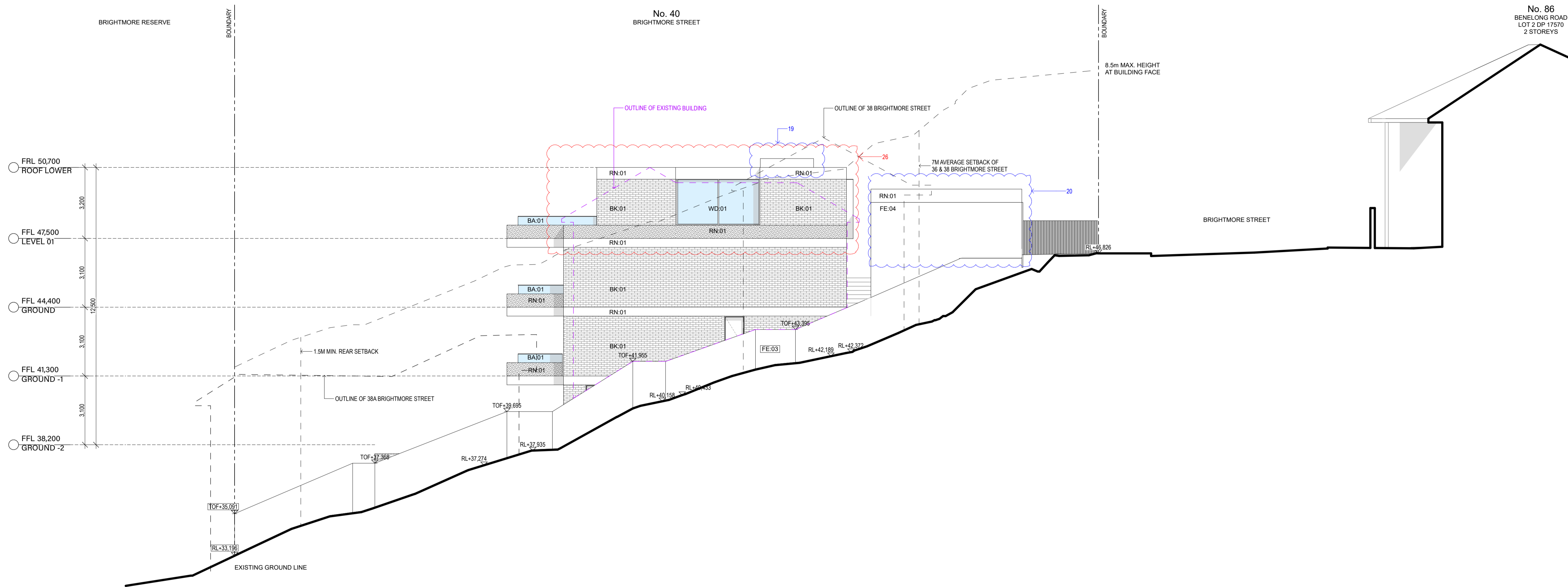
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**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 WEST ELEVATION (FENCE, NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3112**

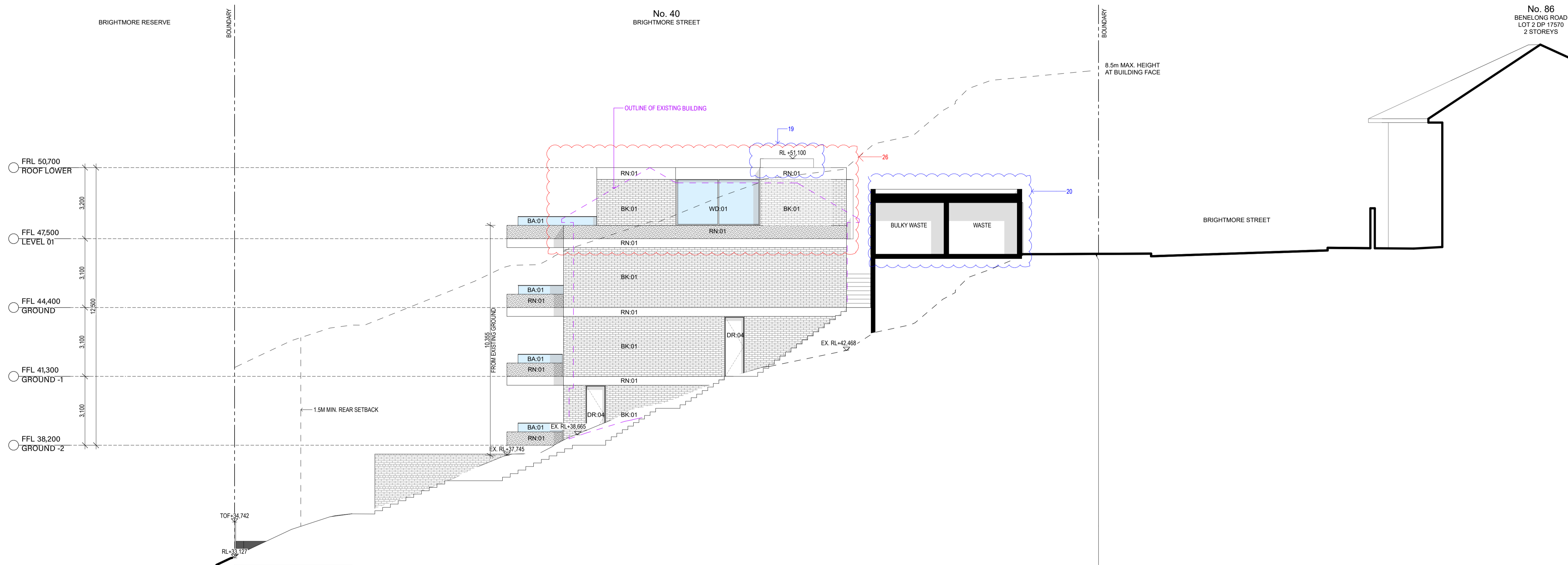
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**ELEVATION  
 WEST ELEVATION (NO LANDSCAPE)**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3113**

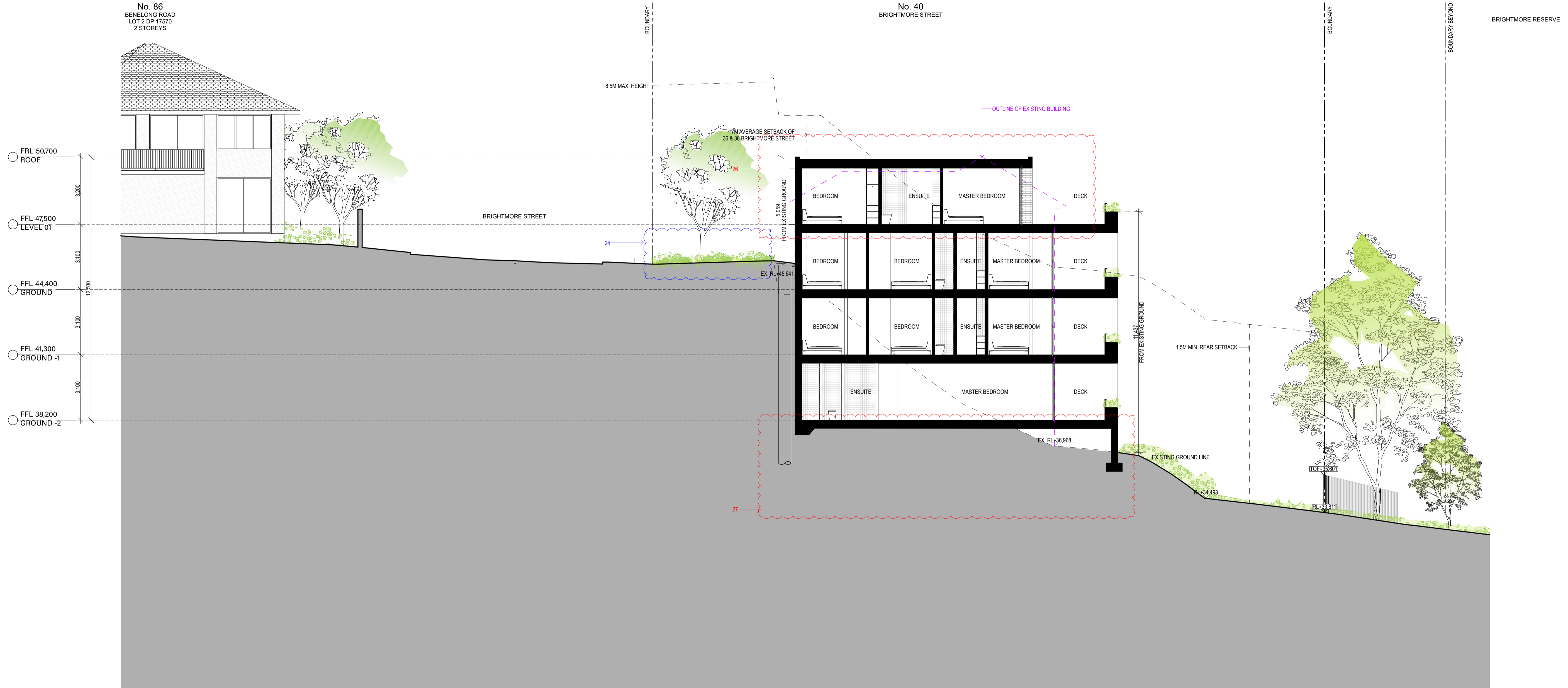
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REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





Client  
**BRIGHTMORE RESIDENCE  
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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION A**

Drawing No.  
**A3201**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing Scale  
**1:100@A1  
 1:200@A3**

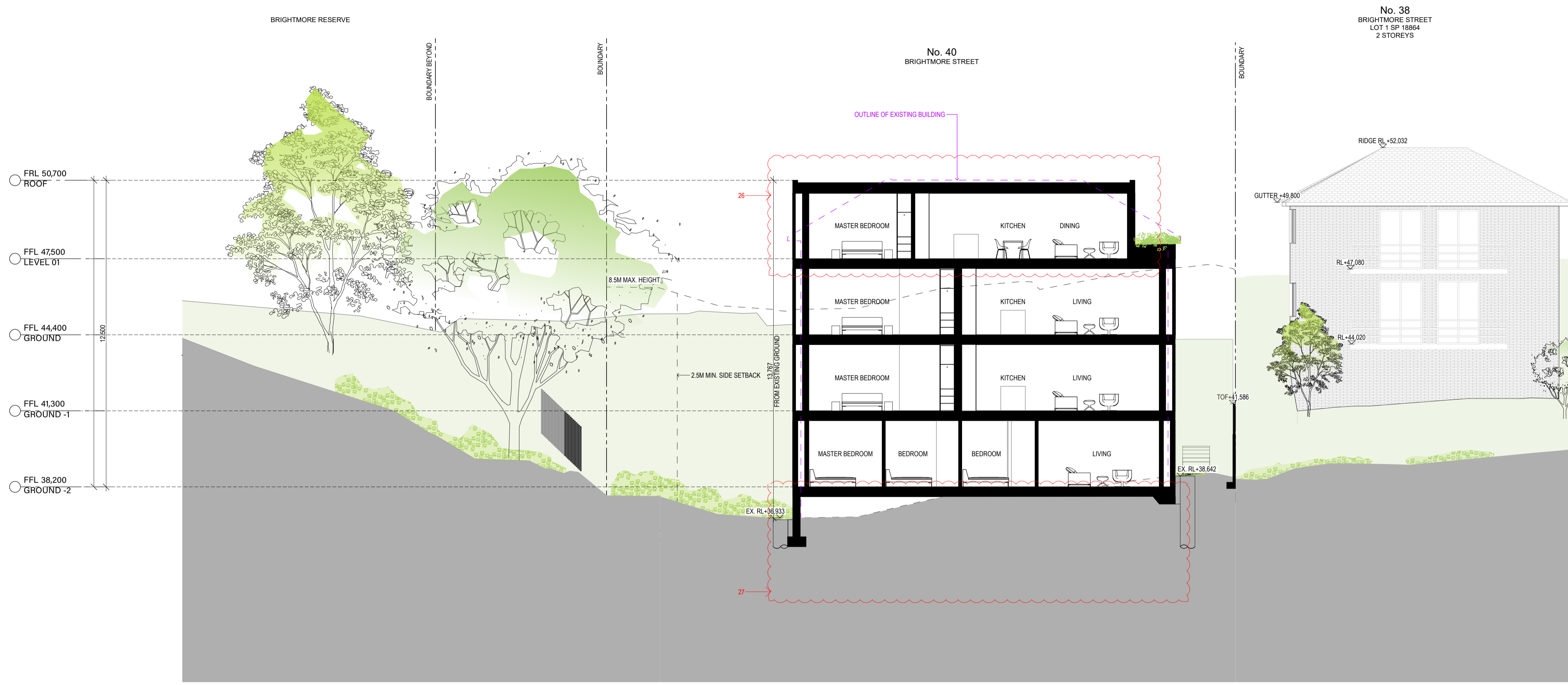
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick

WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone





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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION B**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3202**

Drawing Scale  
**1:100@A1  
 1:200@A3**

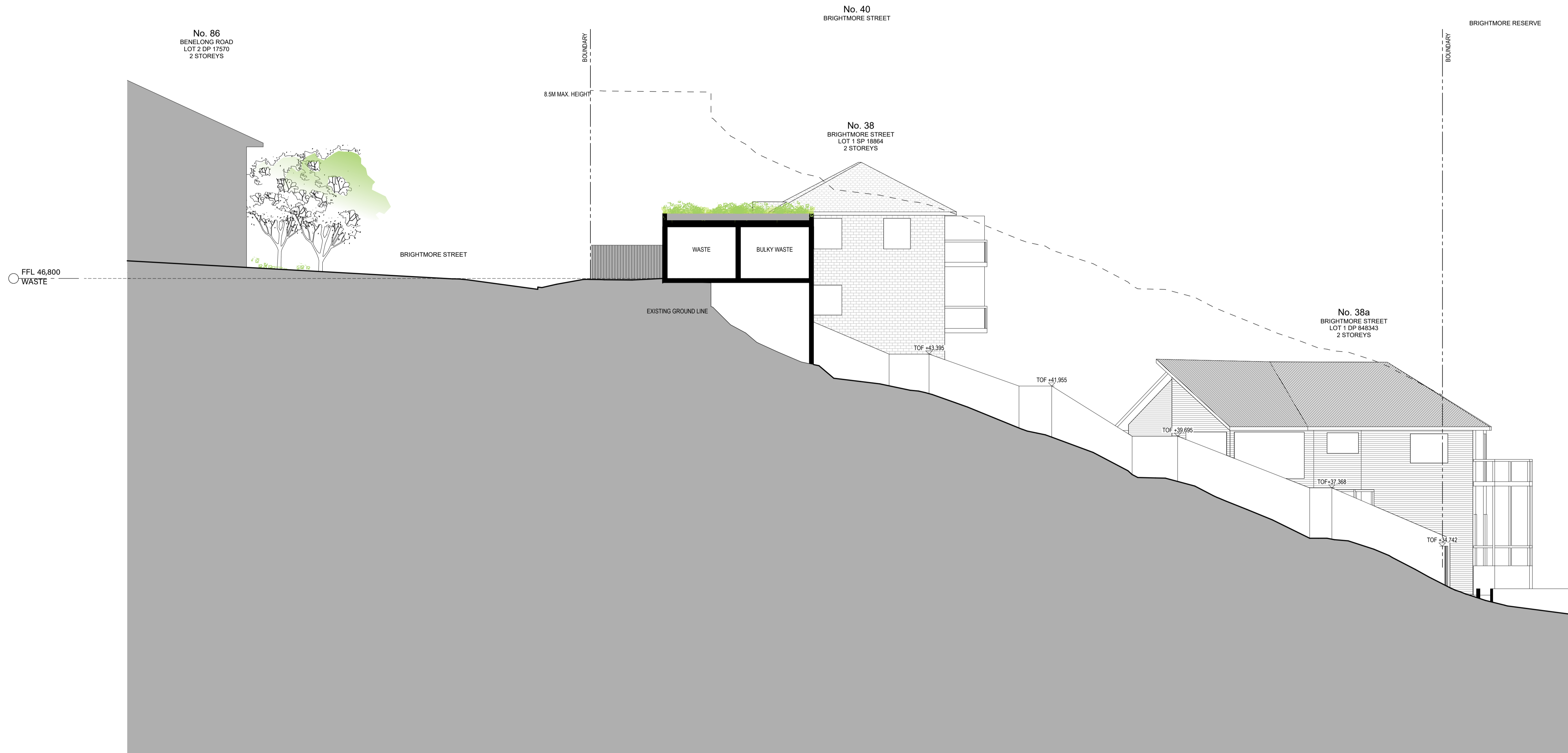
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	02.05.23
DA03	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick

WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone





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**BRIGHTMORE RESIDENCE  
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Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION C**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3203**

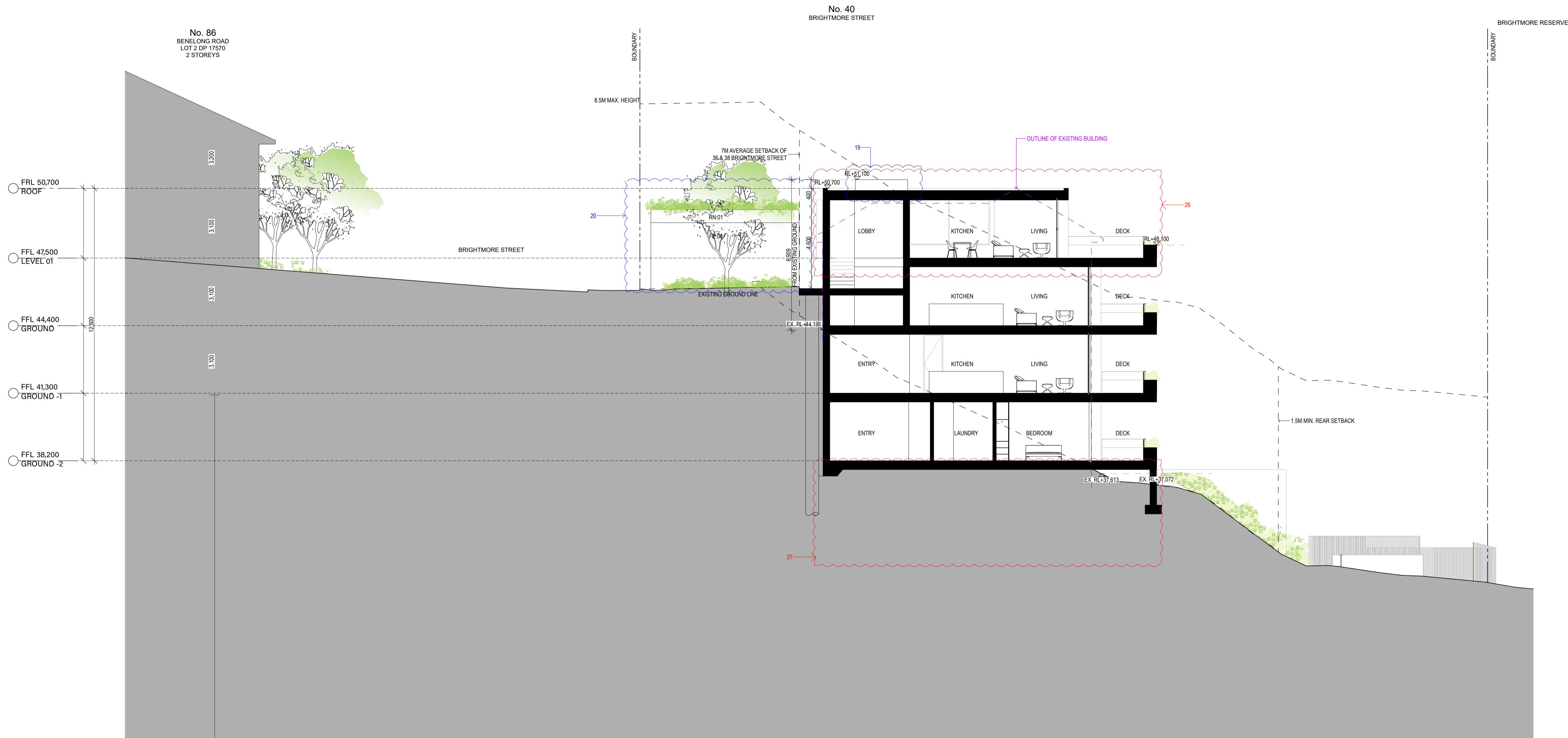
Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	02.05.23
DA03	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





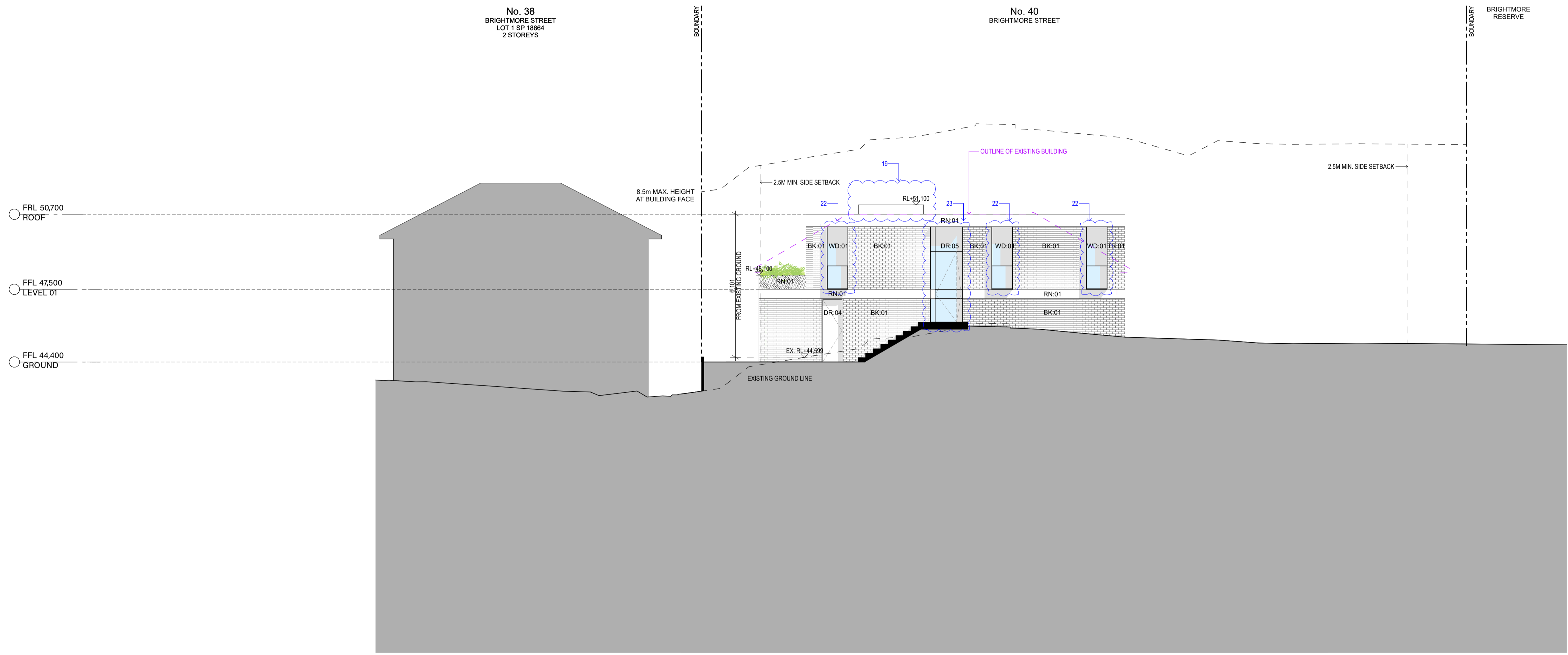




REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

LEGEND	
BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick
WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone





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 NSW registered architect  
 Robert Gordon Woodward 9363

Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION H**

Drawing No.  
**A3208**

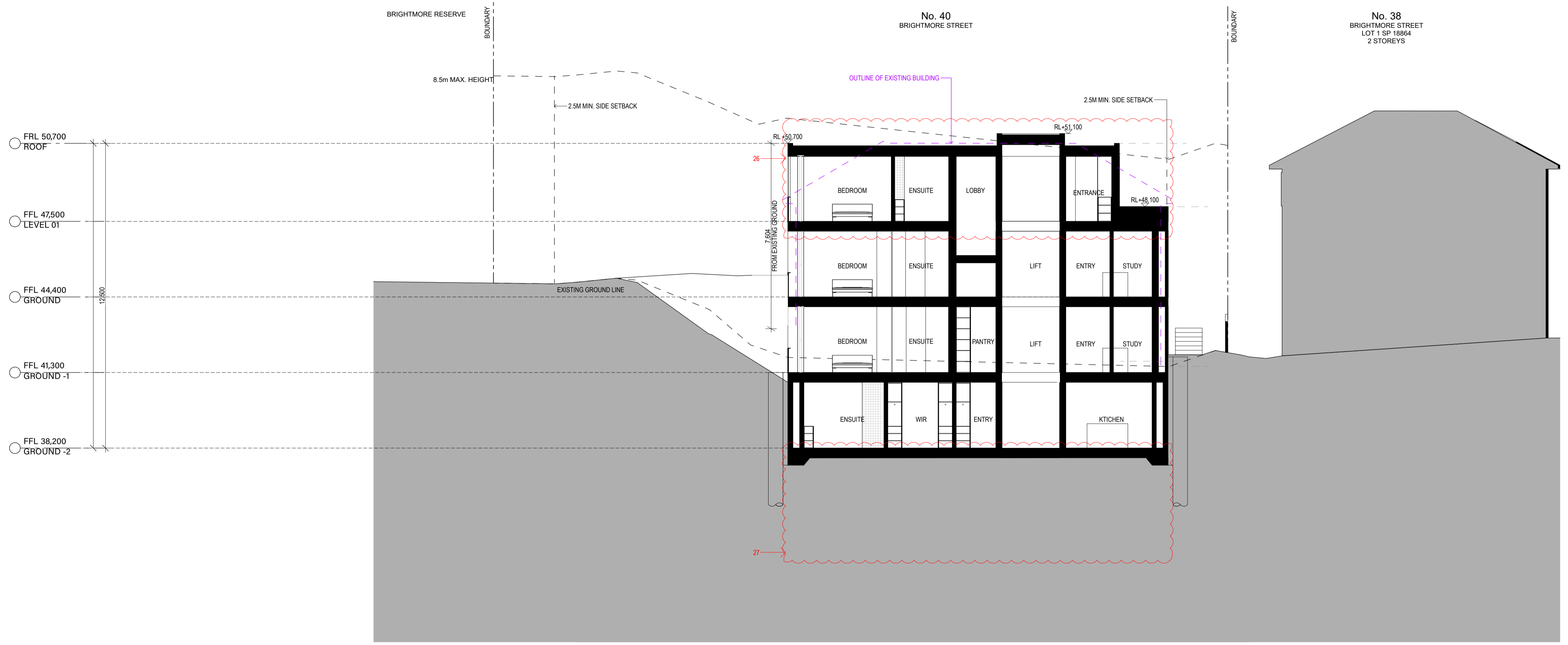
Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23

LEGEND	
BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick
WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone





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 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION I**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3209**

Drawing Scale  
**1:100@A1  
 1:200@A3**

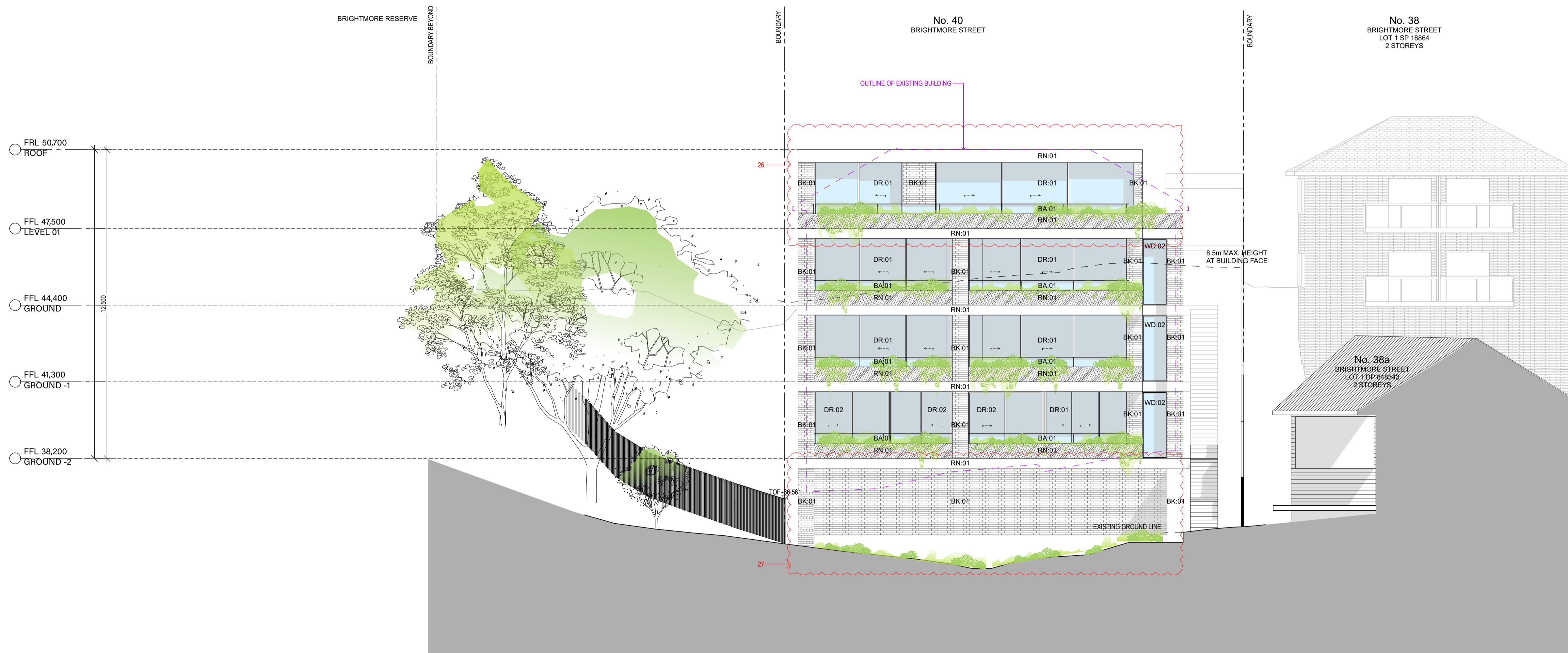
REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish
BK:01	Earthy red brick
DR:01	Sliding door, 3 panel clear glass aluminium framed
DR:02	Sliding door, 2 panel clear glass aluminium framed
DR:03	Sliding door, 1 panel clear glass aluminium framed
DR:04	Hinged fire door, white
DR:05	Pivot door, clear glass aluminium framed
RN:01	Render, colour to match brick

WD:01	Sliding window, Clear glass aluminium framed
WD:02	Fixed, Clear glass aluminium framed
FE:02	Aluminium fence, black ace powdercoat finish.
FE:03	Timber paling fence, natural finish.
FE:04	Aluminium batten, black ace powdercoat finish.
MF:01	Metal grate floor, natural finish.
ST:01	Crushed stone





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Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION J**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3210**

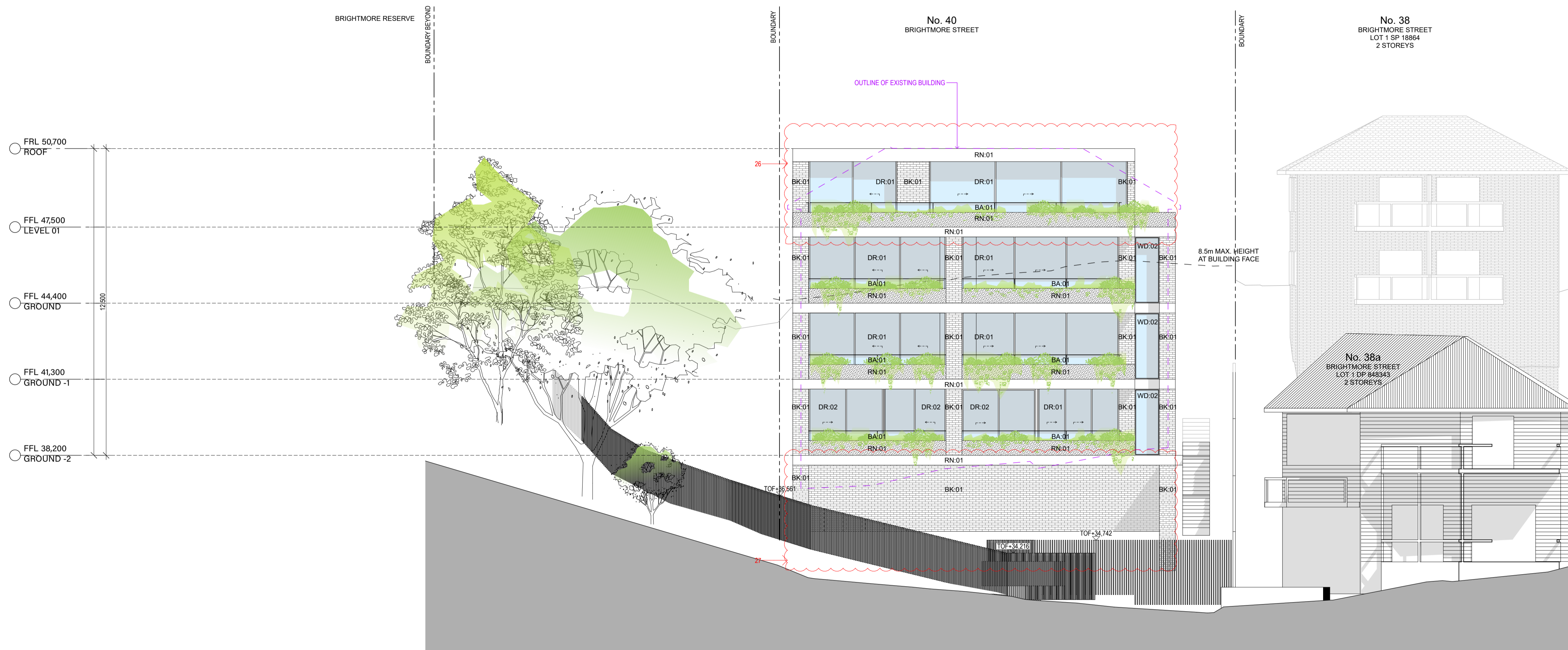
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 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





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Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SECTION  
 SECTION K**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A3211**

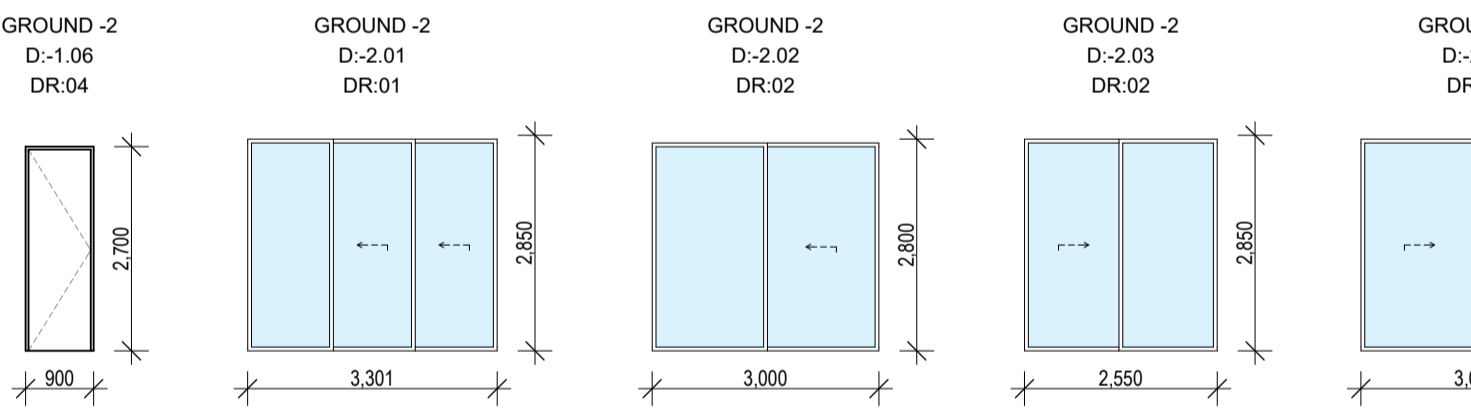
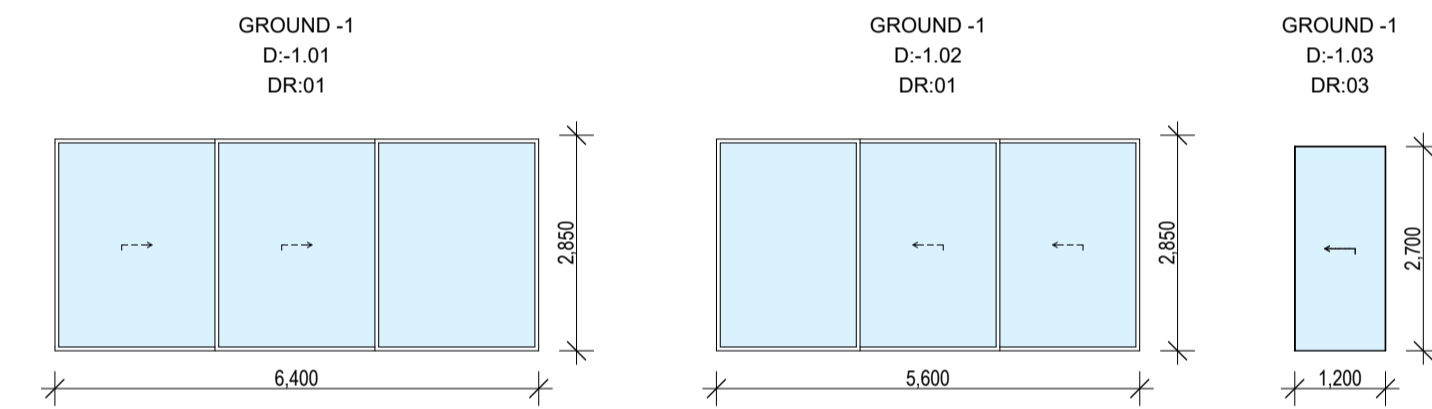
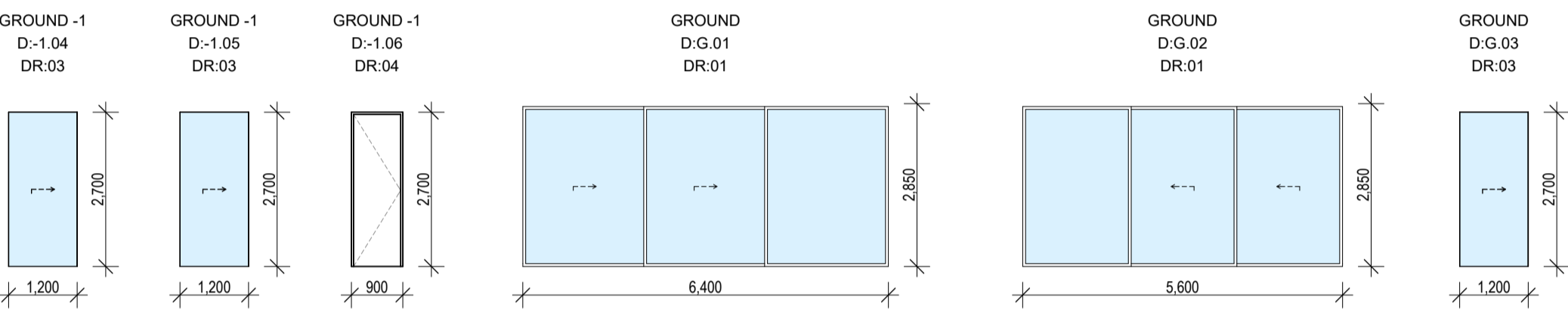
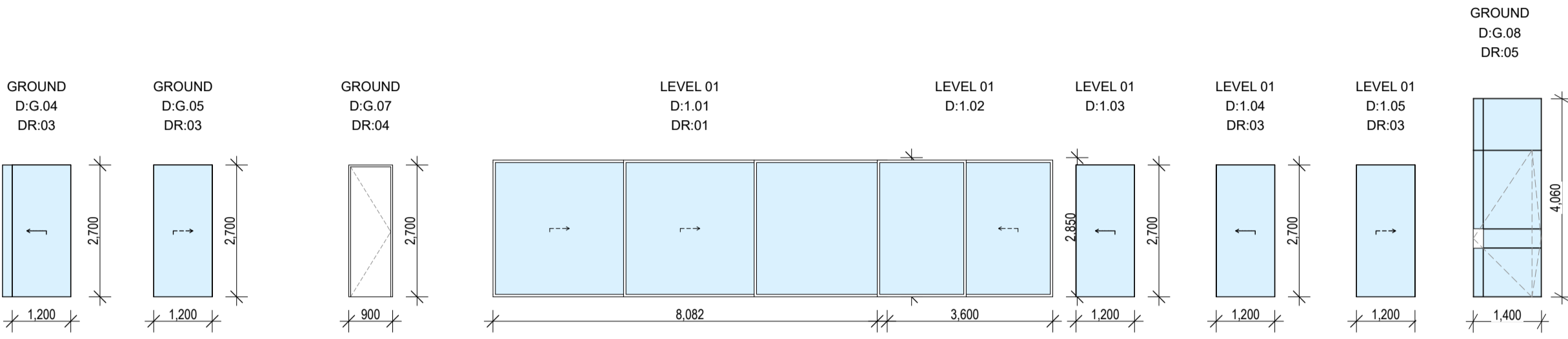
Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23
DA04	DEVELOPMENT APPLICATION	18.08.23

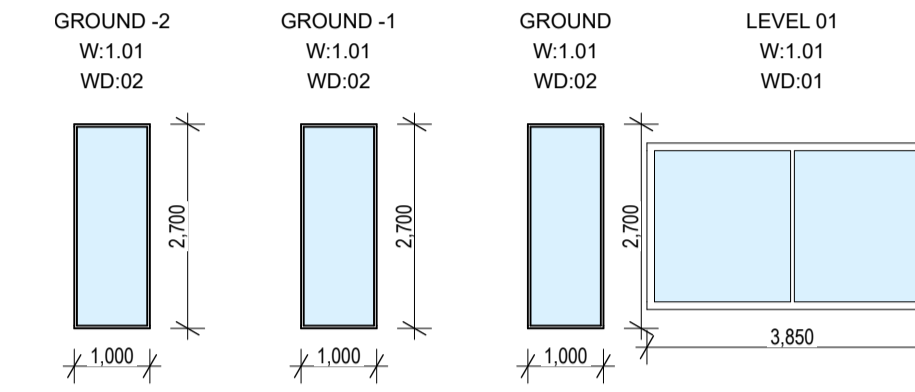
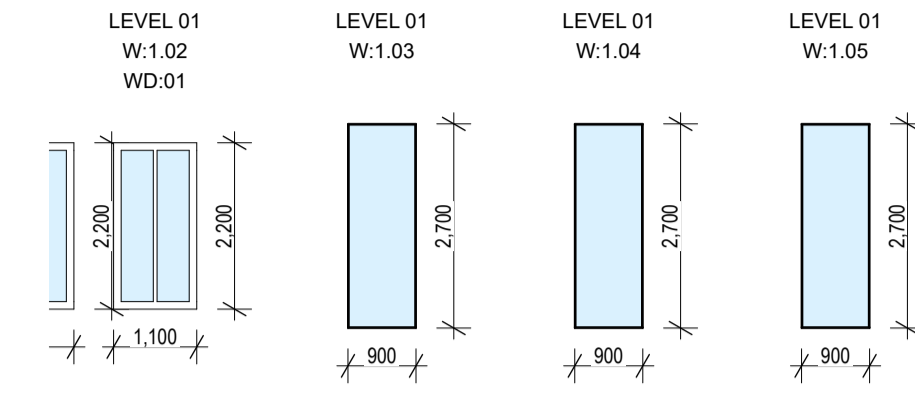
**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





DOOR SCHEDULE



WINDOW SCHEDULE



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Client  
**BRIGHTMORE RESIDENCE  
 PTY LTD**

Proje  
**40 BRIGHTMORE STREET  
 CREMORNE**

Proje Start Date  
 APRIL 2019

Proje Number  
 0203

Drawing Title  
**SCHEDULE  
 WINDOW & DOOR SCHEDULE**

Drawing Stage  
 DEVELOPMENT APPLICATION

Drawing No.  
**A7101**

Drawing Scale  
**1:100@A1  
 1:200@A3**

REV	DESCRIPTION	DATE
DA01	DEVELOPMENT APPLICATION	05.12.22
DA02	DEVELOPMENT APPLICATION	30.03.23
DA03	DEVELOPMENT APPLICATION	02.05.23

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		





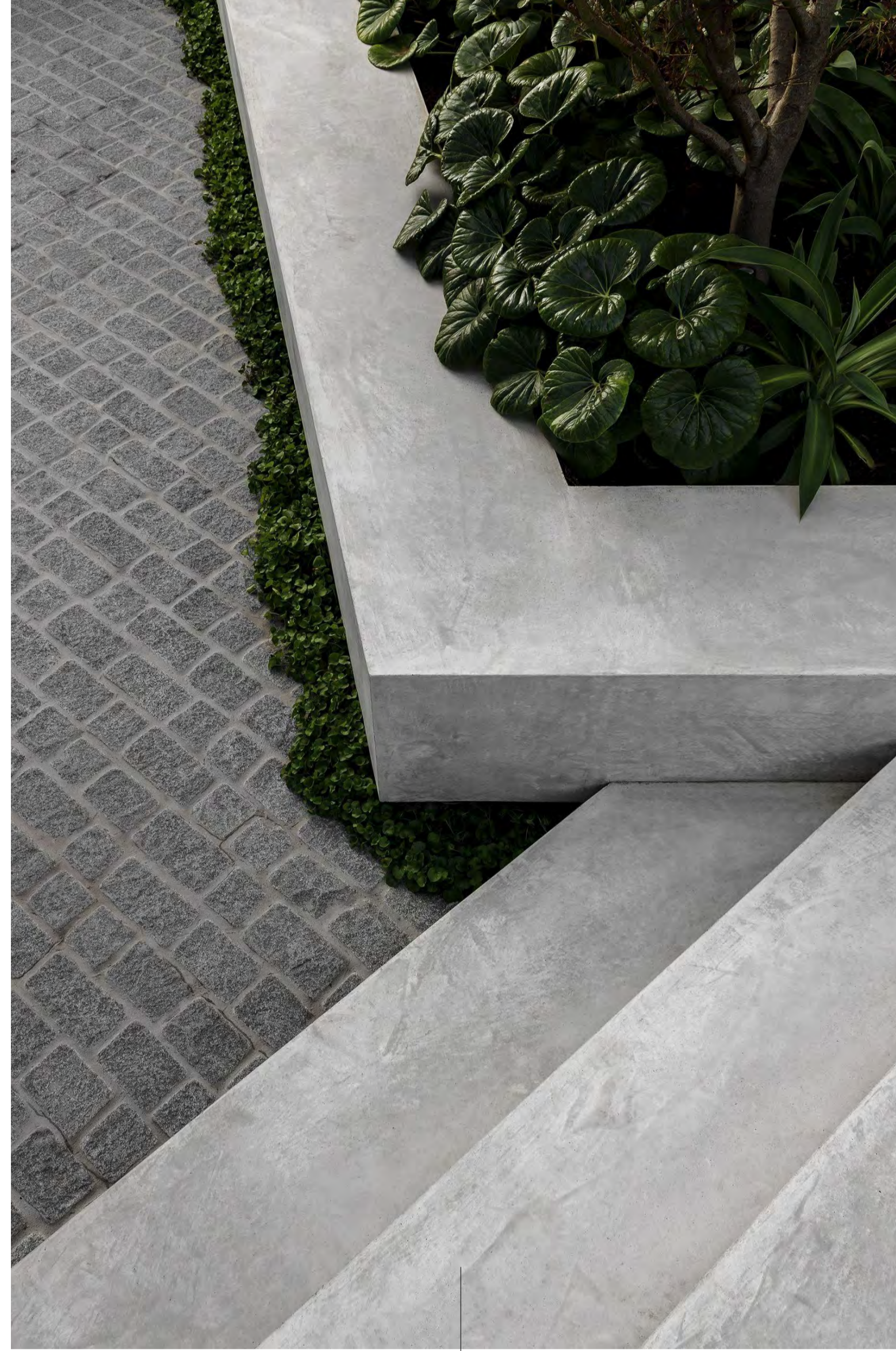
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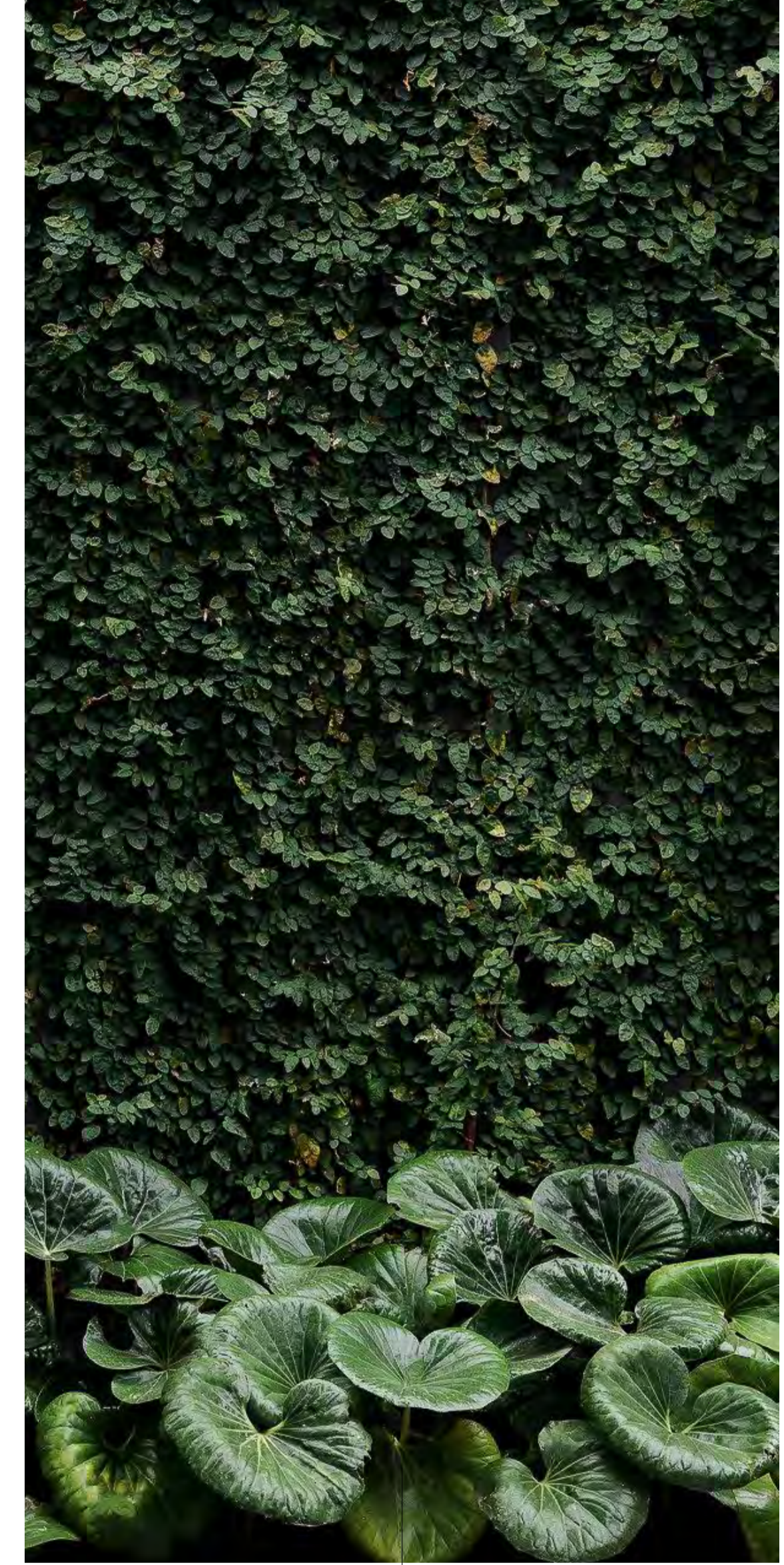
RN:01



BA:01



PLANTER BOX



PLANTING

**LEGEND**

BA:01	Balustrade, Clear glass barrier, top rail black powdercoat finish	WD:01	Sliding window, Clear glass aluminium framed
BK:01	Earthy red brick	WD:02	Fixed, Clear glass aluminium framed
DR:01	Sliding door, 3 panel clear glass aluminium framed	FE:02	Aluminium fence, black ace powdercoat finish.
DR:02	Sliding door, 2 panel clear glass aluminium framed	FE:03	Timber paling fence, natural finish.
DR:03	Sliding door, 1 panel clear glass aluminium framed	FE:04	Aluminium batten, black ace powdercoat finish.
DR:04	Hinged fire door, white	MF:01	Metal grate floor, natural finish.
DR:05	Pivot door, clear glass aluminium framed	ST:01	Crushed stone
RN:01	Render, colour to match brick		



# 40 BRIGHTMORE STREET CREMORNE NSW 2090

## DA LANDSCAPE DOCUMENTATION

### DRAWING REGISTER

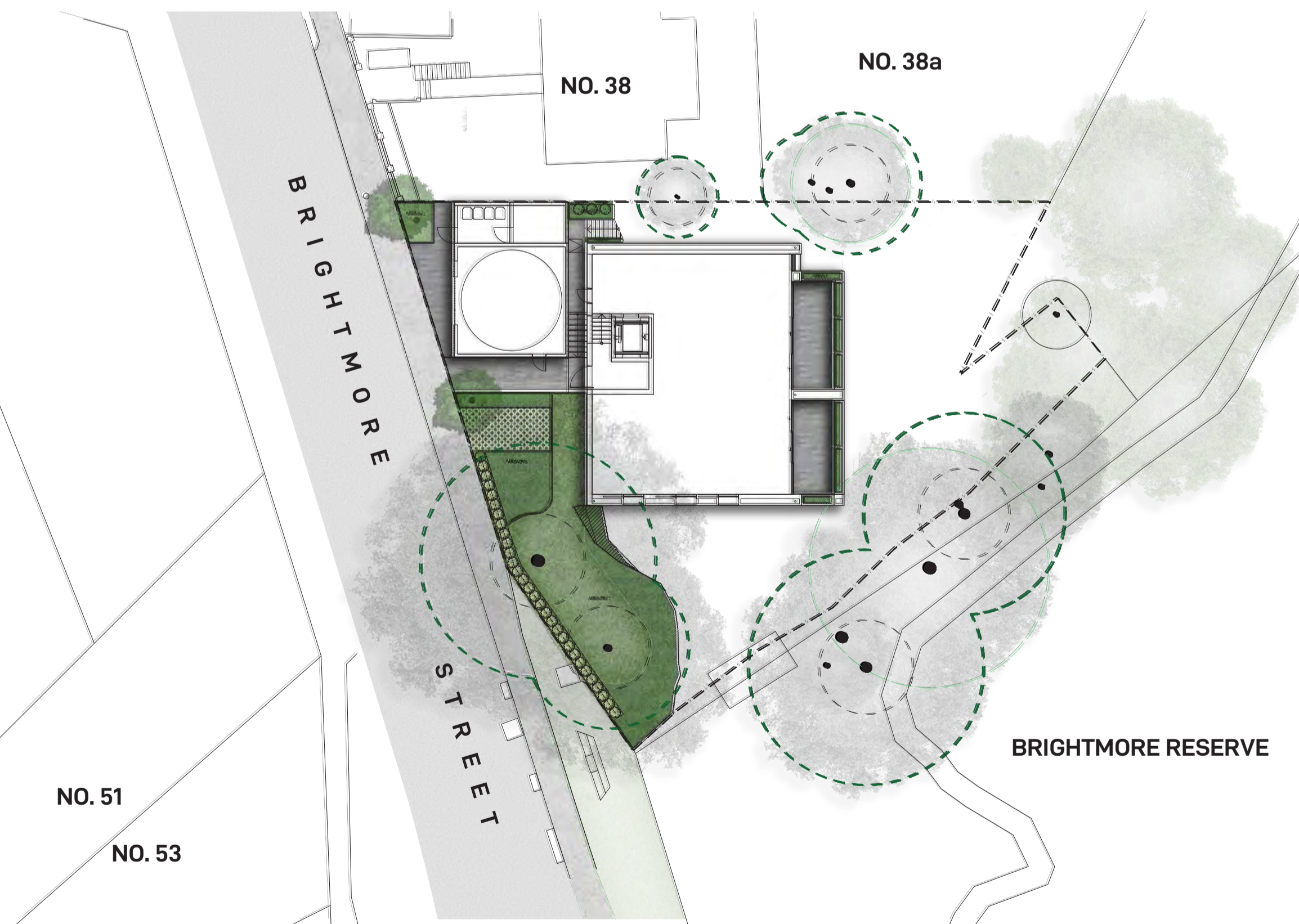
DRAWING NUMBER	DRAWING NAME	SCALE / SIZE
LDA-00	LANDSCAPE COVER SHEET	NOT TO SCALE
LDA-01	EXISTING TREE PLAN	1:100 / A1
LDA-02	DA LANDSCAPE PLAN - LEVEL 1	1:100 / A1
LDA-03	DA LANDSCAPE PLAN - GROUND LEVEL	1:100 / A1
LDA-04	DA LANDSCAPE PLAN - GROUND-1 LEVEL	1:100 / A1
LDA-05	DA LANDSCAPE PLAN - GROUND-2 LEVEL	1:100 / A1
LDA-06	DA LANDSCAPE PLAN - GROUND-3 LEVEL	1:100 / A1
LDA-07	LANDSCAPE SECTION	1:100 / A1
LDA-08	PLANT PALETTE & LANDSCAPE DETAILS	1:20 / A1

### PLANT SCHEDULE

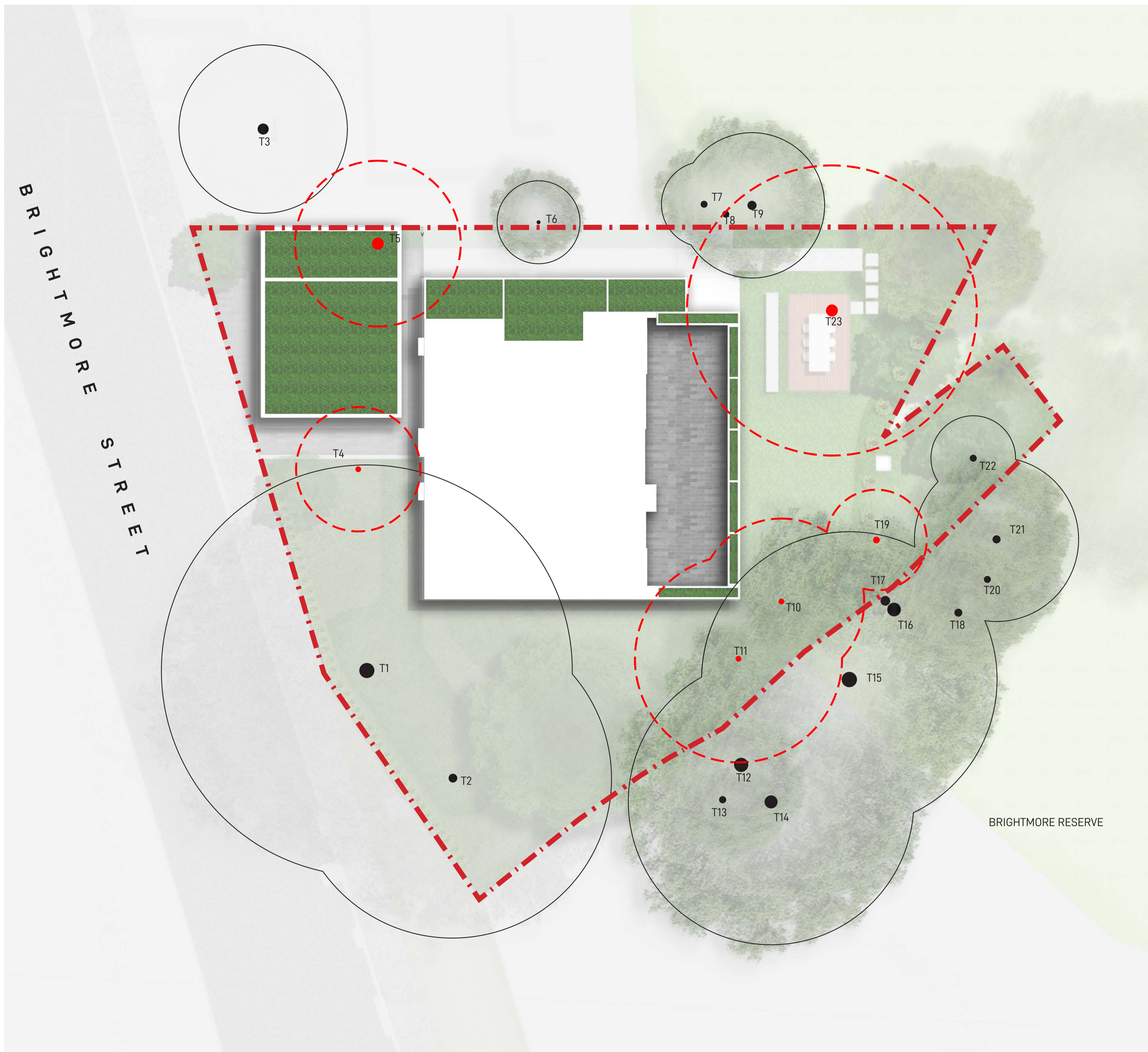
BOTANICAL NAME (COMMON NAME)	NATIVE	BBGF*	AFF**	EXPECTED MATURE HEIGHT	EXPECTED MATURE SPREAD	INSTALLATION SIZE	DENSITY	QUANTITY
<b>TREES</b>								
EUCALYPTUS PILULARIS (BLACKBUTT)	✓	✓	✓	30M	10-20M	75L	AS SHOWN	2
ELAEOCARPUS RETICULATUS (BLUEBERRY ASH)	✓	✓	✓	6-10M	3-4M	75L	AS SHOWN	2
TRISTANIOPSIS LAURINA (WATER GUM)	✓	✓		10-12M	4-6M	75L	AS SHOWN	2
CERATOPETALUM APETALUM (COACHWOOD)	✓		✓	15-20M	8-10M	75L	AS SHOWN	3
<b>SHRUBS</b>								
ACMENA SMITHII (LILLY PILLY)	✓		✓	1.5M	1M	300MM	AS SHOWN	30
DODONAEA TRIQUETRA (HOP BUSH)	✓	✓	✓	1.5M	1M	300MM	AS SHOWN	34
OZOTHAMNUS DIOSMIFOLIUS (WHITE DOGWOOD)	✓	✓	✓	0.6M	0.6M	300MM	AS SHOWN	16
PERSOONIA LINEARIS (NARROW-LEAVED GEEBUNG)	✓	✓	✓	1.5M	1M	300MM	AS SHOWN	12
<b>GROUNDCOVERS AND LOW SHRUBS</b>								
ADIANTUM AETHIOPICUM (COMMON MAIDENHAIR)	✓	✓	✓	0.5M	0.5M	150MM	7/M <sup>2</sup>	80
ASPLENIUM AUSTRALASICUM (BIRDS NEST FERN)	✓		✓	0.5-1.5M	0.5-1.5M	150MM	4/M <sup>2</sup>	51
AUSTROSTIPA RAMOSISSIMA (STOUT BAMBOO GRASS)	✓		✓	2M	1M	150MM	4/M <sup>2</sup>	176
ACTINOTUS HELIANTHI (FLANNEL FLOWER)	✓	✓		0.4M	0.5M	150MM	7/M <sup>2</sup>	161
CALOCHLAENA DUBIA (COMMON GROUND FERN)	✓	✓	✓	0.6-2M	0.9-1.5M	150MM	4/M <sup>2</sup>	46
CENTELLA ASIATICA (SWAMP PENNYWORT)	✓	✓	✓	0.3M	0.4M	150MM	10/M <sup>2</sup>	131
DIANELLA CAERULEA (BLUE FLAX LILY)	✓	✓	✓	0.5-1M	0.5M	150MM	7/M <sup>2</sup>	307
DIANELLA REVOLUTA (SPREADING FLAX LILY)	✓	✓	✓	1M	0.5M	150MM	7/M <sup>2</sup>	163
DICHELACHNE CRINITA (LONGHAIR PLUMEGRASS)	✓	✓	✓	1.5M	0.3M	150MM	7/M <sup>2</sup>	93
DICHONDRA REPENS (KIDNEY WEED)	✓	✓	✓	0.1M	0.1M	150MM	10/M <sup>2</sup>	245
HARDENBERGIA VIOLACEA (FALSE SARSAPARILLA)	✓	✓	✓	0.4M	1M	150MM	7/M <sup>2</sup>	68
IMPERATA CYLINDRICA (BLADY GRASS)	✓	✓	✓	0.8M	0.3M	150MM	7/M <sup>2</sup>	307
JUNCUS USITATUS (COMMON RUSH)	✓		✓	1.2M	0.3M	150MM	7/M <sup>2</sup>	307
KENNEDIA RUBICUNDA (RED KENNEDY PEA)	✓	✓	✓	0.2M	0.8M	150MM	10/M <sup>2</sup>	131
LOMANDRA FILIFORMIS (WATTLE MAT-RUSH)	✓	✓	✓	0.5M	0.2M	150MM	7/M <sup>2</sup>	93
LOMANDRA LONGIFOLIA (SPINY HEADED MAT-RUSH)	✓	✓	✓	1M	0.6M	150MM	4/M <sup>2</sup>	176
PANDOREA PANDORANA (WONGA WONGA VINE)	✓	✓	✓	0.1M	1M	150MM	7/M <sup>2</sup>	68
PRATIA PURPURASCENS (WHITEROOT)	✓	✓	✓	0.2M	0.5M	150MM	10/M <sup>2</sup>	124
THEMEDA AUSTRALIS (KANGAROO GRASS)	✓	✓	✓	0.4M	1M	150MM	7/M <sup>2</sup>	307
<b>TURF</b>								
MICROLAENA STIPOIDES (WEeping GRASS)	✓	✓	✓	0.15M	0.15M	150MM	10/M <sup>2</sup>	530

\*BBGF - BLACKBUTT GULLY FOREST  
\*\*AFF - ANGOPHORA FORESHORE FOREST

### KEY PLAN







**LEGEND**

- EXISTING TREES TO BE REMOVED
- TREE TO BE RETAINED

**EXISTING TREE SCHEDULE**

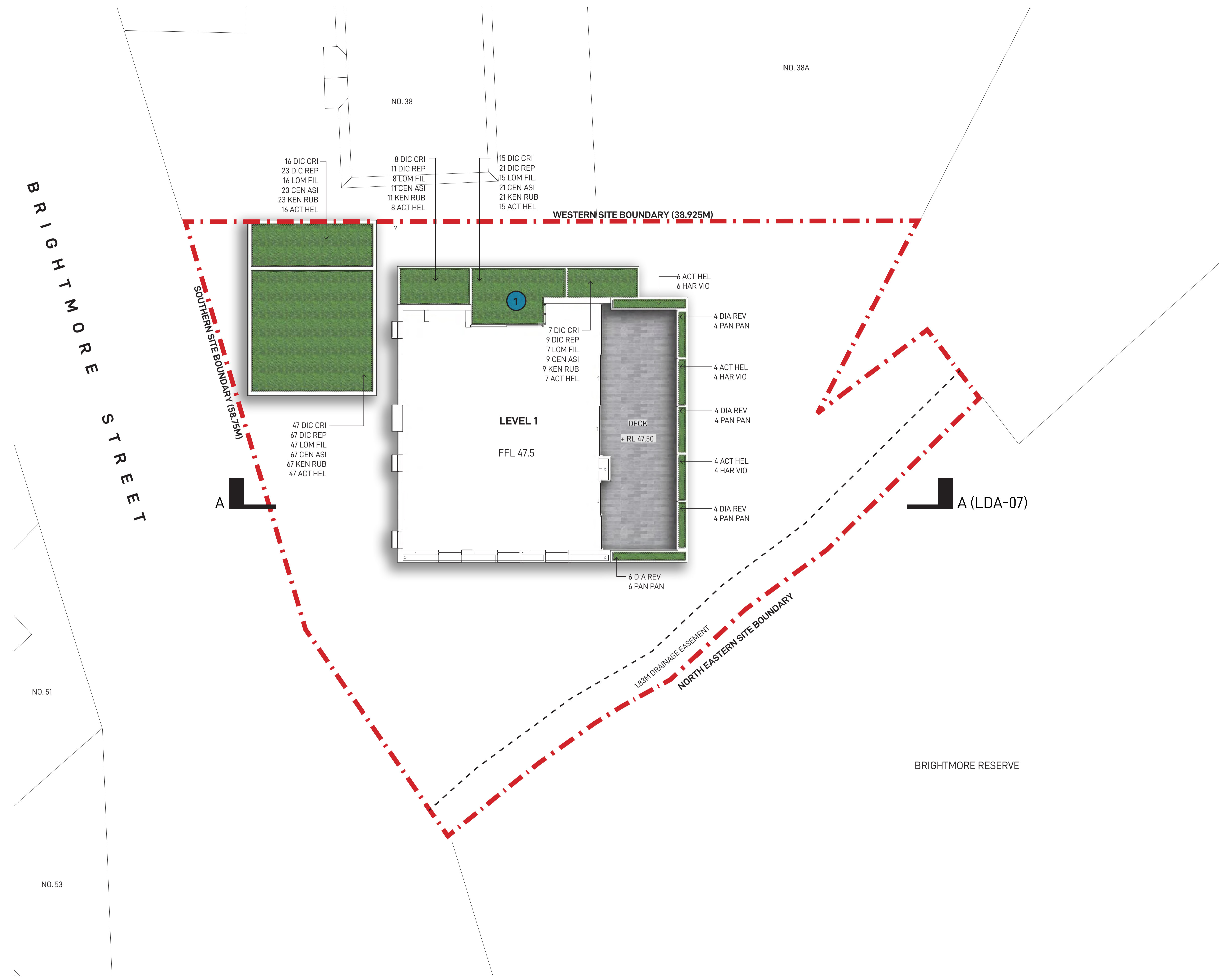
ID	DESCRIPTION	EXISTING HEIGHT	EXISTING SPREAD	PROPOSED ACTION
T1	CORYMBIA CITRIODORA (LEMON SCENTED GUM)	18M	20M	RETAIN
T2	GLOCHIDION FERDINANDI (CHEESE TREE)	10M	10M	RETAIN
T3	SAPIUM SEBIFERUM (CHINESE TALLOW TREE)	9M	10M	RETAIN
T4	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	7M	6M	REMOVE
T5	NERIUM OLEANDER (OLEANDER)	7M	8M	REMOVE
T6	PITTOSPORUM UNDULATUM VARIEGATED FORM (SWEET PITTOSPORUM)	6M	3M	RETAIN
T7	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	7M	4M	RETAIN
T8	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	6M	4M	RETAIN
T9	MELALEUCA SP. (PAPERBARK)	10M	8M	RETAIN
T10	MELALEUCA ARMILLARIS (BRACELET HONEY MYRTLE)	8M	8M	REMOVE
T11	ACER NEGUNDO (BOX ELDER)	8M	10M	REMOVE
T12	GLOCHIDION FERDINANDI (CHEESE TREE)	10M	10M	RETAIN
T13	BANKSIA INTEGRIFOLIA (COAST BANKSIA)	10M	6M	RETAIN
T14	EUCALYPTUS (GUM)	20M	12M	RETAIN
T15	EUCALYPTUS - DEAD	-	-	RETAIN
T16	EUCALYPTUS (GUM)	19M	12M	RETAIN
T17	GLOCHIDION FERDINANDI (CHEESE TREE)	9M	12M	RETAIN
T18	EUCALYPTUS (GUM)	19M	8M	RETAIN
T19	DEAD TREE	-	-	REMOVE
T20	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	5M	4M	RETAIN
T21	FICUS MACROPHYLLA (MORETON BAY FIG)	14M	8M	RETAIN
T22	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	7M	4M	RETAIN
T23	GLOCHIDION FERDINANDI (CHEESE TREE)	14M	14M	REMOVE

EXISTING TREE DATA SOURCED FROM ABRORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY URBAN FORESTRY AUSTRALIA DATED APRIL 2021

**EXISTING TREE PLAN**



BRIGHTMORE STREET



**LEGEND**

- FFL FINISHED FLOOR LEVEL
- RL PROPOSED SPOT LEVEL
- ■ ■ SITE BOUNDARY
- ① PROPOSED MIXED PLANTING OF LOW WATER USE AND LOW MAINTENANCE GRASSES AND GROUNDCOVERS
- TPZ (TREE PROTECTION ZONE)
- SRZ (STRUCTURAL ROOT ZONE)

**DA LANDSCAPE PLAN - LEVEL 1**

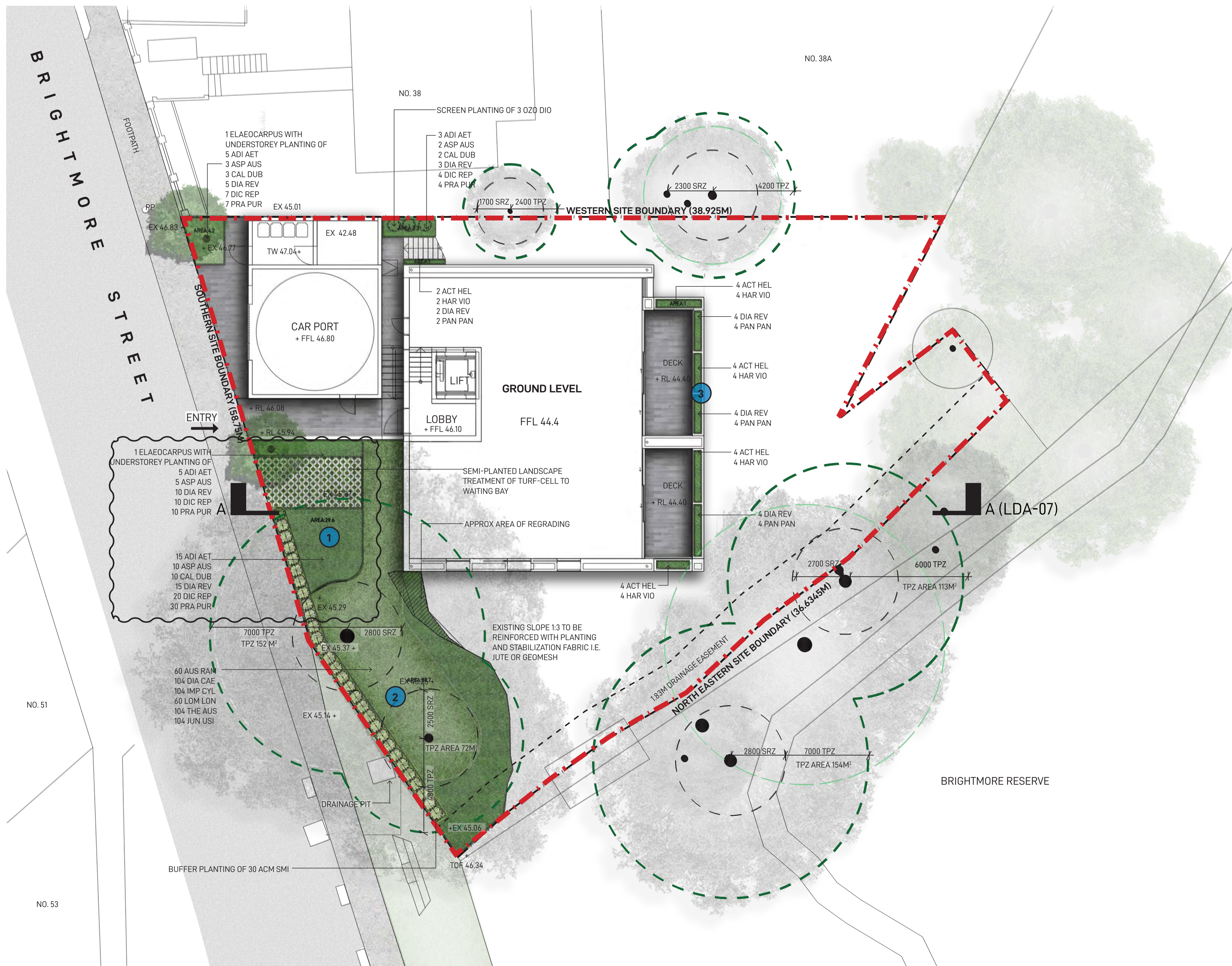


**LEGEND**

- FFL FINISHED FLOOR LEVEL
- +RL PROPOSED SPOT LEVEL
- +EX EXISTING SPOT LEVEL
- TW TOP OF WALL LEVEL
- TOF TOP OF FENCE
- PP EXISTING POWER POLE

- SITE BOUNDARY
- ① PROPOSED MIXED PLANTING
- ② NATIVE UNDERSTOREY PLANTING AROUND THE BASE OF EXISTING TREE (CORYMBIA CITRIODORA) REINFORCING NATIVE PLANT CHARACTER
- ③ MIXED LOW MAINTENANCE, LOW WATER USE PLANTING SUCH AS DIANELLA REVOLUTA AND HIBBERTIA DENTATA
- TPZ (TREE PROTECTION ZONE)
- SRZ (STRUCTURAL ROOT ZONE)

WHEN WORKING WITHIN ROOT ZONES OF EXISTING TREES, SITE ARBORIST SHOULD BE CONSULTED, NO ROOTS GREATER THAN 40MM SHALL BE CUT.



**DA LANDSCAPE PLAN - GROUND LEVEL**



BRIGHTMORE STREET

NO. 51

NO. 53

NO. 38

NO. 38A

EDGE PLANTING OF 6 OZO DIO WITH GROUNDCOVERS UNDERNEATH:  
 6 ASI AET  
 4 ASP AUS  
 4 CAL DUB  
 6 DIA REV  
 7 DIC REP  
 7 PRA PUR

TOF 42.70

WESTERN SITE BOUNDARY (38.925M)

SOUTHERN SITE BOUNDARY (38.751M)

A

GROUND -1 LEVEL  
 FFL 41.30

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

EX 39.79  
 4 RL 38.00

APPROX AREA OF REGRADING

EXISTING SLOPE 1:3 TO BE REINFORCED WITH PLANTING AND STABILIZATION FABRIC I.E. JUTE OR GEOMESH

+ EX 40.70

1.83M DRAINAGE EASEMENT

NORTH EASTERN SITE BOUNDARY (36.6345M)

TOF 46.34

26 AUS RAM  
 46 DIA CAE  
 46 IMP CYL  
 26 LOM LON  
 46 THE AUS  
 46 JUN USI

1 EUCALYPTUS PILULARIS

A (LDA-07)

BRIGHTMORE RESERVE

LEGEND

- FFL FINISHED FLOOR LEVEL
- +RL PROPOSED SPOT LEVEL
- +EX EXISTING SPOT LEVEL
- TOF TOP OF FENCE
- SITE BOUNDARY
- 1 PROPOSED MIXED PLANTING
- 2 MIXED LOW MAINTENANCE, LOW WATER USE PLANTING SUCH AS DIANELLA CAERULEA & PANDOREA PANDORANA
- TPZ (TREE PROTECTION ZONE)
- SRZ (STRUCTURAL ROOT ZONE)

WHEN WORKING WITHIN ROOT ZONES OF EXISTING TREES, SITE ARBORIST SHOULD BE CONSULTED, NO ROOTS GREATER THAN 40MM SHALL BE CUT.

GROUND INK

LANDSCAPE ARCHITECTS

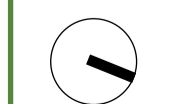
Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279 ABN 55 163 025 456 www.groundink.com.au Registered Landscape Architect: Rob Loughman # 7813

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DA LANDSCAPE PLAN - GROUND -1 LEVEL

40 BRIGHTMORE STREET

CREMORNE NSW



1:100 / A1

0 0.5 1 1.5m

LDA-04

REV H 13-MAR-23



BRIGHTMORE STREET

NO. 38

7 OZO DIO WITH UNDERSTORY OF  
 8 ASI AET  
 5 ASP AUS  
 5 CAL DUB  
 8 DIA REV  
 11 DIC REP  
 11 PRA PUR

NO. 38A

WESTERN SITE BOUNDARY (38.925M)

SOUTHERN SITE BOUNDARY (38.75M)

GROUND -2 LEVEL  
 FFL 38.20

5 ACT HEL  
 5 HAR VIO  
 5 DIA REV  
 5 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

DECK  
 + RL 38.20

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

4 ACT HEL  
 4 HAR VIO

4 DIA REV  
 4 PAN PAN

EXISTING SLOPE 1:3 TO BE REINFORCED WITH PLANTING AND STABILIZATION FABRIC I.E. JUTE OR GEOMESH

EX 36.73

1.83M DRAINAGE EASEMENT

NORTH EASTERN SITE BOUNDARY (36.6345M)

31 AUS RAM  
 54 DIA CAE  
 54 IMP CYL  
 31 LOM LON  
 54 THE AUS  
 54 JUN USI

A (LDA-07)

BRIGHTMORE RESERVE

TOP 46.34

LEGEND

- FFL FINISHED FLOOR LEVEL
- +RL PROPOSED SPOT LEVEL
- +EX EXISTING SPOT LEVEL
- TOF TOP OF FENCE
- SITE BOUNDARY
- PROPOSED MIXED PLANTING
- MIXED LOW MAINTENANCE, LOW WATER USE PLANTING SUCH AS DIANELLA REVOLUTA, HIBBERTIA DENTATA
- TPZ (TREE PROTECTION ZONE)
- SRZ (STRUCTURAL ROOT ZONE)

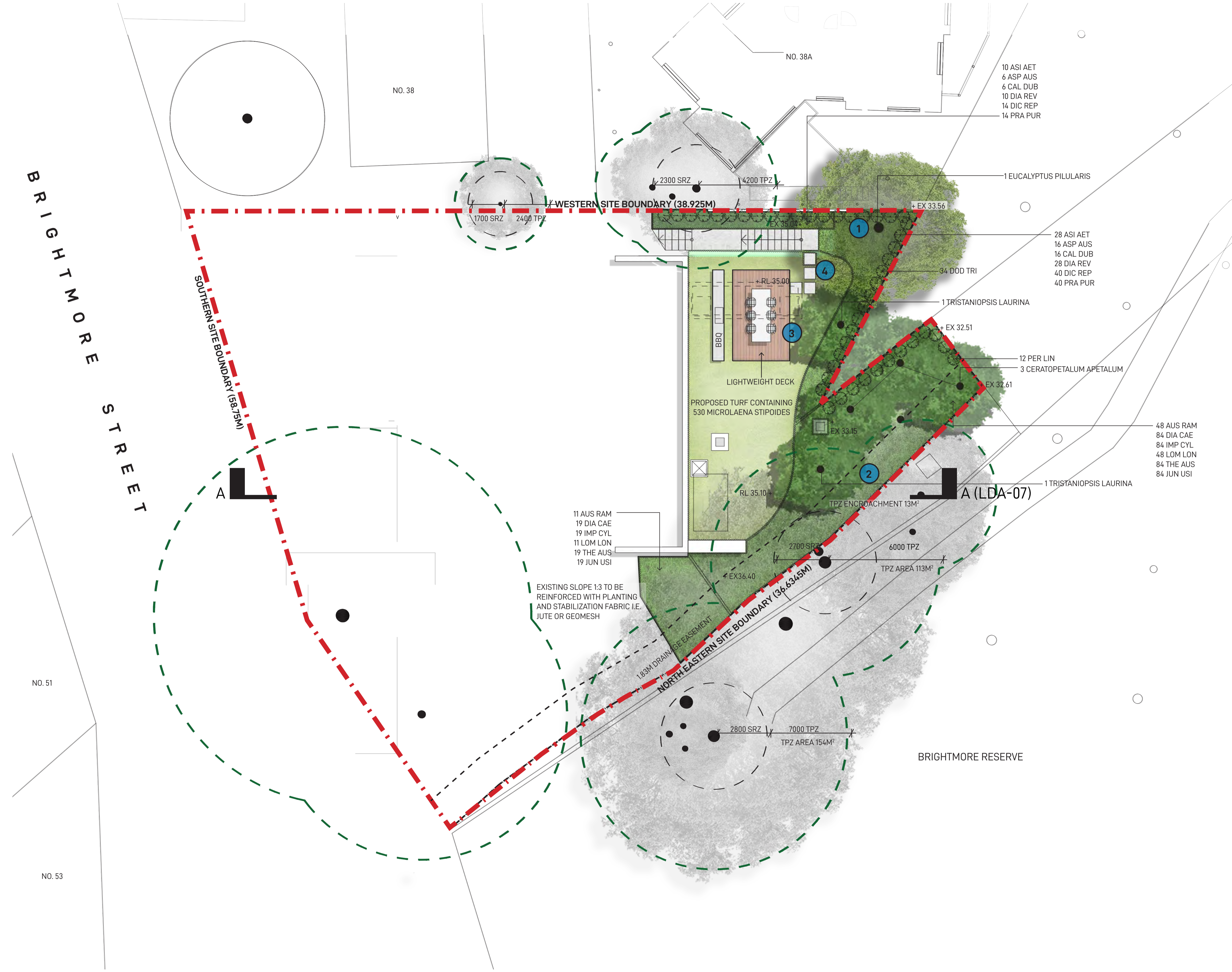
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DA LANDSCAPE PLAN - GROUND -2 LEVEL



BRIGHTMORE STREET



- ### LEGEND
- FFL FINISHED FLOOR LEVEL
  - +RL PROPOSED SPOT LEVEL
  - +EX EXISTING SPOT LEVEL
  - SITE BOUNDARY
  - 1 PROPOSED LARGE NATIVE TREE TO PROVIDE FOCAL POINT WITHIN BACK GARDEN
  - 2 SHADE TOLERANT PLANTER BED WITH A MIX OF LOW MAINTENANCE NATIVE VEGETATION THAT ARE TOLERANT TO TEMPORARY INUNDATION
  - 3 PROPOSED LIGHTWEIGHT DECK STRUCTURE WITH OUTDOOR DINING SETTING AND ADJOINING BBQ. DINING SETTING IS LOCATED ABOVE OSD TANK.
  - 4 CONCRETE STEPPING PAVERS
  - TPZ (TREE PROTECTION ZONE)
  - SRZ (STRUCTURAL ROOT ZONE)
  - PIT TO ENGINEER'S DETAILS

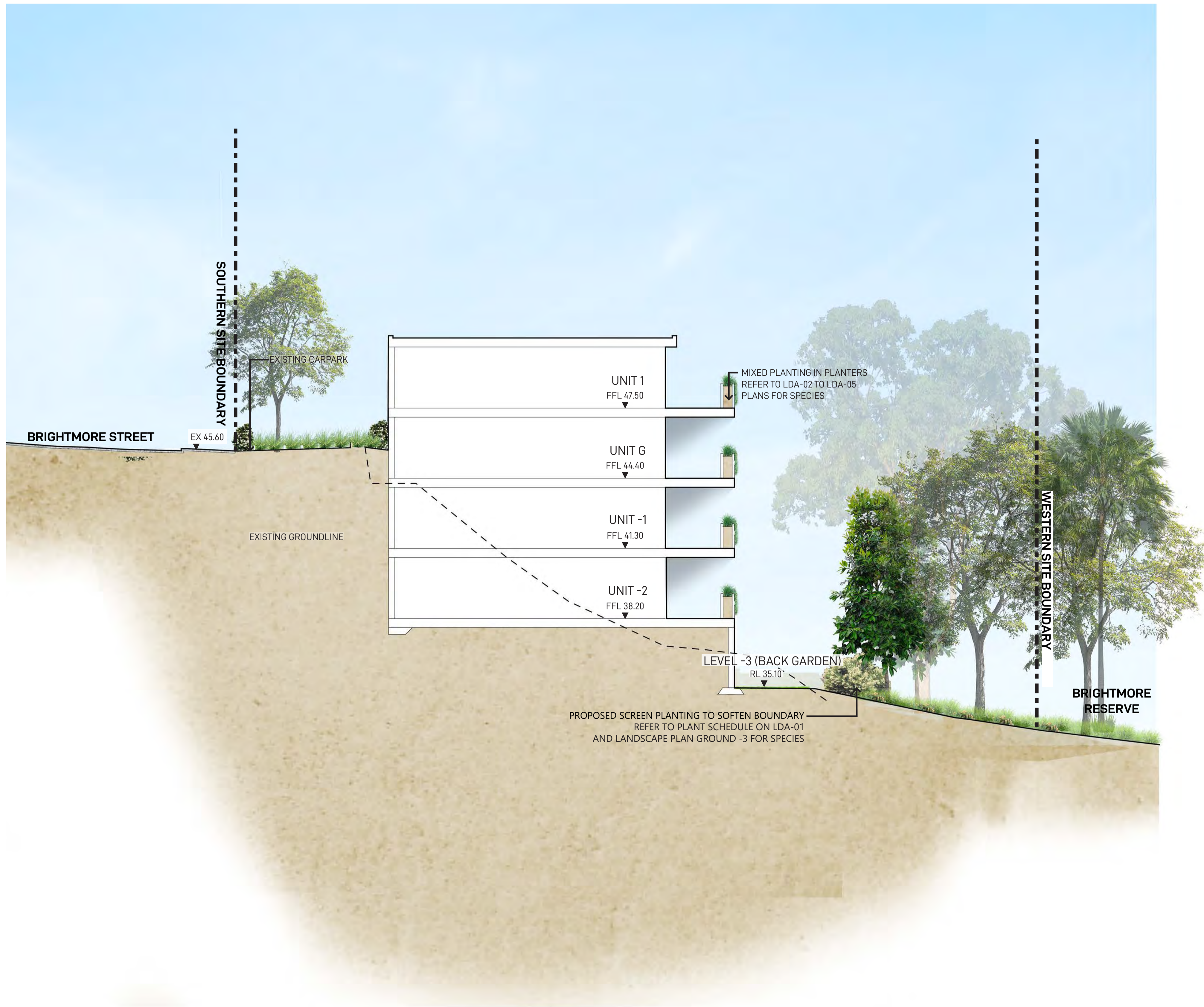
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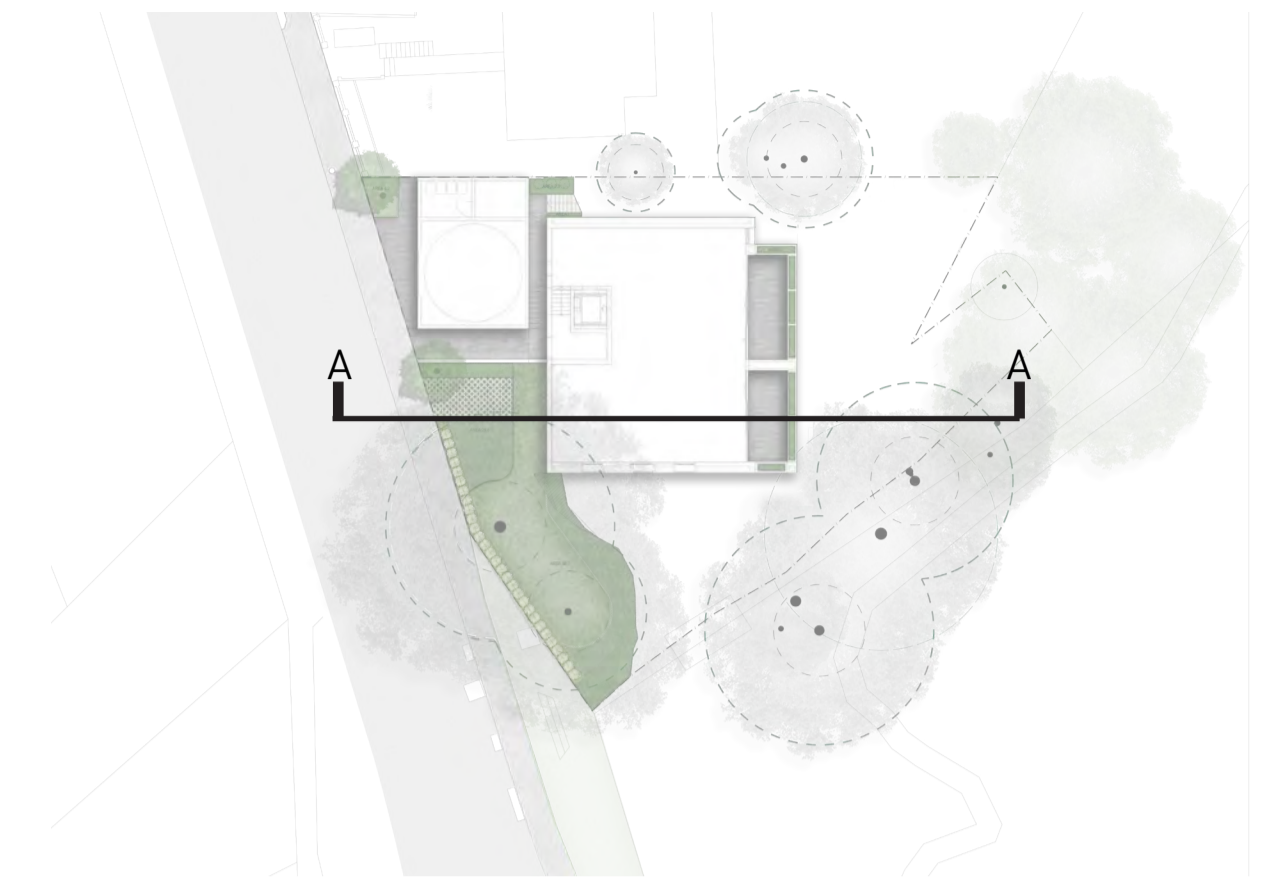
## DA LANDSCAPE PLAN - GROUND -3 LEVEL



SECTION A



KEY PLAN





## OUTLINE LANDSCAPE SPECIFICATION

### GENERAL

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL ATTEND THE SITE ON A WEEKLY BASIS TO MAINTAIN THE LANDSCAPE WORKS FOR THE FULL TERM APPROVED AT CC STAGE OF THE MAINTENANCE PERIOD (COMMENCING FROM PRACTICAL COMPLETION).

### RUBBISH REMOVAL

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL UNDERTAKE RUBBISH REMOVAL FROM THE SITE ON A WEEKLY BASIS TO ENSURE THE SITE REMAINS IN TIDY CONDITION.

### WEED ERADICATION

WEED GROWTH THAT MAY OCCUR IN, PLANTED OR MULCHED AREAS IS TO BE REMOVED USING ENVIRONMENTALLY ACCEPTABLE METHODS I.E. NON-RESIDUAL GLYPHOSATE HERBICIDE, (E.G. 'ROUNDUP', APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS) OR HAND WEEDING.

### TREE REPLACEMENT

TREES SHALL SHOW SIGNS OF HEALTHY VIGOROUS GROWTH AND BE FREE FROM DISEASE AND NOT EXHIBIT SIGNS OF STRESS PRIOR TO HANDOVER TO THE CLIENT. ANY TREES OR PLANT THAT DIE OR FAIL TO THRIVE, OR ARE DAMAGED OR STOLEN WILL BE REPLACED. REPLACEMENT MATERIAL SHALL HAVE THE MAINTENANCE PERIOD EXTENDED IN ACCORDANCE WITH THE LANDSCAPE CONTRACT CONDITIONS. TREES AND PLANT MATERIALS SHALL BE EQUAL TO THE MINIMUM REQUIREMENTS OF SPECIES SPECIFIED AND APPROVED MATERIAL DELIVERED TO SITE. SHOULD THE CONDITION DECLINE FROM THE APPROVED SAMPLE THE SUPERINTENDENT RESERVES THE RIGHT TO REJECT THE TREE / PLANTS. FREQUENCY: AS REQUIRED.

### PRUNING

SELECTIVE PRUNING MAY BE REQUIRED DURING THE ESTABLISHMENT PERIOD TO PROMOTE A BALANCED CANOPY STRUCTURE. THESE ACTIVITIES SHALL BE CARRIED OUT TO THE BEST HORTICULTURAL AND INDUSTRY PRACTICE. ALL PRUNED MATERIAL IS TO BE REMOVED FROM SITE.

### IRRIGATION

A LOW VOLUME DRIP IRRIGATION SYSTEM MAY BE INSTALLED AT THE DISCRETION OF THE DEVELOPER. POSITION OF CONTROL BOX, SOLENOIDS AND IRRIGATION CONDUITS TO BE DESIGNED BY QUALIFIED IRRIGATION ENGINEER AT CC STAGE. CONTROLLERS SHALL BE MOUNTED ON A STABLE WALL, POWER RACK, OR FORMED AND CONSTRUCTED CONCRETE BASED PEDESTAL MOUNT. PERFORMANCE SPECIFICATION TO BE PROVIDED BY LANDSCAPE ARCHITECT, NOMINALLY 25MM

DELIVERED TO PLANT AREAS EACH WEEK DURING ESTABLISHMENT (DEPENDENT ON WEATHER CONDITIONS). AFTER ESTABLISHMENT, IRRIGATION RATES CAN BE DECREASED IN CERTAIN AREAS OF THE LANDSCAPE DEPENDING ON THE SPECIES.

### WATERING

IMPLEMENT AN APPROPRIATE HAND WATERING REGIME IN AREAS NOT IRRIGATED IN ASSOCIATION WITH CURRENT WATERING PROGRAMME TO MAINTAIN PLANT HEALTH AND VIGOUR. THE PROGRAM SHALL REFLECT SEASONAL CONDITIONS AND PLANT SPECIES. FREQUENCY: WEEKLY OR AS REQUIRED.

### DRAINAGE

ALL LANDSCAPE AREAS ARE TO HAVE POSITIVE DRAINAGE TO SW SYSTEMS. IF AREAS OF POOR DRAINAGE ARE IDENTIFIED ON SITE THEN THIS SHOULD BE BROUGHT TO THE SITE SUPERINTENDENTS ATTENTION. INSTALL AGG LINES IF REQUIRED.

### SOILS

HORIZON A - GARDEN BEDS ON NATURAL GROUND  
A SANDY LOAM TO CLAY LOAM TOPSOIL MIX DESIGNED FOR GENERAL PURPOSE, ON-GRADE LANDSCAPE GARDEN BED PLANTING OF GRASSES, WOODY AND HERBACEOUS ANNUALS AND PERENNIALS THAT HAVE HIGH NUTRIENT REQUIREMENT FOR SUSTAINED OPTIMUM GROWTH, AND ARE NOT SUBJECT TO COMPACTION BY PEDESTRIAN AND OTHER FOOT TRAFFIC. HEAVIER TEXTURED SOILS IN THIS SPECIFICATION MAY REQUIRE ENGINEERED SOLUTIONS WHERE EXCESSIVE WETNESS IS ANTICIPATED. NOTE THAT ORGANIC SOIL VARIANT SHOULD NOT BE CHOSEN FOR LOW P PLANTINGS AND SHOULD NOT BE USED BELOW 300MM. PLANTING METHODS INCLUDE DIRECT SEEDING, TUBE AND POTTED SPECIMENS UP TO 45L

### CULTIVATION

ALL GARDEN BEDS TO BE CULTIVATED TO A MIN DEPTH OF 150MM AND TREE PITS TO THE DEPTH OF THE ROOT BALL ONLY. IF ADDITIVES SUCH AS GYPSUM ARE REQUIRED CONDUCT THIS AFTER CULTIVATION INTO THE TOP 100MM OF SOIL.

### PLANTING

ALL PLANTING TO BE GROWN TO NATSPEC SPECIFICATIONS. CONTRACTOR TO PREPARE SITE FOR PLANTING INCLUDING WATERING, HANDLING, SETTING OUT AND EXCAVATION. EXCAVATE A HOLE FOR EACH PLANT LARGE ENOUGH TO PROVIDE NOT LESS THAN 100MM ALL AROUND THE ROOT SYSTEM OF THE PLANT. FOR TREE PLANTING EACH HOLE SHALL BE DUG WITH A SHOVEL, BACKHOE OR SIMILAR TOOL. INDIVIDUAL HOLES SHALL BE EXCAVATED TO ALLOW ROOT SYSTEM TO SIT FLAT ON THE EXCAVATED HOLE AND 400MM TO EACH SIDE OF THE ROOT SYSTEM. BACKFILL PLANTING HOLES WITH EXISTING SITE SOIL AND TOPSOIL AS DESCRIBED IN SECTION 'SOIL'. PLANT / TREE SHALL BE SET PLUMB, WITH THE ROOT BALL SET SLIGHTLY BELOW THE FINAL SOIL LEVEL.

### MULCHING

THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL 10MM PINE BARK MULCH TO ALL GARDEN BEDS SHOWN ON THE LANDSCAPE PLANS, TO A MINIMUM DEPTH OF 75MM. ALL MULCH IS TO BE FREE OF DELETERIOUS MATTER SUCH AS SOIL, WEEDS AND STICKS. MULCHED SURFACES ARE TO BE KEPT CLEAN AND TIDY AND FREE OF ANY DELETERIOUS MATERIAL AND FOREIGN MATTER. REINSTATE DEPTHS TO A UNIFORM LEVEL OF 75MM WITH MULCH AS SPECIFIED, MULCH TO BE FREE OF ANY WOOD MATERIAL IMPREGNATED WITH CCA OR SIMILAR TOXIC TREATMENT. MAINTAIN WATERING RINGS AROUND TREES. TOP UP MULCH LEVELS PRIOR TO HANDOVER TO CLIENT.

### TURFING

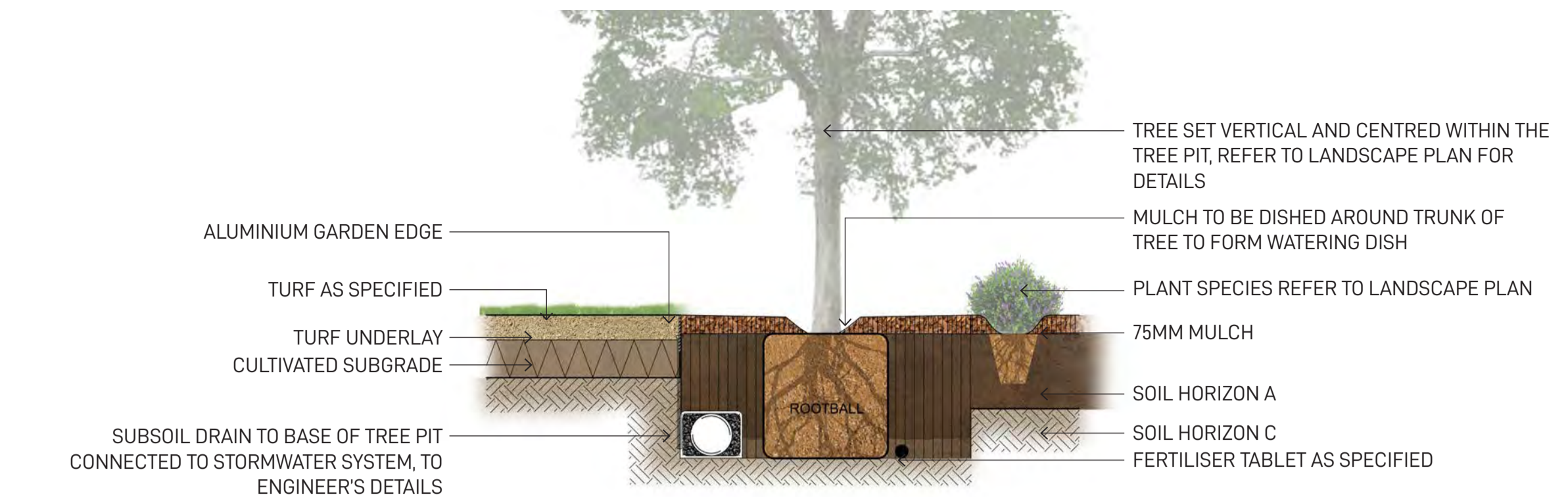
THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL SAPHIRE BUFFALO TURF IN STRETCHER PATTERN TO ALL TURF AREAS SHOWN ON THE LANDSCAPE PLANS AND IS TO FINISH FLUSH WITH ADJACENT SURFACES. TURF TO BE A MIN THICKNESS OF 50MM WITH A 40MM MOWING HEIGHT. CONTRACTOR TO ALLOW FOR FERTILISING, LAYING, TAMPING, WATERING, TOP DRESSING, MAINTENANCE AND MOWING. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL TURF UNDERLAY UNDER ALL TURF AREAS, CONSISTING OF 100MM THICK LAYER OF SCREENED TOP SOIL.

### PEST AND DISEASE CONTROL

THE LANDSCAPE CONTRACTOR SHALL SPRAY FOR PESTS AND DISEASE INFESTATIONS WHEN THE PEST AND FUNGAL ATTACK HAS BEEN POSITIVELY IDENTIFIED AND WHEN THEIR POPULATIONS HAVE INCREASED TO A POINT THAT WILL BECOME DETRIMENTAL TO PLANT GROWTH. APPLY ALL PESTICIDES TO MANUFACTURER'S DIRECTIONS. FREQUENCY: WEEKLY INSPECTION

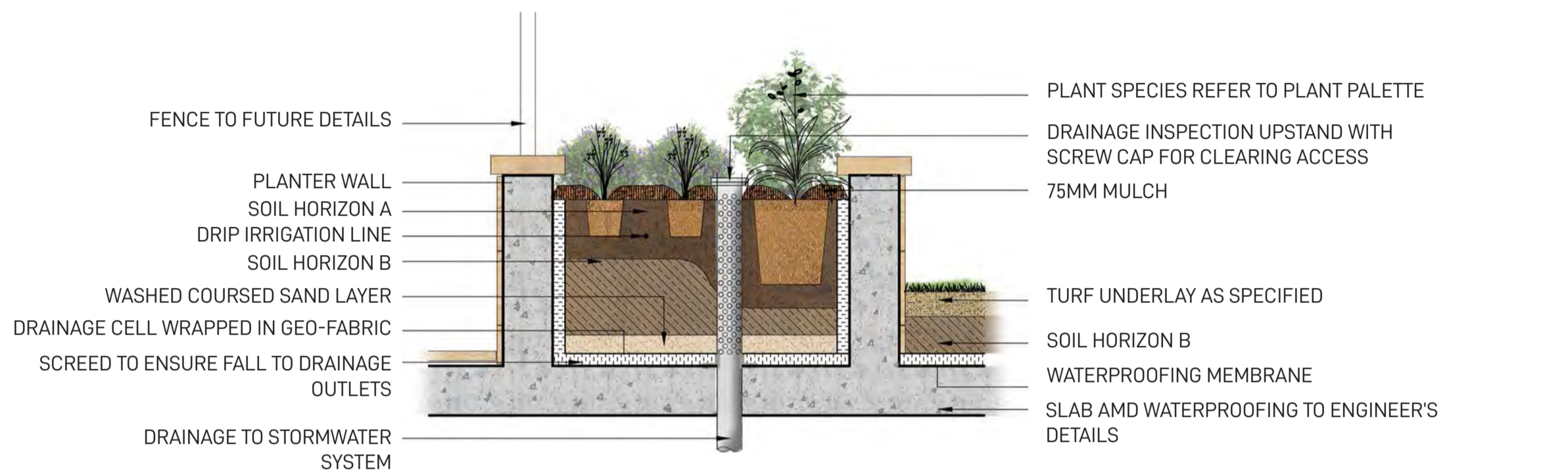
### FERTILISING

PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS, ANALYSIS 6.3:1.8:2.9 OR SIMILAR APPROVED. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE. GENERALLY CHECK FOR SIGNS OF NUTRIENT DEFICIENCIES (YELLOWING OF LEAVES, FAILURE TO THRIVE), AND ADAPT FERTILISER REGIME TO SUIT. FERTILISER SHOULD BE APPLIED AT THE BEGINNING AND THE END OF THE (SUMMER) GROWING SEASON.



TYPICAL GARDEN BED AND TURF DETAIL

0 0.5 1m  
1: 20



TYPICAL GARDEN BED ON SLAB DETAIL

0 0.5 1m  
1: 20

## TREES



EUCALYPTUS



ELAEOCARPUS



TRISTANIOPSIS

## SHRUBS



ACMENA



IMPERATA



ADIANTUM



HARDENBERGIA



PRATIA



DIANELLA



ASPENIUM



CALOCHLAENA

## GRASSES & FERNS

# GROUND INK

LANDSCAPE ARCHITECTS

Suite 201, 75 Archer St, Chatswood NSW 2067 Ph: (02) 9411 3279 ABN 55 163 025 456  
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## PLANT PALETTE & LANDSCAPE DETAILS

40 BRIGHTMORE STREET  
CREMORNE NSW

LDA-08

REV H 13-MAR-23