

ALTERATIONS AND BUILDING UPGRADE WORKS DUPLEX - CLASS 2

N

42 Milson Rd, Cremorne Point - SP 32457

QUATTRO PROJECT NUMBER 22-0711



01 EXISTING IMAGE OF THE BUILDING FROM 1919
scale 1:NTS

02 CURRENT PHOTO OF THE BUILDING - 2023
scale 1:NTS

03 PROPOSED RENDERS FROM CREMORNE RESERVE
scale 1:NTS

DEVELOPMENT
APPLICATION

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A & H SINGH

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ARCHITECTURE

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Notes

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A	17/11/22	PRELIMINARY ISSUE	FP
B	8/12/22	COLUMNS UPDATE	FP
C	23/3/23	DESIGN UPDATE	FP
D	30/5/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
COVER SHEET

Drawn By
FP

Checked By
PH

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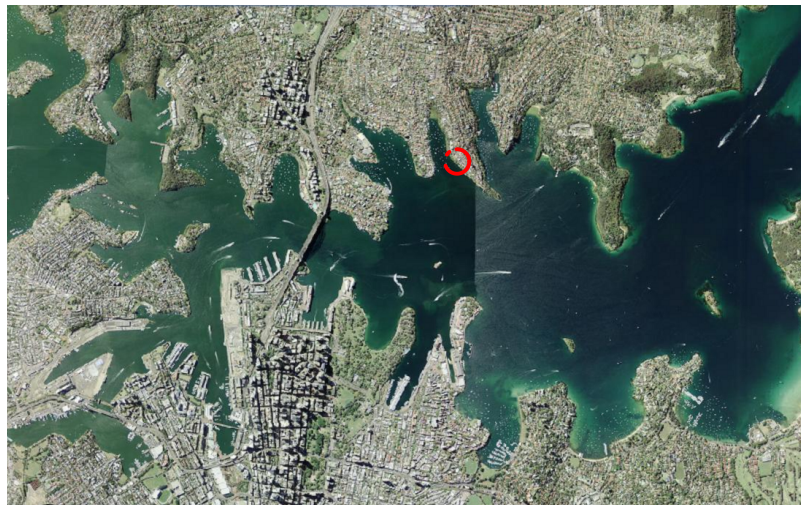
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22-0711

Drawing Number
DA-A-000

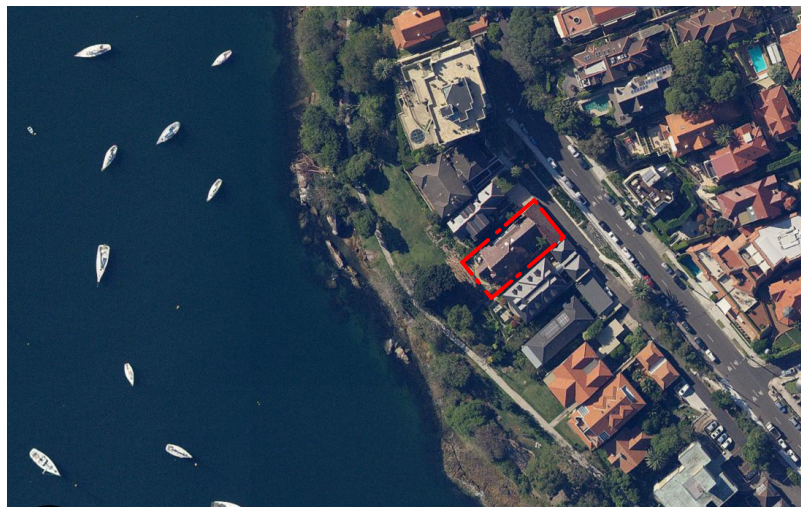
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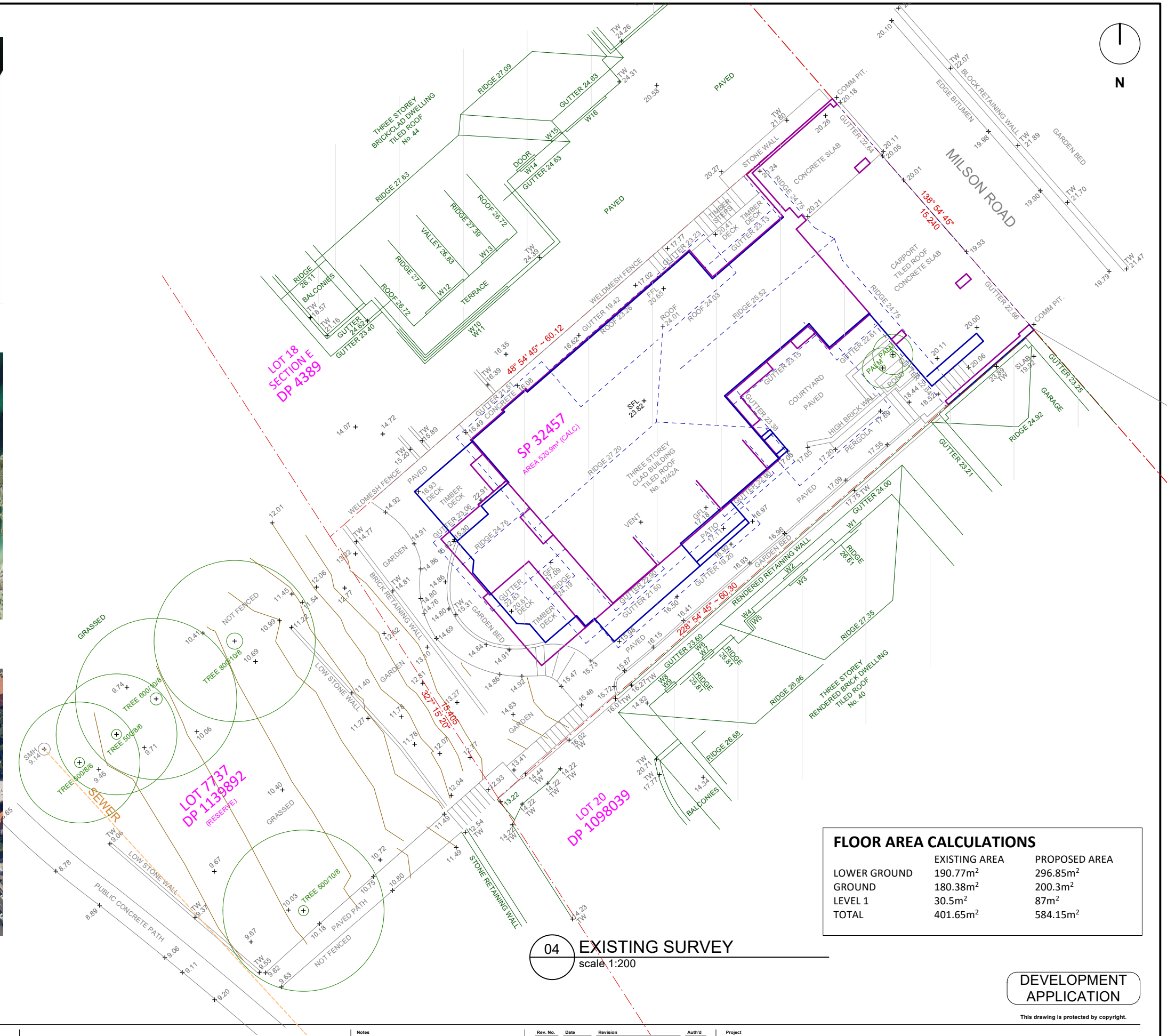
01 REGIONAL VIEW
scale 1:NTS



02 CITY VIEW
scale 1:NTS



03 CONTEXTUAL VIEW
scale 1:NTS



04 EXISTING SURVEY
scale 1:200

FLOOR AREA CALCULATIONS		
	EXISTING AREA	PROPOSED AREA
LOWER GROUND	190.77m ²	296.85m ²
GROUND	180.38m ²	200.3m ²
LEVEL 1	30.5m ²	87m ²
TOTAL	401.65m ²	584.15m ²

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Scale at A3 1:200
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SURVEY AND EXISTING SITE PLAN

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22-0711
Drawing Number
DA-A-020
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01 EXISTING VIEWS
scale 1:-

02 PROPOSED SITE ANALYSIS
scale 1:200

Scale at A3 1:100
0m 50m 100m
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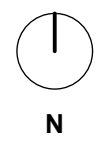
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Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED SITE PLAN

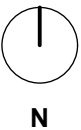
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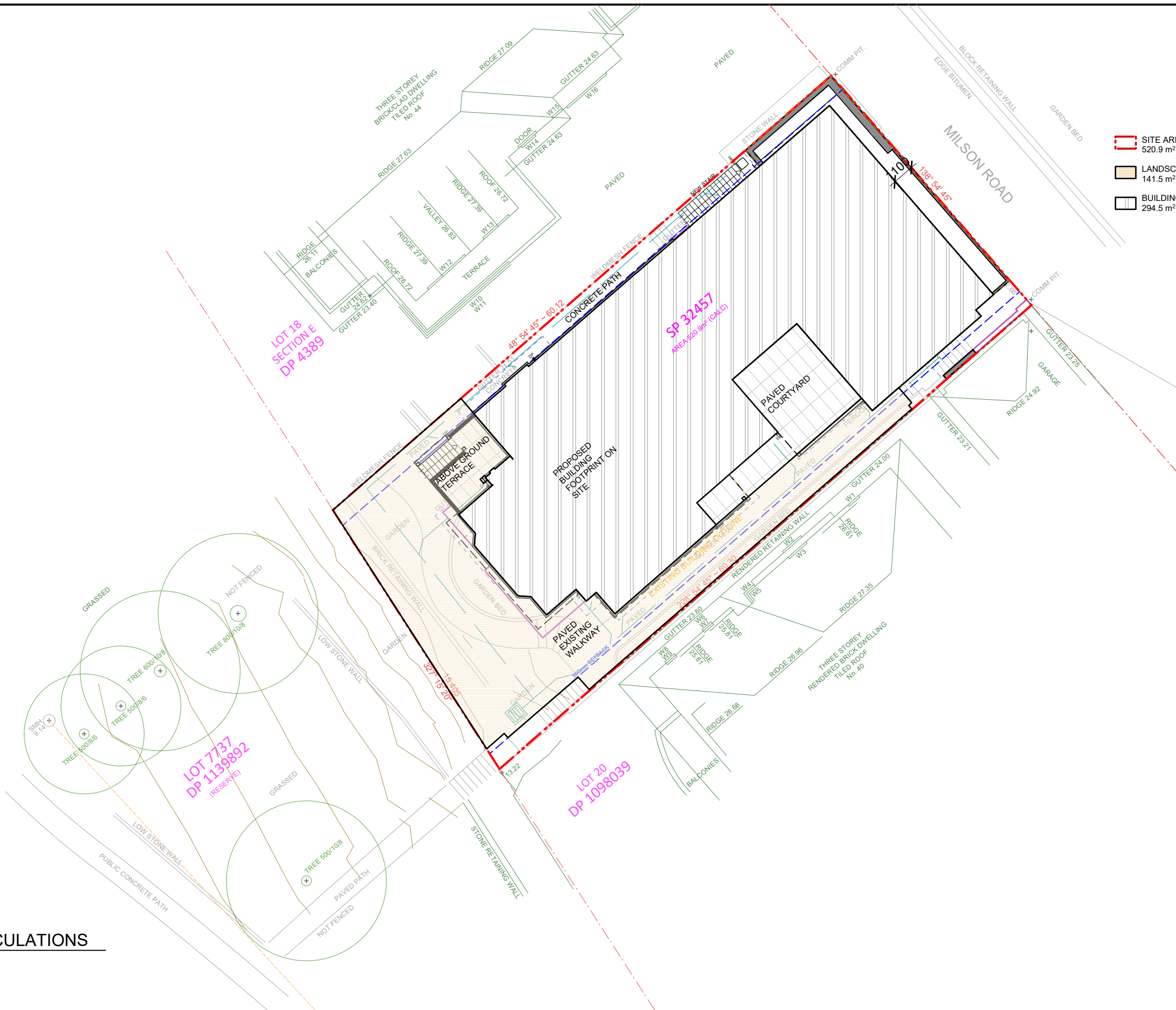


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- SITE AREA :
520.9 m²
- LANDSCAPED AREA :
141.5 m² = 27 % OF SITE AREA
- BUILDING FOOTPRINT :
294.5 m² = 56 % OF SITE AREA

QUATTRO
DRAWINGS ORIENTATION



01 PROPOSED CALCULATIONS
scale 1:200

Scale at A3 1:100
0m 50m 1m 2m 4m

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Project Number
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Drawing Title
PROPOSED LANDSCAPE AREA

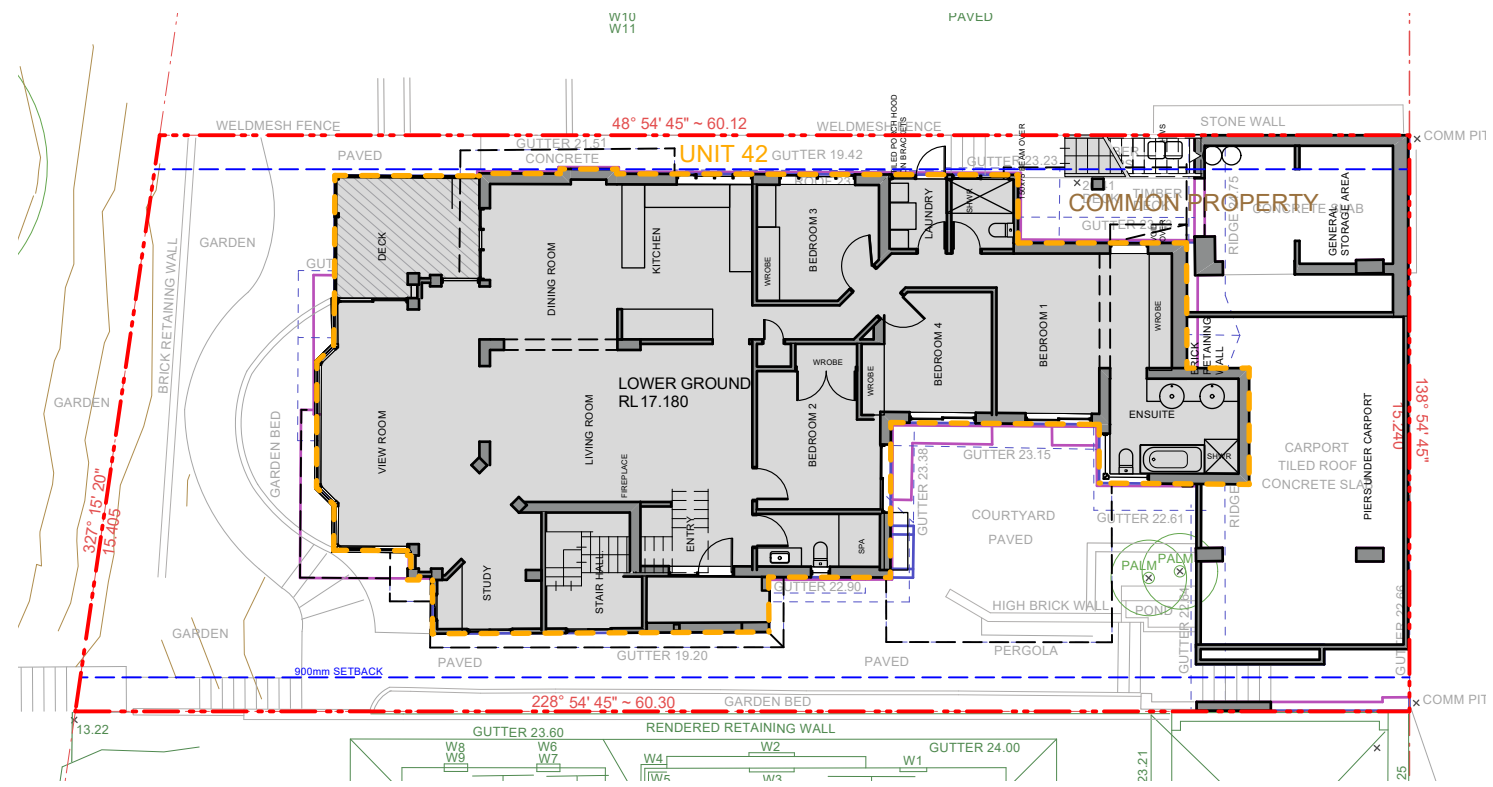
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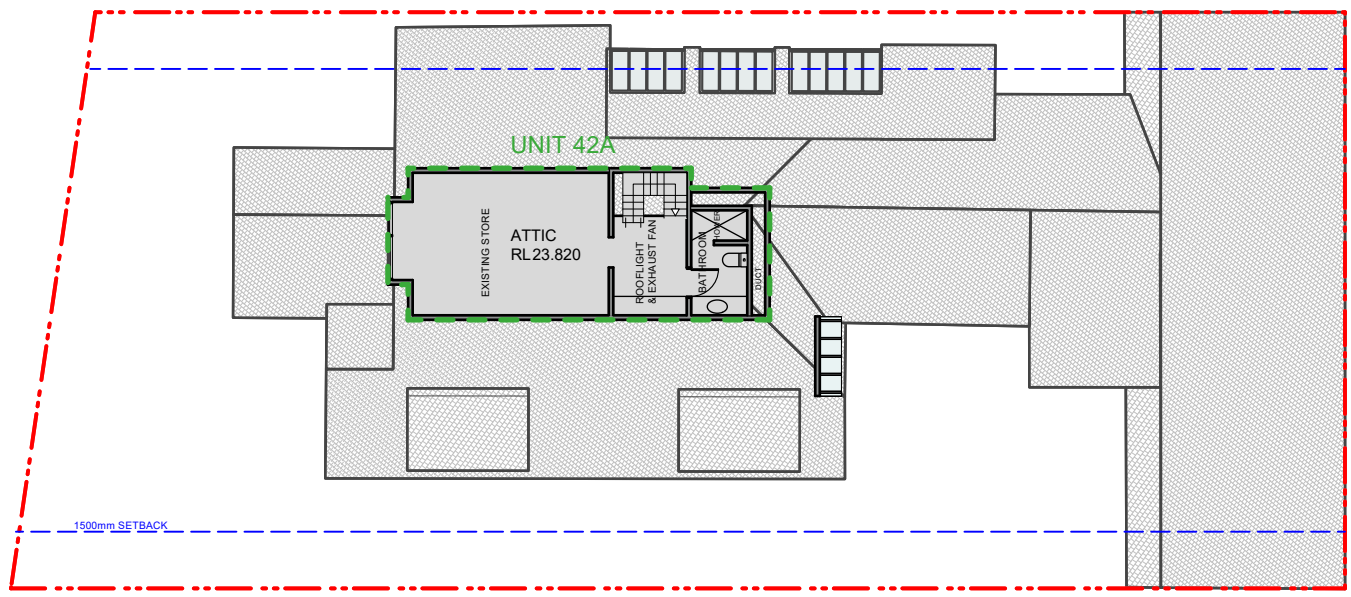
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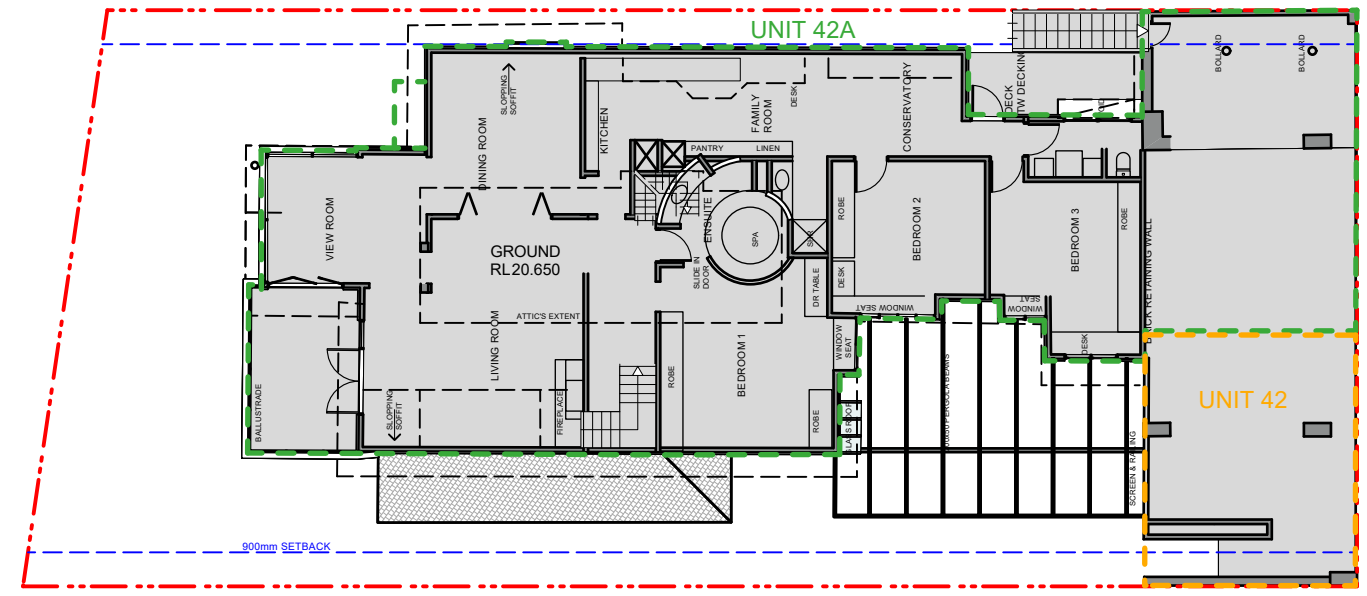
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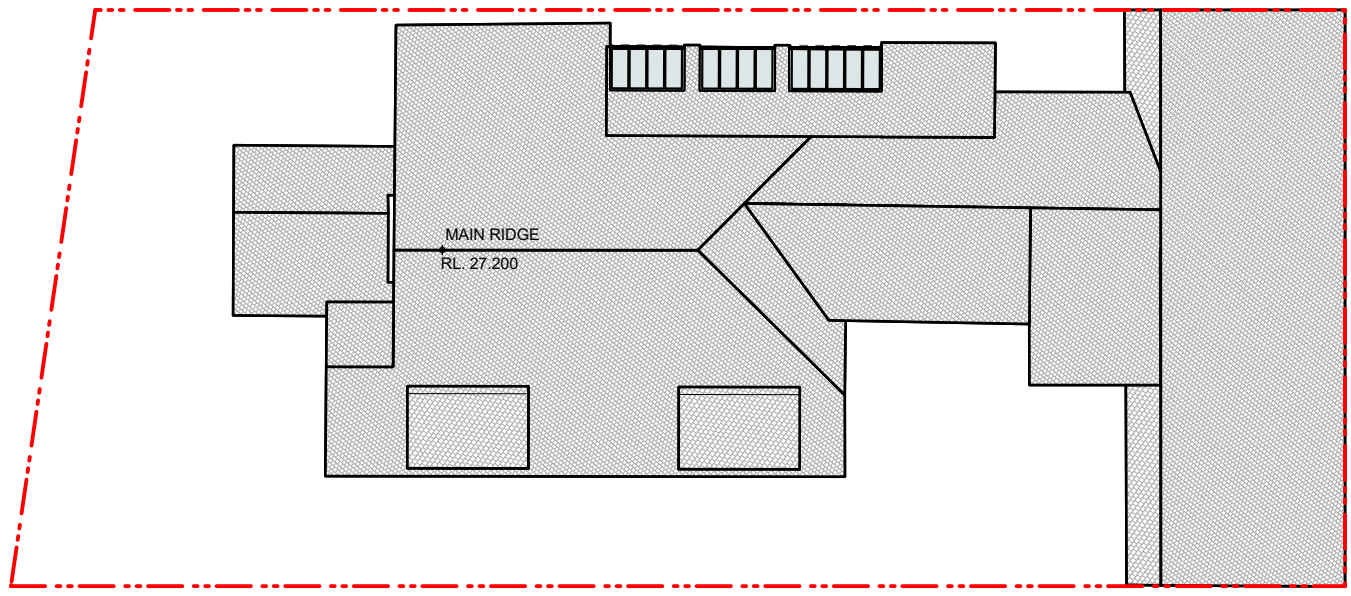
01 EXISTING - LOWER GROUND FLOOR PLAN
scale 1:200



03 EXISTING - ATTIC FLOOR PLAN
scale 1:200



02 EXISTING - GROUND FLOOR PLAN
scale 1:200



04 EXISTING - ROOF PLAN
scale 1:200

Scale at A3 1:200
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Drawing Title
EXISTING PLANS

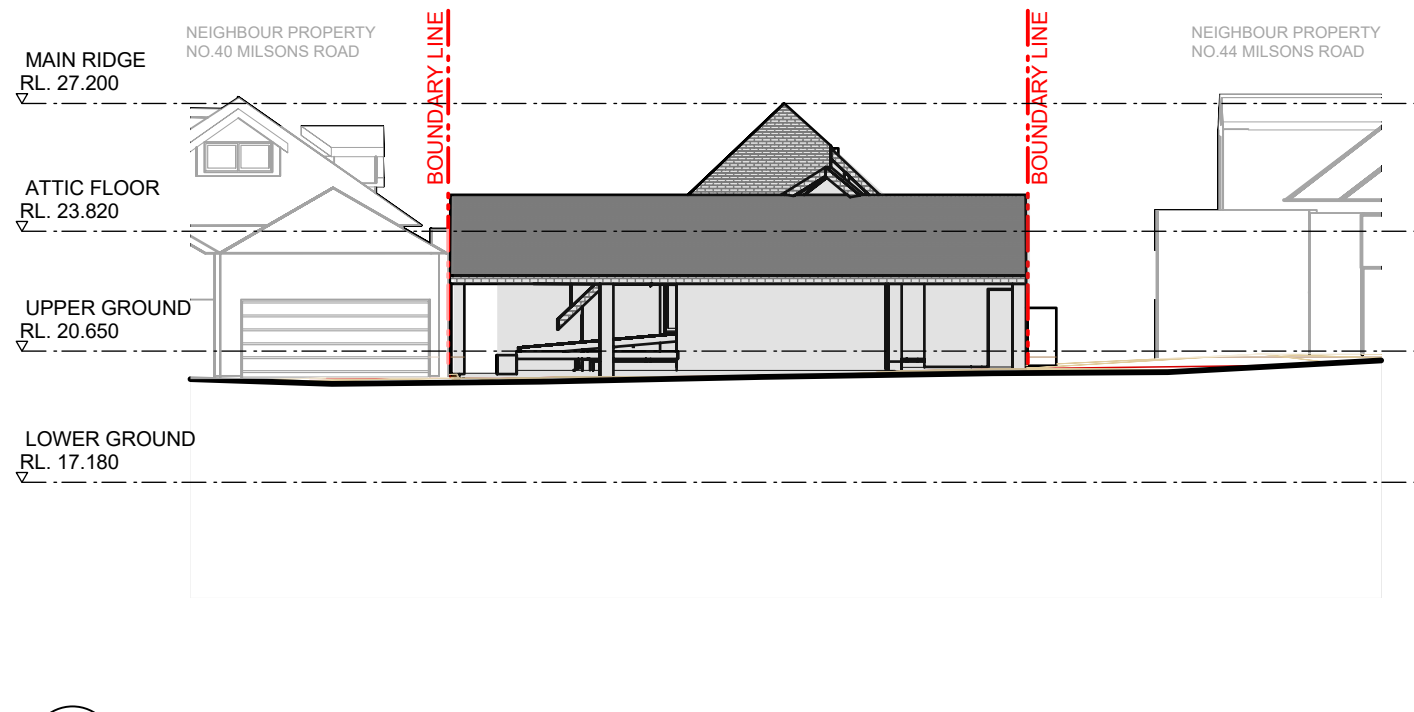
DEVELOPMENT APPLICATION

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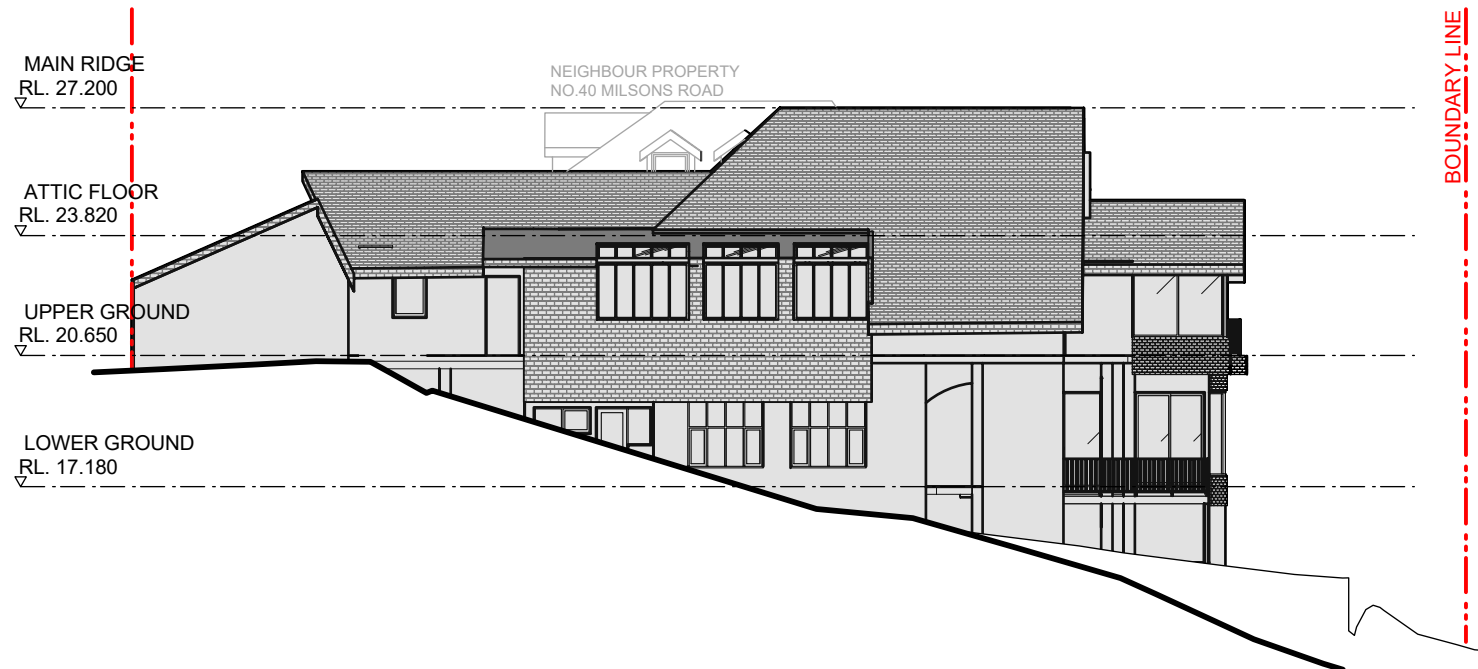
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Drawing Number
DA-A-050
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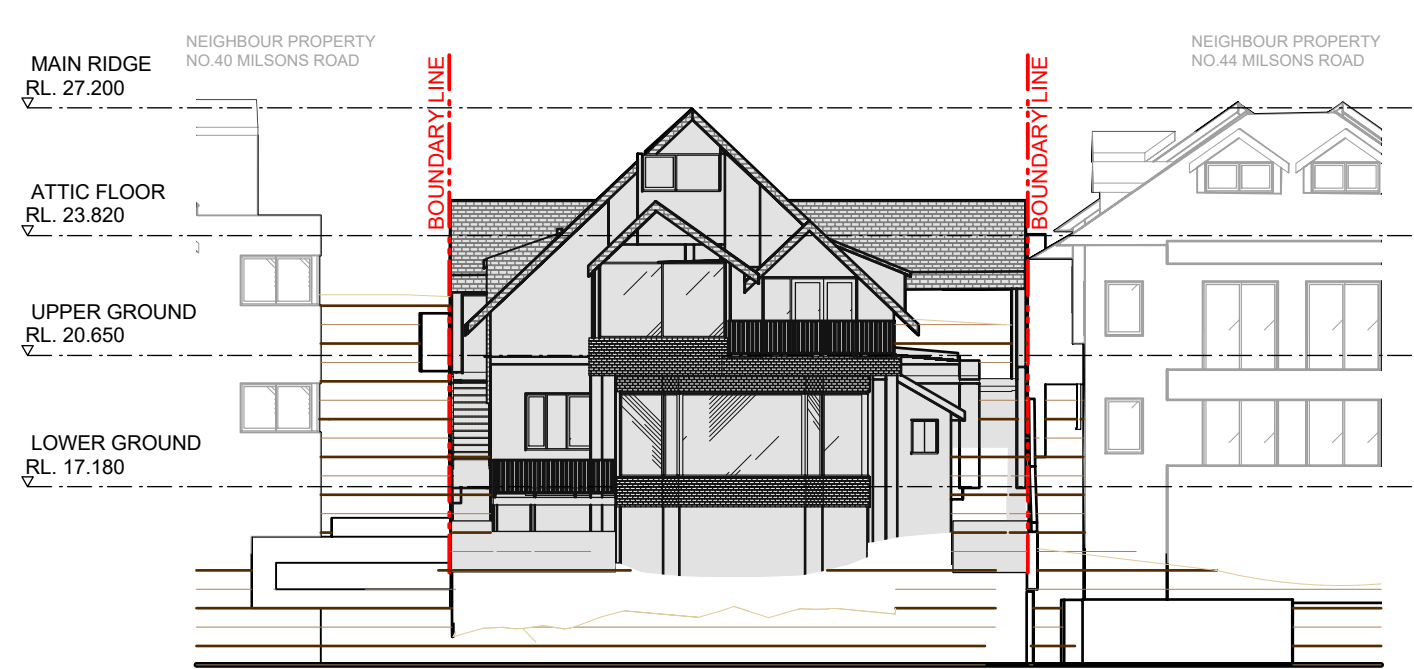
01 EXISTING EAST ELEVATION
scale 1:200



02 EXISTING NORTH ELEVATION
scale 1:200



03 EXISTING WEST ELEVATION
scale 1:200



04 EXISTING SOUTH ELEVATION
scale 1:200

Scale at A3 1:200
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Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
EXISTING ELEVATIONS

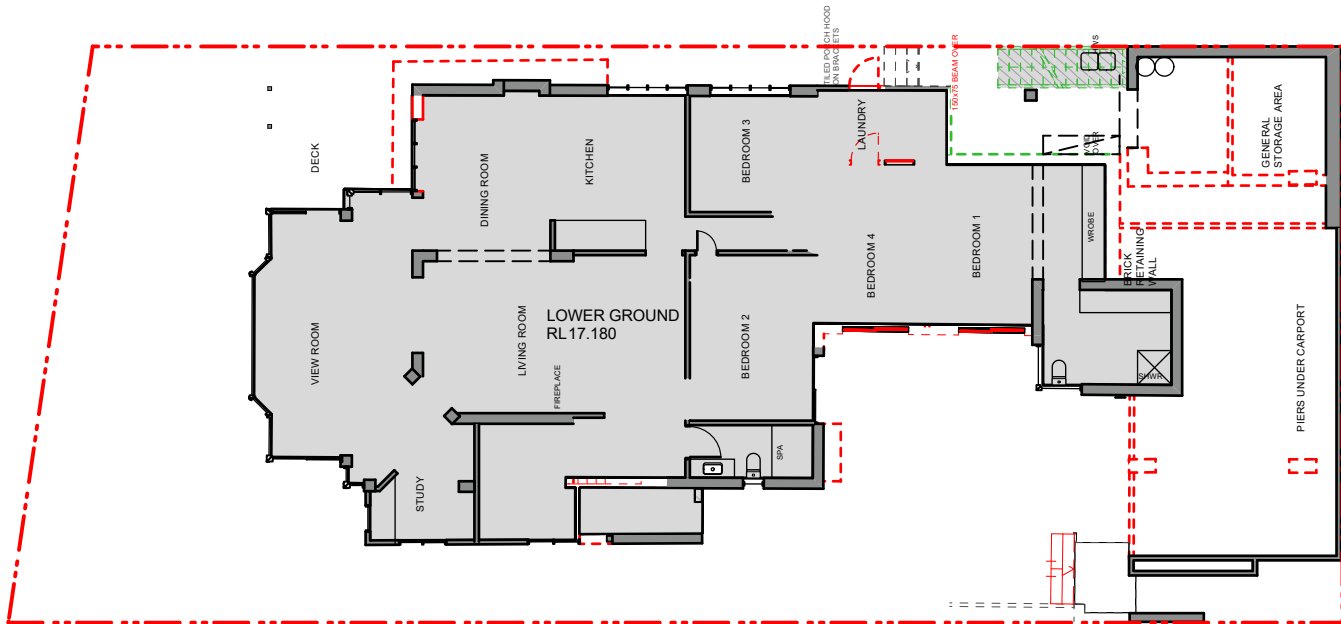
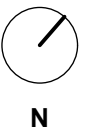
DEVELOPMENT APPLICATION

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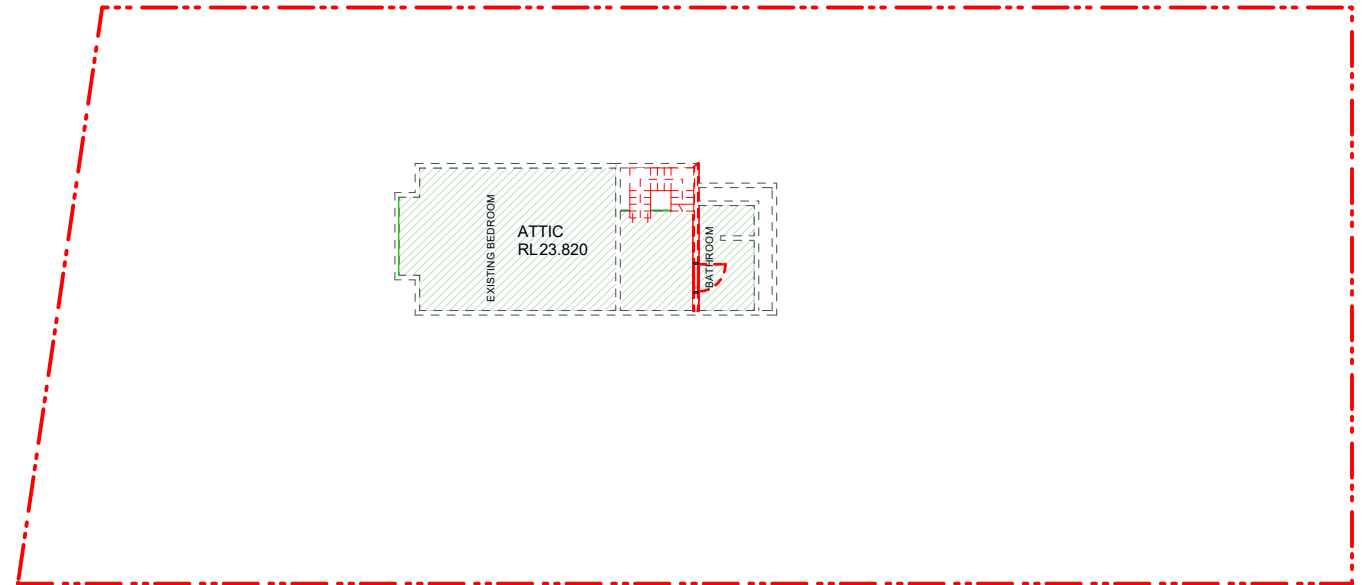
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Drawing Number
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NCC 2023 Class 2 - Required Building Upgrade Works

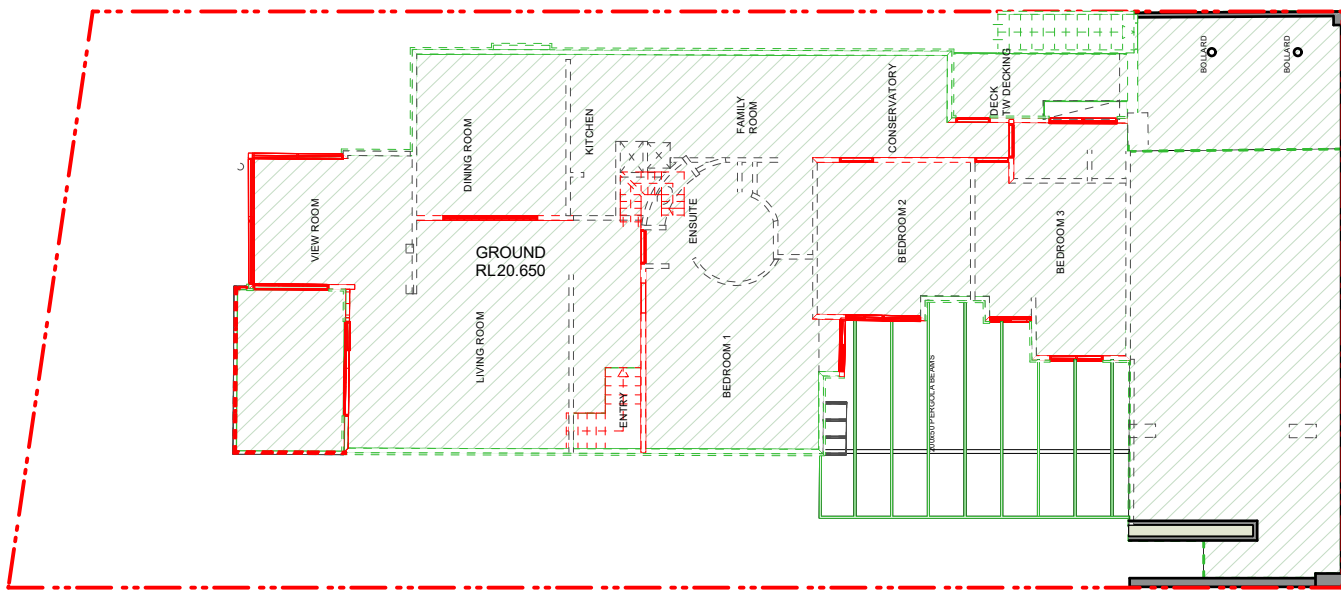
1. The following building elements and their components must be non-combustible:
 - (a) External walls and common walls, including all components incorporated in them including the facade covering, framing and insulation.
2. Spandrel separation. As the building would be deemed to have a rise in storey of 3 Type A construction requirements would apply.
3. Fire separation. The floor separating the respective SOU's are constructed of timber in parts. The minimum fire separation (floor) to be achieved and demonstrated between SOU's is an FRL of 90/90/90.
4. Protection of openings. Windows and doors located less than 3m from the side property boundary are deemed to be exposed and need to be protected- ie either by way of fire shutter, fire rated windows , wall wetting sprinkler/ drenchers etc.
5. Acoustics- shuttering will need to be given to acoustic compliance in terms of floor and services stacks etc.
6. Accessibility: For a Class 2 building, common areas are to be accessible as follows:
 - (a) From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.



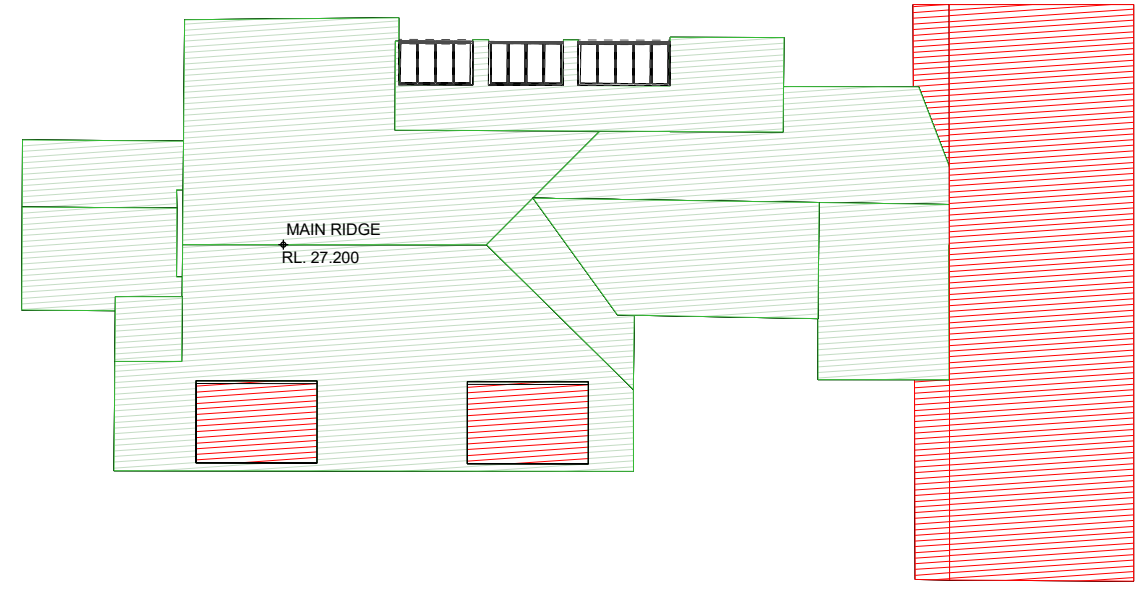
01 EXISTING & DEMOLITION/RECTIFICATION - LOWER GROUND FLOOR PLAN
scale 1:200



03 EXISTING & DEMOLITION/RECTIFICATION - ATTIC FLOOR PLAN
scale 1:200



02 EXISTING & DEMOLITION/RECTIFICATION GROUND FLOOR PLAN
scale 1:200



04 EXISTING & DEMOLITION/RECTIFICATION - ROOF PLAN
scale 1:200

DEVELOPMENT APPLICATION

Scale at A3 1:200
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LEGEND :

 RECTIFICATION OF EXISTING

 DEMOLITION

Notes

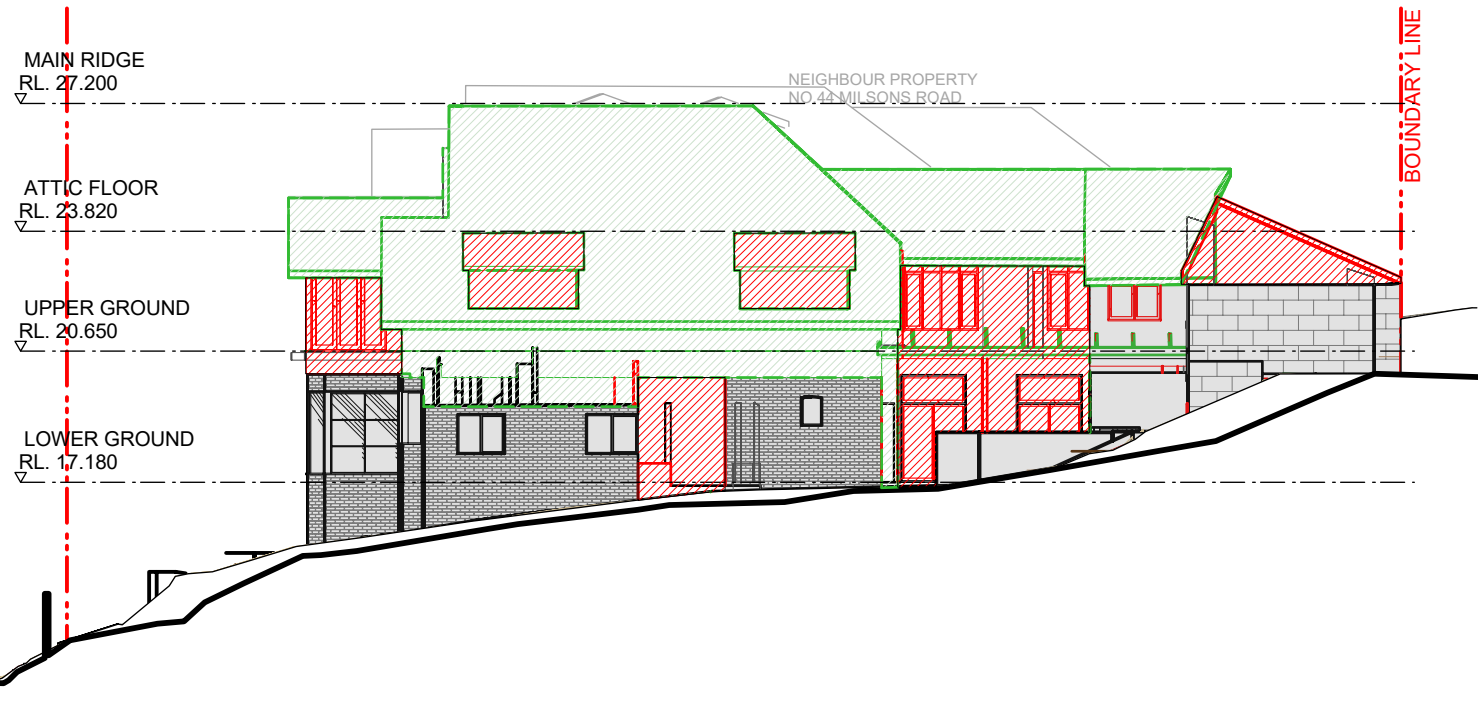
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42 Milson Rd, Cremorne Point

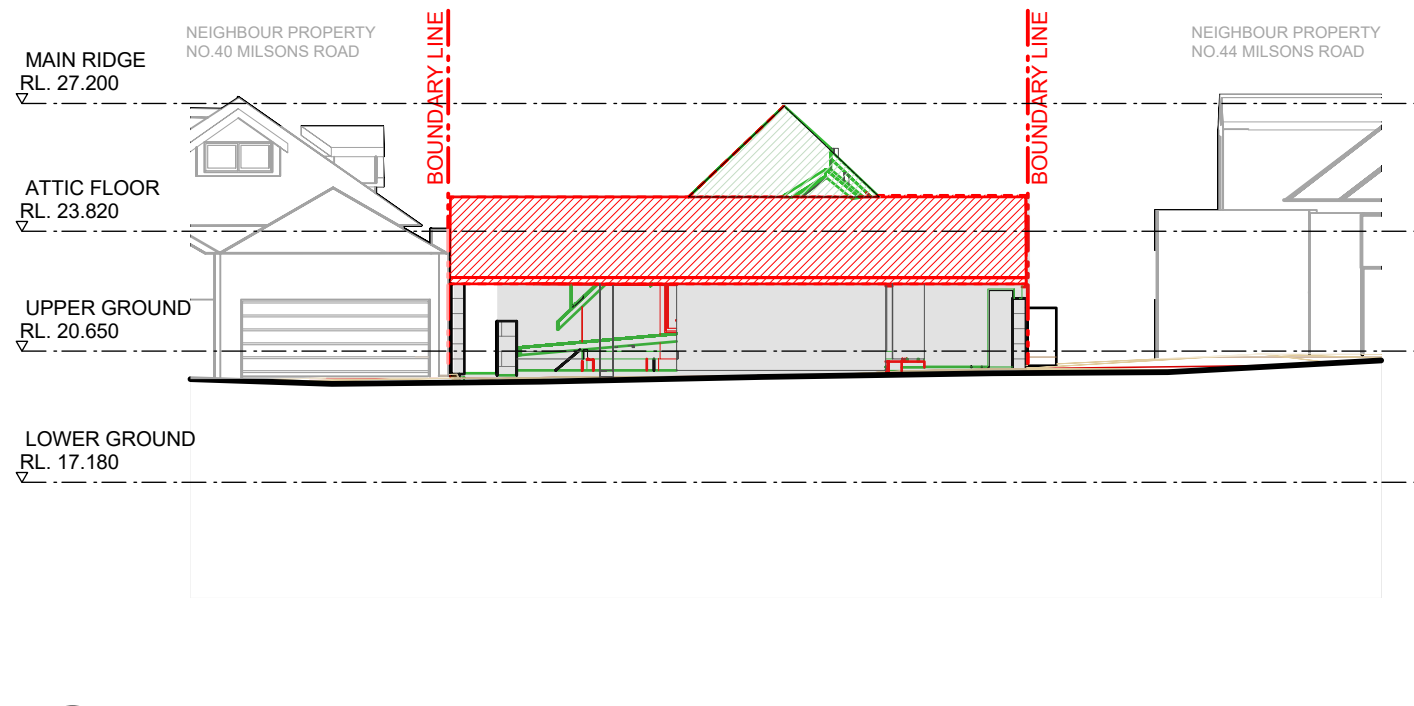
DEMOLITION PLANS

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Project Number: 22-0711
Drawing Number: DA-A-052
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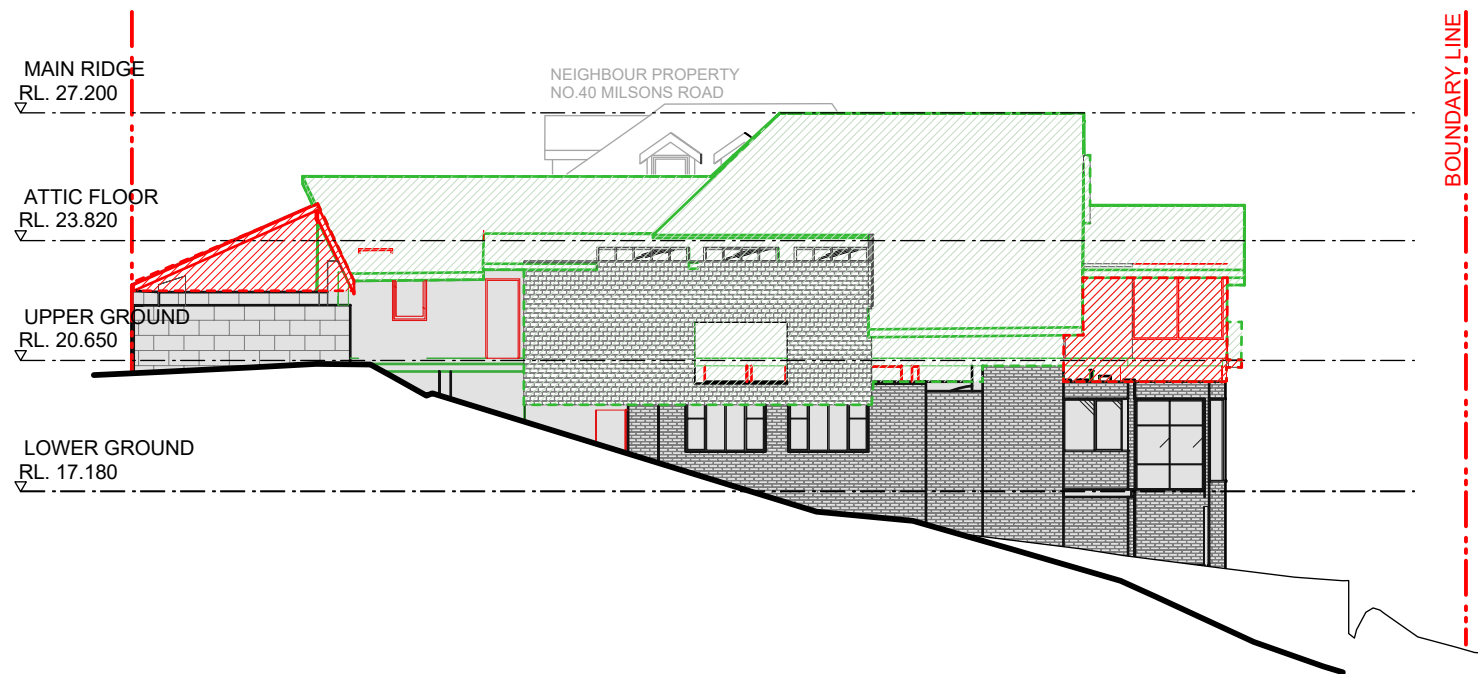


01 EXISTING EAST ELEVATION
scale 1:200

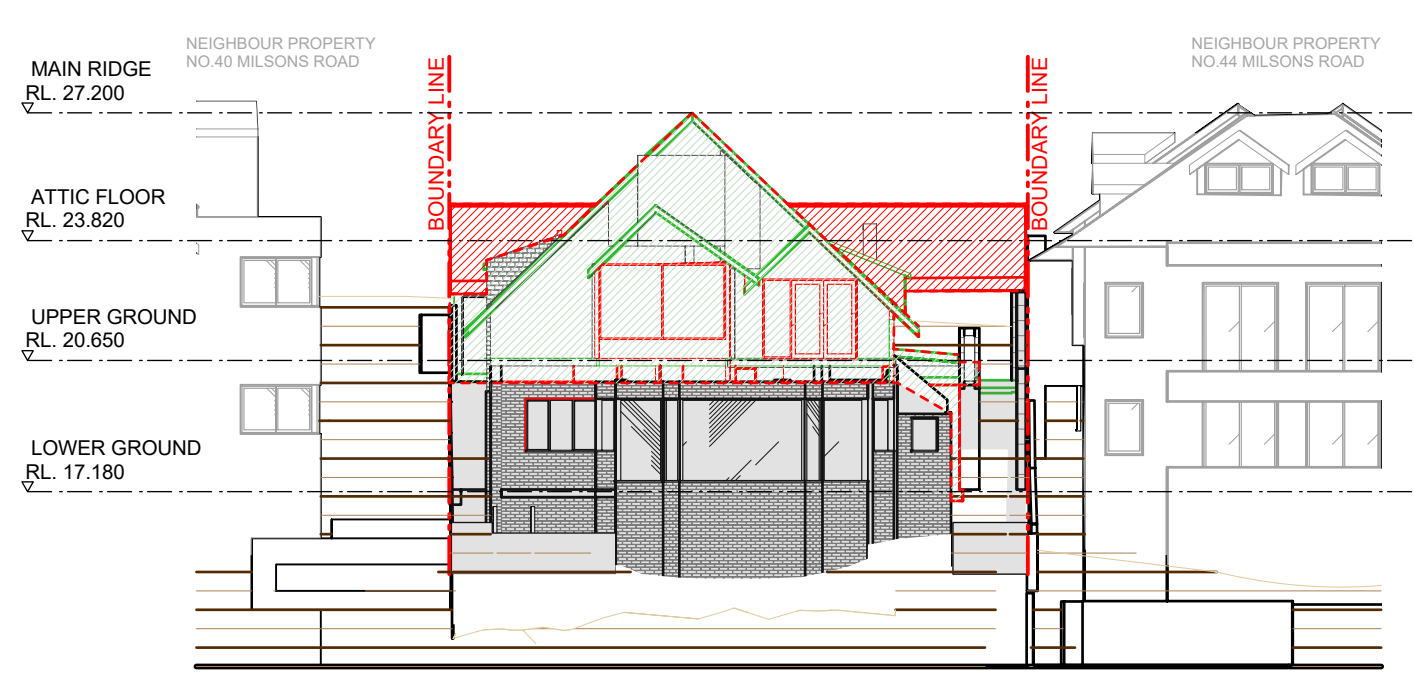


02 EXISTING NORTH ELEVATION
scale 1:200

LEGEND:
 REPLACE EXISTING
 DEMOLITION



03 EXISTING WEST ELEVATION
scale 1:200



04 EXISTING SOUTH ELEVATION
scale 1:200

Scale at A3 1:200
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point

Project Number
22-0711

Drawing Title
DEMOLITION ELEVATIONS

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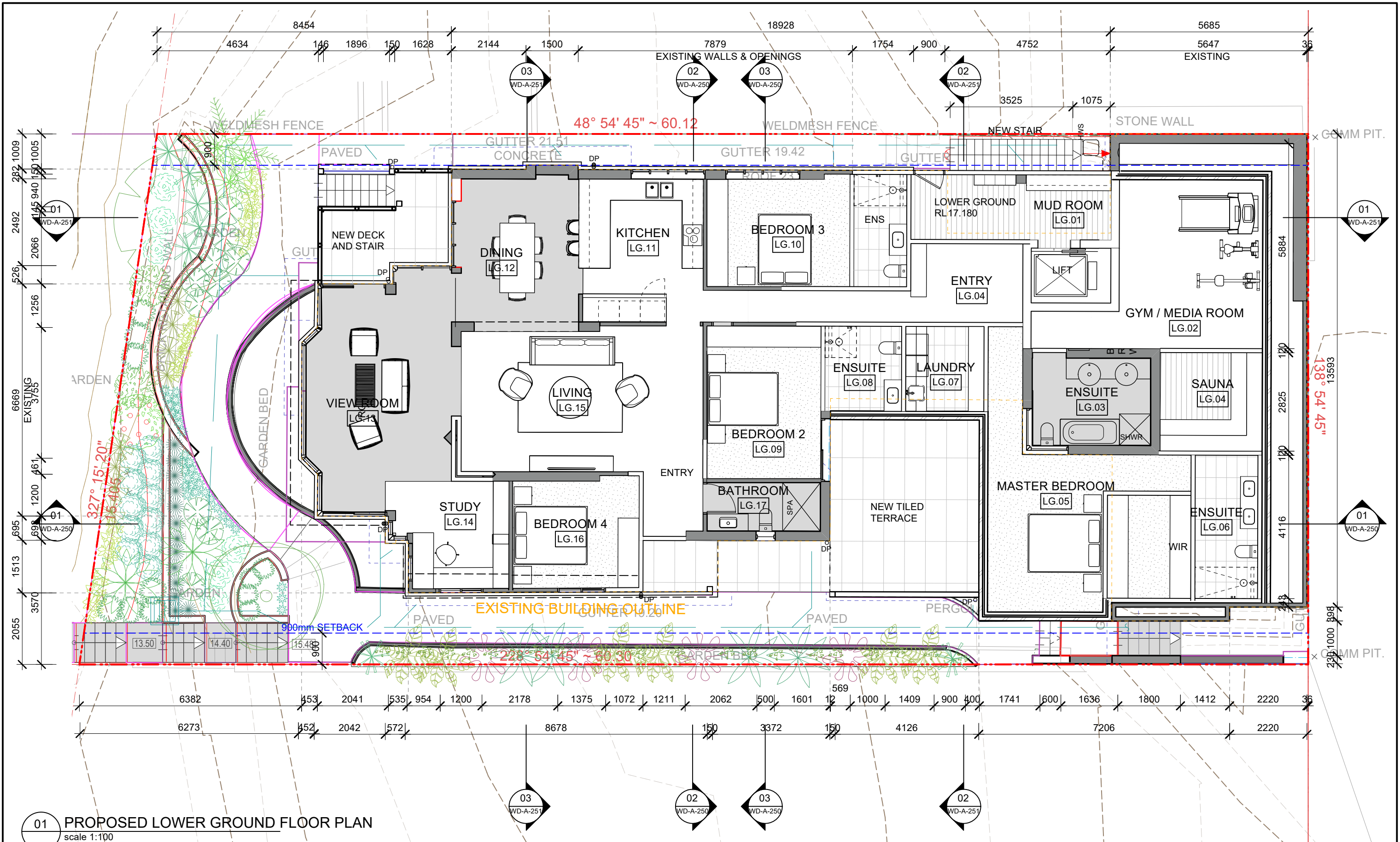
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01 PROPOSED LOWER GROUND FLOOR PLAN
scale 1:100

Scale at A3 1:100
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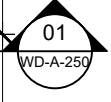
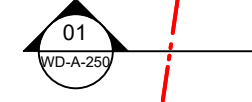
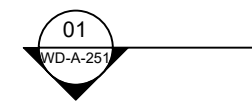
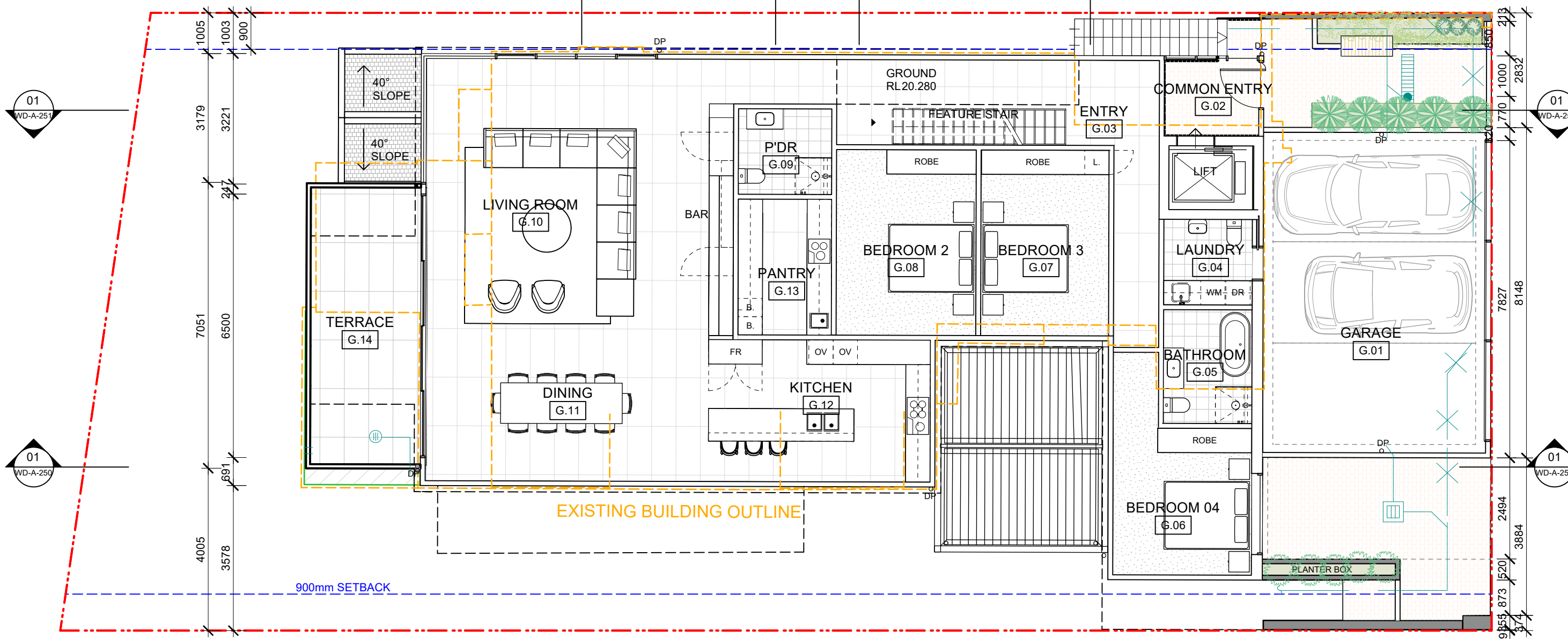
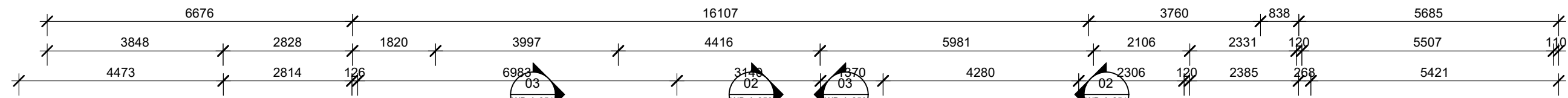
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G	11/8/23	STORMWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP

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Project Number: **22-0711**
Drawing Number: **DA-A-100**
Rev: **H**

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01 PROPOSED UPPER GROUND FLOOR
scale 1:100

Scale at A3 1:100
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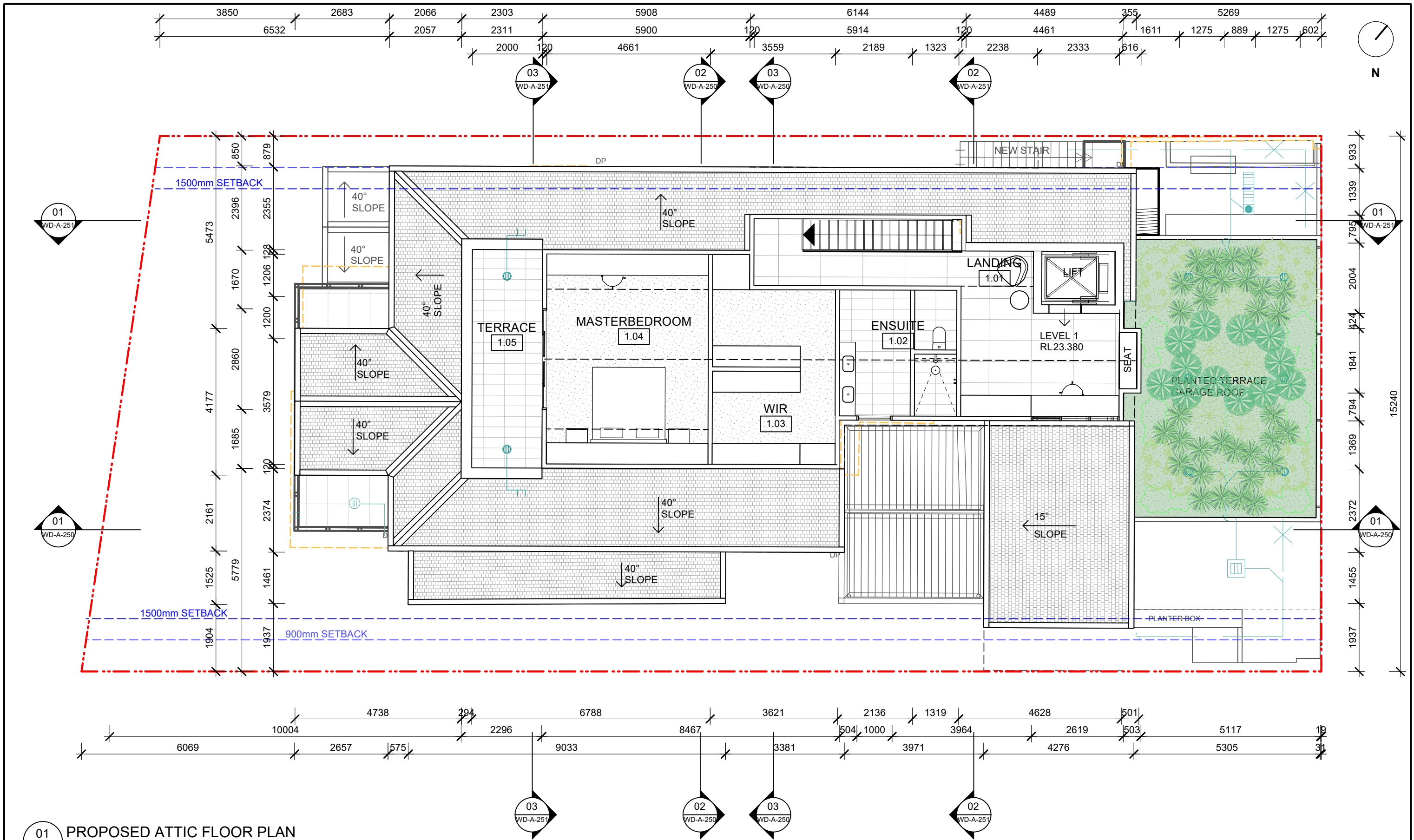
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Drawn By: PH
Checked By: PH
Project Number: 22-0711
Drawing Number: DA-A-101
Rev: H



01 PROPOSED ATTIC FLOOR PLAN
scale 1:100

Scale at A3 1:100
0m 500 1m 2m 4m
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22-0711

Drawing Title
PROPOSED PLANS
LEVEL 1 FLOOR

Drawn By
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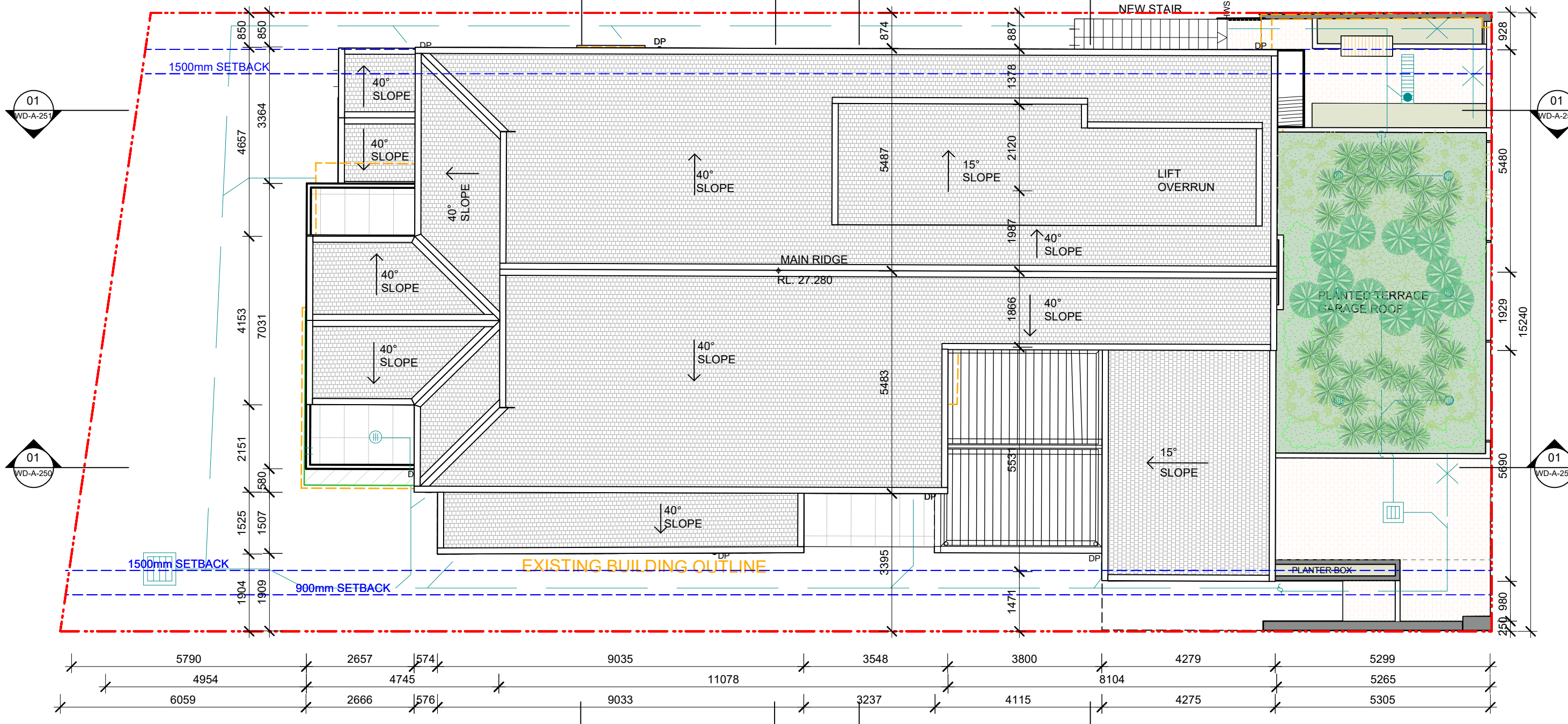
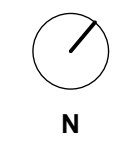
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Drawing Number
DA-A-102

Rev
H

4634 1889 21274 5269
 3844 2679 2099 8177 6304 4309 373661 4620



01 PROPOSED ROOF PLAN
 scale 1:100

Scale at A3 1:100
 0m 500 1m
 Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

DEVELOPMENT APPLICATION

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 Registered Architect - 6854
 Peter Hooper, Director
 Canberra 61 2 6239 4044
 Unit 5, Kingston Warehouse
 71 Leachhardt Street Kingston
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 Tim Zuber

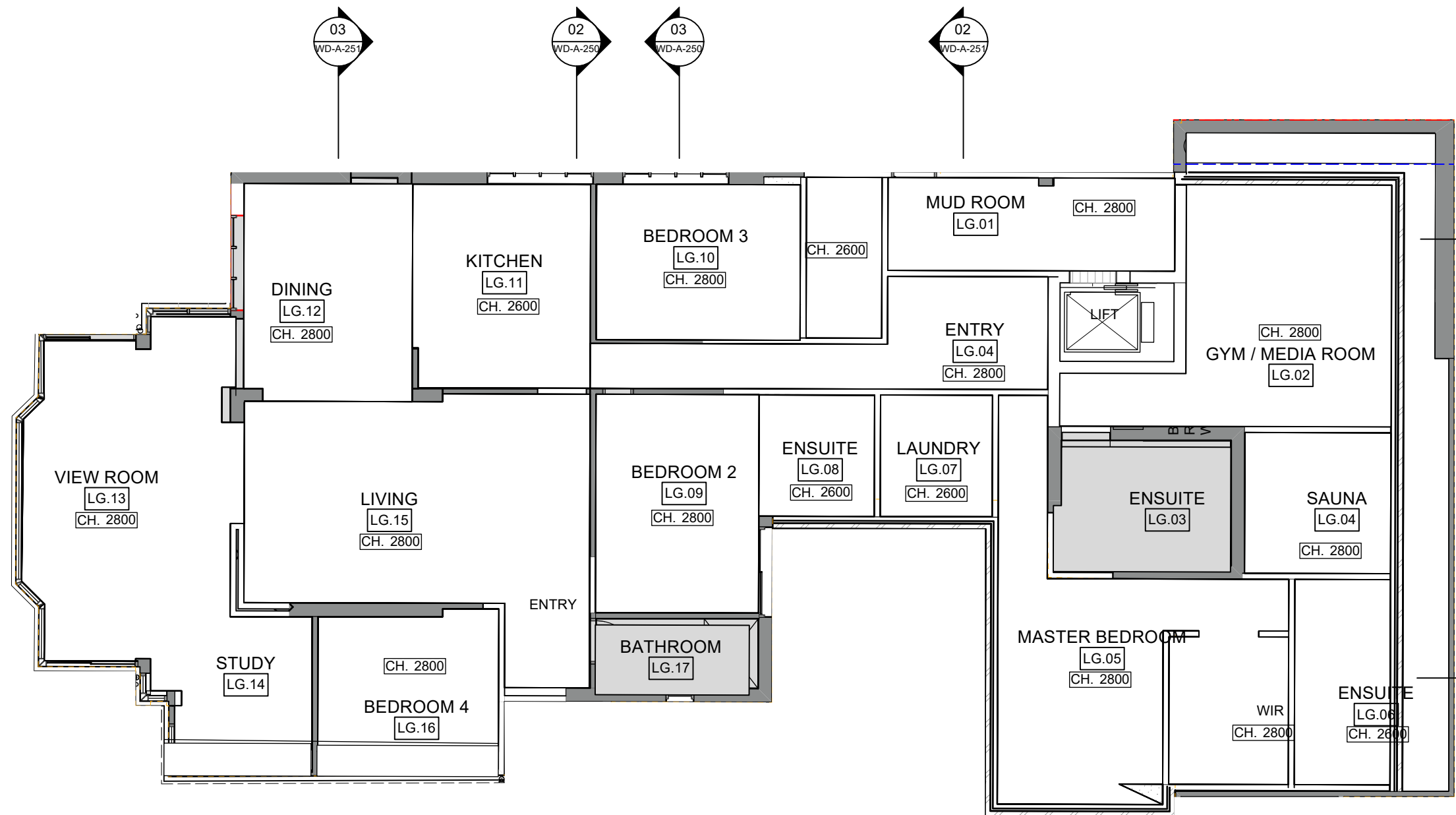
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G	11/8/23	STORWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
 Drawing Title
PROPOSED PLANS
ROOF

Drawn By
FP
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PH
 No Sheets

Project Number
22-0711
 Drawing Number
DA-A-103
 Rev
H



01 LOWER GROUND - RCP
scale 1:100

Scale at A3 1:100
0m 500m 1m 2m 4m
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Client
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H	14/8/23	DA ISSUE	FP

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED PLANS
LOWER GROUND FLOOR

Drawn By
PH

Checked By
PH

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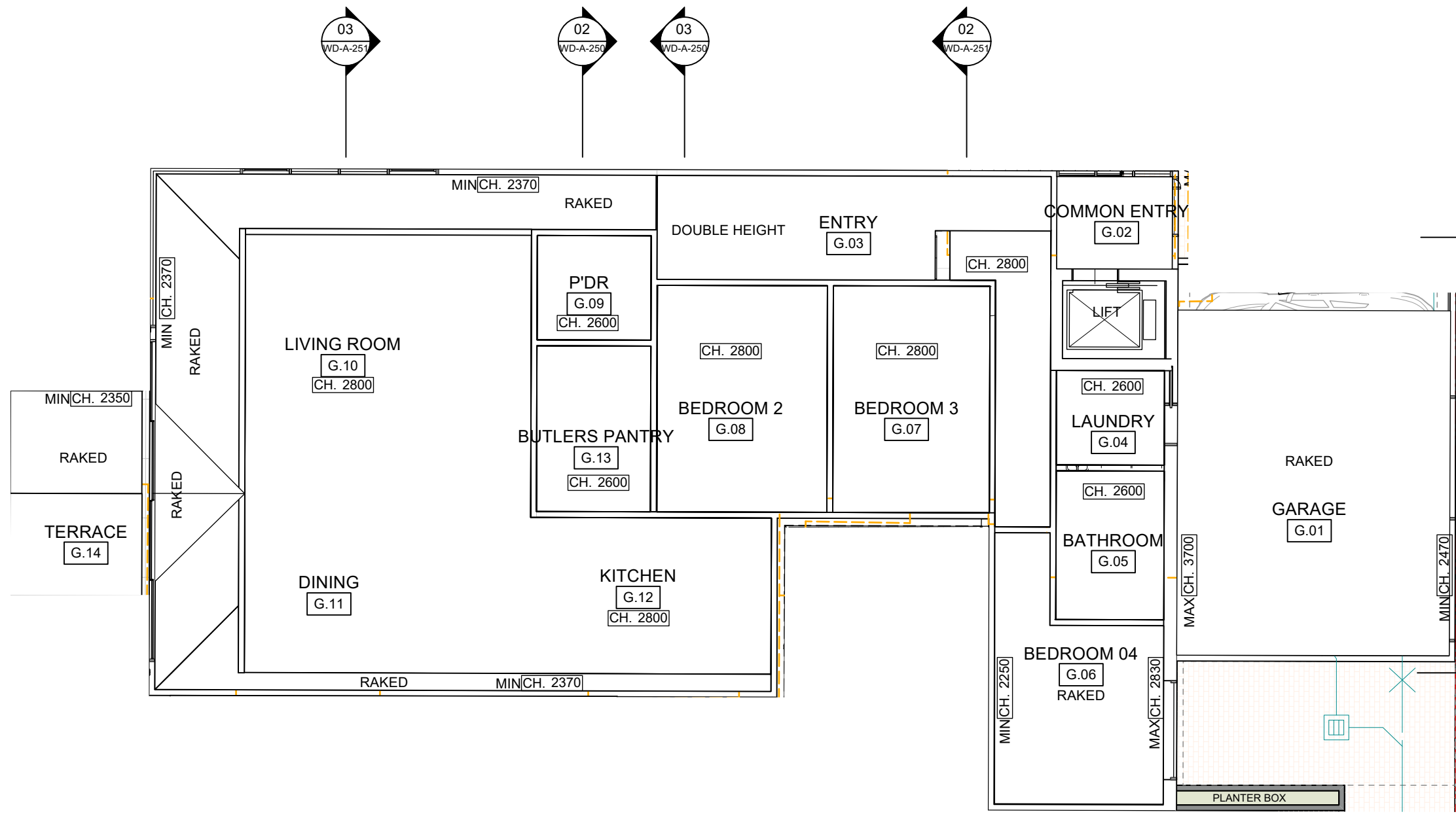
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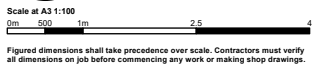
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01 PROPOSED UPPER GROUND FLOOR
scale 1:100



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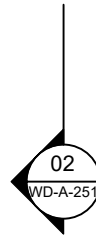
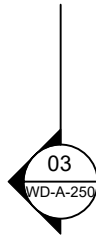
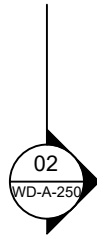
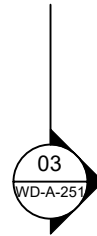
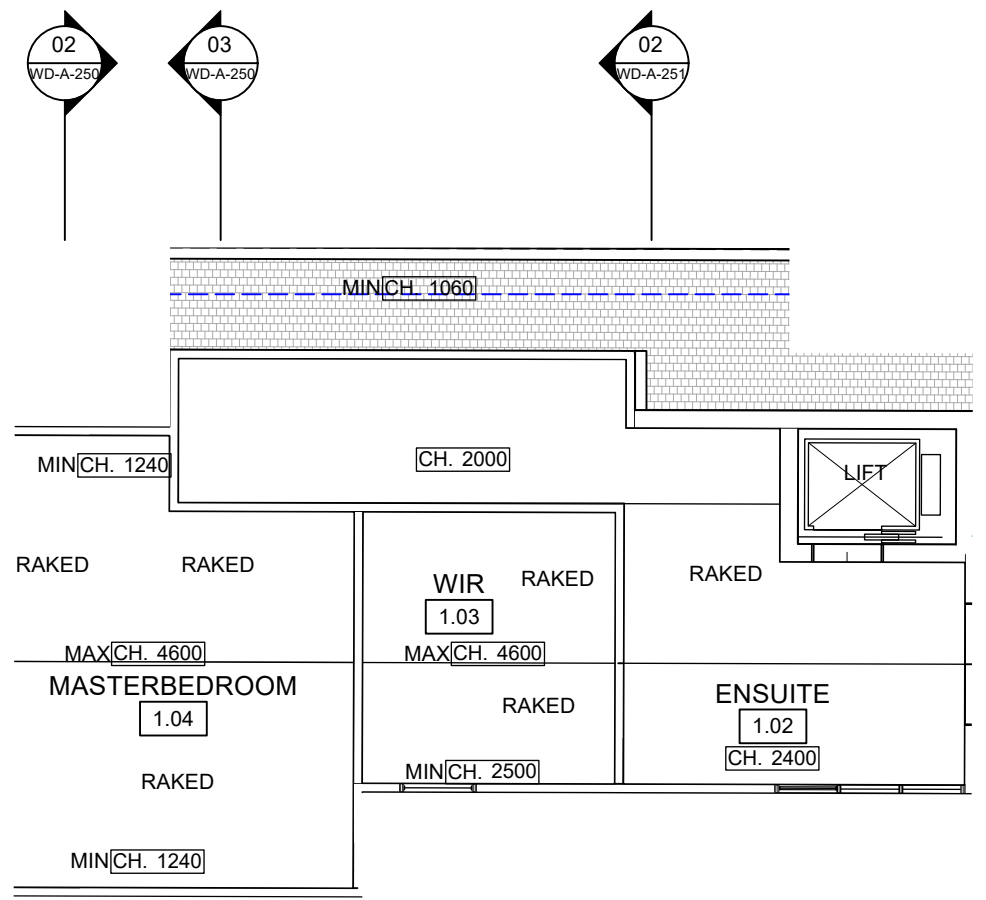
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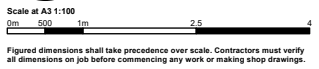
Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**PROPOSED PLANS
GROUND FLOOR**

Drawn By: **FP** Checked By: **PH** No Sheets

Project Number: **22-0711** Drawing Number: **DA-A-101** Rev: **H**



01 PROPOSED LEVEL 1 RCP
scale 1:100



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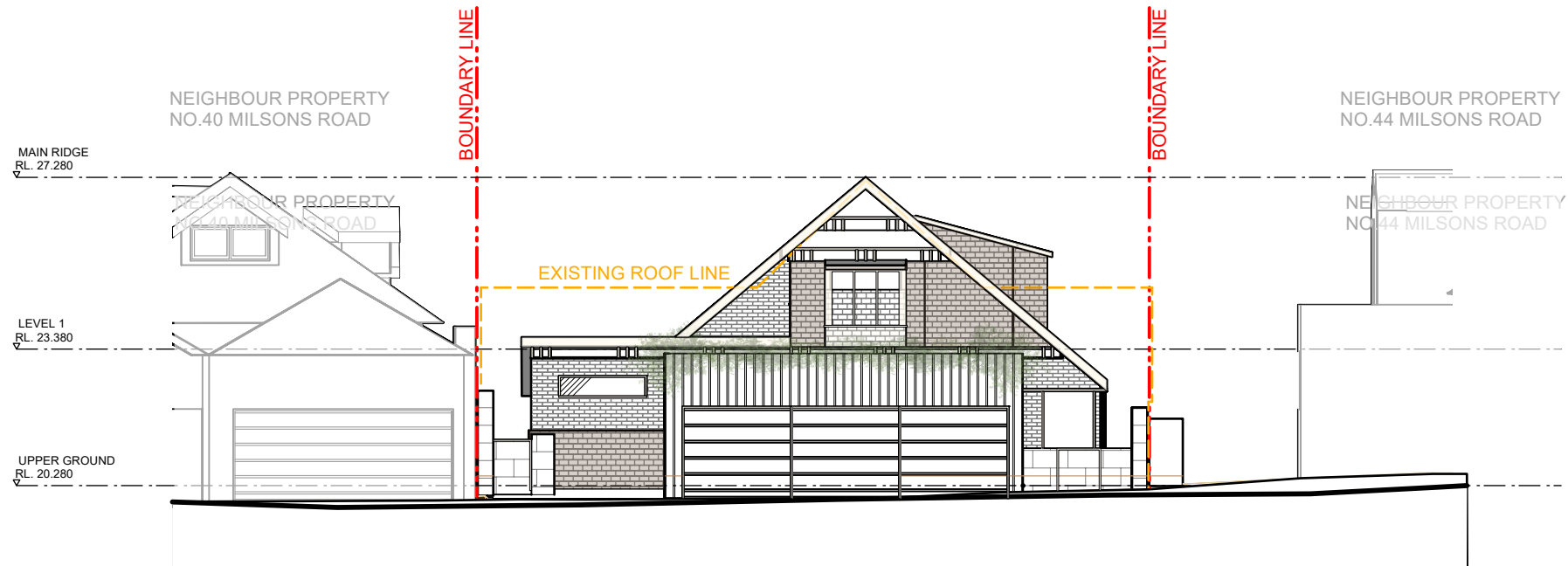
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H	14/8/23	DA ISSUE	FP

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED PLANS
LEVEL 1 FLOOR

Drawn By
Checked By
Project Number
Drawing Number
Rev
No Sheets

Drawn By: FP
Checked By: PH
Project Number: 22-0711
Drawing Number: DA-A-102
Rev: H
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01 PROPOSED NORTH ELEVATION
scale 1:150



Notes

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H	14/8/23	DA ISSUE	FP

CLIENT

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Tim Zuber

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ALTERATIONS AND BUILDING
UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point

Drawing Title

PROPOSED NORTH ELEVATION

Scale at A3 1:150
0m 0.5 1 2.5 6.0

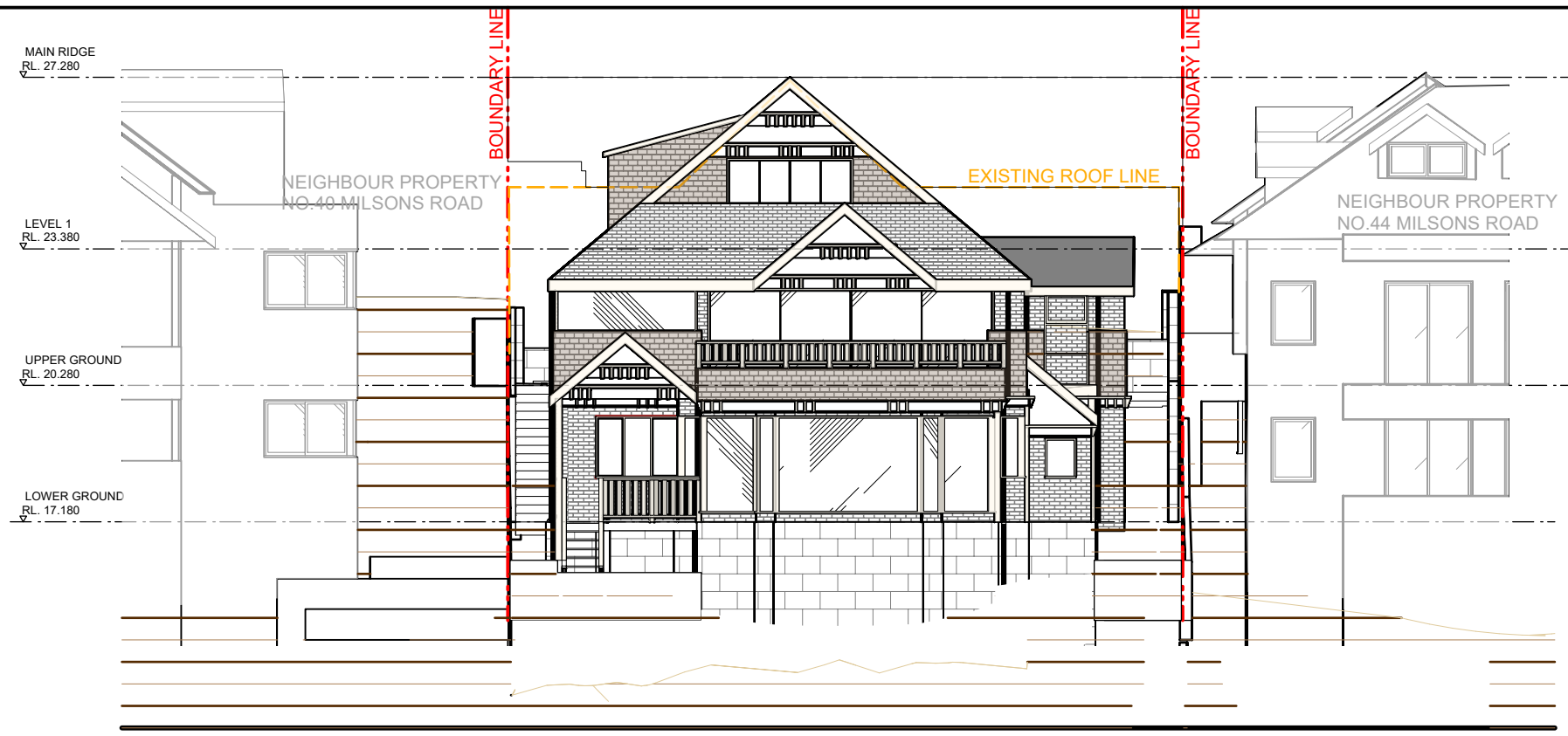
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FP PH

Project Number Drawing Number Rev
22-0711 DA-A-200 H

DEVELOPMENT
APPLICATION

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01 PROPOSED SOUTH ELEVATION
scale 1:150



Notes

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G	11/8/23	STORWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP

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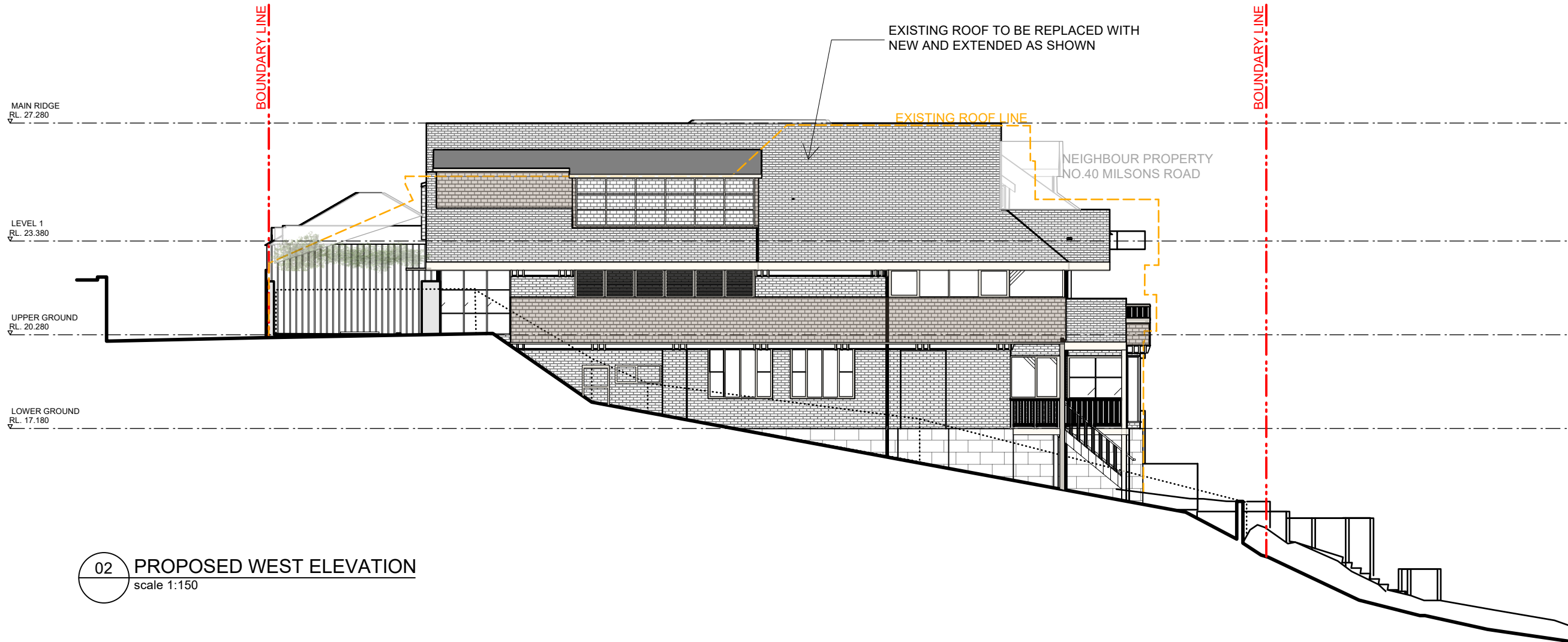
Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
 Drawing Title
PROPOSED SOUTH ELEVATION

Scale at A3 1:150
 Dim 0.5 1 2.5 6.0
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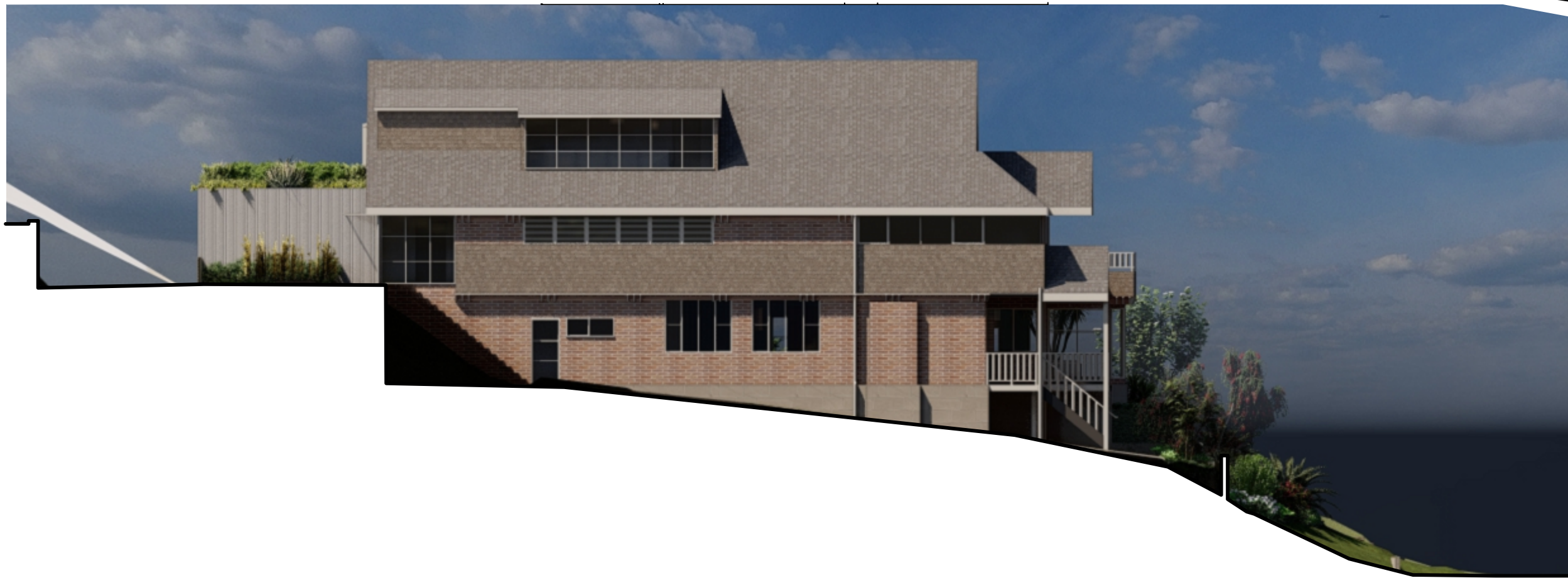
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FP PH
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22-0711 DA-A-201 H

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02 PROPOSED WEST ELEVATION
scale 1:150



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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS**
 Duplex - Class 2
 42 Milson Rd, Cremorne Point

Drawing Title
PROPOSED WEST ELEVATION

Scale at A3 1:150
 0m 0.5 1 2.5 6.0

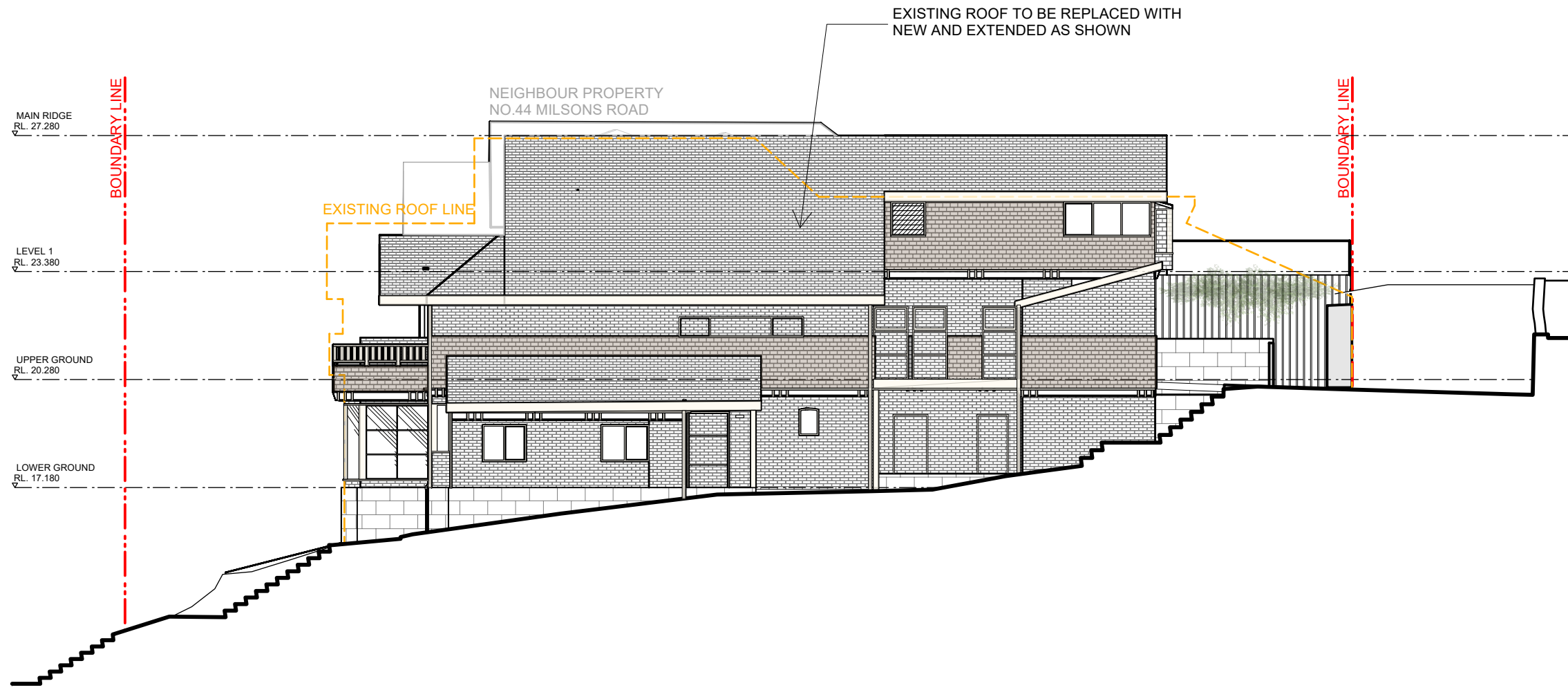
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FP PH

Project Number Drawing Number Rev
22-0711 DA-A-202 H

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02 PROPOSED EAST ELEVATION
scale 1:150



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H	14/8/23	DA ISSUE	FP

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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS**
Duplex - Class 2
42 Milson Rd, Cremorne Point

Drawing Title
PROPOSED EAST ELEVATION

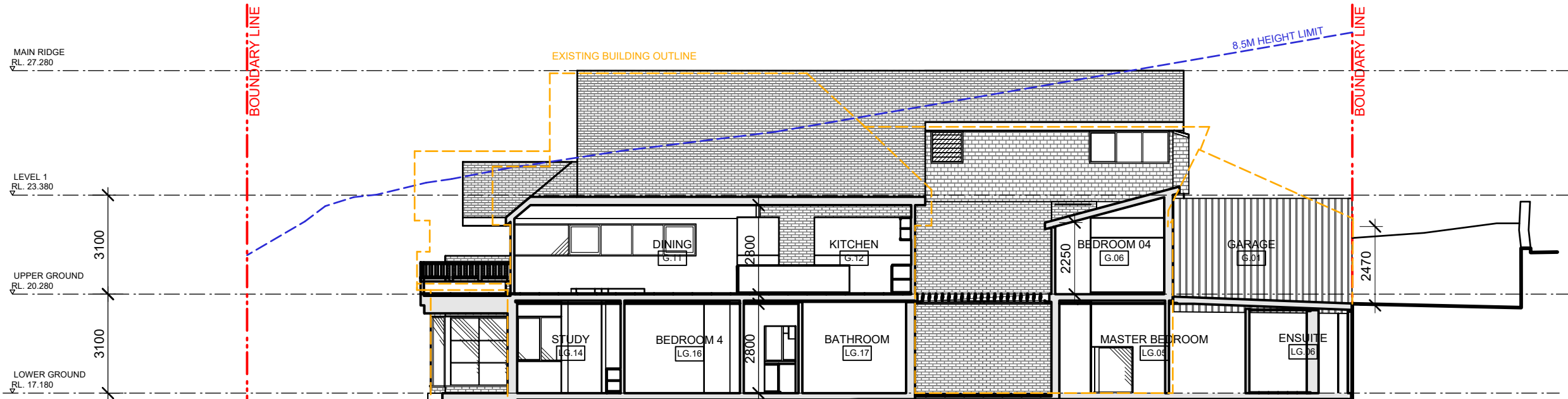
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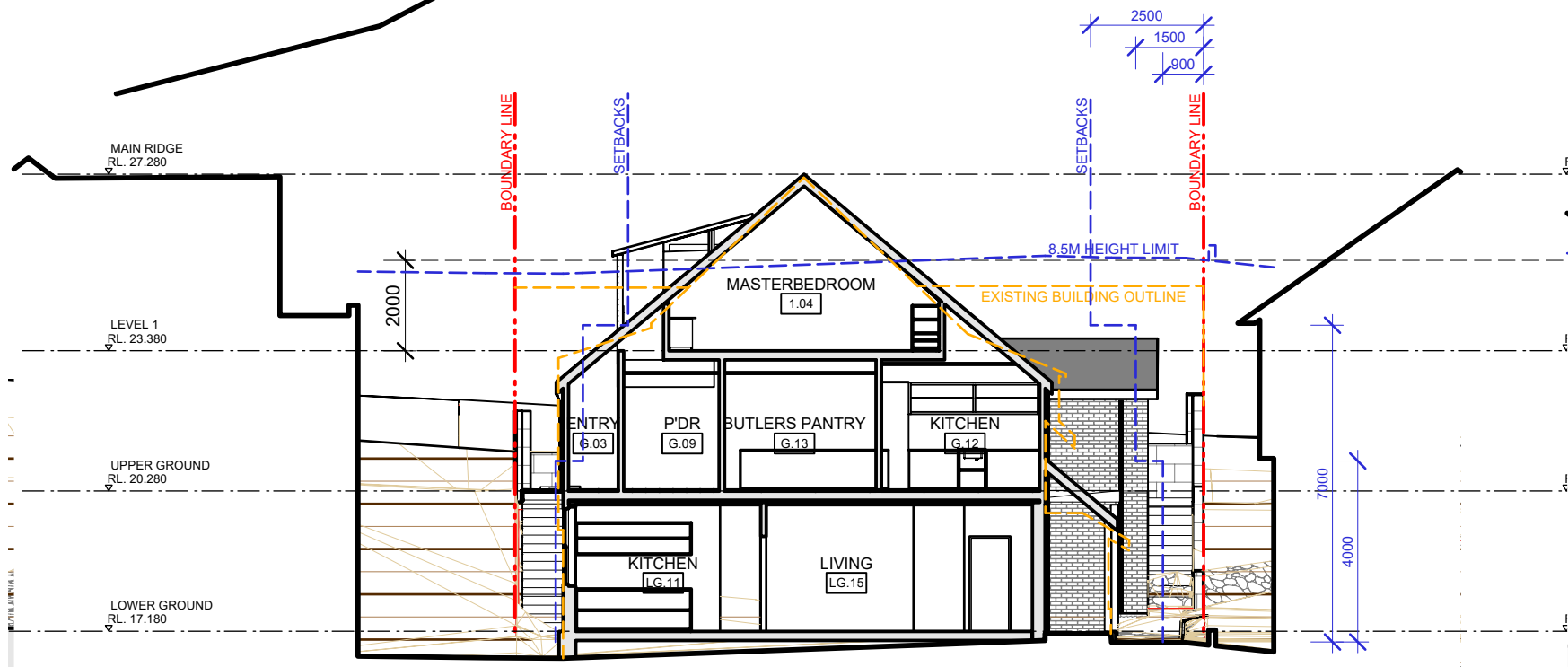
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**DEVELOPMENT
 APPLICATION**

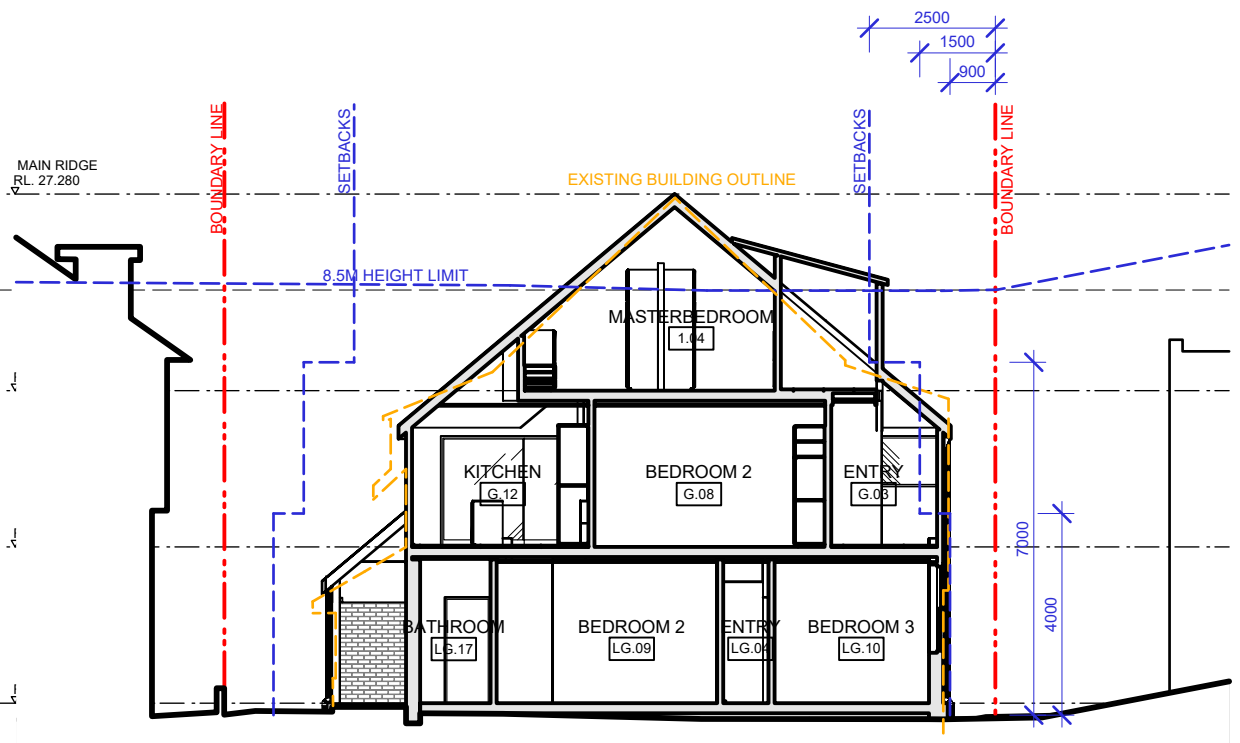
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01 PROPOSED SECTION 1
scale 1:150



02 PROPOSED SECTION 2
scale 1:150



03 PROPOSED SECTION 3
scale 1:150

Scale at A3 1:150
0m 0.5 1 2.5 5.0
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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Client
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G	14/8/23	DA ISSUE	FP

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**

Drawing Title
**PROPOSED SECTIONS
SHEET 1**

Drawn By
PH

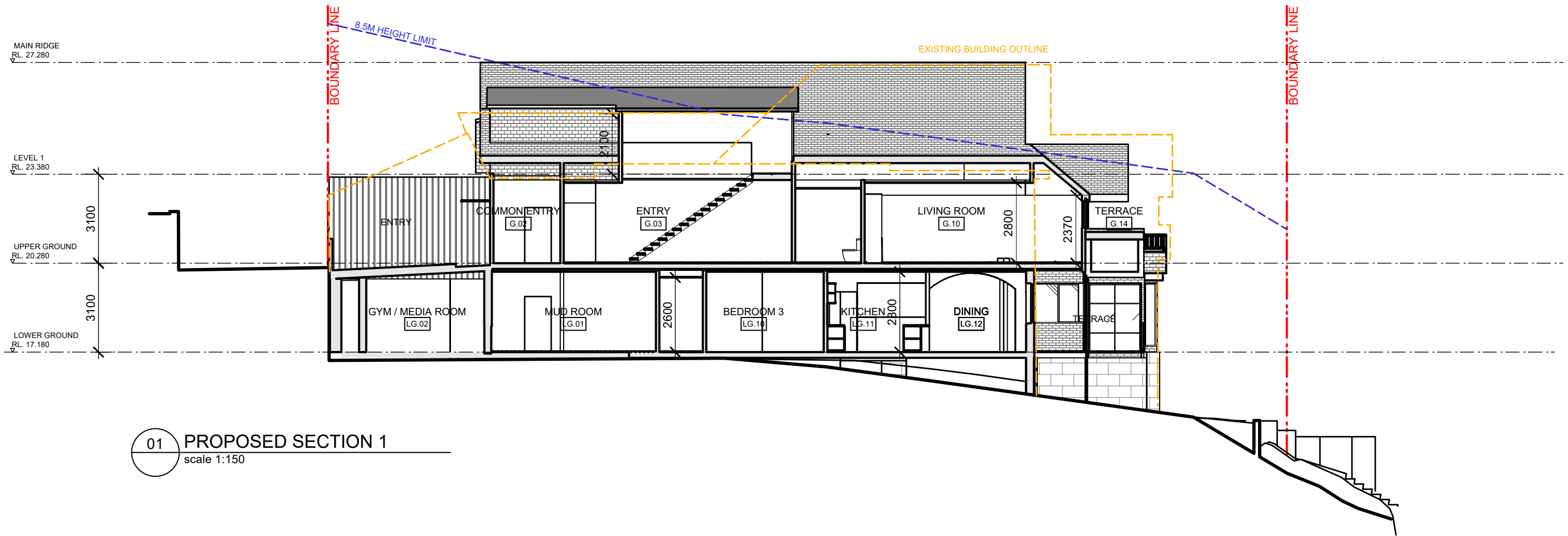
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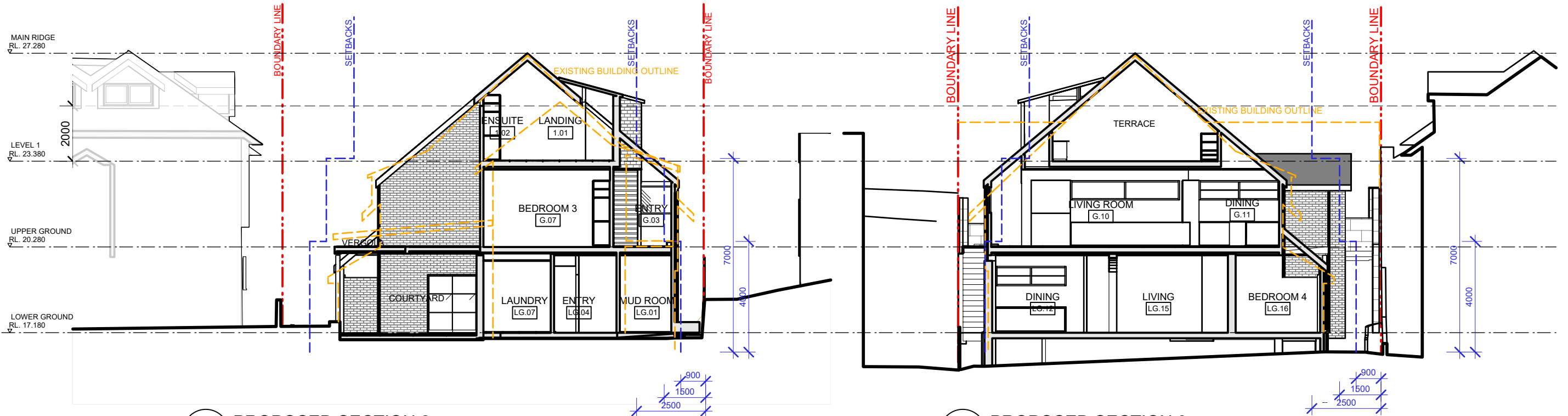
Project Number
22-0711

Drawing Number
DA-A-250

Rev
G



01 PROPOSED SECTION 1
scale 1:150



02 PROPOSED SECTION 2
scale 1:150

03 PROPOSED SECTION 3
scale 1:150

Scale at A3 1:150
0m 0.5 1 2.5 5.0
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Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**

Drawing Title
**PROPOSED SECTIONS
SHEET 2**

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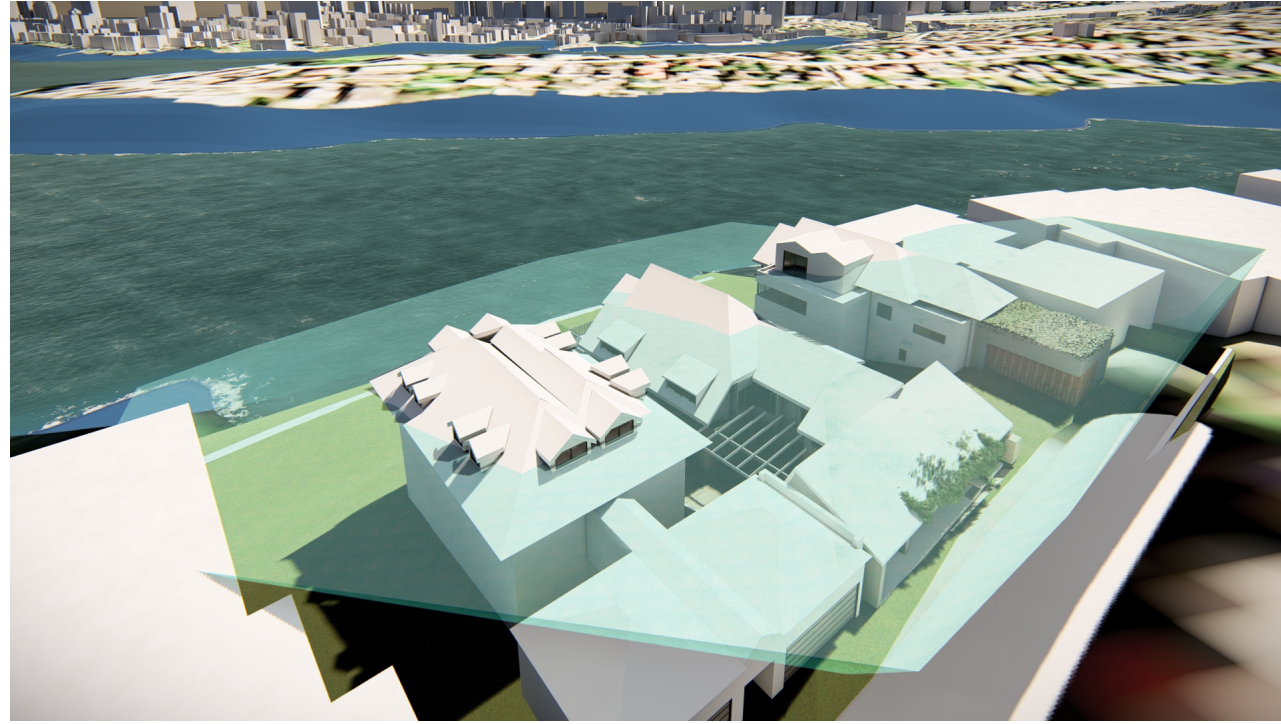
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Drawing Number
DA-A-251

Rev
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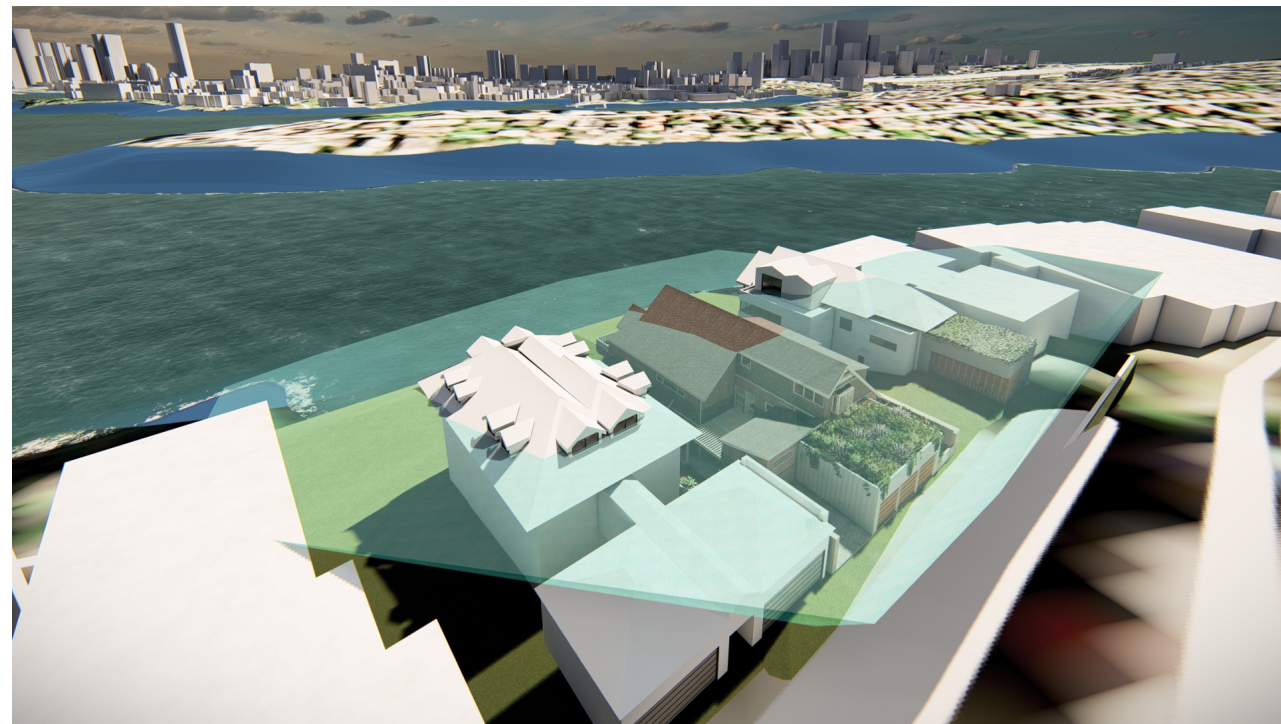
01 EXISTING VIEW
scale 1:-



02 EXISTING VIEW - HEIGHT CONTROL
scale 1:-



03 PROPOSED RENDER
scale 1:-



04 PROPOSED VIEW - HEIGHT CONTROL
scale 1:-

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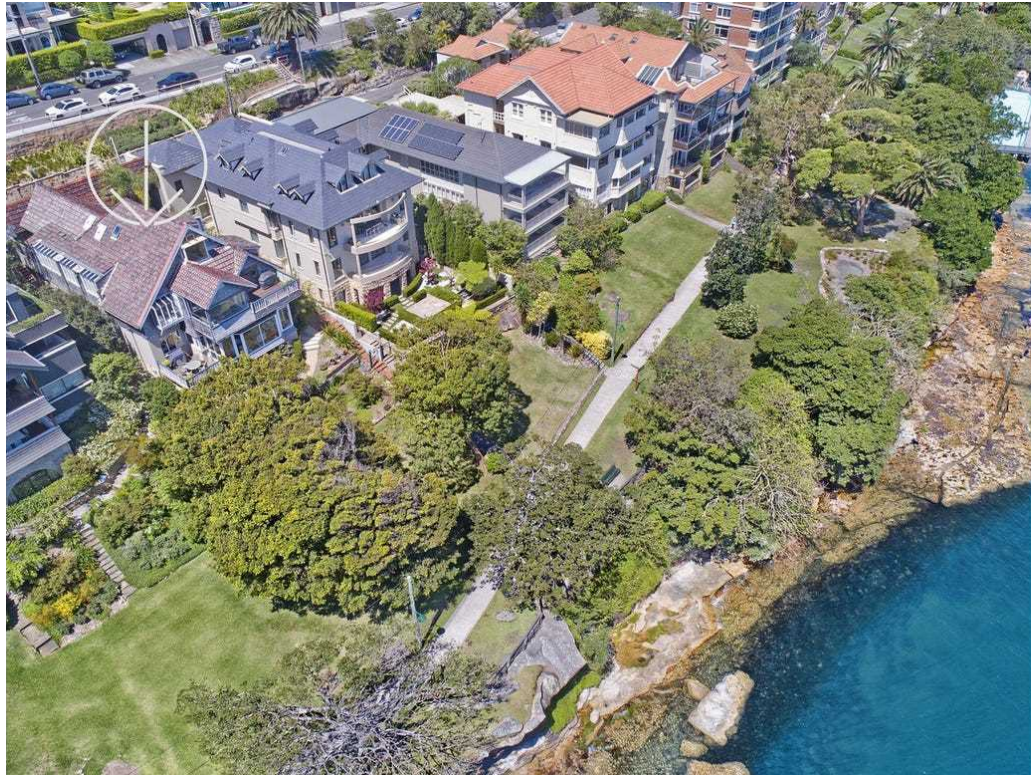
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Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
VIEW CORRIDOR

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Project Number: **22-0711** Drawing Number: **DA-A-400** Rev: **G**



01 CURRENT OVERVIEW PHOTO OF THE BUILDING - 2023
scale 1:NTS

EXISTING BUILDING

MIX OF DIFFERENT ARCHITECTURAL LANGUAGES, FEDERATION STYLE + RENOVATIONS = PATCHWORK

VOLUMES ARE NOT COHERENT, NO INTEGRATION WITH NEIGHBOURING PROPERTIES

IMPOSING FACADE ONTO CREMORNE RESERVE, LARGE OPENINGS, LACK OF PRIVACY AND UNITY BETWEEN THE LEVELS



02 CURRENT PHOTO FROM CREMORNE RESERVE - 2023
scale 1:NTS



03 PHOTOMONTAGE OF THE PROPOSED BUILDING - OVERVIEW
scale 1:NTS

PROPOSED BUILDING

SIMILAR BULK AND SCALE AS EXISTING HOUSE, STILL LOWER THAN NEIGHBOURS

STEEPLY PITCHED ROOF FORM AND EXTENSIVE USE OF TIMBER SHINGLES CONSERVED FROM ORIGINAL DESIGN

FEDERATION STYLE DETAILS REINSERTED TO ELEVATION FACING THE WATER

BUILDING SETBACK FROM CREMORNE RESERVE = SMALLER IMPACT

UPPER GROUND OPENINGS ONTO TERRACE NOT VISIBLE FROM THE RESERVE = PRIVACY

GREY TILES ON THE ROOF TO MATCH WITH NEIGHBOURING PROPERTIES

EXISTING LANDSCAPING CONSERVED, TYPICAL SANDSTONE KEPT AS LOWER GROUND UNDER

OVERALL FINISHES AND DETAILS HARMONISED - REFER TO DRAWING 403 - EXTERNAL FINISHES

--- EXISTING BUILDING SCALE COMPARISON



04 PHOTOMONTAGE - FROM CREMORNE RESERVE
scale 1:NTS

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Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point

Drawing Title
BULK AND SCALE
PHOTOMONTAGES

Drawn By
PH

Checked By
PH

No Sheets

Project Number
22-0711

Drawing Number
DA-A-401

Rev
D



01 VIEW FROM CREMORNE RESERVE
scale 1:-



02 VIEW FROM THE TOP OF MILSON ROAD
scale 1:-



03 VIEW FROM RESERVE WALKWAY
scale 1:-

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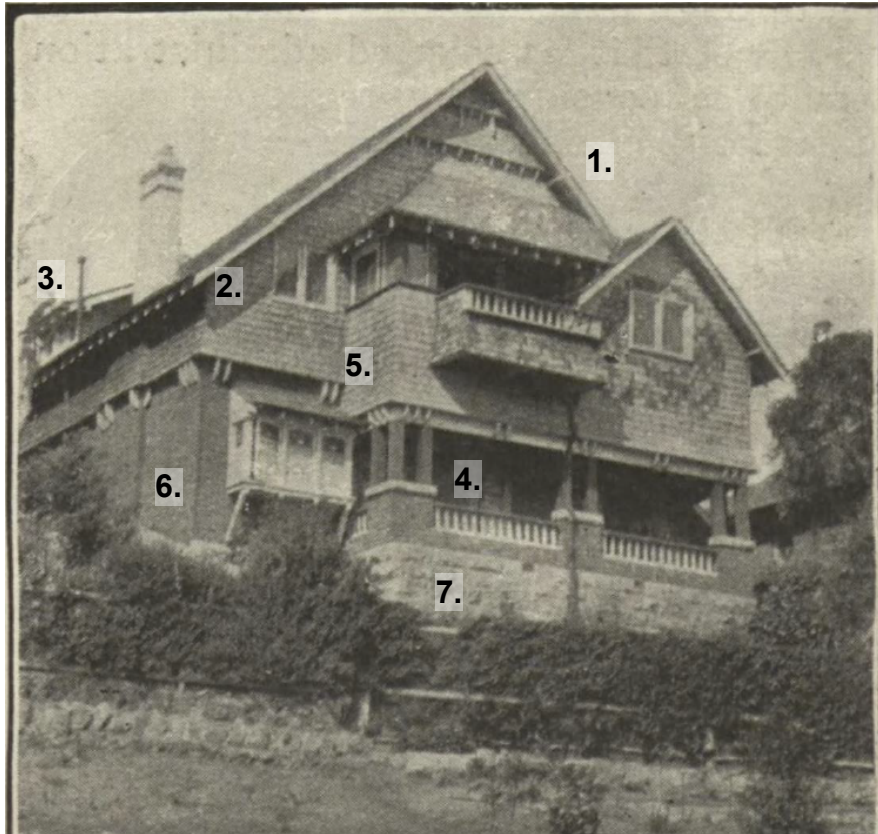
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED RENDERS

Drawn By
Checked By
Project Number
Drawing Number
Rev
FP
PH
22-0711
DA-A-402
E
No Sheets

01 EXISTING IMAGE OF THE BUILDING FROM 1919
scale 1:NTS



02 CURRENT PHOTO OF THE BUILDING - 2023
scale 1:NTS



03 PROPOSED RENDERS FROM CREMORNE RESERVE
scale 1:NTS



DEFINED ASYMETRY	1.	MESSY FACADE MIX OF ORIGINAL AND MODERN ELEMENTS	1.	ASYMETRY REINTRODUCED, WITH THREE HIGH PITCH GABLE ROOF DISTRIBUTED OVER THE LEVELS
HIGH PITCHED ROOF, DEFINED ROOF LINE WITH OVERHANG AND EXPOSED RAFTERS	2.	LOSS OF EXPOSED RAFTERS DETAILS MISSING CHARACTER	2.	DEFINED ROOF LINE WITH OVERHANG, BLACK FASCIA, AND EXPOSED RAFTERS
DORMER WINDOW ON WESTERN ELEVATION, PROPORTION OF OPENINGS	3.	NO COHERENCE BETWEEN MODERN WINDOWS, DORMER, BOW WINDOWS, CORNER OPENINGS	3.	RE-PROPORTIONED OPENINGS, HORIZONTAL WINDOWS, DORMER WINDOW ABOVE STAIRCASE REDUCING VIS A VIS WHILE ADDING LIGHT. BIGGER BALCONY OPENINGS SETBAC FROM FACADE - LESS VISIBLE FROM RESERVE
BALLUSTRADE AND COLUMN DETAILS	4.	SPECIFIC FEDERATION ARTS AND CRAFTS DETAILS MISSING	4.	BALLUSTRADE AND COLUMN DETAILS REINTRODUCED, BLACK CONTRASTING COLOUR
FACADE SHINGLES FROM UPPER GROUND LEVEL, BELL EDGE	5.	USED AND GREYED FACADE SHINGLES ALL AROUND, BELL EDGE	5.	BLACK SQUARED FACADE SHINGLES REINTRODUCED TO DEFINE FACADE ELEMENTS, BELL EDGE
RENDERED WALLS	6.	YELLOW RENDERED WALLS	6.	BRICK INTRODUCED TO CONTRAST WITH FACADE SHINGLES, AND TIMBER HORIZONTAL DETAIL ELEMENTS
FOUNDATION SANDSTONE	7.	FOUNDATION SANDSTONE	7.	FOUNDATION SANDSTONE, LANDSCAPING RETAINING WALLS

DEVELOPMENT APPLICATION
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Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Client
A & H SINGH



Sydney 61 2 9091 0190
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Canberra 61 2 6239 4044
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71 Leichhardt Street Kingston
ACT 2604
Registered Architect - 2384
Tim Zuber

Notes

Rev. No.	Date	Revision	Auth'd
A	30/5/23	DESIGN UPDATE	PJH
B	18/7/23	WINDOWS SCHEDULE	FP
C	7/8/23	DA APPLICATION	FP
D	14/8/23	DA ISSUE	FP

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
THE BUILDING THROUGH THE YEARS

Drawn By
PH
Checked By
PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-403
Rev
D



01 CREMORNE RESERVE FRONT ELEVATION
scale 1:-

FEDERATION 'ARTS AND CRAFTS' FINISHES REINTRODUCED WITH A 'MODERN TOUCH'

ROOFS : SLATE GREY TO MATCH WITH NEIGHBOURING PROPERTIES, TIMBER GABLES WITH EXPOSED RAFTERS DETAILS.
WALLS : FACE RED BRICK AND BLACK SQUARED SHINGLES.
FOUNDATIONS AND RETAINING WALLS : SANSTONE.

EF.TM.01

EF.SH.01

EF.R.01

EF.TM.01

EF.CB.01

EF.SH.01

EF.TM.01

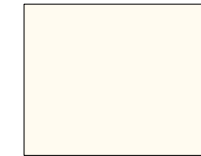
EF.CB.01

EF.SS.01



EF.R.01

SLATE ROOF



EF.CB.01

OFF WHITE FASCIA,
GUTTERS, BALLUSTRADES,
WINDOWS



EF.TM.01

TIMBER LOOK FACADE ELEMENT
WITH BLACK DETAILS



EF.SH.01

FACADE SHINGLES



EF.BR.01

RED BRICK TO WALLS



EF.SS.01

SANDSTONE FOUNDATIONS

02 FINISHES LEGEND
scale 1:-

DEVELOPMENT APPLICATION

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Quattro ARCHITECTURE

www.qarch.com.au
Quattro Architecture
ACN 150 198 842

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Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
EXTERIOR FINISHES

Drawn By
FP

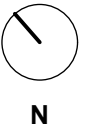
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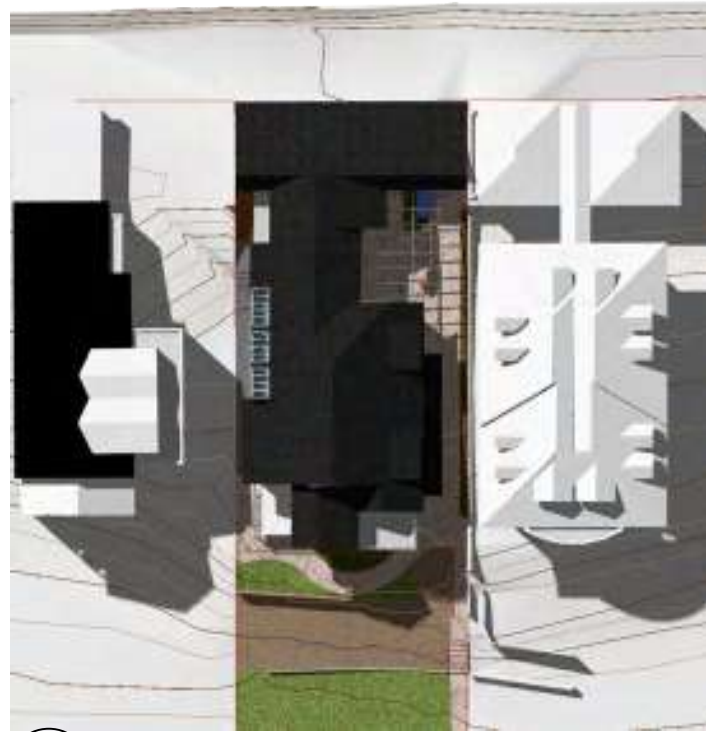
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Drawing Number
DA-A-404

Rev
D



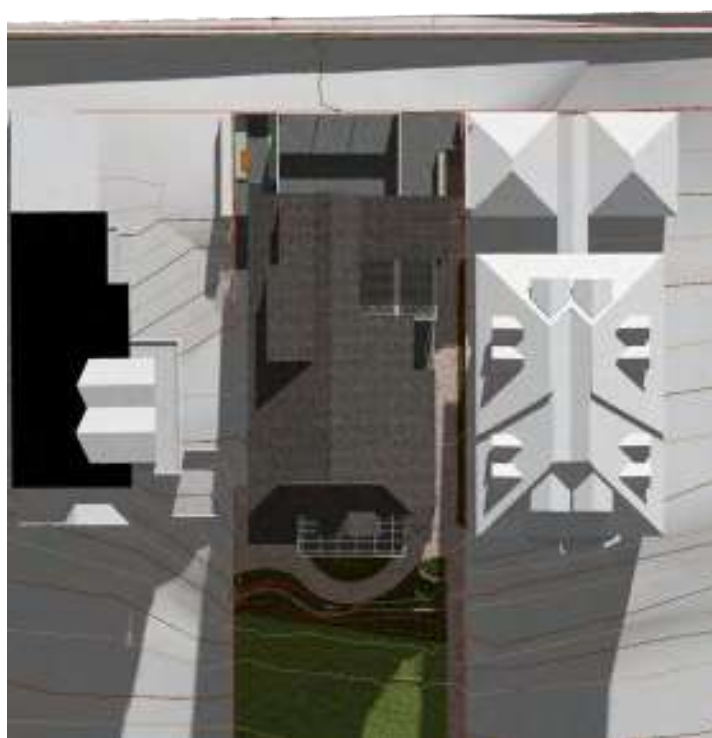
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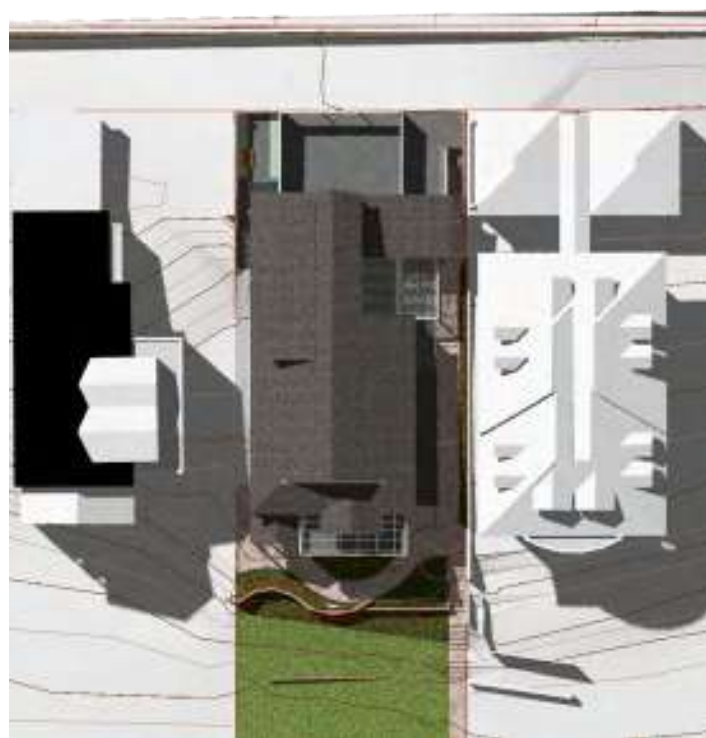
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03 EXISTING - MARCH 21ST 3PM
scale 1:500



04 PROPOSED - MARCH 21ST 9AM
scale 1:500



05 PROPOSED - MARCH 21ST 12PM
scale 1:500



06 PROPOSED - MARCH 21ST 3PM
scale 1:500

Scale at A3 1:500
0m 5m 10m 20m
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F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP

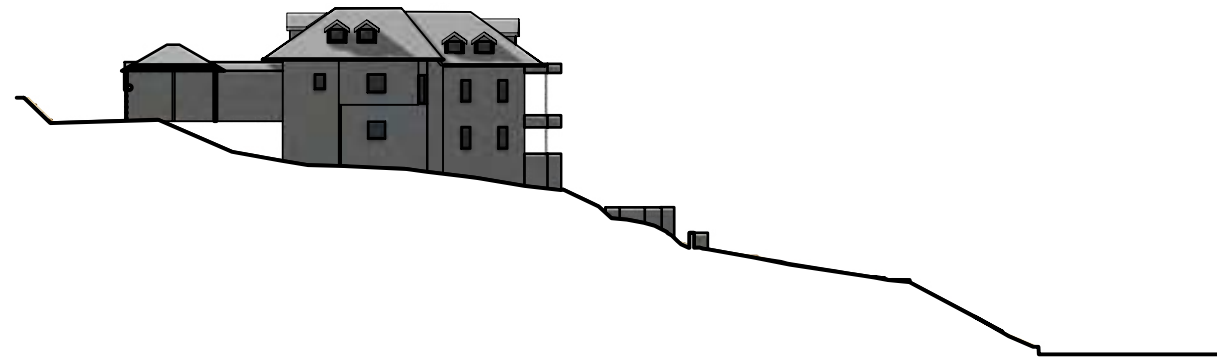
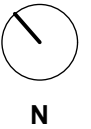
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**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**SHADOW DIAGRAMS
21ST MARCH - PLANS**

**DEVELOPMENT
APPLICATION**

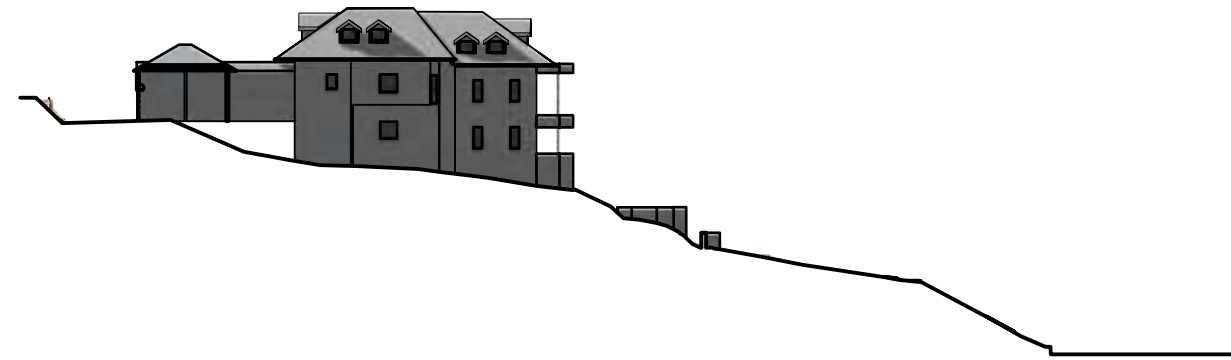
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Checked By: PH
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Project Number: 22-0711
Drawing Number: DA-A-070
Rev: G

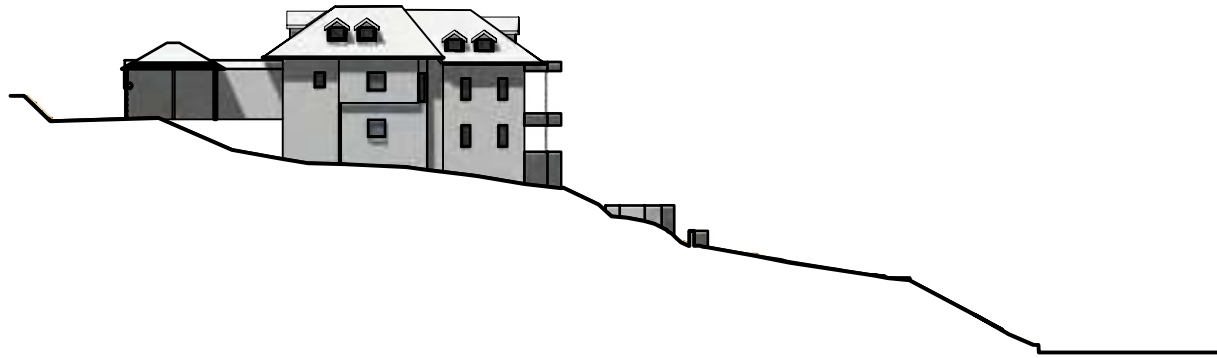
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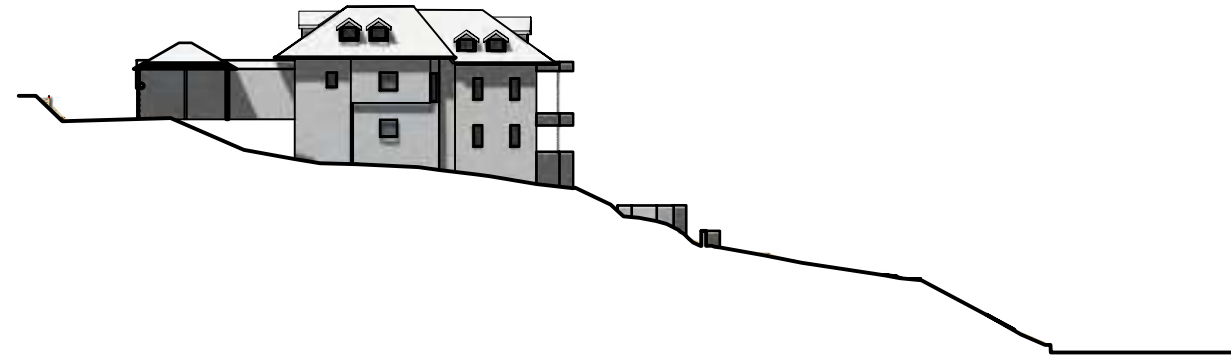
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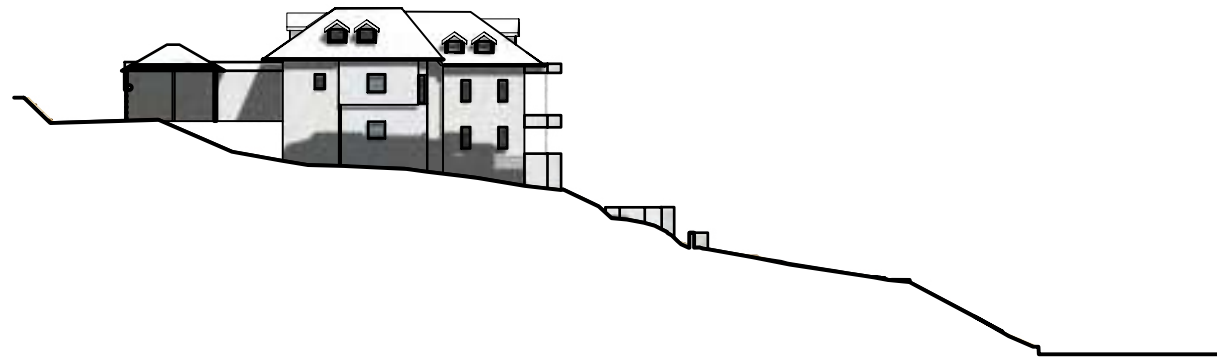
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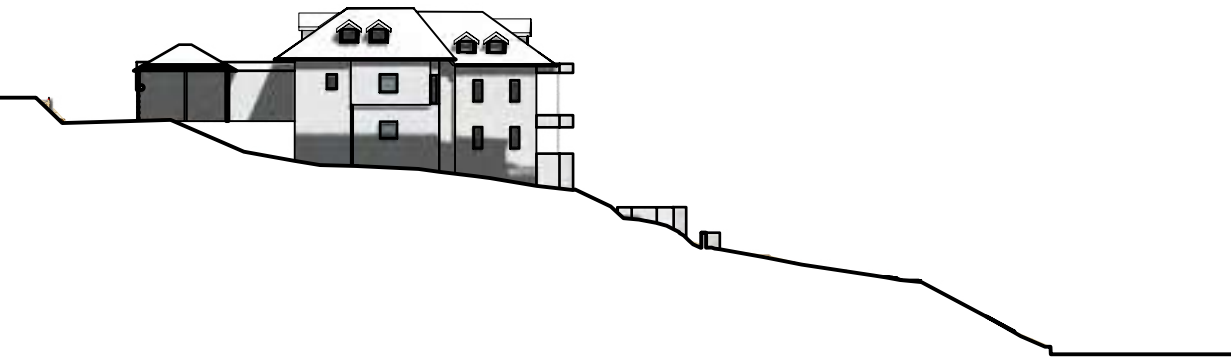
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05 PROPOSED - MARCH 21ST 12PM
scale 1:500



03 EXISTING - MARCH 21ST 3PM
scale 1:500



06 PROPOSED - MARCH 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 2m 4m 6m 8m

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G	14/8/23	DA ISSUE	FP

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST MARCH - ELEVATIONS

Drawn By
FP

Checked By
PH

No Sheets

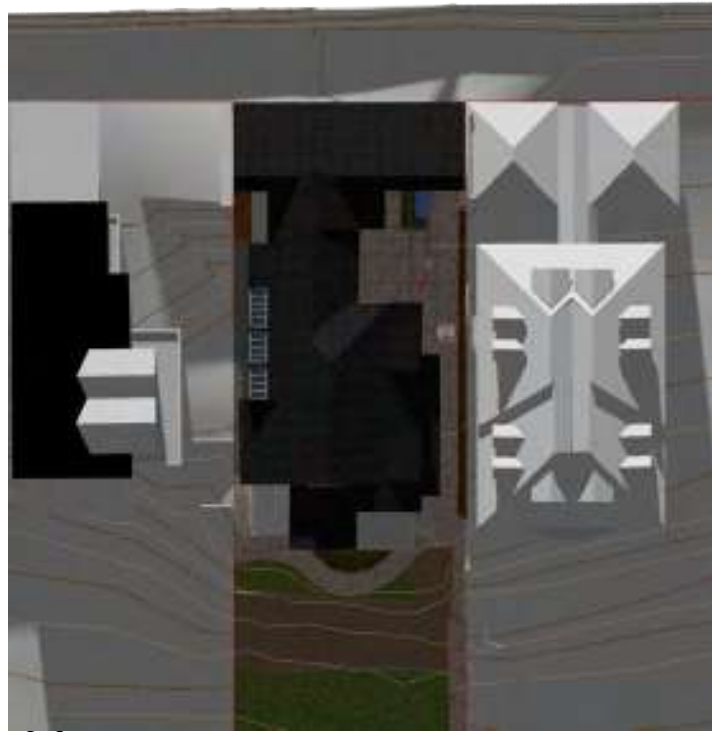
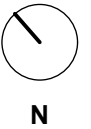
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22-0711

Drawing Number
DA-A-071

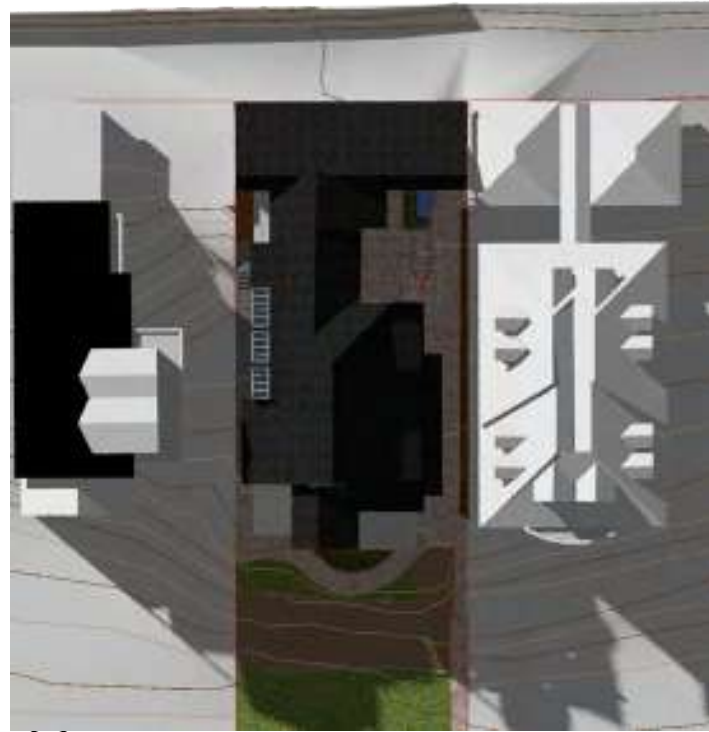
Rev
G

DEVELOPMENT APPLICATION

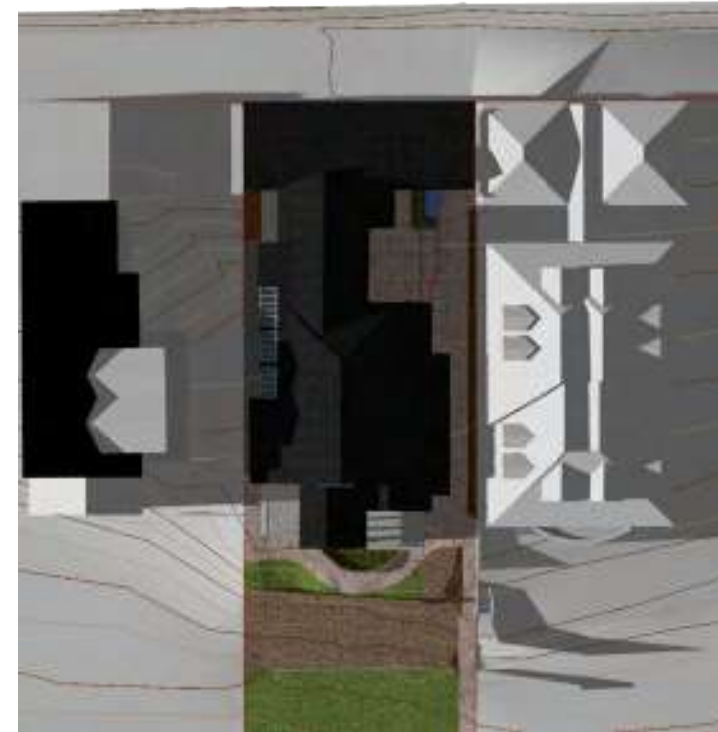
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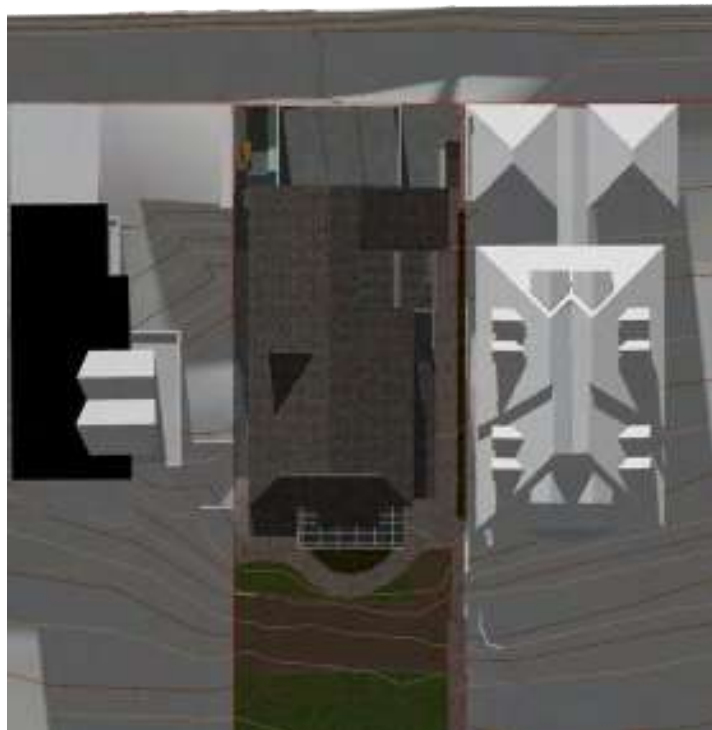
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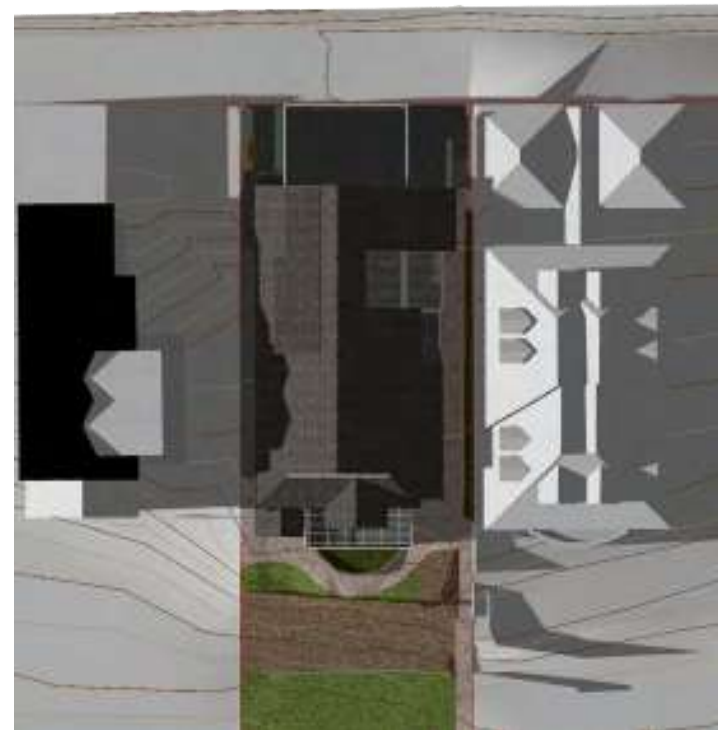
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04 PROPOSED - JUNE 21ST 9AM
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05 PROPOSED - JUNE 21ST 12PM
scale 1:500



06 PROPOSED - JUNE 21ST 3PM
scale 1:500

Scale at A3 1:500
0m 5m 10m 20m
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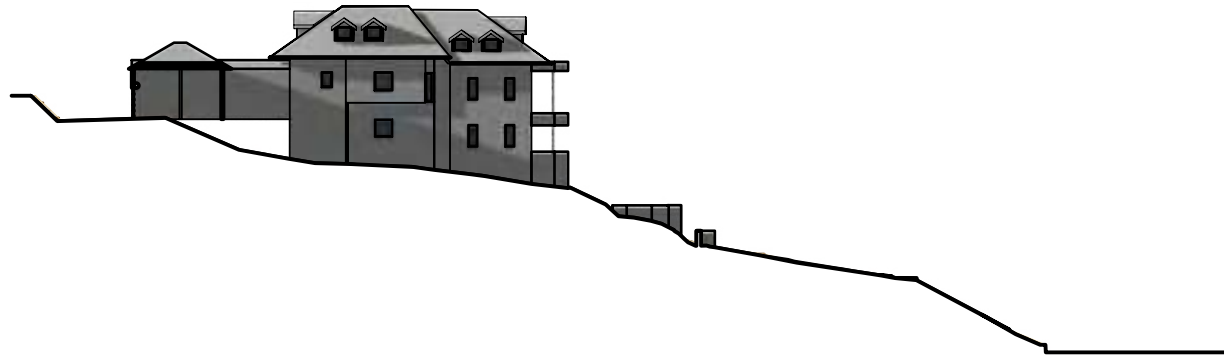
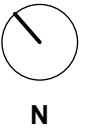
Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**SHADOW DIAGRAMS
21ST JUNE - PLANS**

DEVELOPMENT APPLICATION

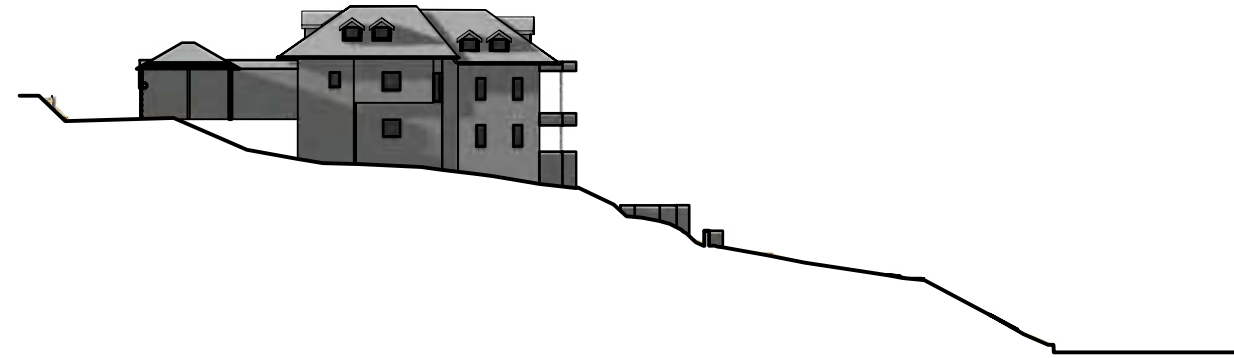
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Project Number: **22-0711** Drawing Number: **DA-A-072** Rev: **G**

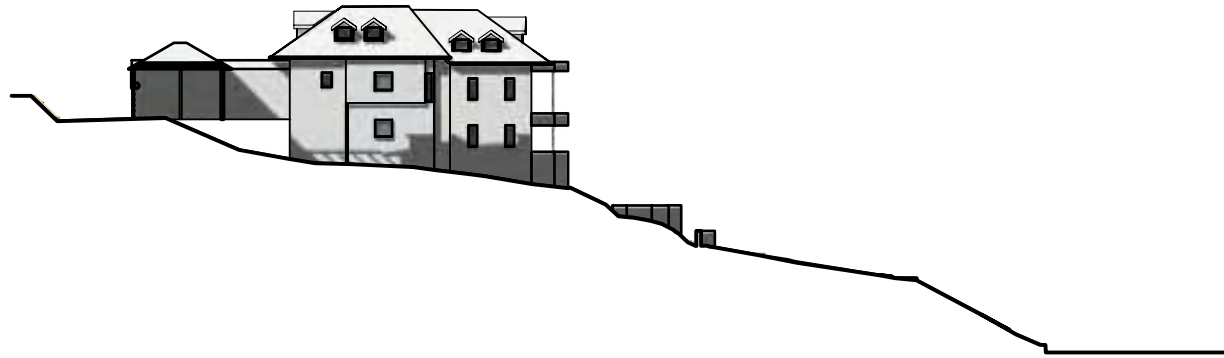
40 MILSONS ROAD - CREMORNE POINT



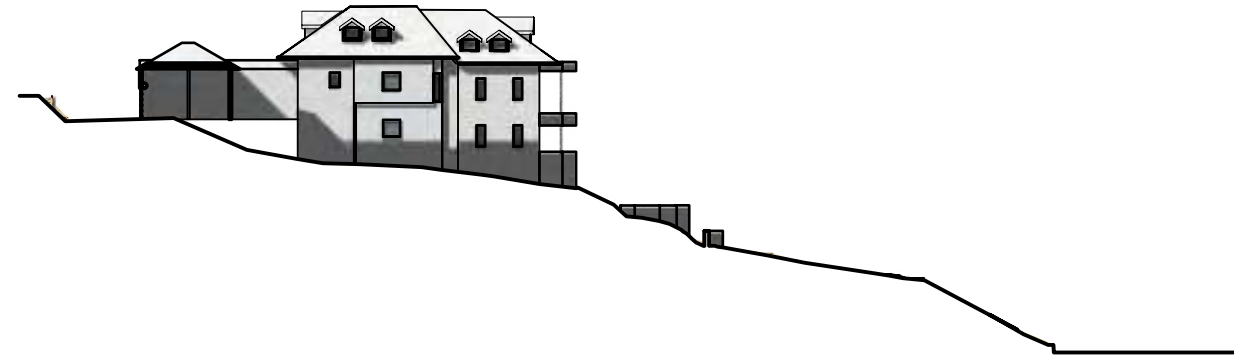
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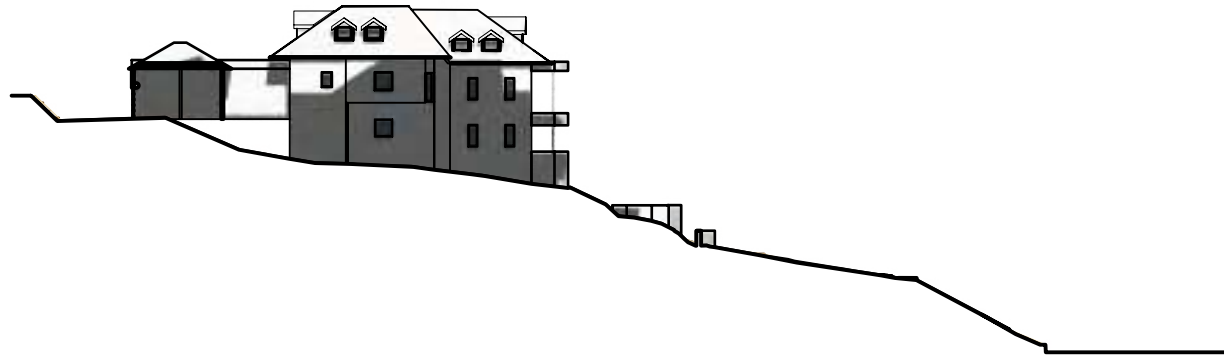
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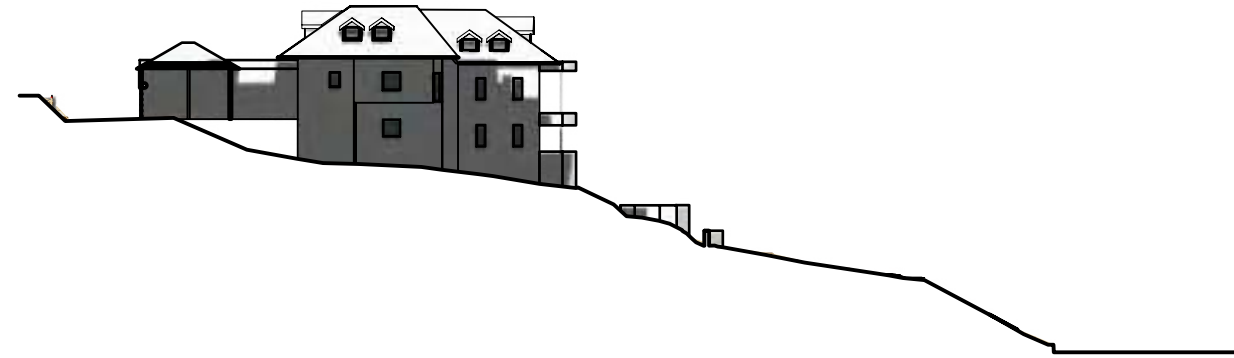
02 EXISTING - JUNE 21ST 12PM
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05 PROPOSED - JUNE 21ST 12PM
scale 1:500



03 EXISTING - JUNE 21ST 3PM
scale 1:500



06 PROPOSED - JUNE 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 2m 4m

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G	14/8/23	DA ISSUE	FP

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST JUNE - ELEVATIONS

Drawn By
FP

Checked By
PH

No Sheets

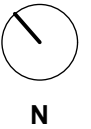
Project Number
22-0711

Drawing Number
DA-A-073

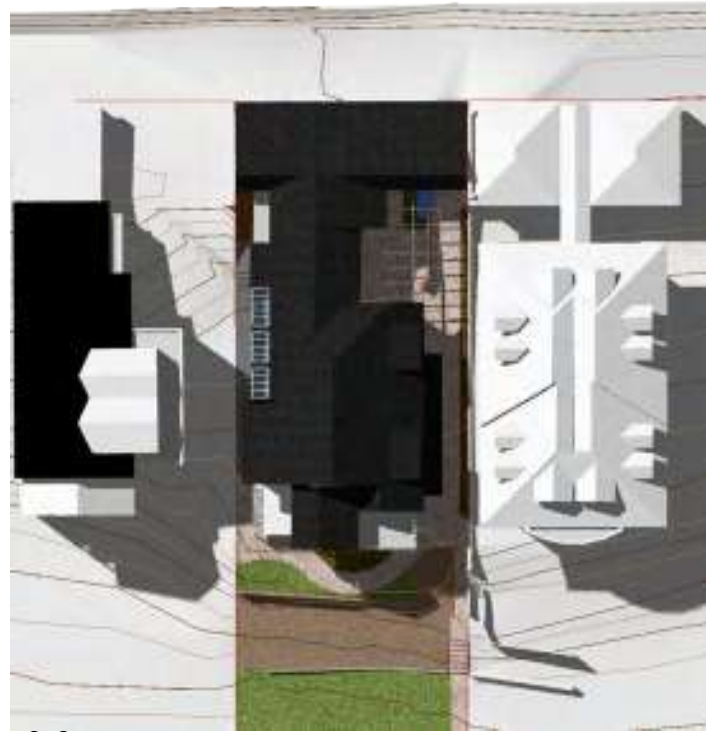
Rev
G

DEVELOPMENT APPLICATION

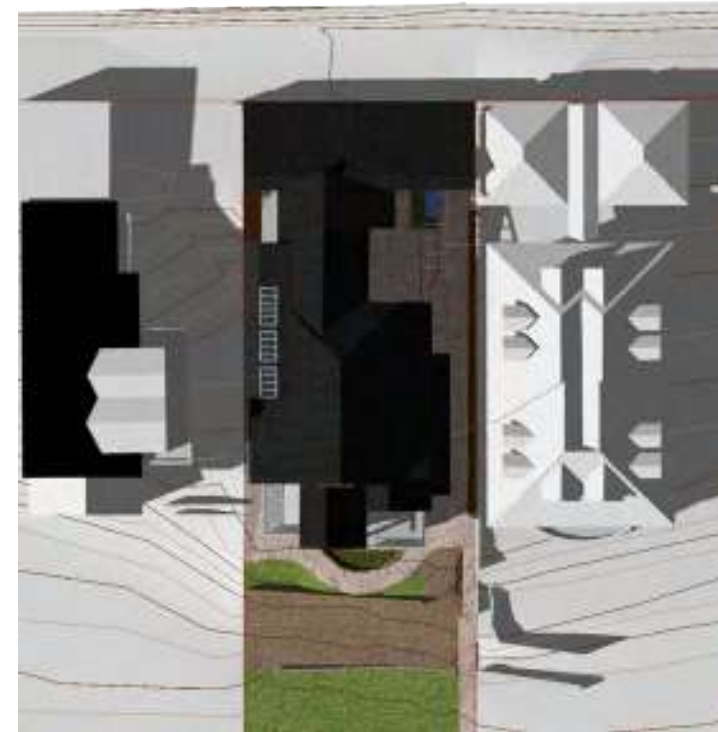
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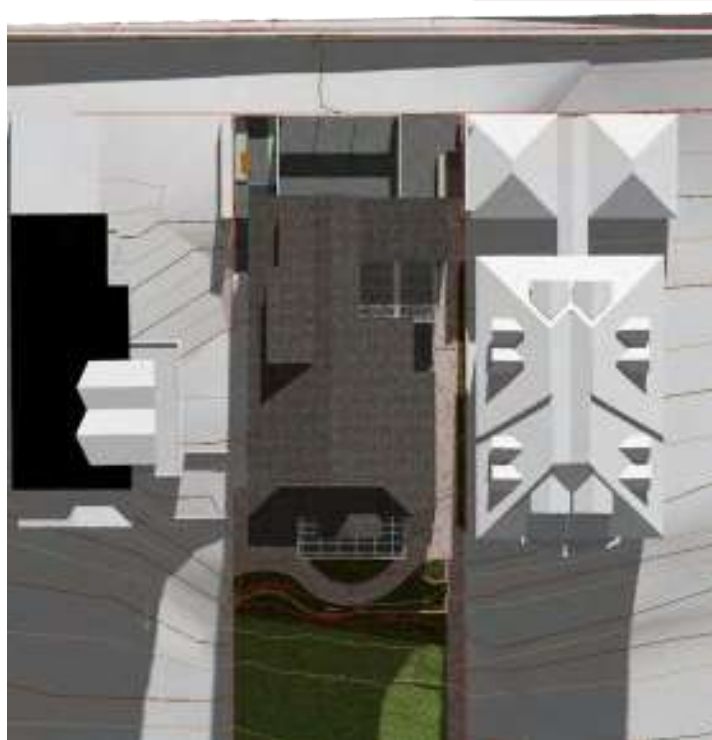
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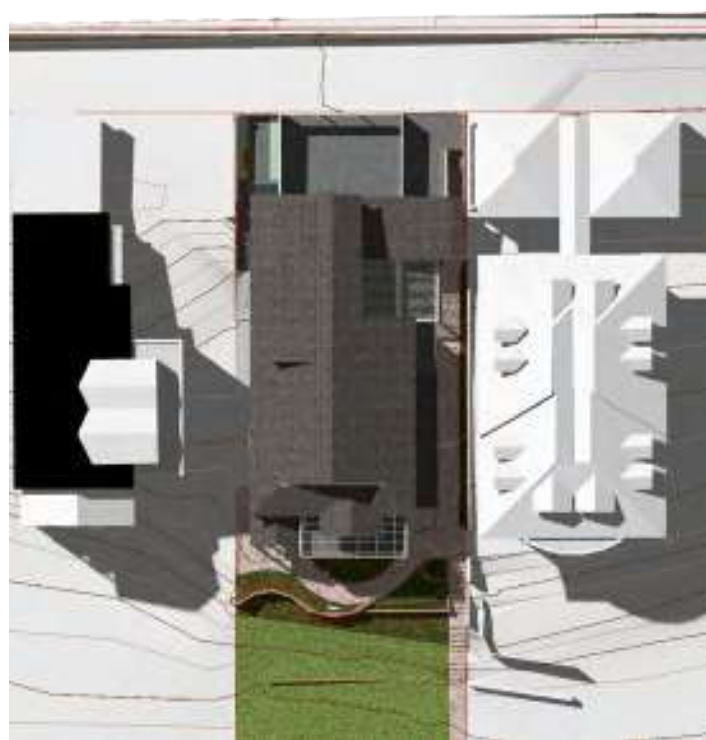
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03 EXISTING - SEPTEMBER 21ST 3PM
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04 PROPOSED - SEPTEMBER 21ST 9AM
scale 1:500



05 PROPOSED - SEPTEMBER 21ST 12PM
scale 1:500



06 PROPOSED - SEPTEMBER 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 2.5m 5m
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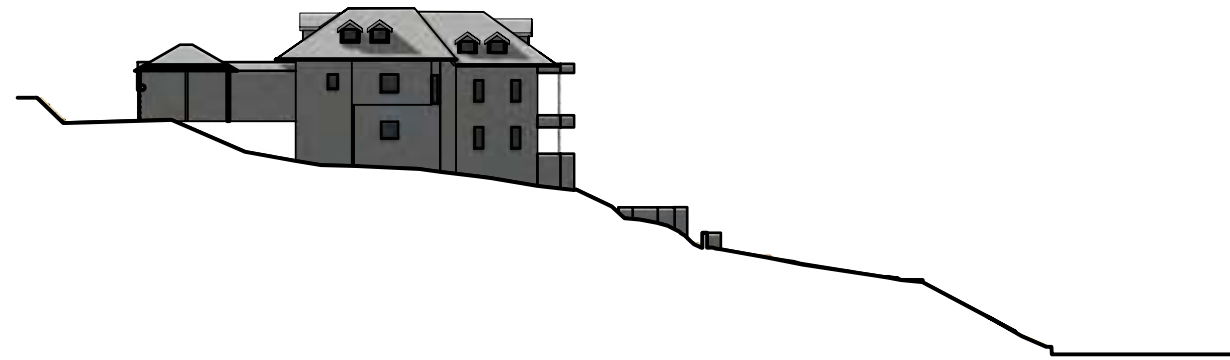
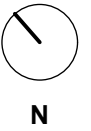
Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST SEPTEMBER - PLANS

DEVELOPMENT APPLICATION

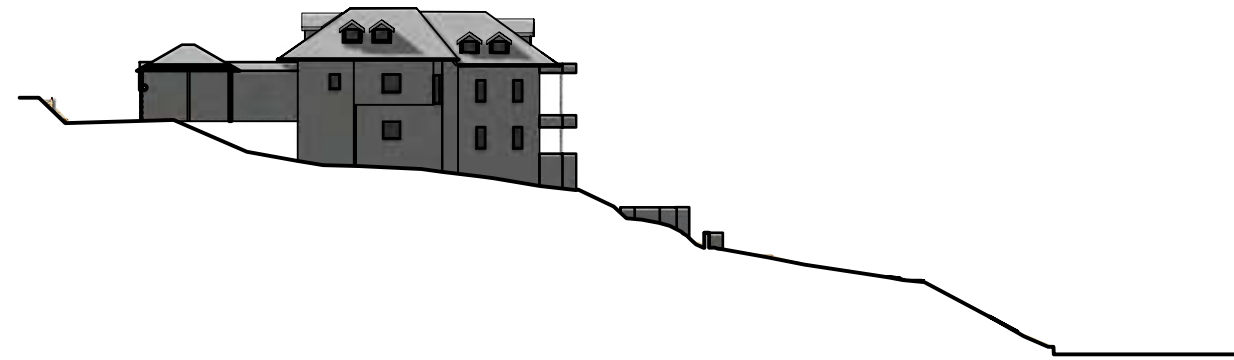
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Checked By: PH
Project Number: 22-0711
Drawing Number: DA-A-074
Rev: G

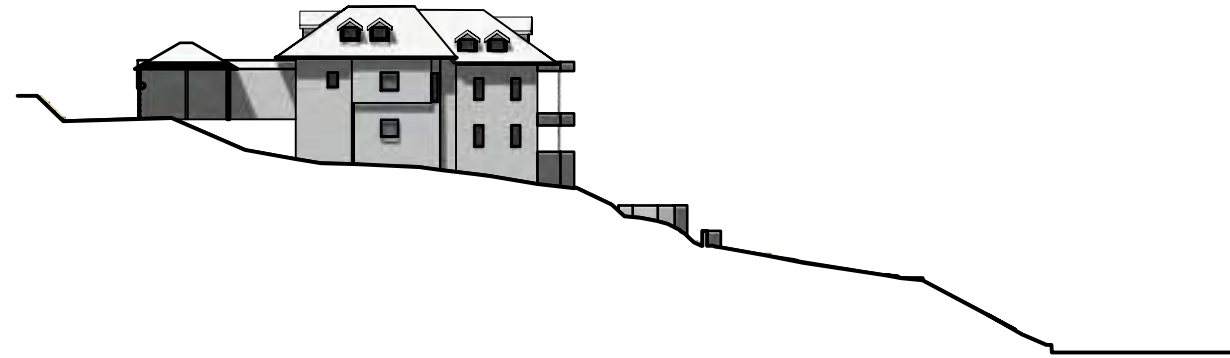
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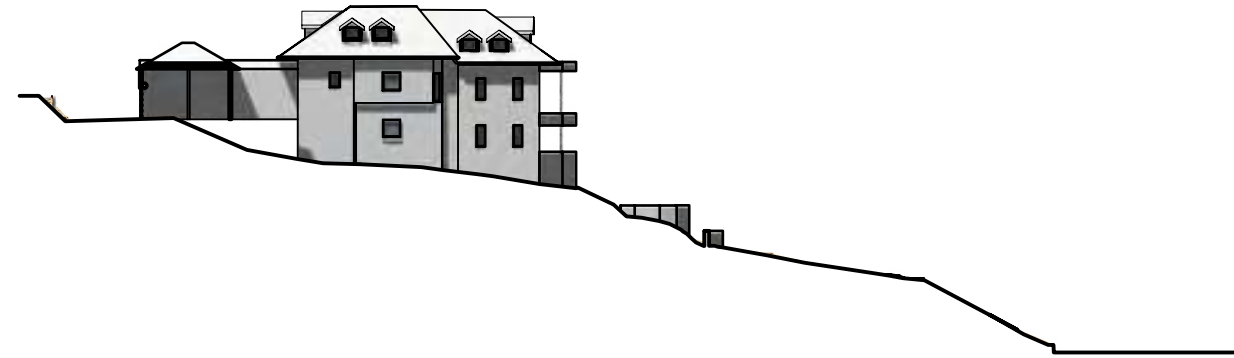
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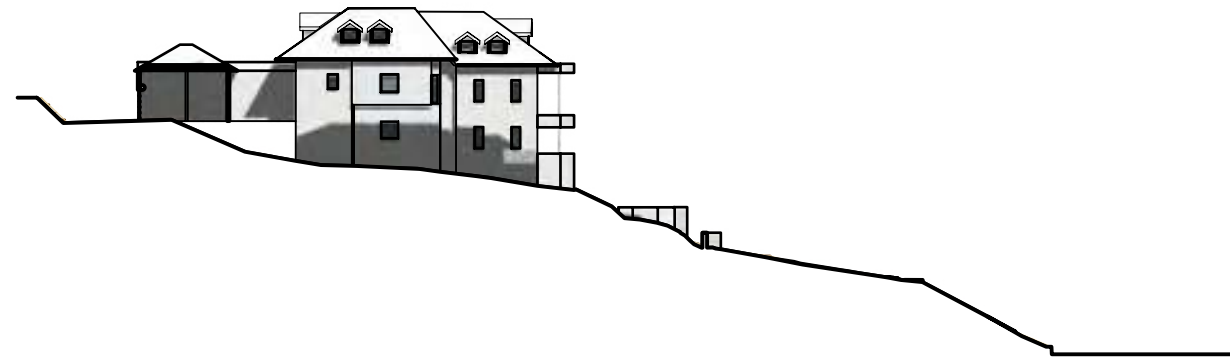
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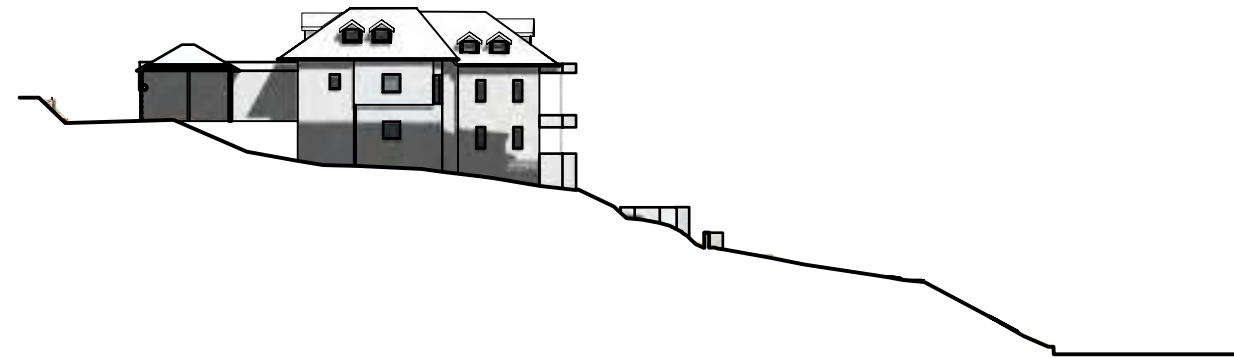
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05 PROPOSED - SEPTEMBER 21ST 12PM
scale 1:500



03 EXISTING - SEPTEMBER 21ST 3PM
scale 1:500



06 PROPOSED - SEPTEMBER 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 2m 4m 6m 8m

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Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**SHADOW DIAGRAMS
21ST SEPTEMBER - ELEVATIONS**

Drawn By
FP

Checked By
PH

No Sheets

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22-0711

Drawing Number
DA-A-075

Rev
G

**DEVELOPMENT
APPLICATION**

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