



DIAGRAM LEGEND:

NOTE:
THE DIAGRAMS ABOVE REPRESENT A 8.5m HEIGHT PLANE REFLECTING THE R2 ZONE SURVEYED GROUND IN ACCORDANCE WITH BETTAR V COUNCIL.

NO.	REVISION	BY	CHK	DATE
1	PRE-LODGE			20.01.2022
2	COORDINATION ISSUE			08.02.2021
3	DA ISSUE	RPW	JAC	08.06.2022
4	COUNCIL RFI COORDINATION ISSUE	ALDR	RPW	31.07.2023
5	COUNCIL RFI ISSUE	ALDR	RPW	15.08.2023
6	ISSUE FOR PLANNING REPORT	AL	RPW	31.01.2024
7	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	BY	CHK	DATE

KEY PLAN

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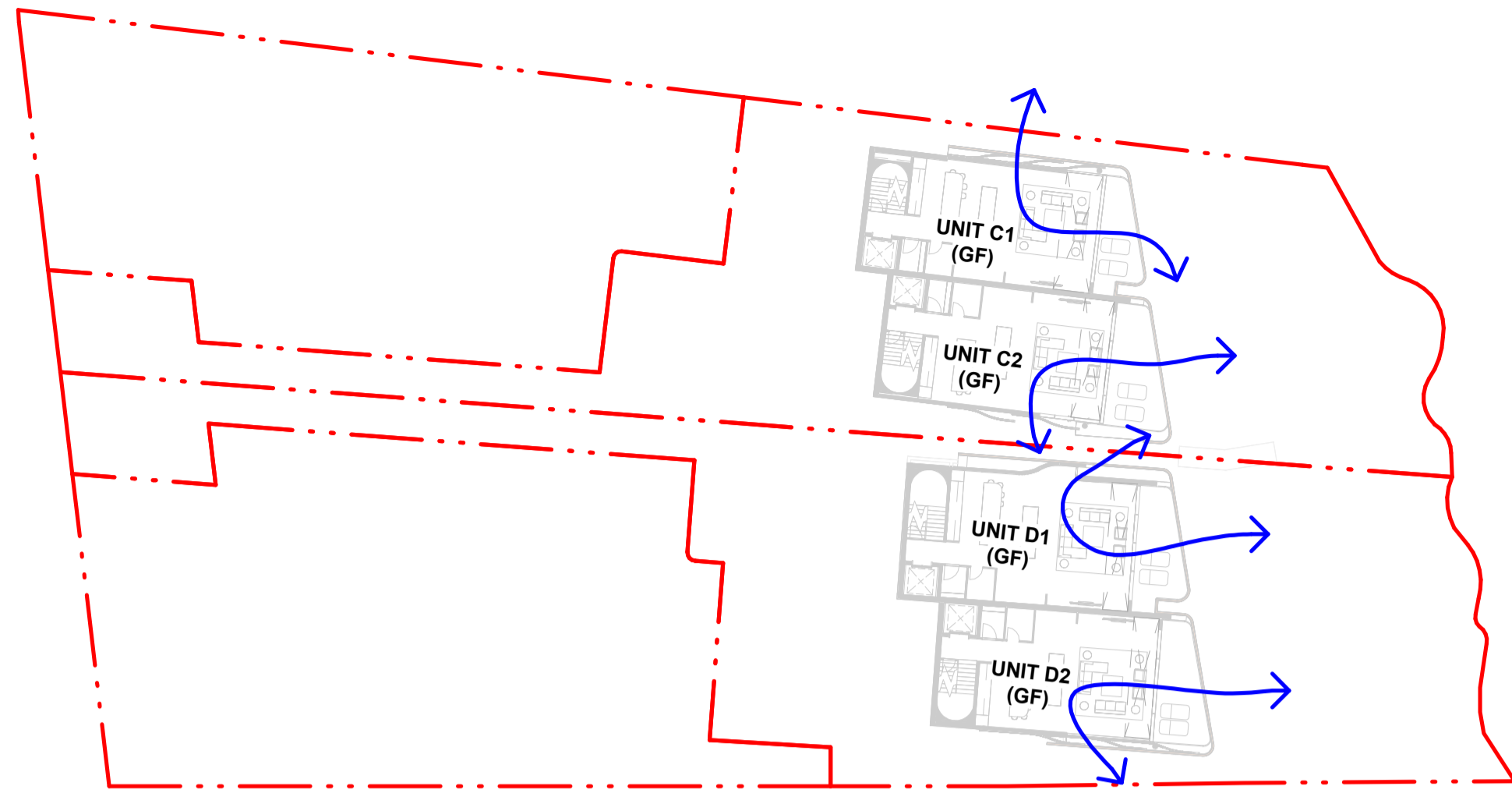
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SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
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PROJECT:
190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW 2089
STATUS: DEVELOPMENT APPLICATION - RFI 01

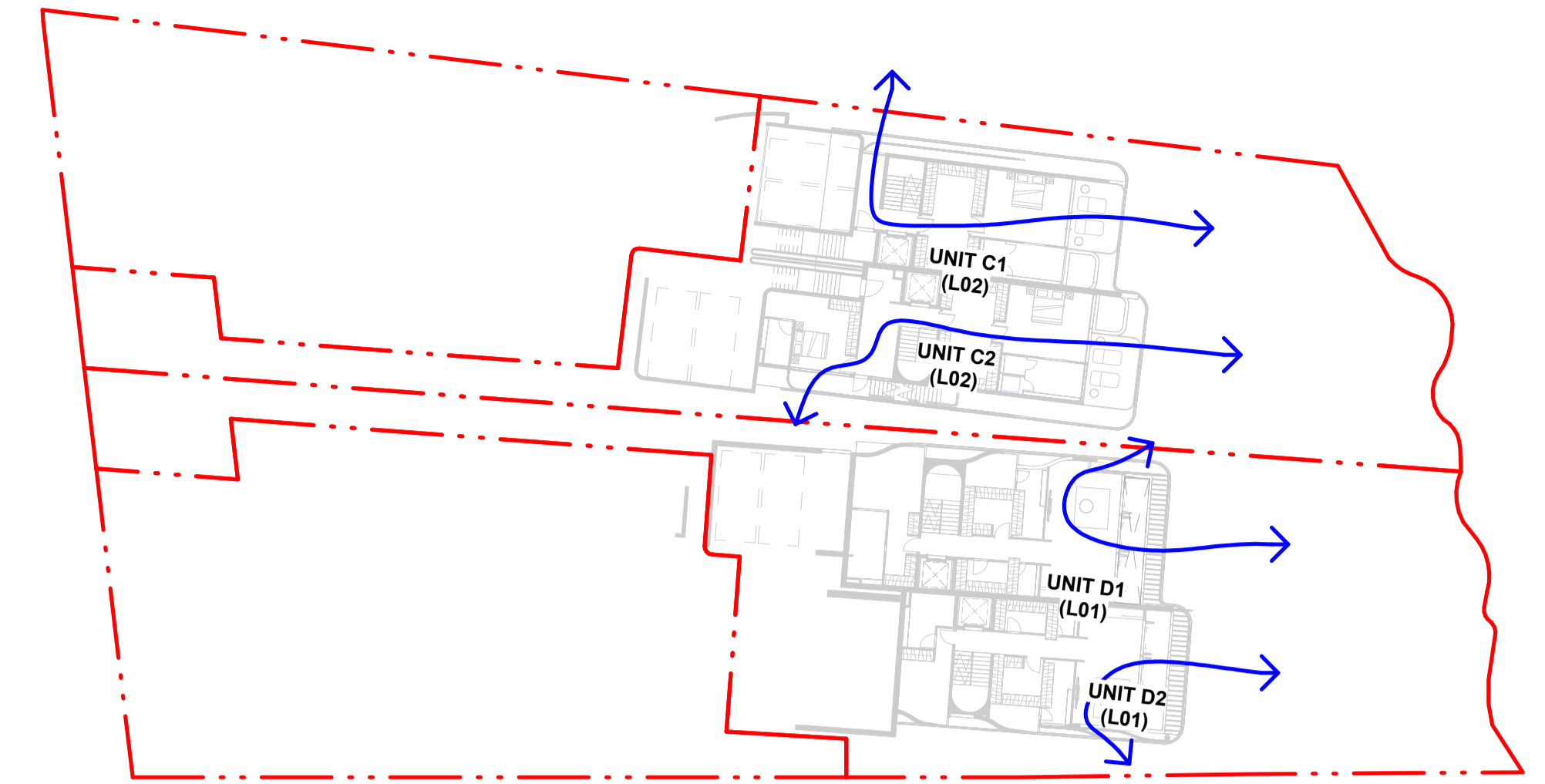
DWG TITLE	DWG NO.	REVISION
HEIGHT PLANE PLAN (BETTAR)- R2 ZONE	A416	7
SCALE		DATE
		02.02.2024



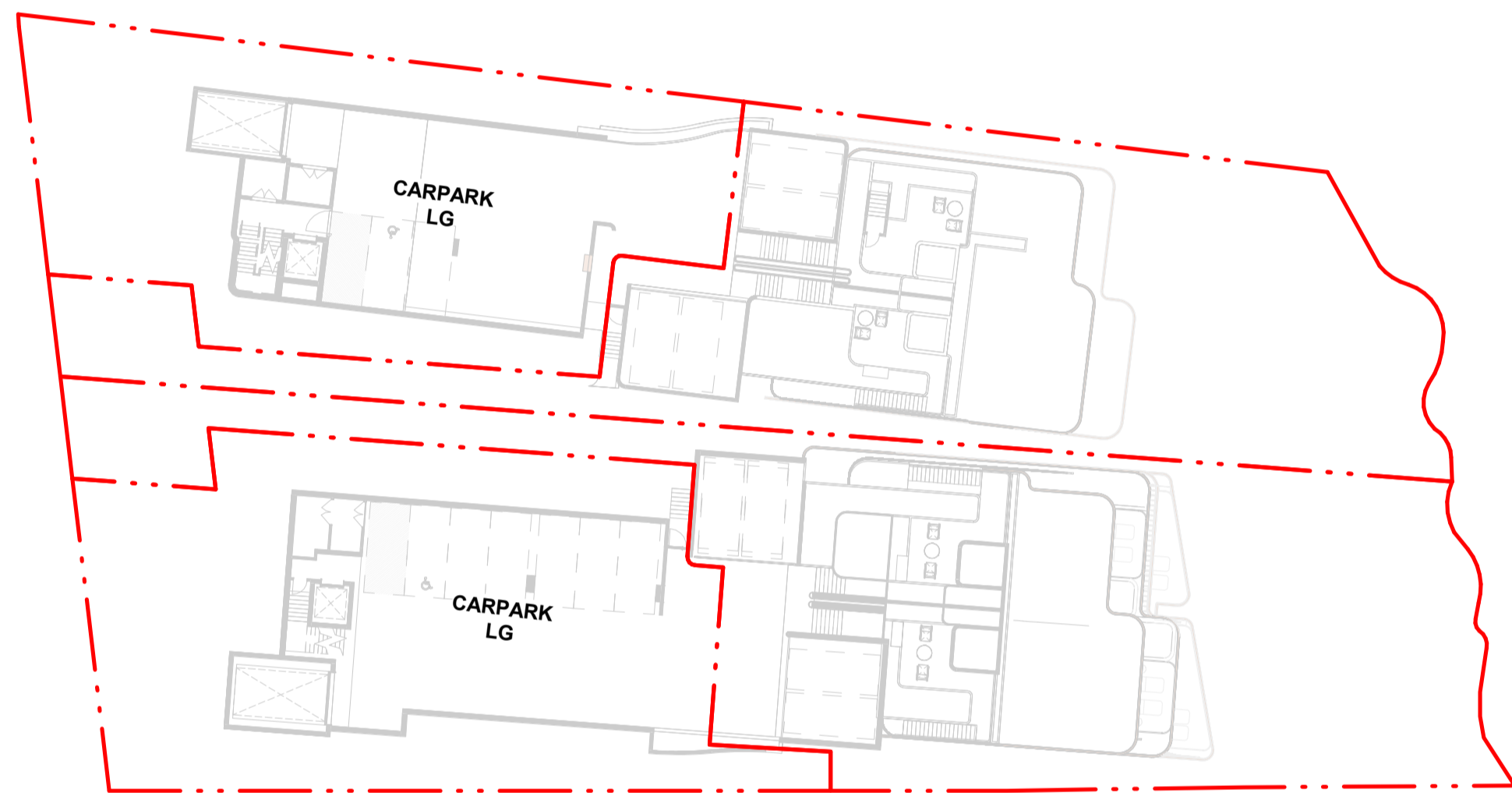
LEVEL R2-GROUND - CROSS VENTILATION (4/4)



LEVEL R2-L01 - CROSS VENTILATION (4/4)



LEVEL R2-L02 - CROSS VENTILATION (4/4)



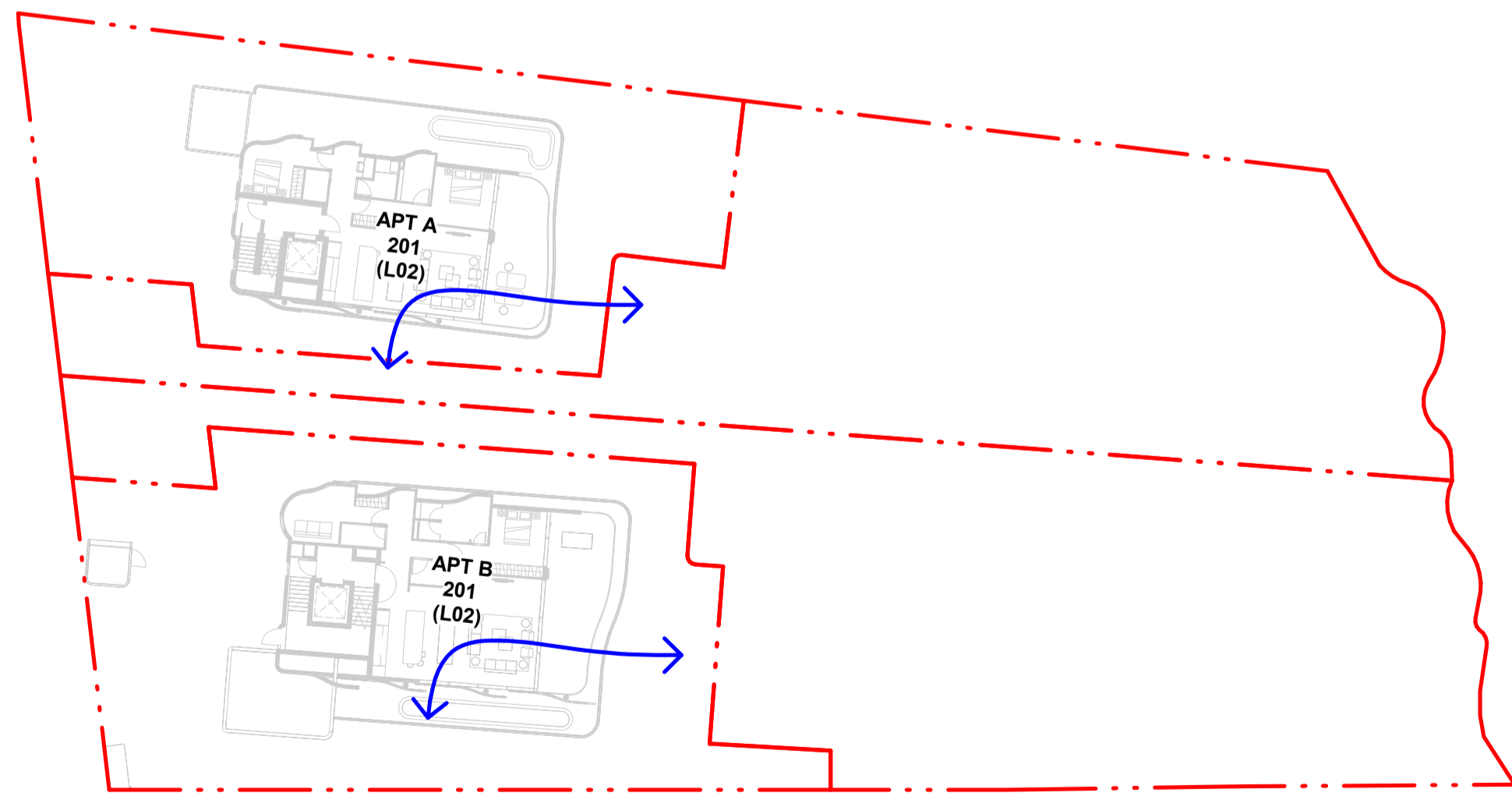
LEVEL R2-ROOF / R4 LG - CROSS VENTILATION



LEVEL R4 GROUND - CROSS VENTILATION (2/2)



LEVEL R4-L01 - CROSS VENTILATION (2/2)



LEVEL R4-L02 - CROSS VENTILATION (2/2)



LEVEL R4-L03 - CROSS VENTILATION

CROSS VENTILATION = 10 / 10
= 100%

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	PRE-LODGE	AL	RPW	20.01.2022	
2	AMENDED COORDINATION ISSUE	AL	RPW	19.05.2022	
3	DA ISSUE	RPW	JAC	08.06.2022	
4	COUNCIL RFI COORDINATION ISSUE	AL	RPW	31.07.2023	
5	COUNCIL RFI ISSUE	AL	RPW	15.08.2023	
6	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN
REVISION ON HOLD

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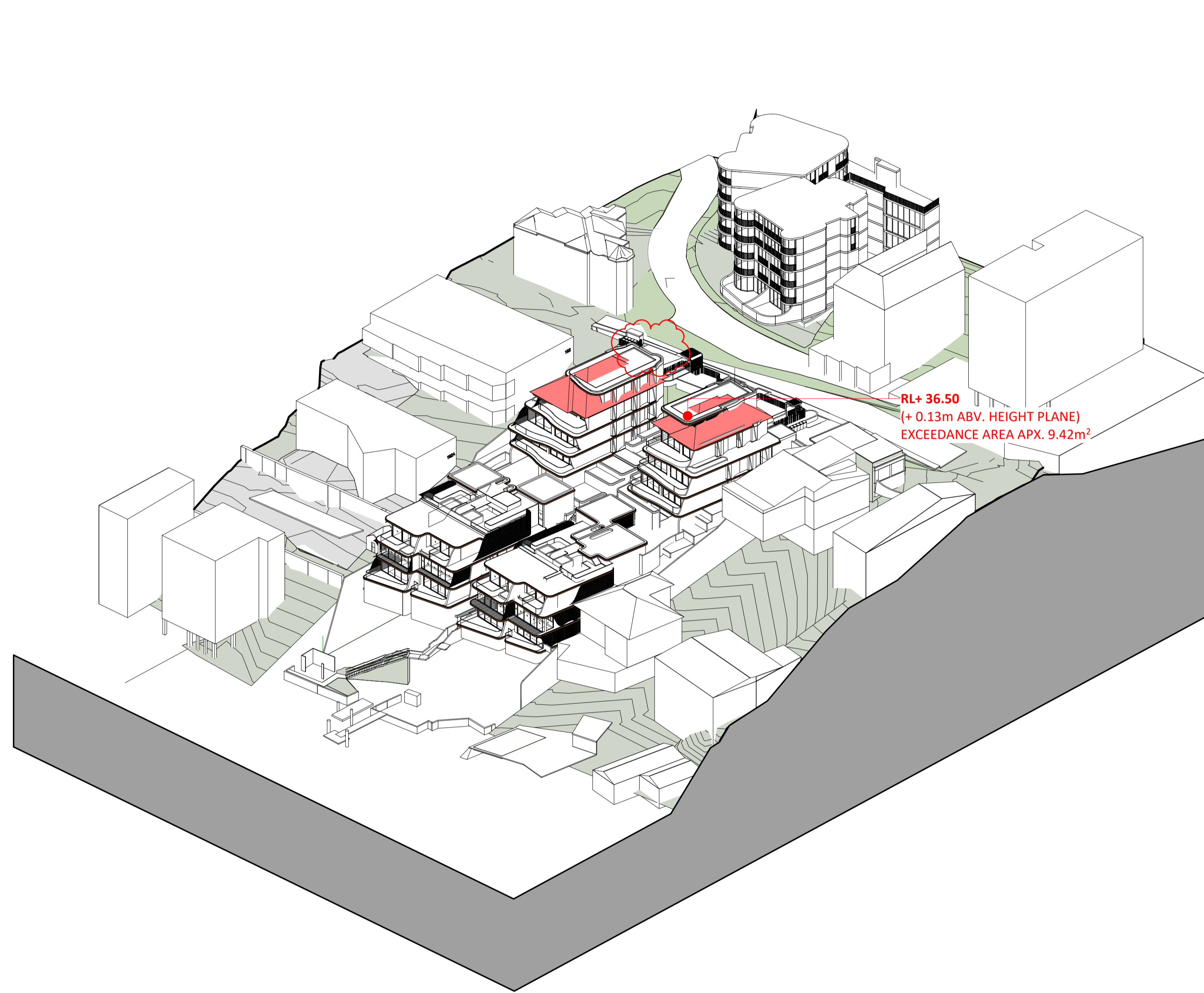
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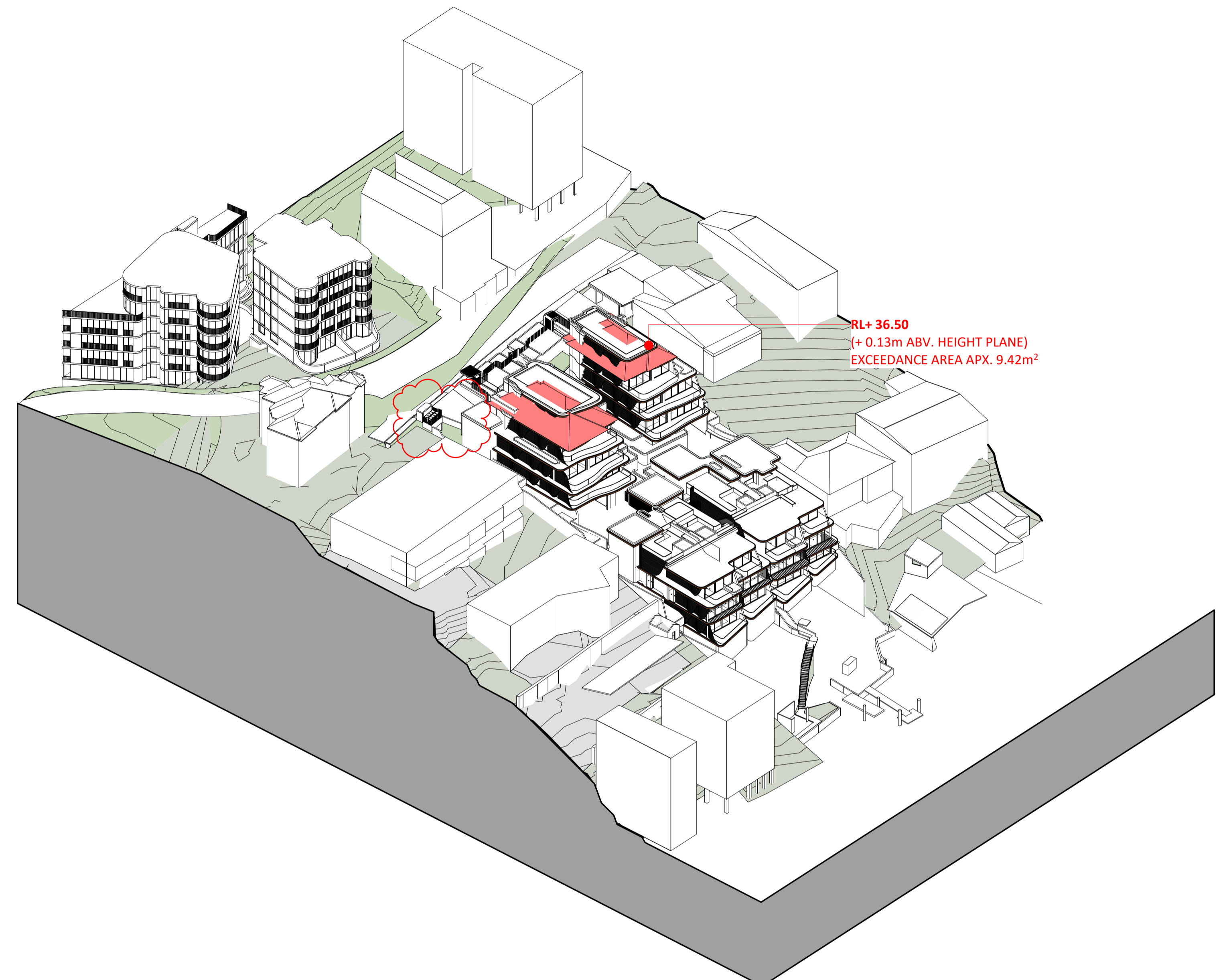
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PROJECT
190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089
STATUS
DEVELOPMENT APPLICATION - RFI 01

DWG TITLE
CROSS VENTILATION
DWG NO.
A420
REVISION
6
DATE
02.02.2024



R4 ZONE - 36 DEGREE HEIGHT PLANE (VIEW 1)



R4 ZONE - 36 DEGREE HEIGHT PLANE (VIEW 2)

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	PRE LODGEMENT			20.01.2022	
2	COORDINATION ISSUE			09.02.2023	
3	AMENDED COORDINATION ISSUE	AL	RPW	19.05.2022	
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6	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN

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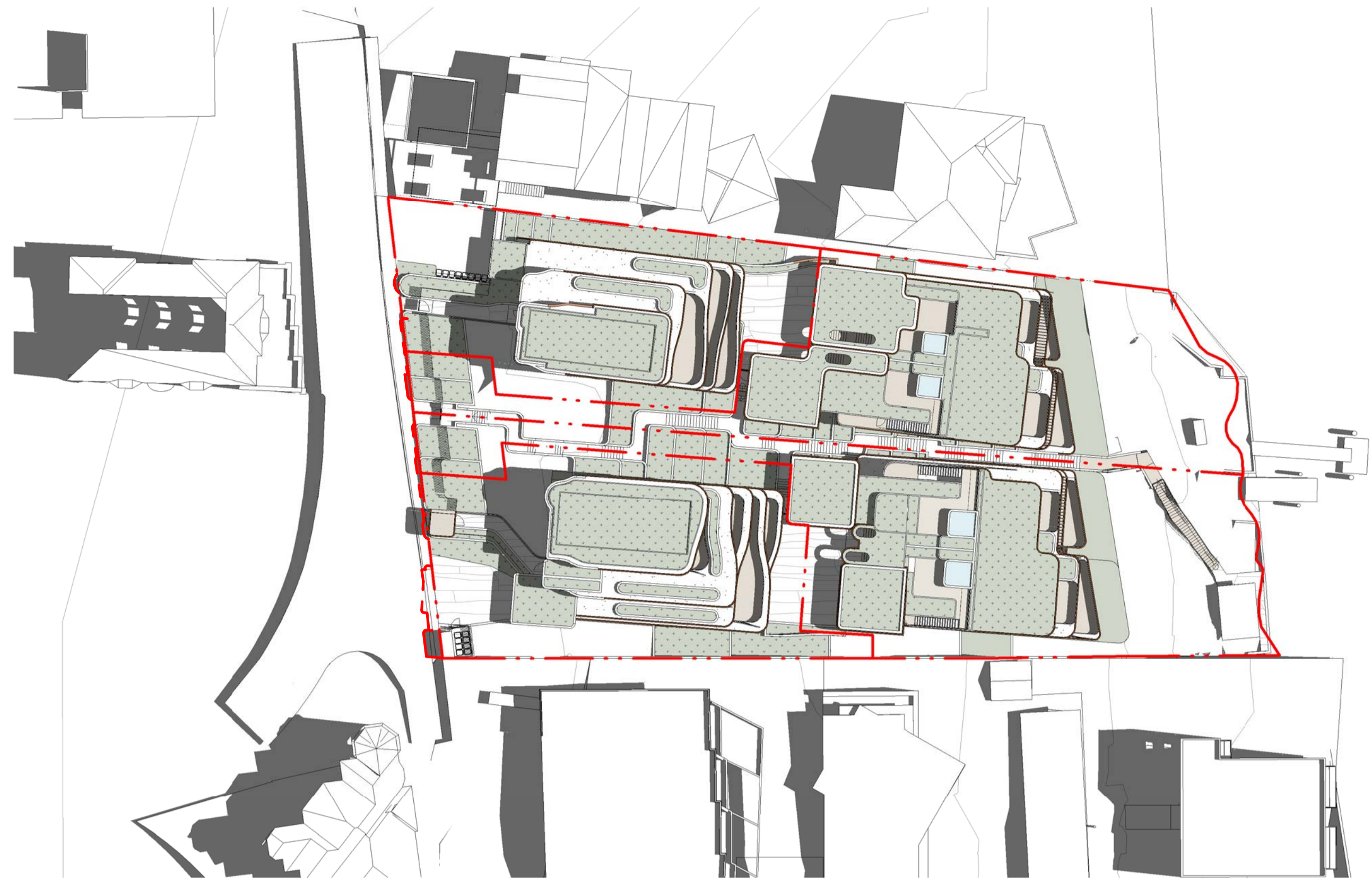
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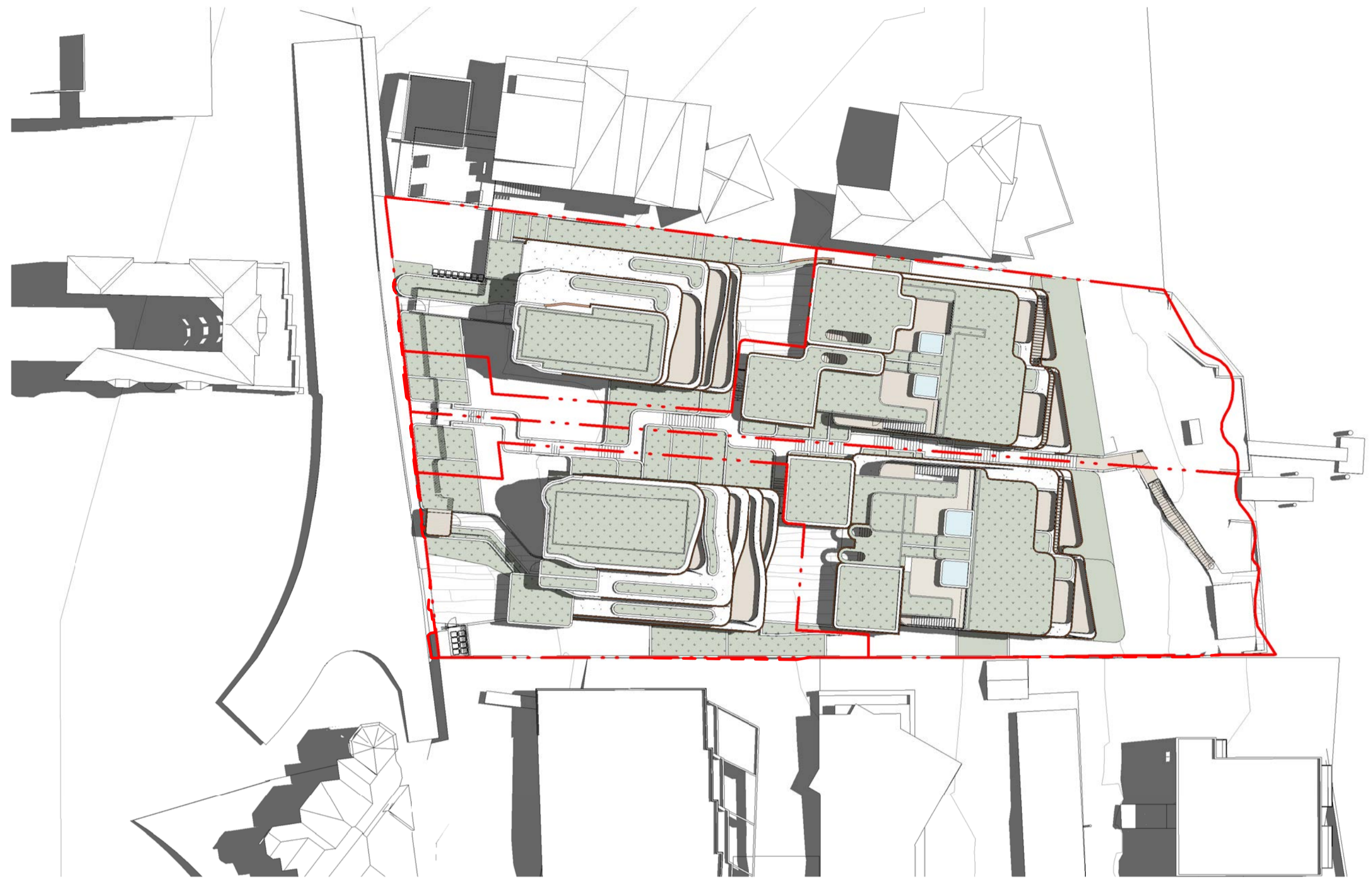
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089
 STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE	DWG NO.	REVISION
36 DEGREE HEIGHT PLANE DIAGRAMS - R4 ZONE	A421	6
SCALE		DATE
		02.02.2024



DECEMBER 21 9AM SUMMER SOLSTICE



DECEMBER 21 10 AM SUMMER SOLSTICE



DECEMBER 21 11AM SUMMER SOLSTICE



DECEMBER 21 12PM SUMMER SOLSTICE

LEGEND

- PROPOSED DEVELOPMENT
- SHADOW
- SHADOW CAST BY ELEMENTS EXCEEDING LEP HEIGHT PLANE

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	FOR INFORMATION			17.12.2021	
2	PRE-COORDINATION	AL	RPW	20.11.2022	
3	COORDINATION ISSUE	AL	RPW	09.02.2020	
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5	DA ISSUE	RPW	JAC	08.06.2022	
6	COUNCIL RFI COORDINATION ISSUE	AL/CK	RPW	31.07.2023	
7	COUNCIL RFI ISSUE	AL/CK	RPW	15.08.2023	
8	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> ● REVISION </div> <div style="text-align: center;"> ○ ON HOLD </div> </div>

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Koichi Takada Architects

PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

SCALE
 1:400@A1, 1:800@A3

DWG TITLE
 SHADOW DIAGRAMS - DEC 21 1/2

DWG NO.
 A450

SCALE
 0 20 m

REVISION
 8

DATE
 02.02.2024

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DECEMBER 21 1PM SUMMER SOLSTICE



DECEMBER 21 2PM SUMMER SOLSTICE



DECEMBER 21 3PM SUMMER SOLSTICE

LEGEND

- PROPOSED DEVELOPMENT SHADOW
- SHADOW CAST BY ELEMENTS EXCEEDING LEP HEIGHT PLANE

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	FOR INFORMATION			17.12.2021	
2	PRE-CODESIGNMENT			20.11.2022	
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7	COUNCIL RFI ISSUE	AL/CK	RPW	15.08.2023	
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KEY PLAN

CLOUD LEGEND

- REVISION
- ON HOLD

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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

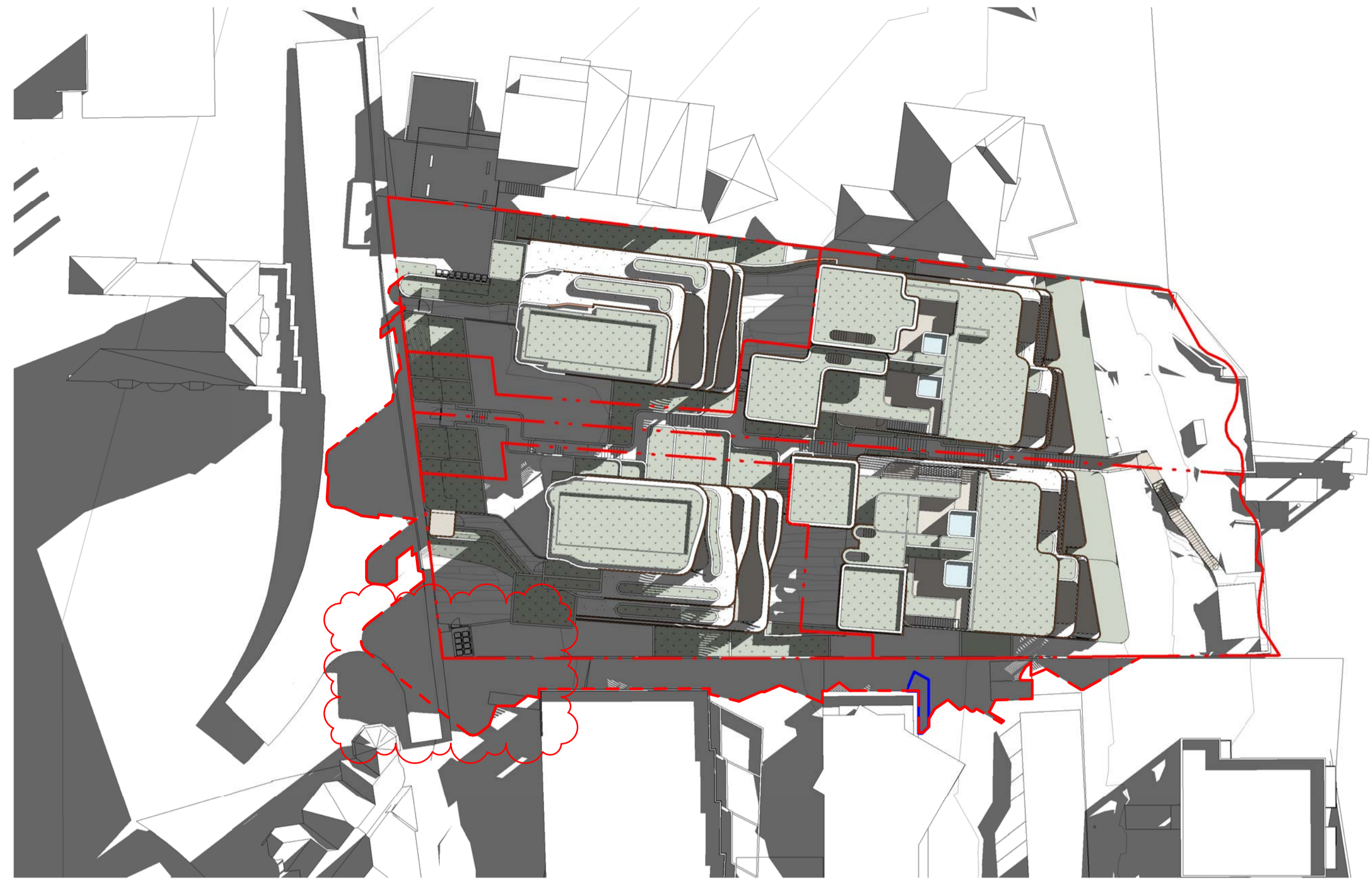
SCALE
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DWG TITLE
 SHADOW DIAGRAMS - DEC 21 2/2

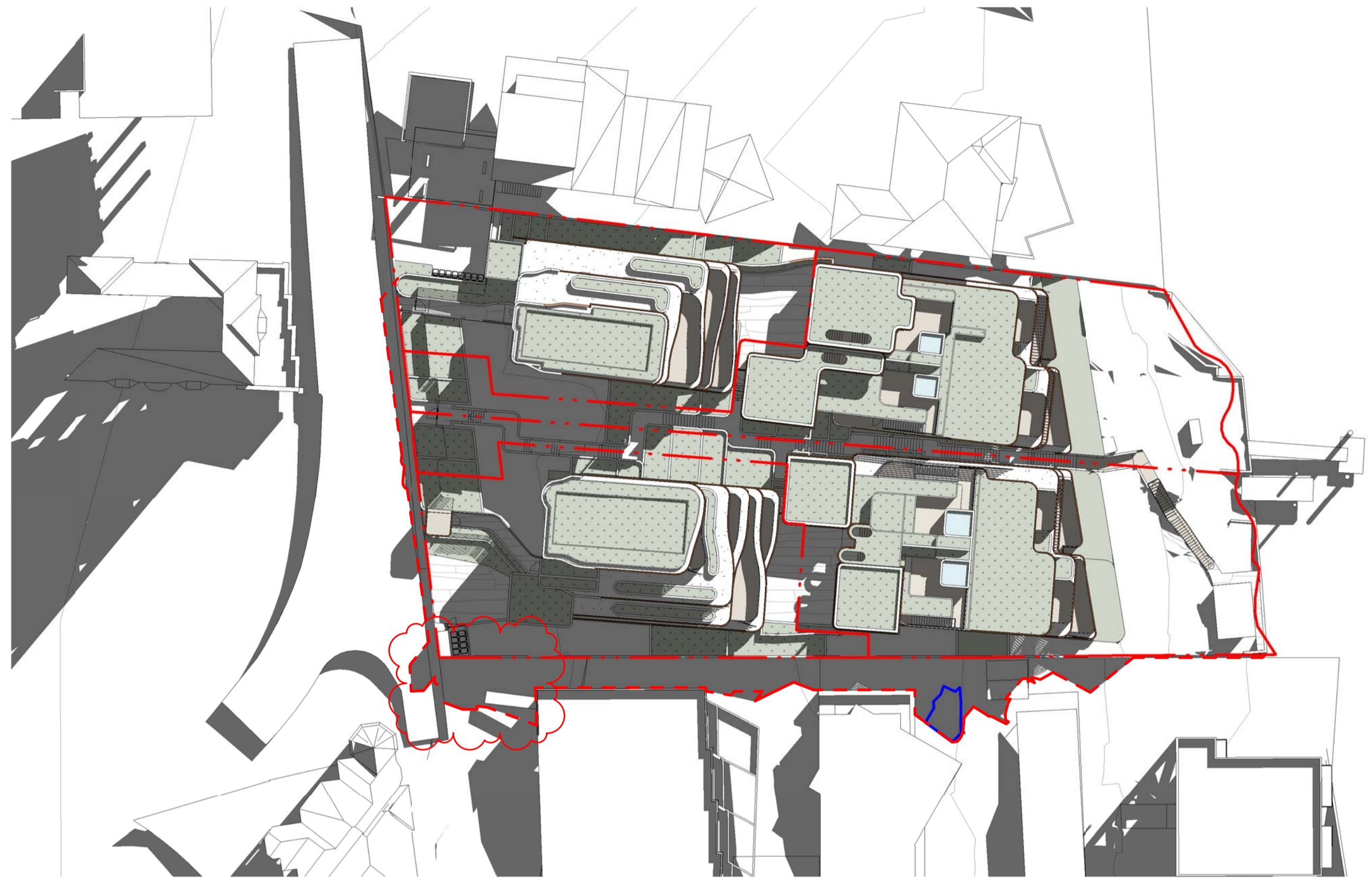
DWG NO.
 A451

SCALE
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REVISION	DATE
8	02.02.2024



JUNE 21 9AM WINTER SOLSTICE



JUNE 21 10AM WINTER SOLSTICE



JUNE 21 11AM WINTER SOLSTICE



JUNE 21 12PM WINTER SOLSTICE

LEGEND

- PROPOSED DEVELOPMENT
- SHADOW
- SHADOW CAST BY ELEMENTS EXCEEDING LEP HEIGHT PLANE

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	FOR INFORMATION			17.12.2021	
2	PRE-CONSENT			20.11.2022	
3	COORDINATION ISSUE	AL	RPW	09.02.2020	
4	AMENDED COORDINATION ISSUE	AL	RPW	19.05.2022	
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8	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> REVISION </div> <div style="text-align: center;"> ON HOLD </div> </div>

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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

SCALE
 1:400@A1, 1:800@A3

DWG TITLE
 SHADOW DIAGRAM - JUNE 21 1/2

DWG NO.
 A452

SCALE
 0 20 m

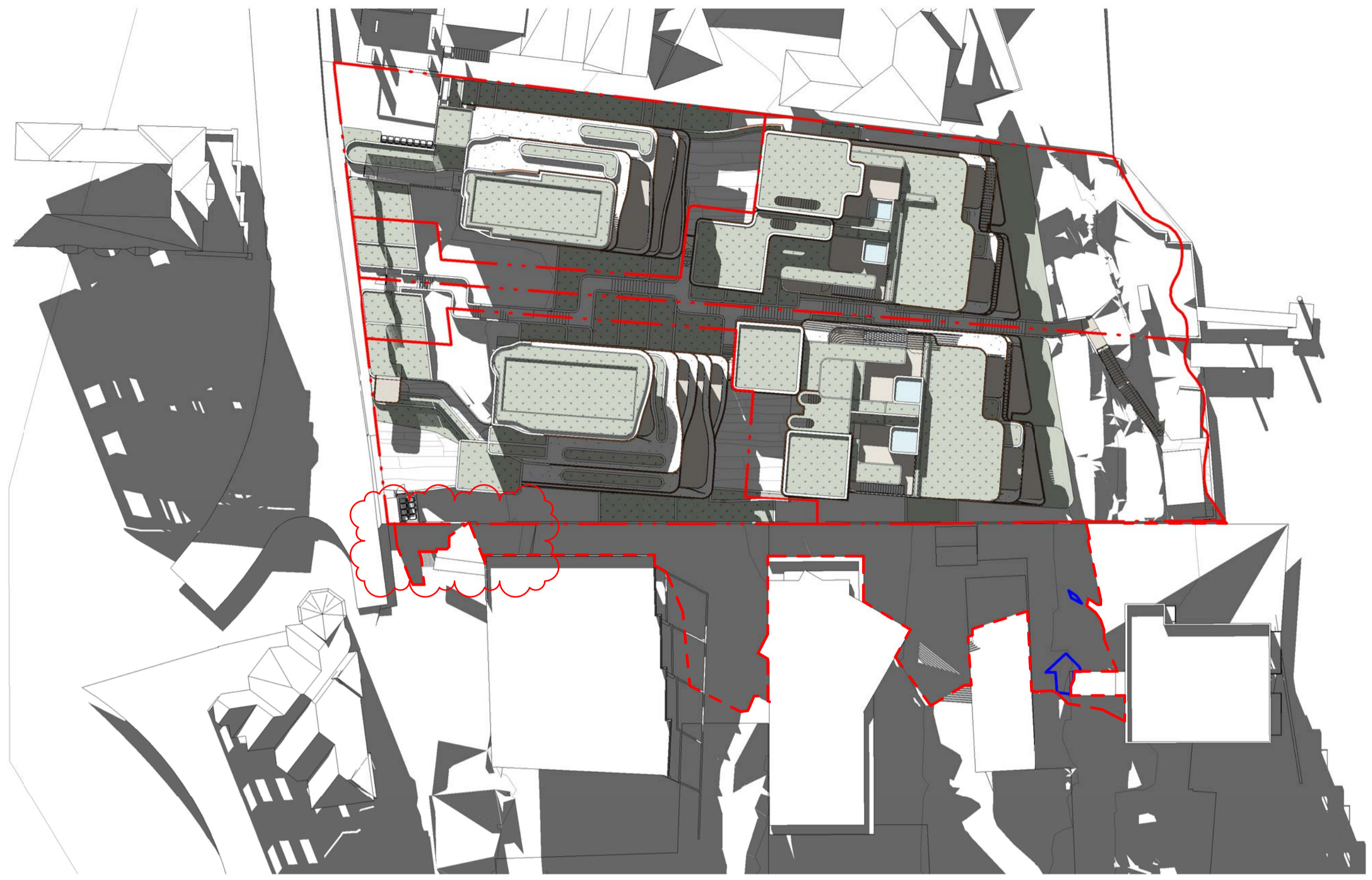
REVISION
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DATE
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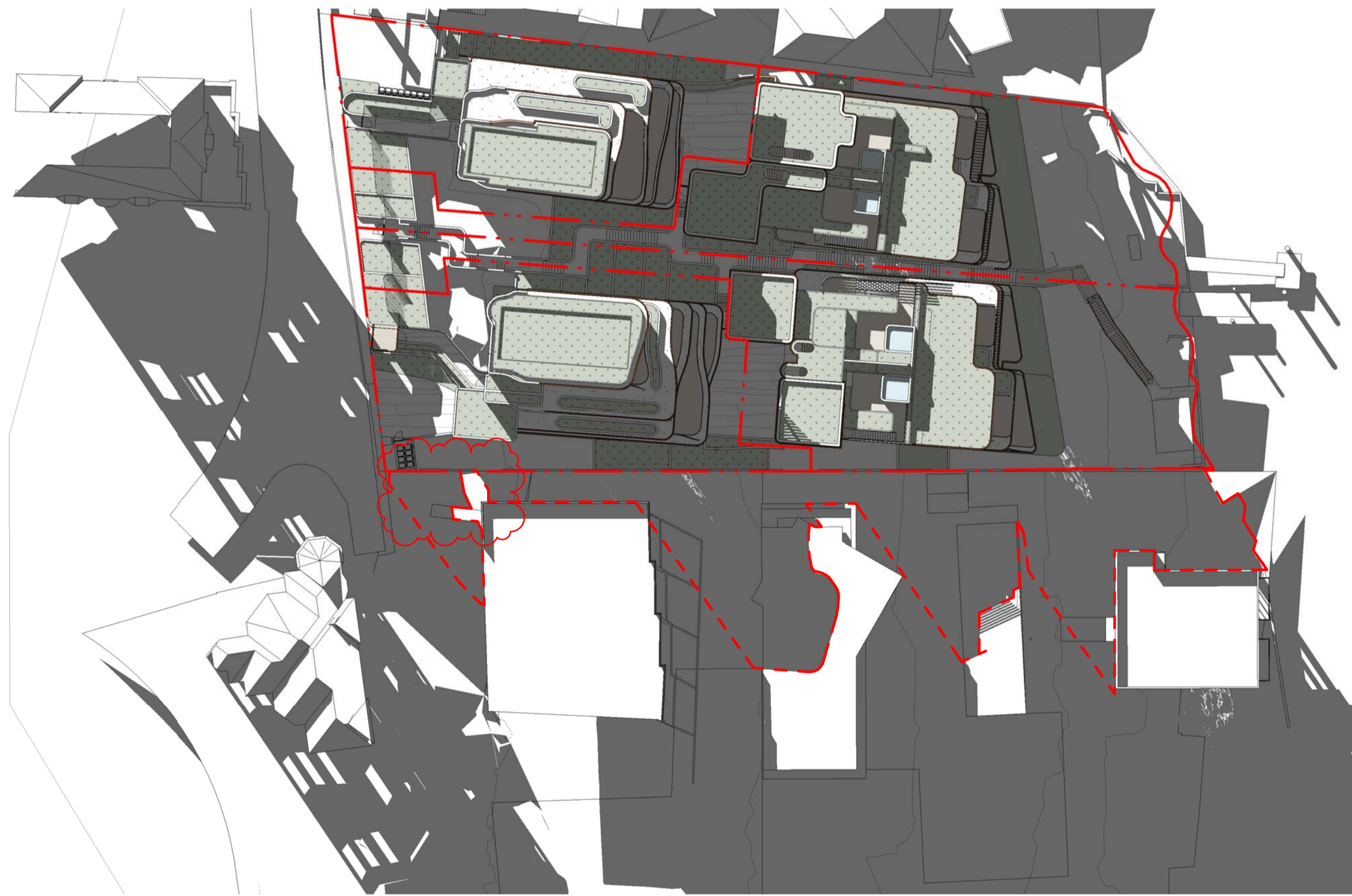
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JUNE 21 1PM WINTER SOLSTICE



JUNE 21 2PM WINTER SOLSTICE



JUNE 21 3PM WINTER SOLSTICE

LEGEND

- PROPOSED DEVELOPMENT SHADOW
- SHADOW CAST BY ELEMENTS EXCEEDING LEP HEIGHT PLANE

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	FOR INFORMATION			17.12.2021	
2	PRE-CONSENT	AL	RPW	20.11.2022	
3	COORDINATION ISSUE	AL	RPW	09.02.2020	
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KEY PLAN
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;"> REVISION </div> <div style="text-align: center;"> ON HOLD </div> </div>

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PROJECT
190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG NO.
A453

SCALE
 1:400@A1, 1:800@A3

DWG TITLE
 SHADOW DIAGRAM - JUNE 21 2/2

REVISION
8

DATE
 02.02.2024



DEC 21 9AM - 6/10 SUMMER SOLSTICE



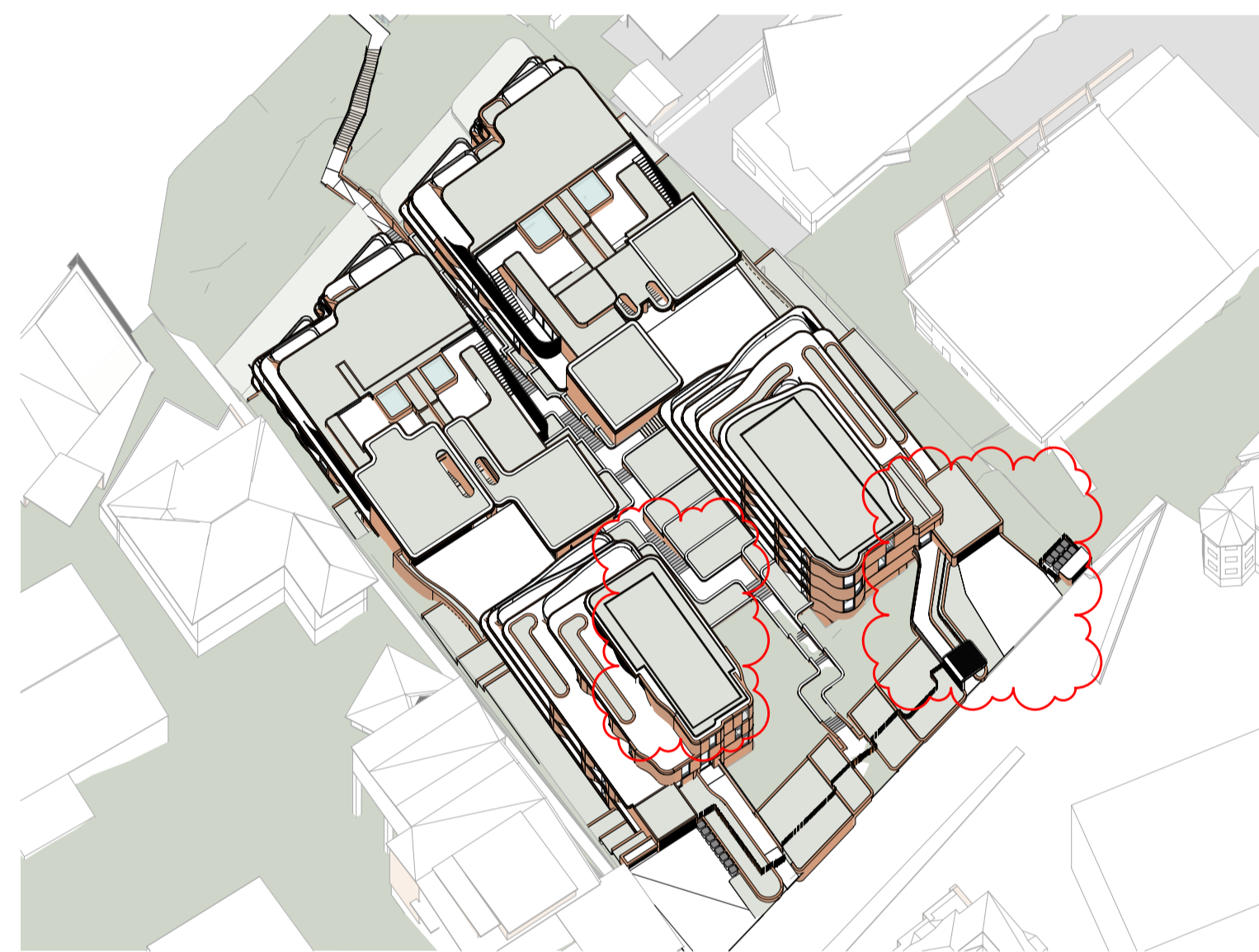
DEC 21 10AM - 4/10 SUMMER SOLSTICE



DEC 21 11AM - 4/10 SUMMER SOLSTICE



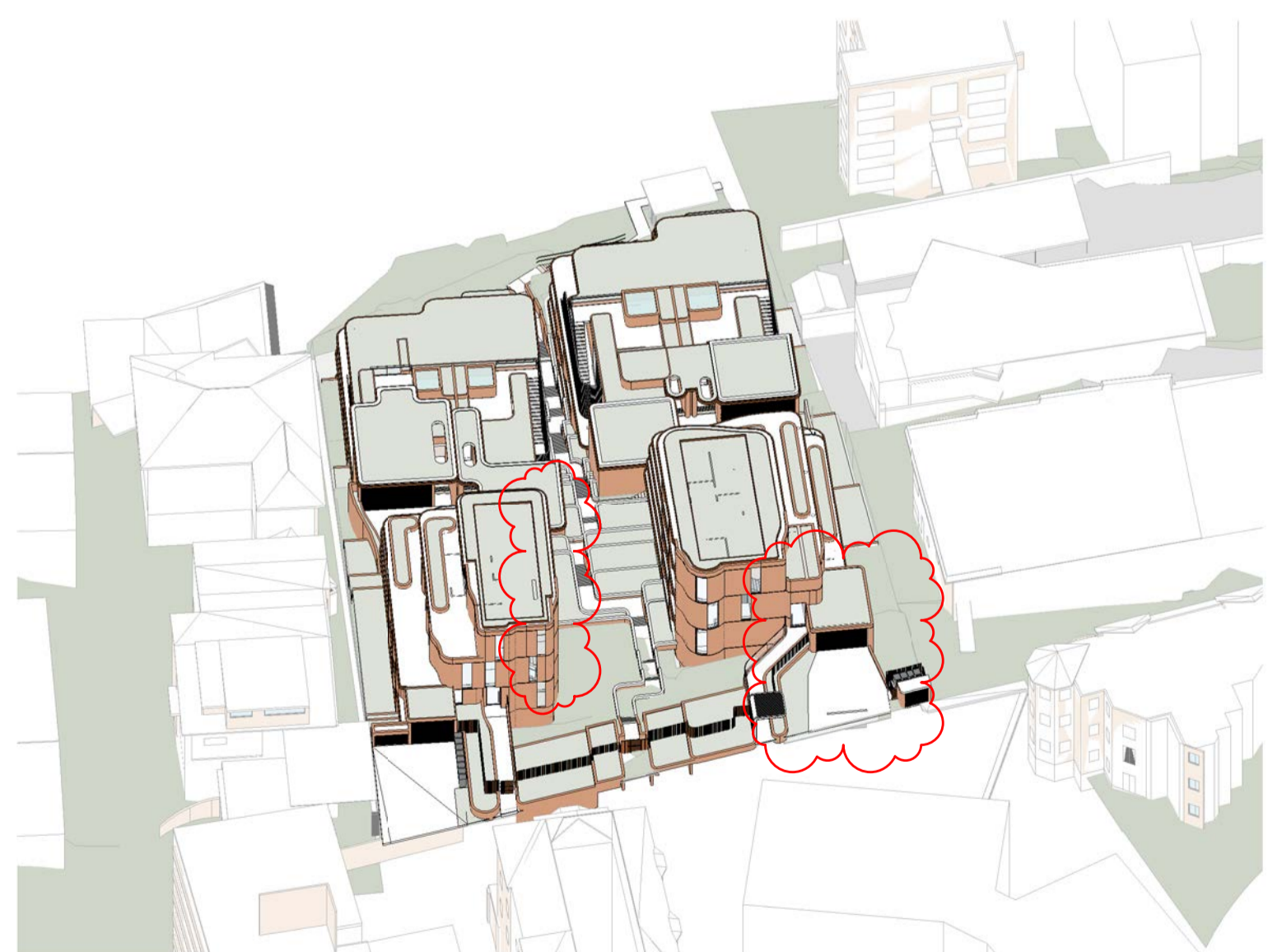
DEC 21 12PM - 0/10 SUMMER SOLSTICE



DEC 21 1PM - 0/10 SUMMER SOLSTICE



DEC 21 2PM - 0/10 SUMMER SOLSTICE



DEC 21 3PM - 0/10 SUMMER SOLSTICE

COMPLIANCE
SOLAR ACCESS - 6/10 APPARTMENTS
- 60%

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
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KEY PLAN
REVISION ON HOLD

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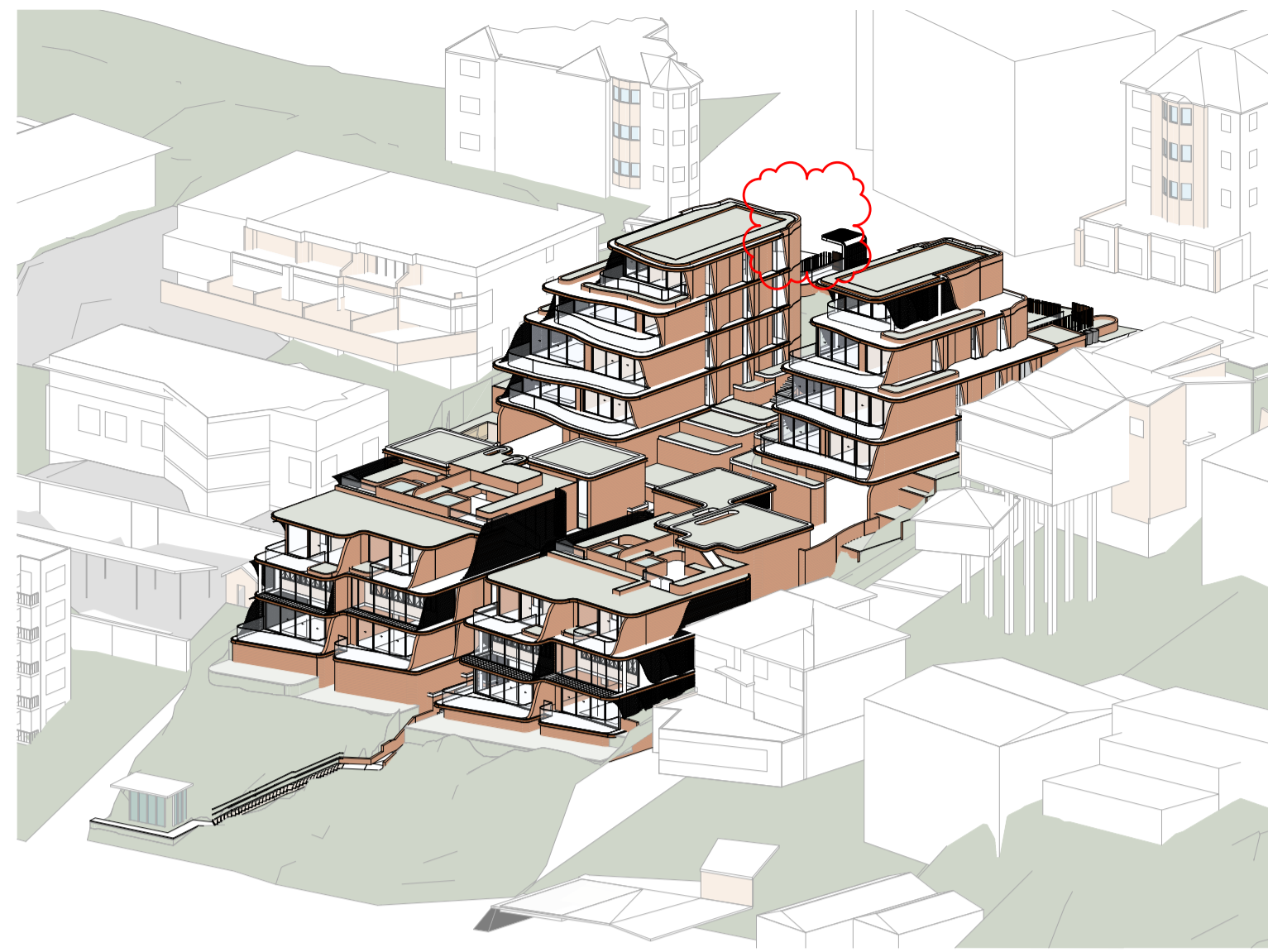
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SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
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KOICHIKAKADA.COM

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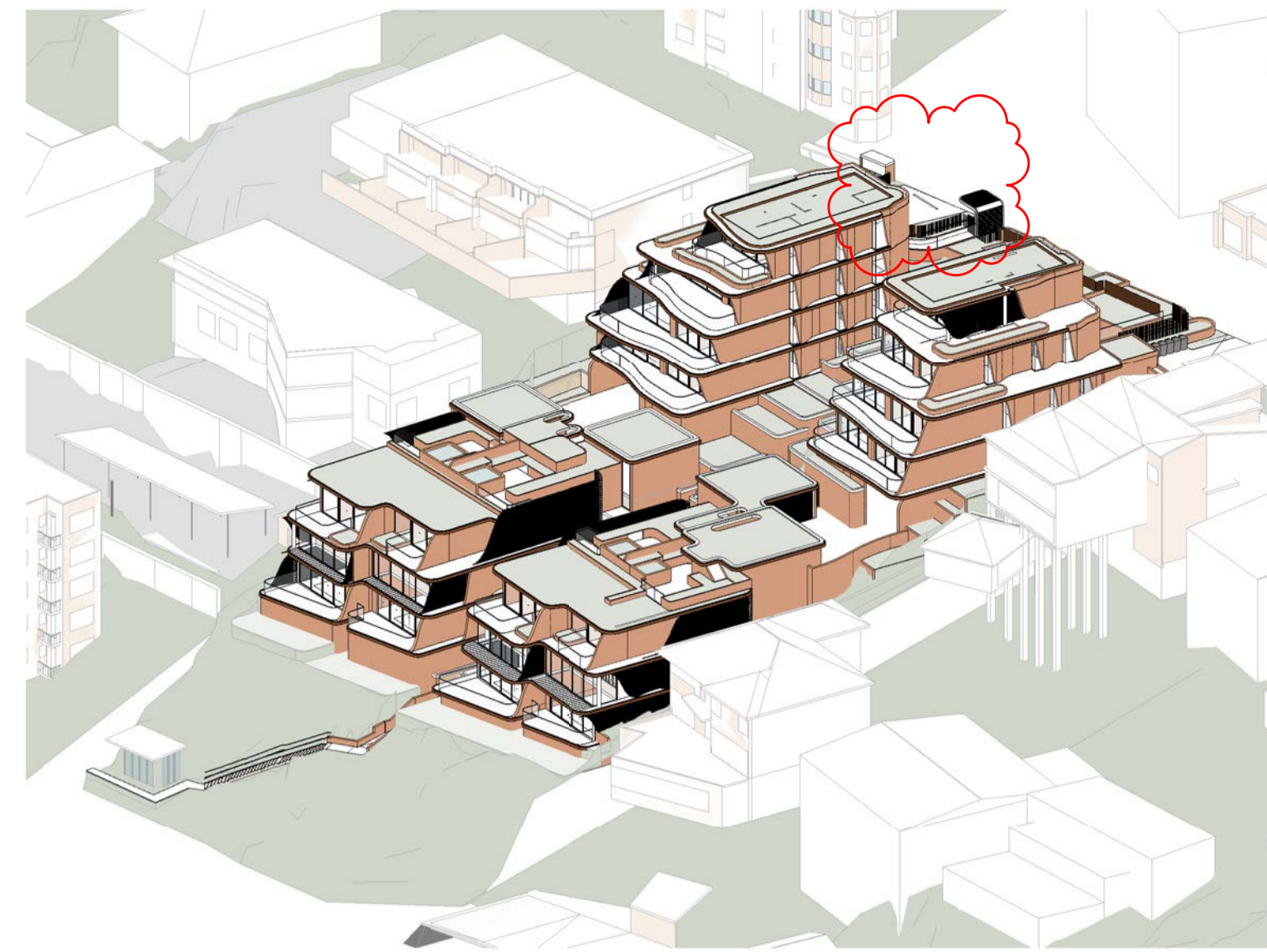
PROJECT
190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089
STATUS
DEVELOPMENT APPLICATION - RFI 01

DWG TITLE
SUN EYE VIEW - DEC 21

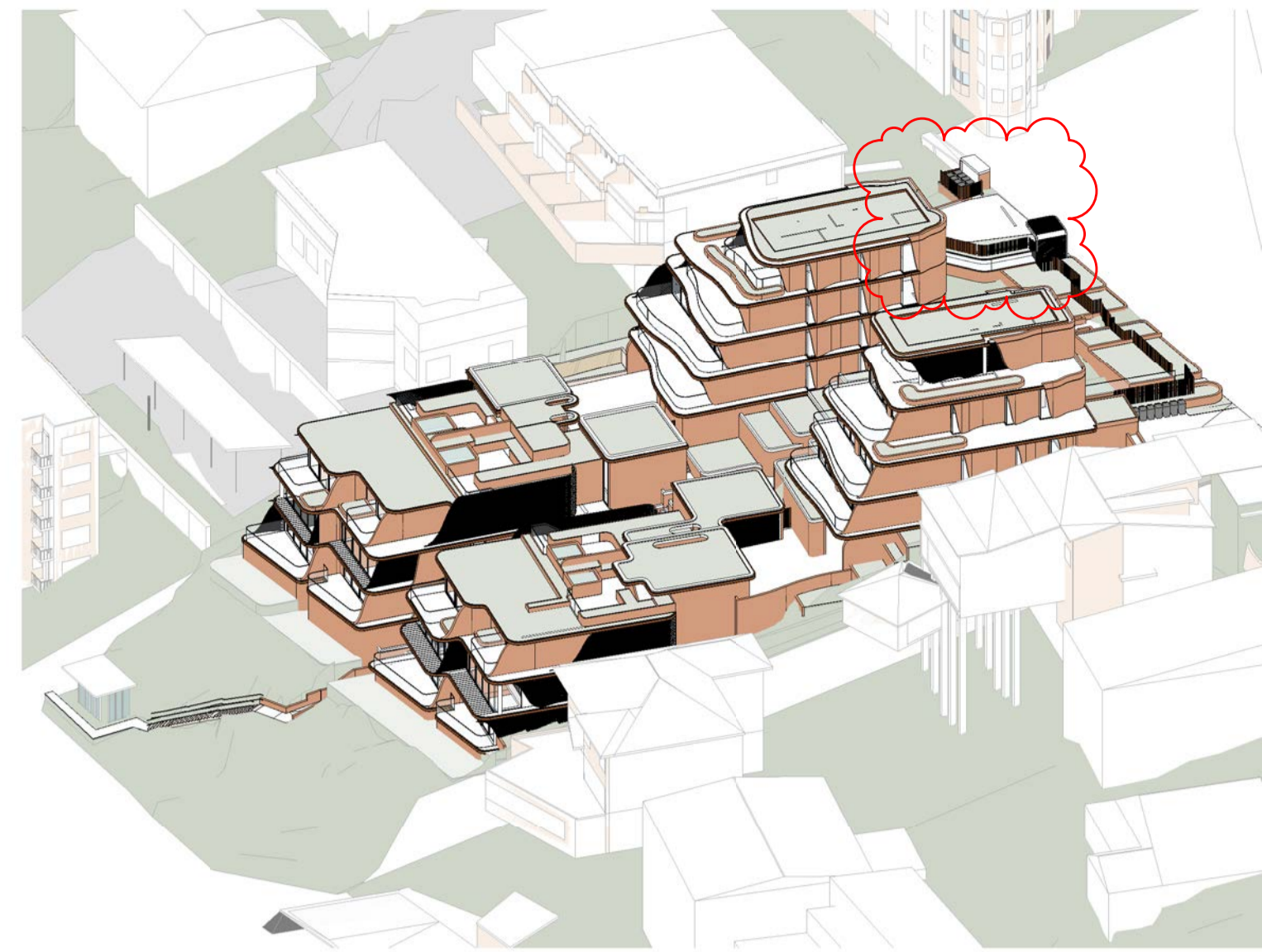
DWG NO.	REVISION
A455	6
SCALE	DATE
	02.02.2024



JUNE 21 9AM - 10/10 WINTER SOLSTICE



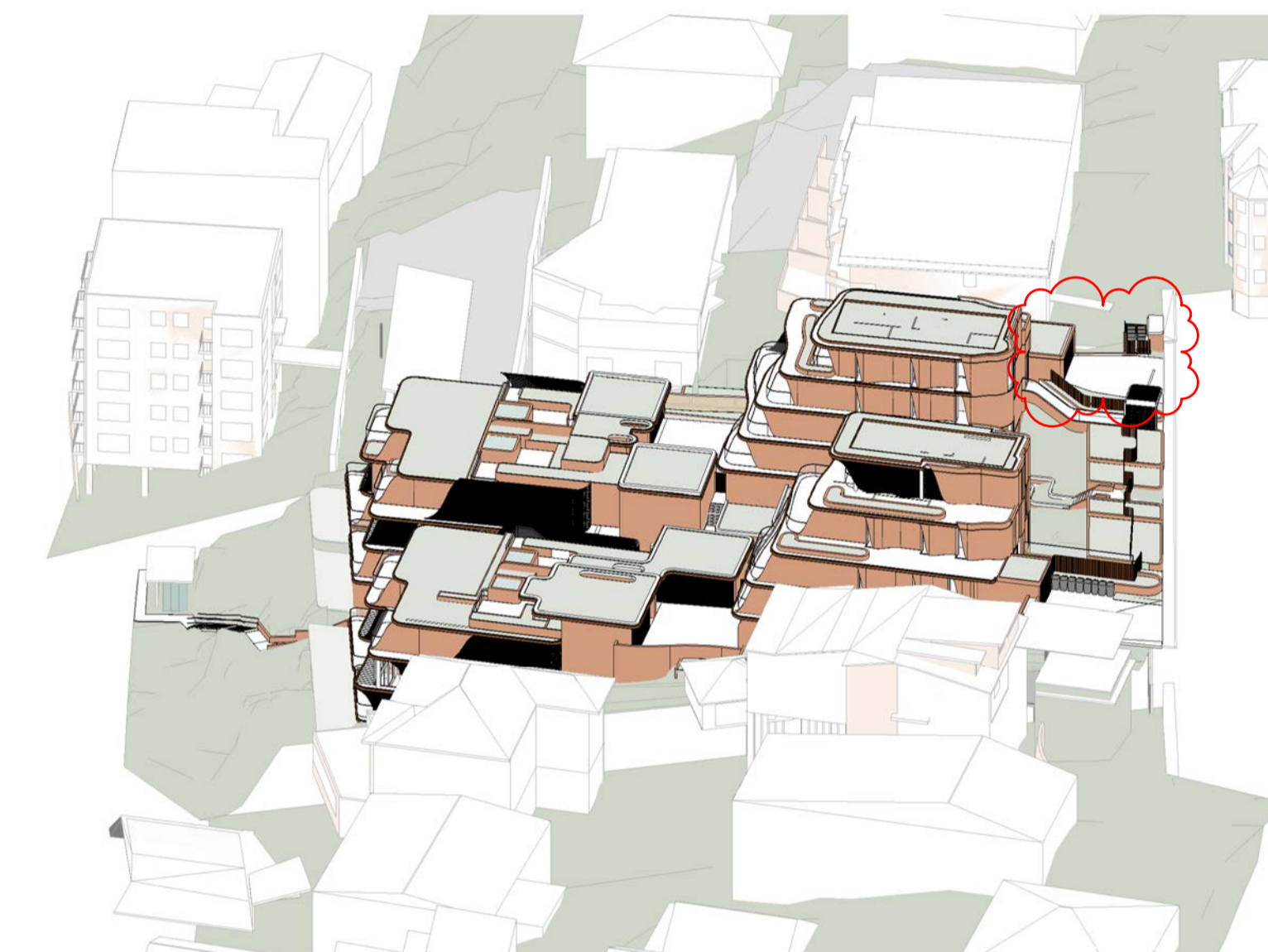
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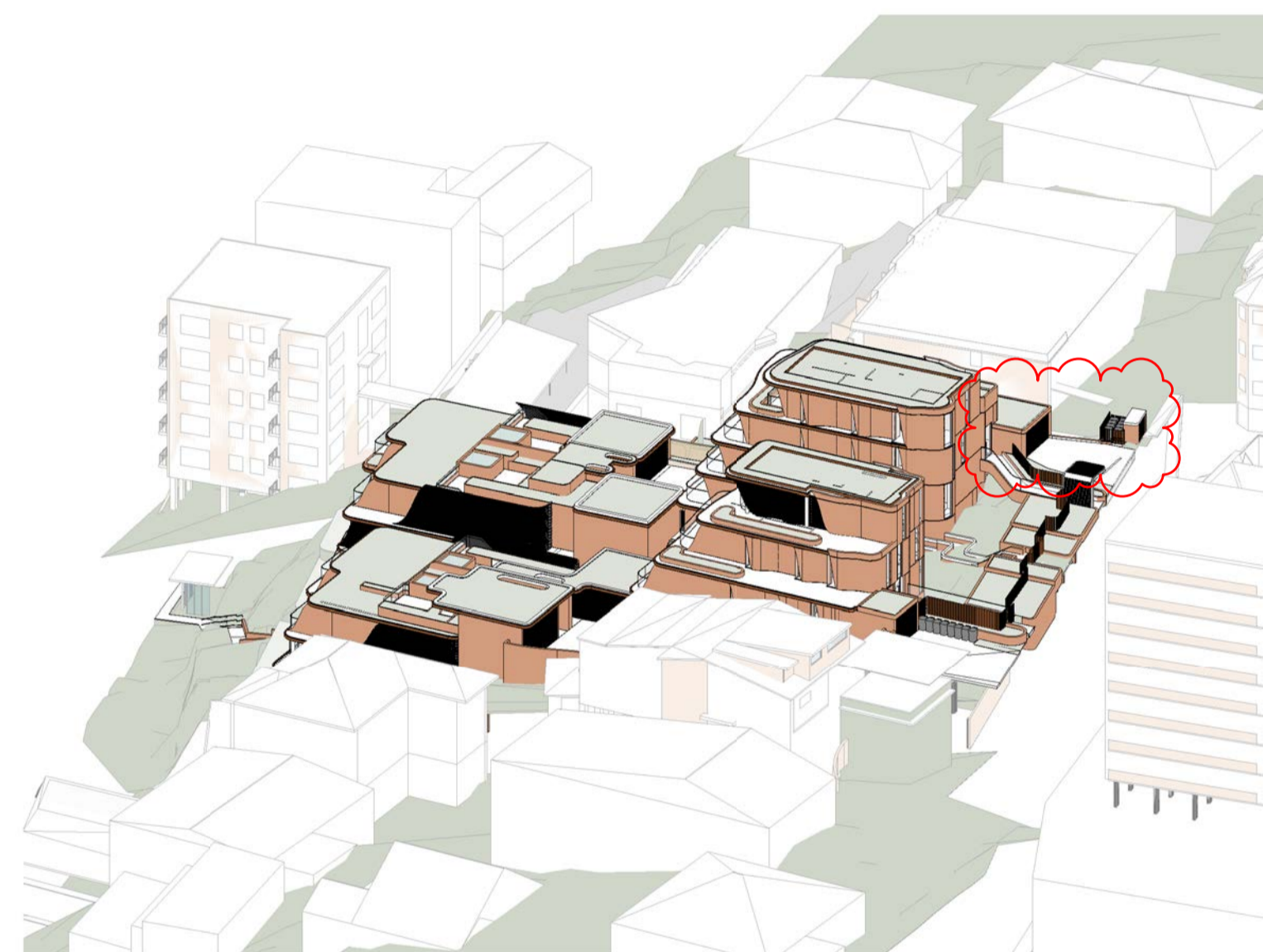
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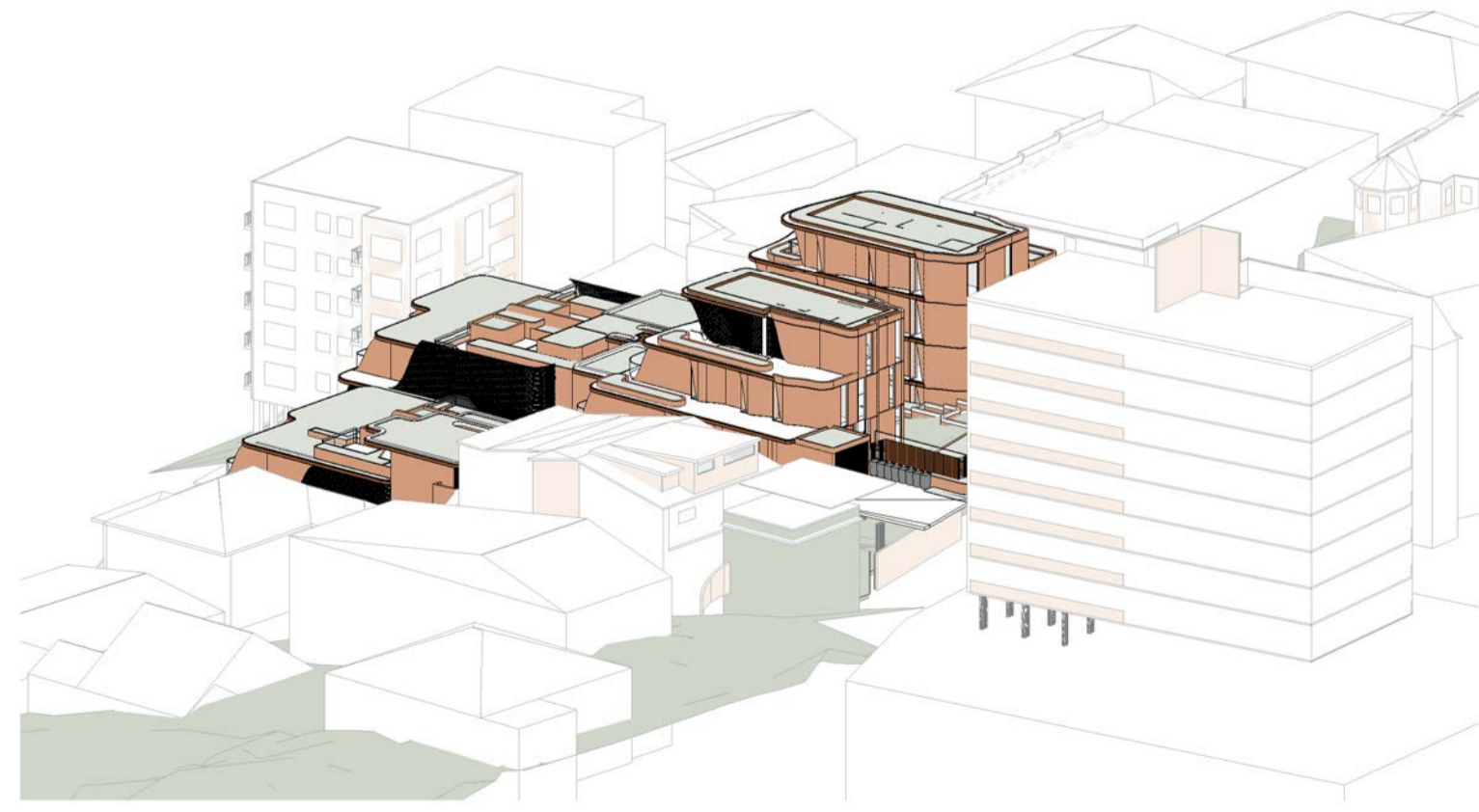
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JUNE 21 1PM - 3/10 WINTER SOLSTICE



JUNE 21 2PM - 1/10 WINTER SOLSTICE



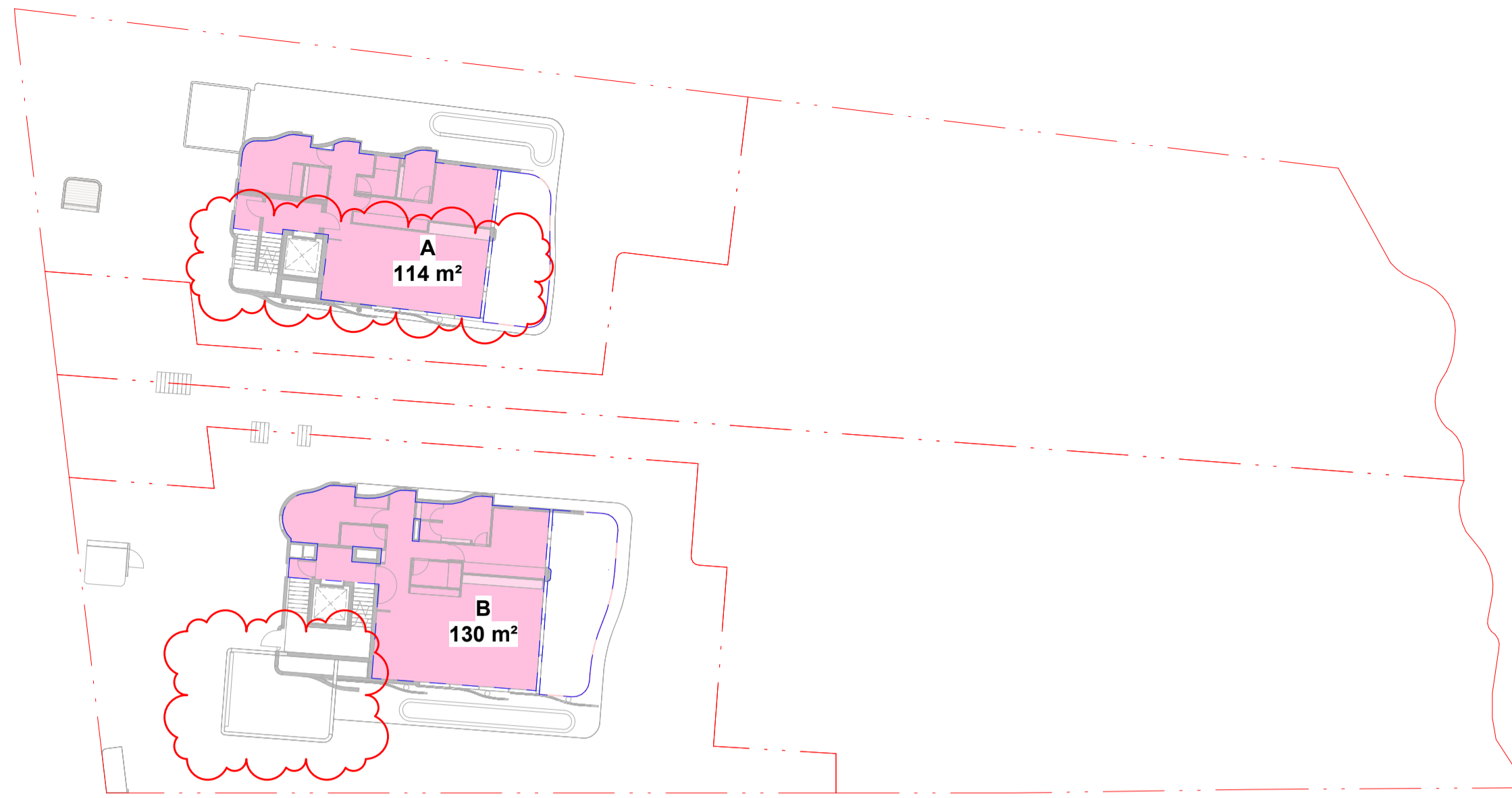
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COMPLIANCE
SOLAR ACCESS - 8/10 APARTMENTS
- 80%

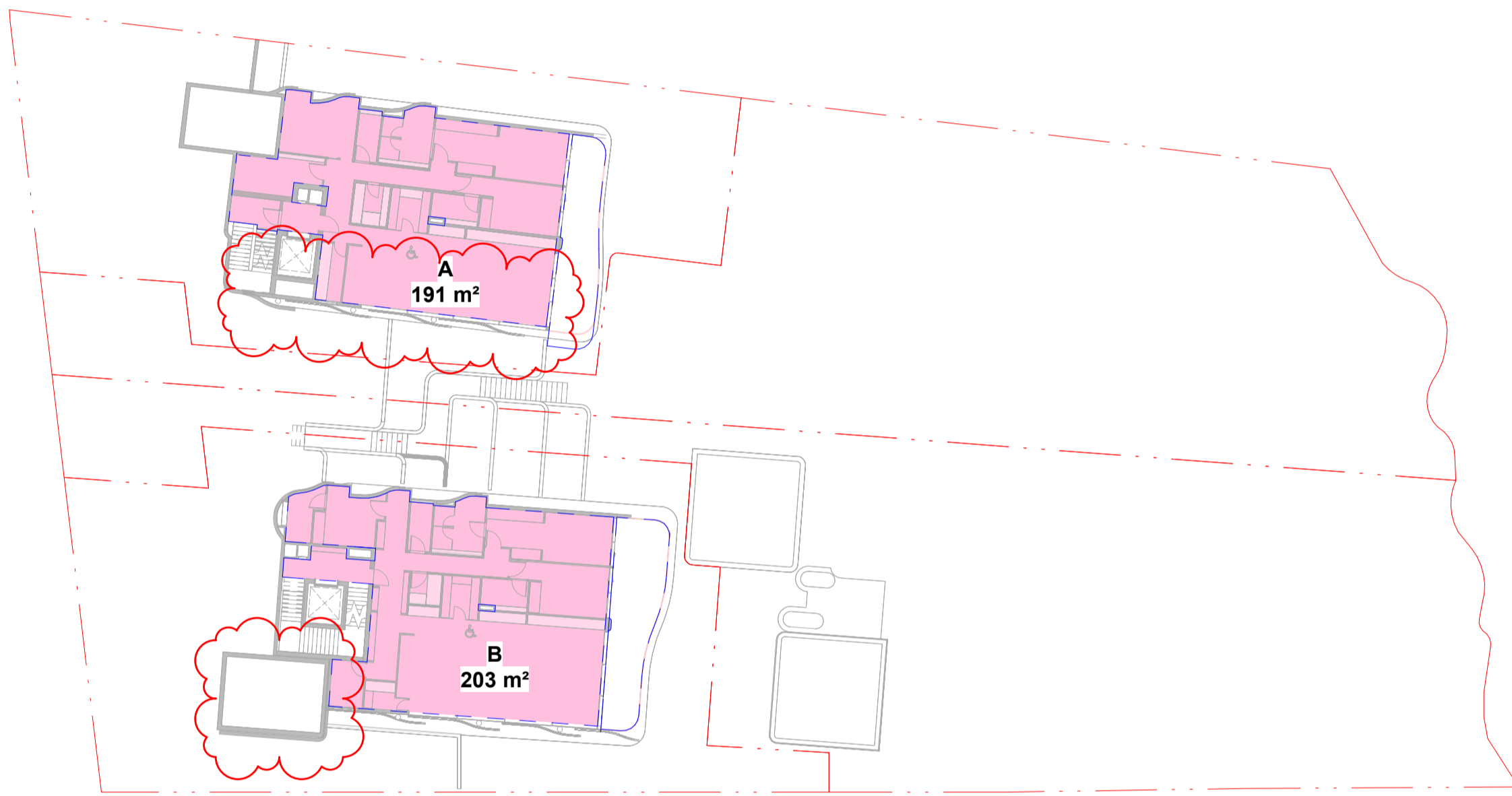
<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FOR INFORMATION</td> <td></td> <td></td> <td>17.12.2021</td> </tr> <tr> <td>2</td> <td>AMENDS COORDINATION ISSUE</td> <td>AL</td> <td>RPW</td> <td>19.05.2022</td> </tr> <tr> <td>3</td> <td>DA ISSUE</td> <td>RPW</td> <td>JAC</td> <td>08.06.2022</td> </tr> <tr> <td>4</td> <td>COUNCIL RFI COORDINATION ISSUE</td> <td>AL/DR</td> <td>RPW</td> <td>31.07.2023</td> </tr> <tr> <td>5</td> <td>COUNCIL RFI ISSUE</td> <td>AL/DR</td> <td>RPW</td> <td>15.08.2023</td> </tr> <tr> <td>6</td> <td>ISSUE FOR DA RESUBMISSION</td> <td>AL</td> <td>RPW</td> <td>02.02.2024</td> </tr> </tbody> </table>	NO.	REVISION	BY	CHK	DATE	1	FOR INFORMATION			17.12.2021	2	AMENDS COORDINATION ISSUE	AL	RPW	19.05.2022	3	DA ISSUE	RPW	JAC	08.06.2022	4	COUNCIL RFI COORDINATION ISSUE	AL/DR	RPW	31.07.2023	5	COUNCIL RFI ISSUE	AL/DR	RPW	15.08.2023	6	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	<p>REVISION NOTES:</p>	<p>KEY PLAN</p>	<p>NOTES:</p> <p>KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.</p>	<p>OTHERS:</p>	<p>CLIENT</p> <p>Kurraba Point Road Pty Ltd 430 TOORAK ROAD, TOORAK 3142</p>	<p>ARCHITECT</p> <p>SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHIKAKADA.COM</p>	<p>GA STAMP</p> <p>Koichi Takada Architects</p> <p>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</p>	<p>PROJECT</p> <p>190 KURRABA RD 190 KURRABA RD, KURRABA POINT NSW 2089</p> <p>STATUS</p> <p>DEVELOPMENT APPLICATION - RFI 01</p>	<p>DWG TITLE</p> <p>SUN EYE VIEW - JUNE 21</p> <p>DWG NO.</p> <p>A456</p> <p>SCALE</p>	<p>REVISION</p> <p>6</p> <p>DATE</p> <p>02.02.2024</p>
NO.	REVISION	BY	CHK	DATE																																									
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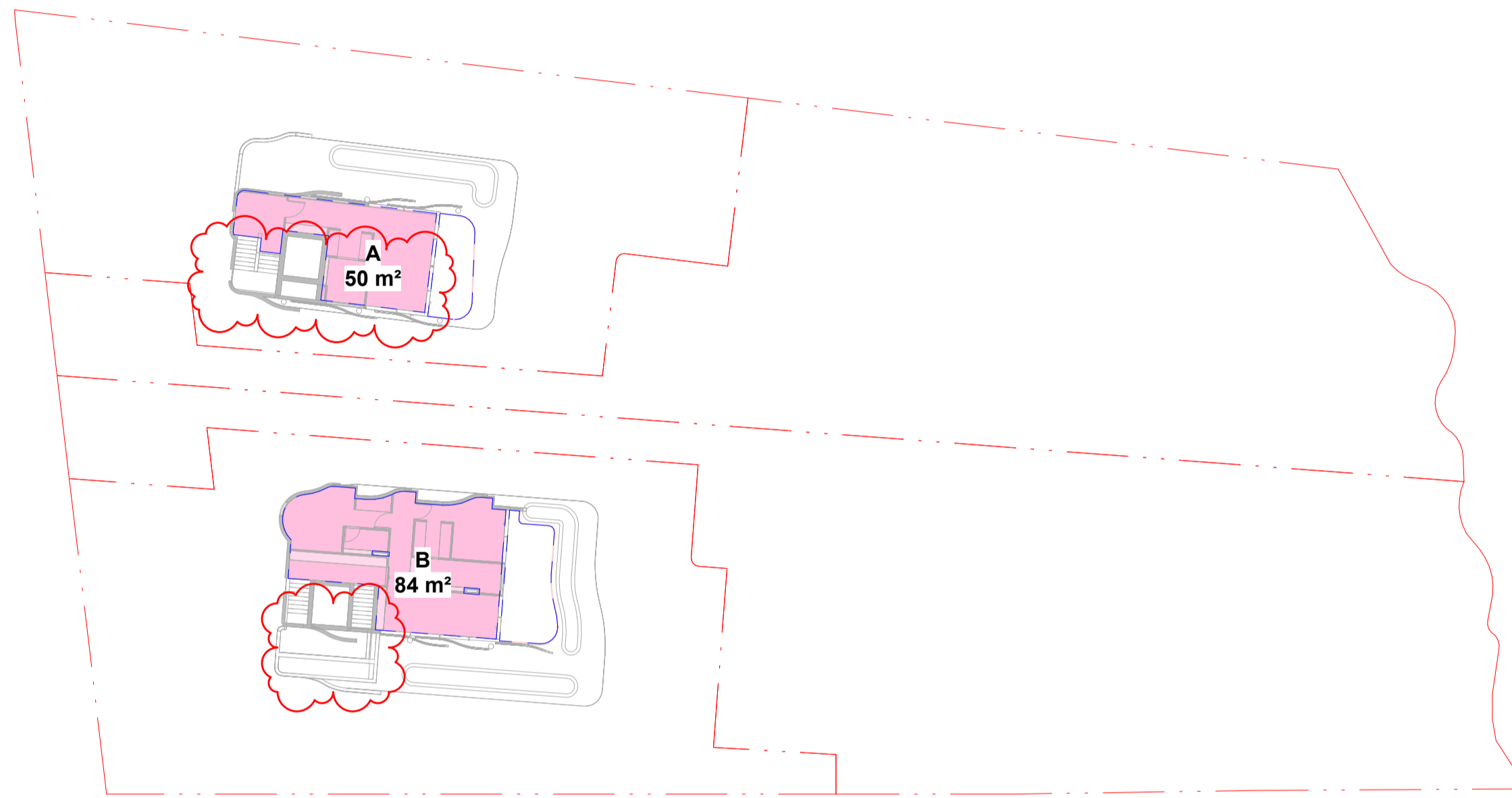
BLDG A & B - LOWER GROUND - GFA



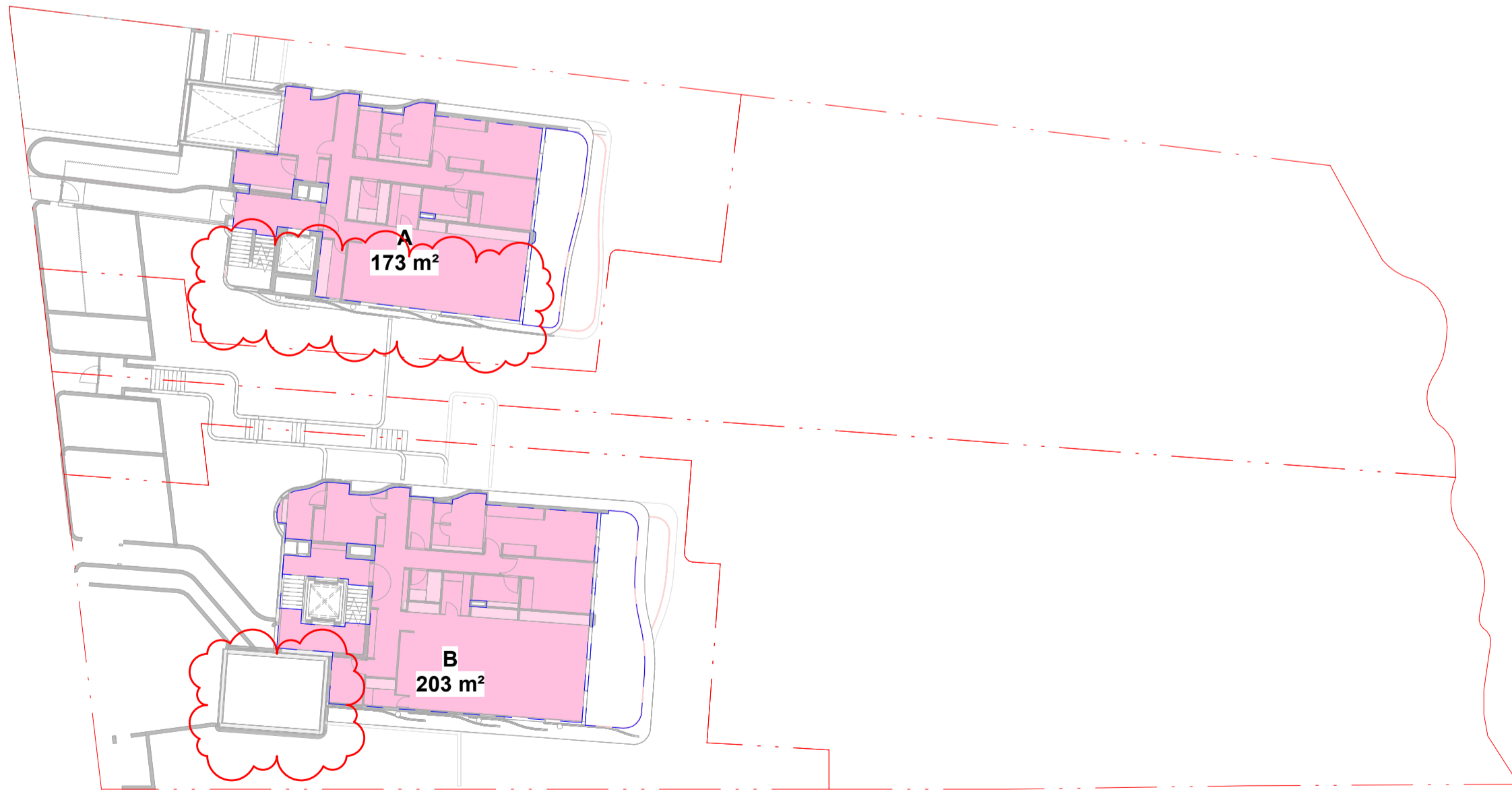
BLDG A & B - LEVEL 2 - GFA



BLDG A & B - GROUND LEVEL - GFA



BLDG A & B - LEVEL 3 - GFA



BLDG A & B - LEVEL 1 - GFA

GFA - BUILDING A & B (R4 ZONE)		
Building	Level	Area
(GFA)		
A - LOBBY	R4 LG	19 m ²
B	R4 LG	12 m ²
B - LOBBY	R4 LG	6 m ²
A	R4 GROUND	191 m ²
B	R4 GROUND	203 m ²
A	R4 L1	173 m ²
B	R4 L1	203 m ²
A	R4 L2	114 m ²
B	R4 L2	130 m ²
A	R4 L3	50 m ²
B	R4 L3	84 m ²
		1185 m²

NO.	REVISION	BY	CHK	DATE
1	FOR INFORMATION			19.11.2021
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3	FOR INFORMATION			31.01.2022
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7	COUNCIL RFI ISSUE	AL	RPW	15.08.2023
8	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

KEY PLAN

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 NSW ARCHITECTS 6901
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 KOICHI TAKADA.COM

Koichi Takada Architects

PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE
 GFA DIAGRAMS - BUILDING A & B (R4 ZONE)

DWG NO.
 A458

SCALE
 1:300@A1, 1:600@A3

REVISION
 8

DATE
 02.02.2024

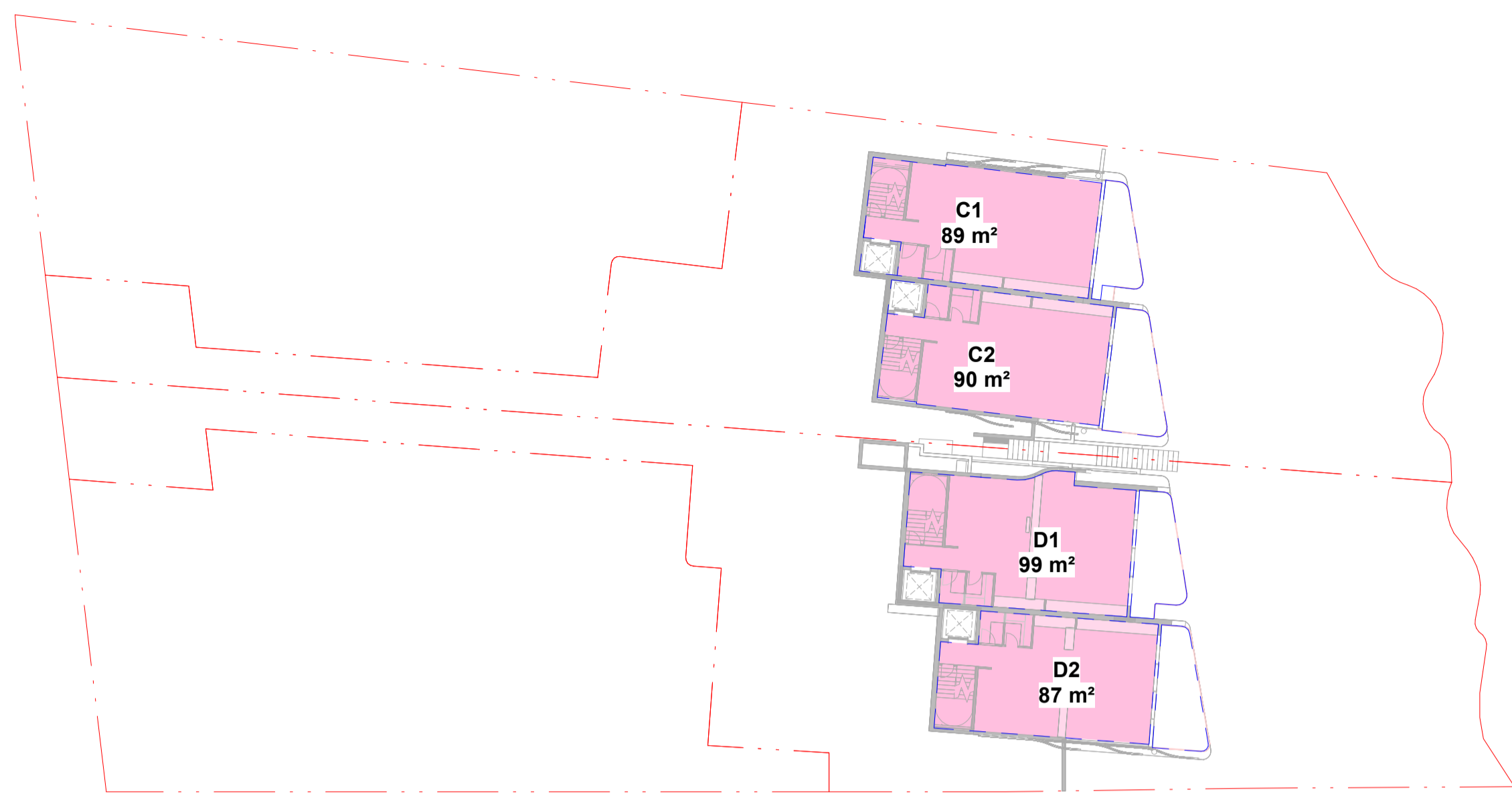
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GFA - BUILDING C & D (R2 ZONE)		
Building	Level	Area
(GFA)		
C1	R2 GROUND_N	89 m ²
C2	R2 GROUND_N	90 m ²
D1	R2 GROUND_N	99 m ²
D2	R2 GROUND_N	87 m ²

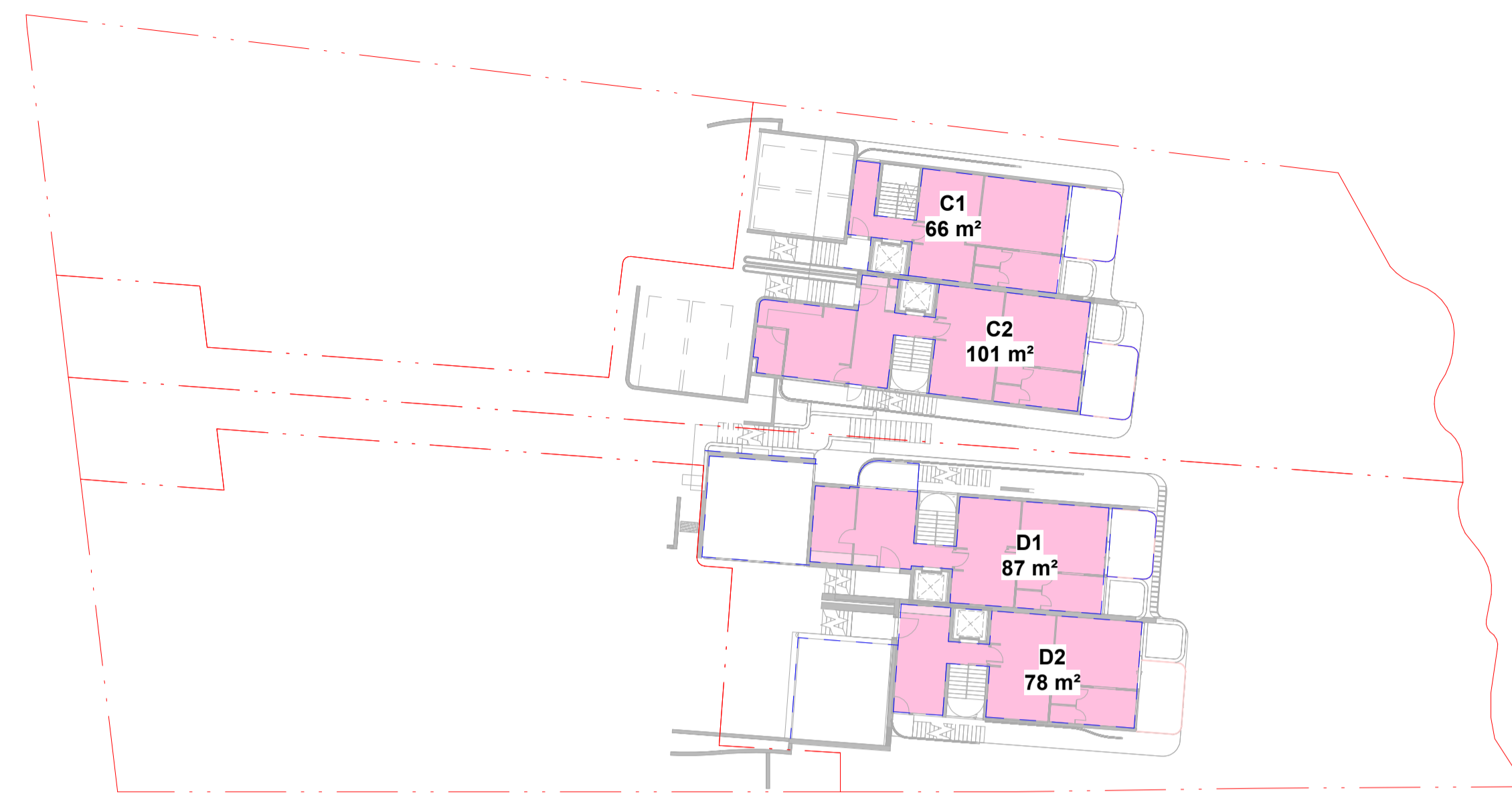
C1	R2 L1_N	89 m ²
C2	R2 L1_N	69 m ²
D1	R2 L1_N	112 m ²
D2	R2 L1_N	90 m ²

C1	R2 L2_N	66 m ²
C2	R2 L2_N	101 m ²
D1	R2 L2_N	87 m ²
D2	R2 L2_N	78 m ²

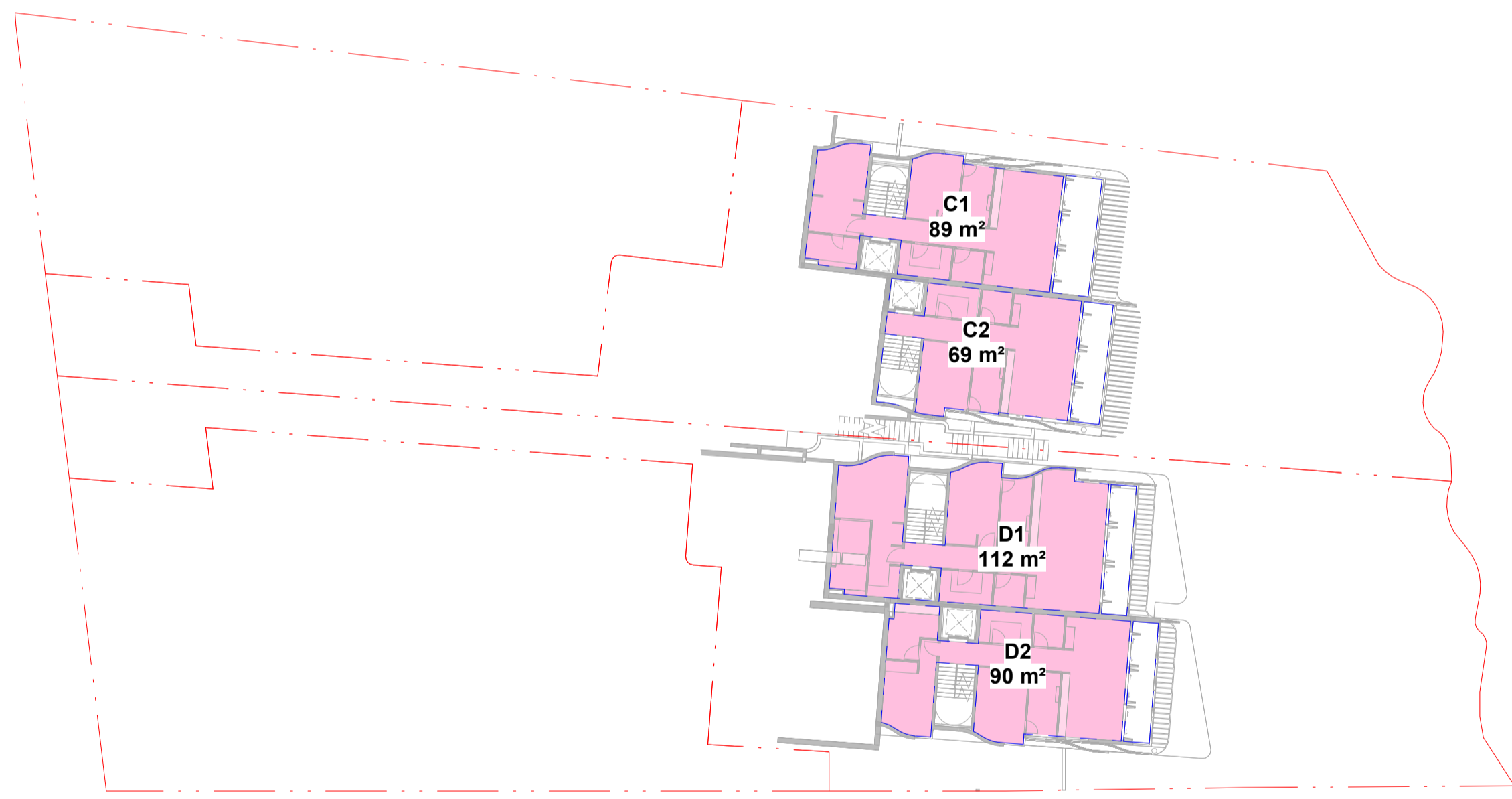
1057 m²



BLDG C & D - GROUND LEVEL - GFA



BLDG C & D - LEVEL 2 - GFA



BLDG C & D - LEVEL 1 - GFA



BLDG C & D - ROOF - GFA

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
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8	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

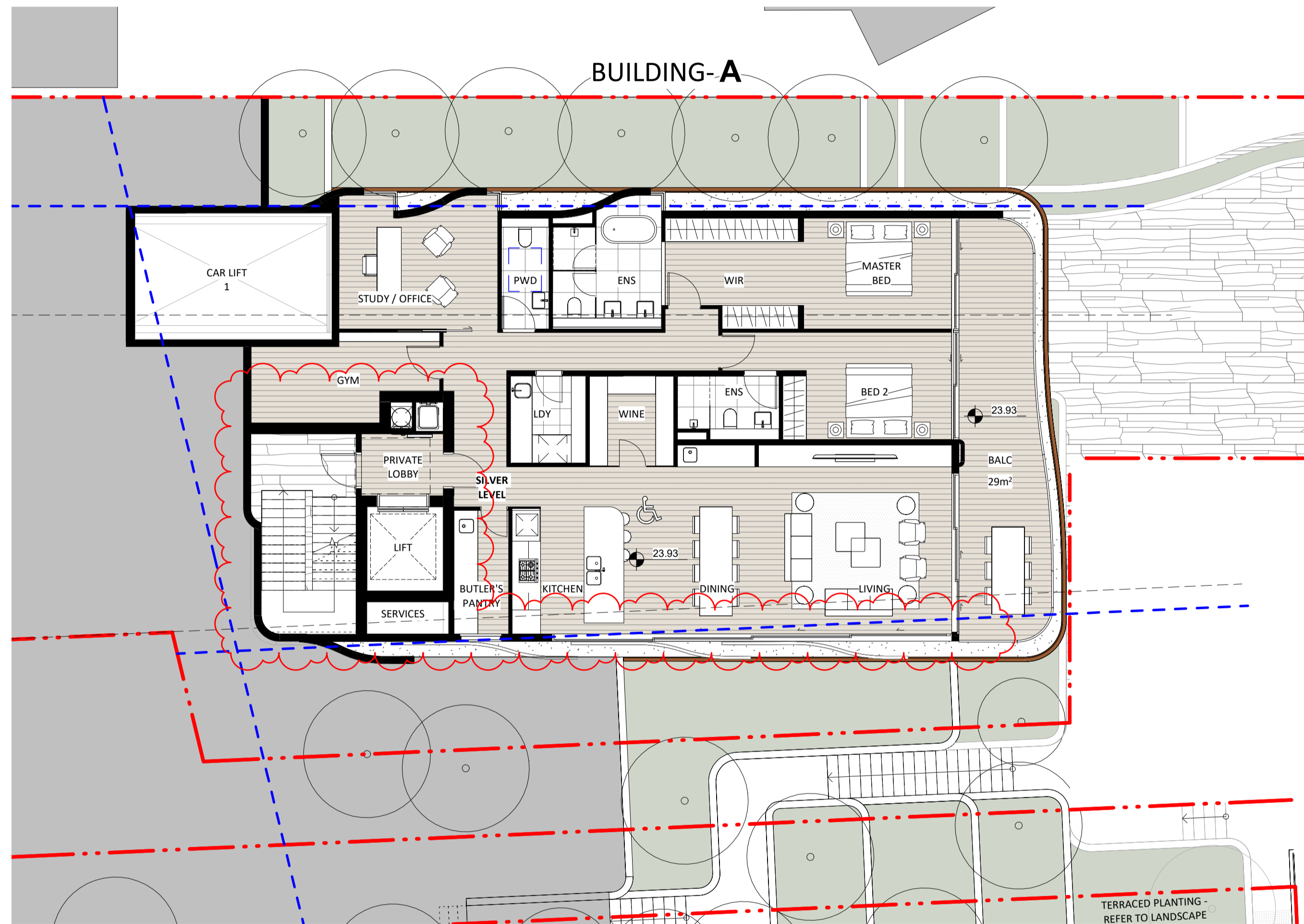
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 GFA DIAGRAMS - BUILDING C & D (R2 ZONE)

DWG NO.
 A459

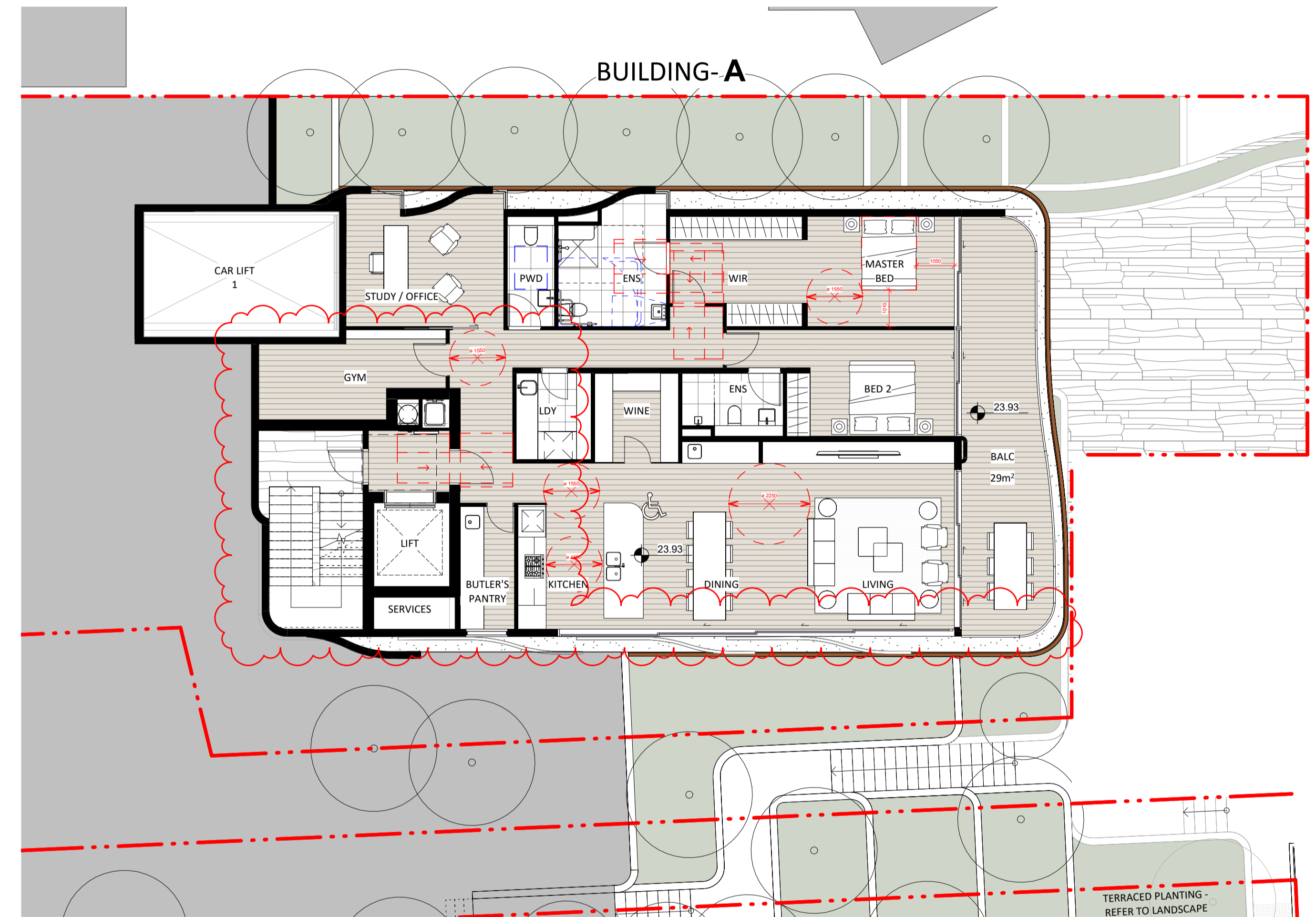
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SCALE
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DATE
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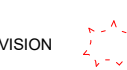


1 PRE ADAPTABLE UNIT LAYOUT (APT A 001)
1 : 100



2 POST ADAPTABLE UNIT LAYOUT (APT A 001)
1 : 100

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1	FOR INFORMATION			19.11.2021	
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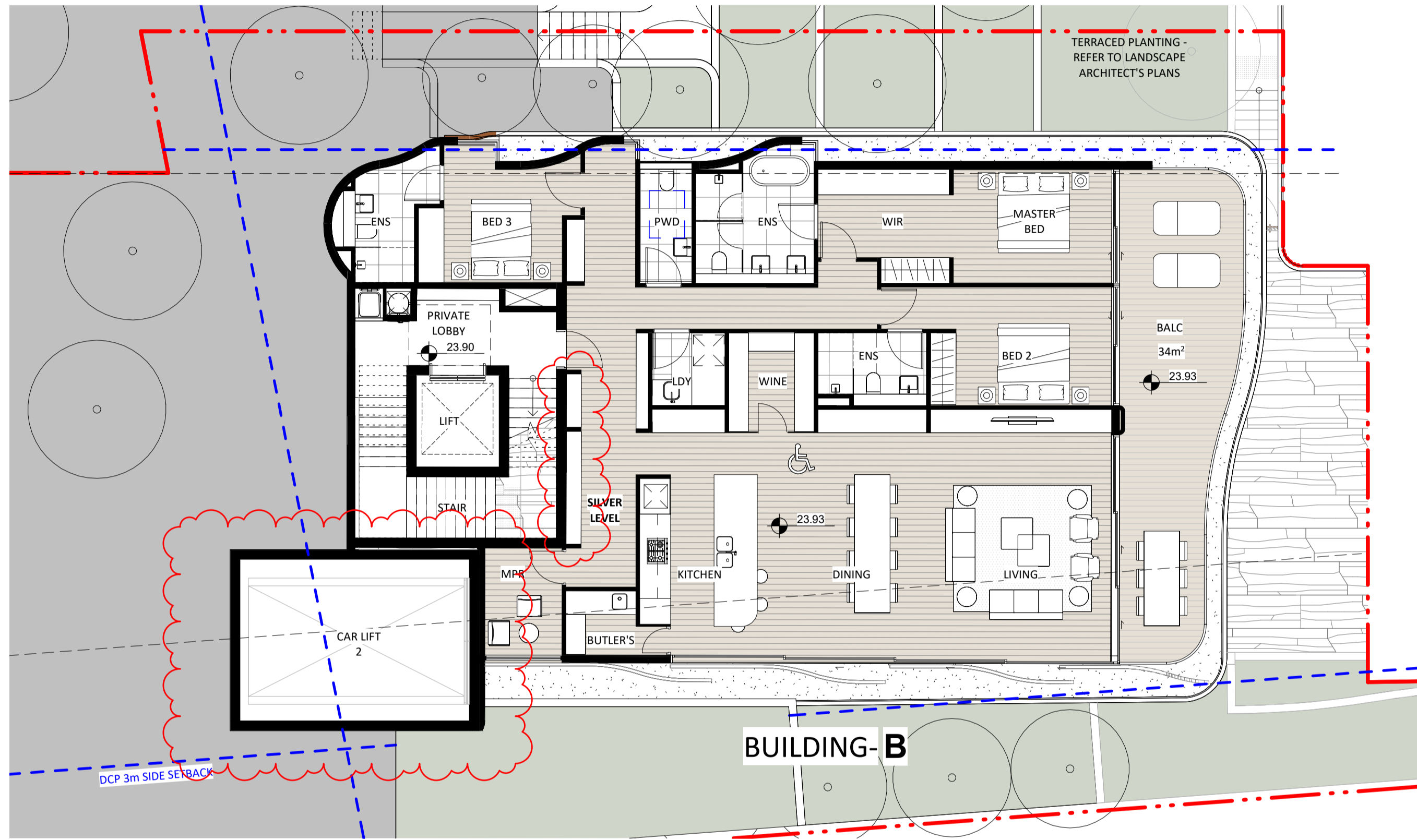
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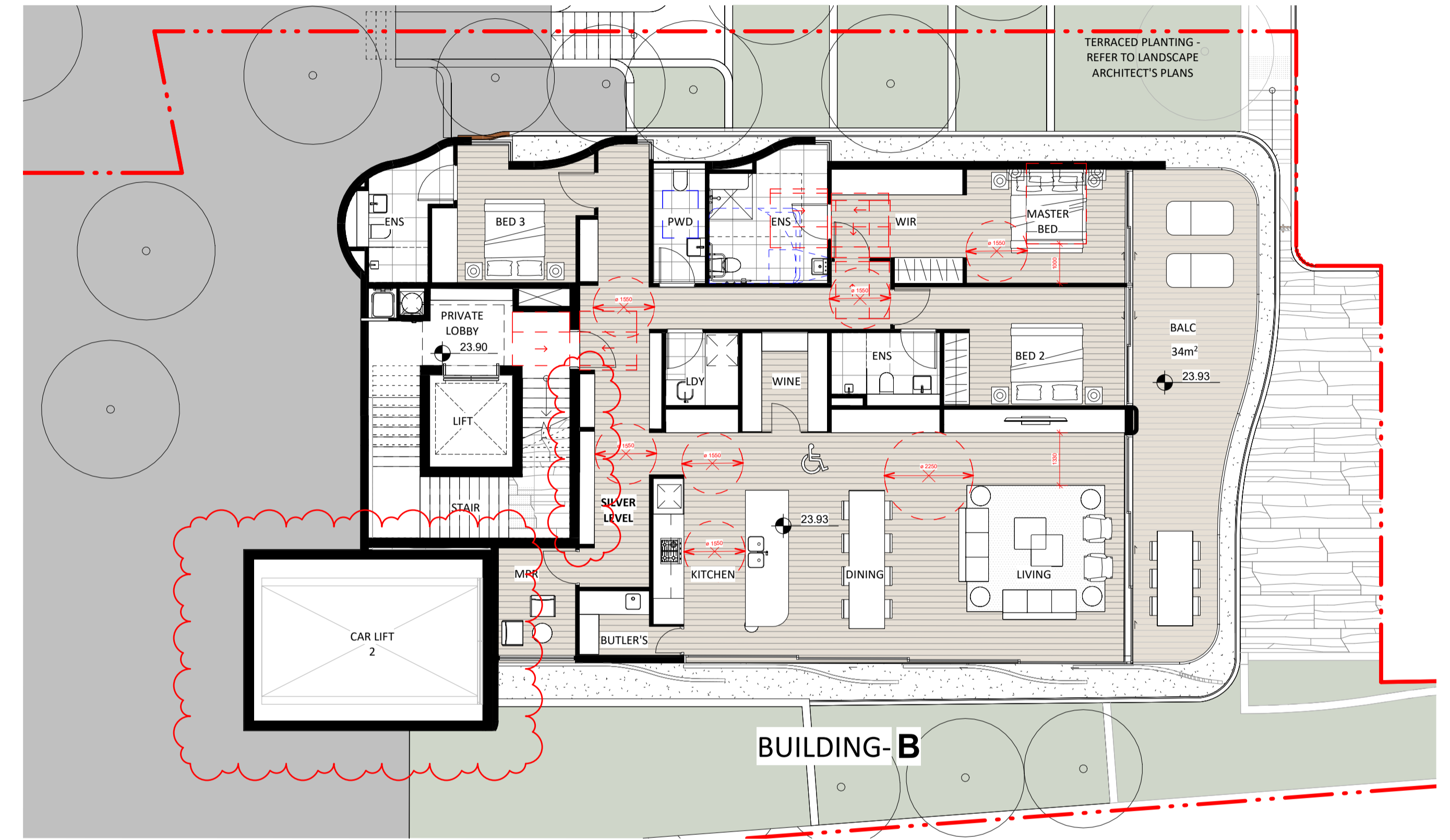
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089
 STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE
 PRE & POST ADAPTABLE UNIT LAYOUT
 (APT A 001)
 DWG NO.
 A475
 REVISION
 8
 DATE
 02.02.2024
 SCALE
 1:100@A1, 1:200@A3



1 PRE ADAPTABLE UNIT LAYOUT (APT B 001)
1 : 100



2 POST ADAPTABLE UNIT LAYOUT (APT B 001)
1 : 100

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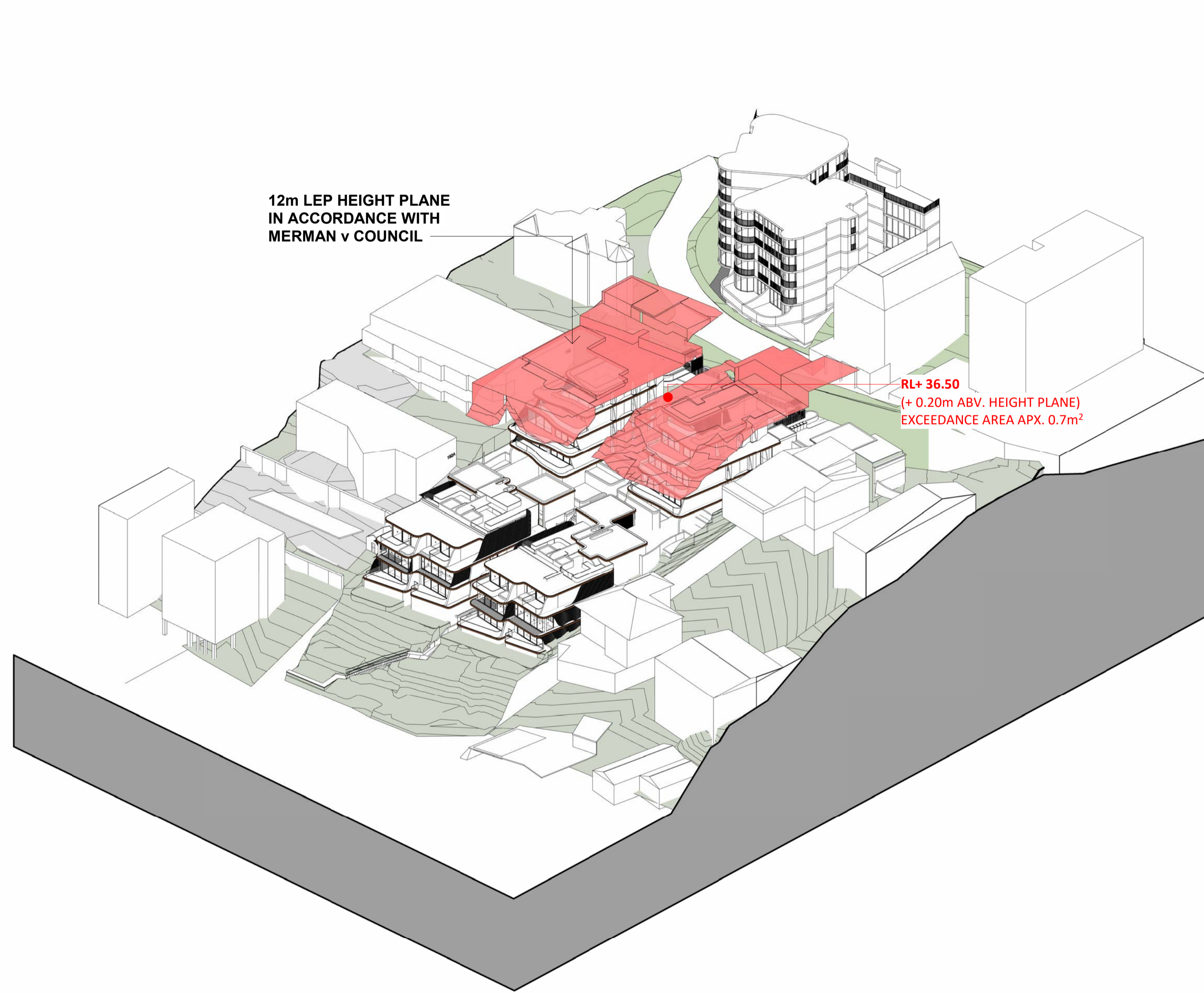
Koichi Takada Architects

PROJECT
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 2089

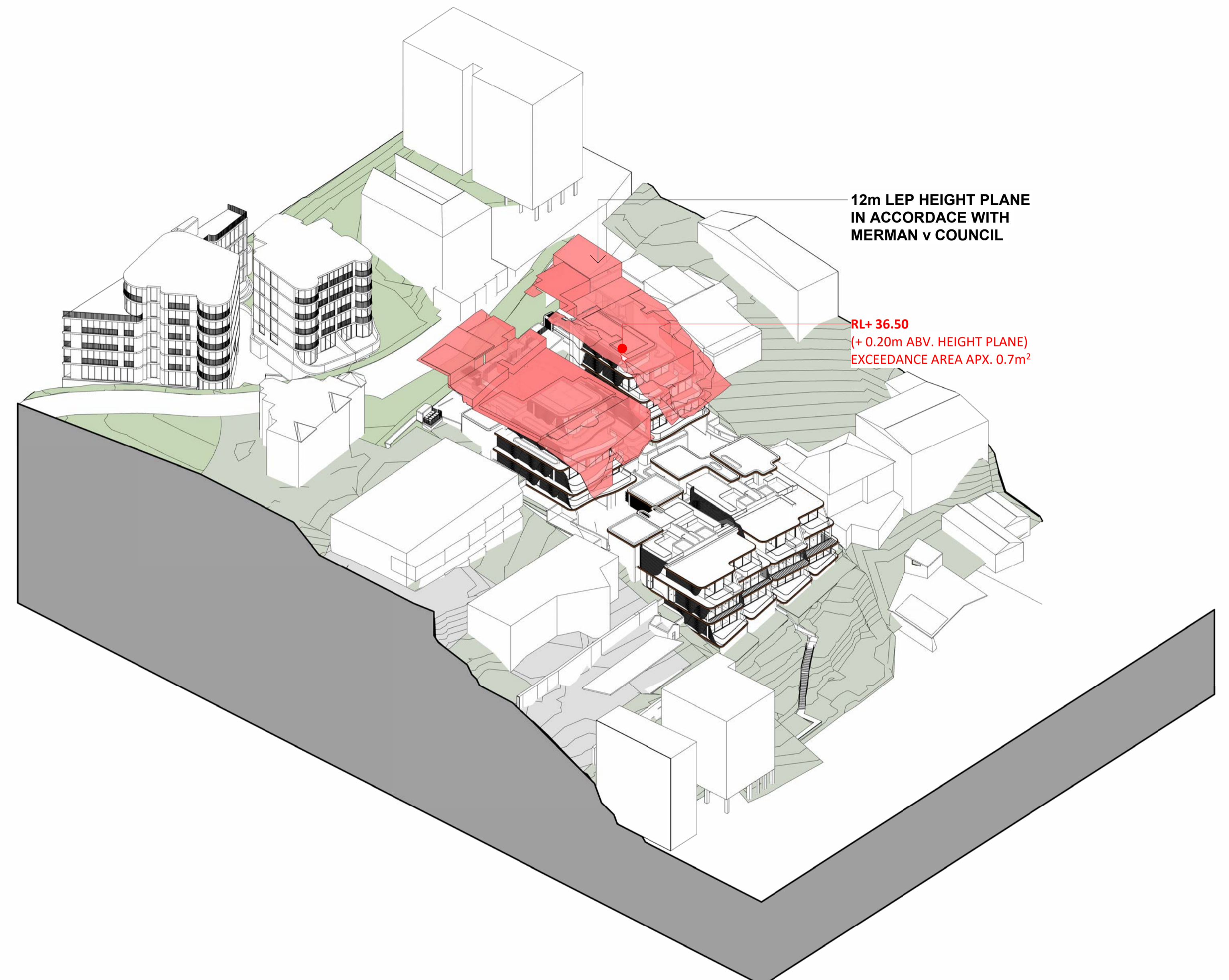
STATUS
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SCALE
 1:100@A1, 1:200@A3

DWG TITLE	REVISION	DATE
PRE & POST ADAPTABLE UNIT LAYOUT (APT B 001)	8	02.02.2024



R4 HEIGHT PLANE DIAGRAM - 12m ABOVE EXISTING GROUND LEVEL (VIEW 1)



R4 HEIGHT PLANE DIAGRAM - 12m ABOVE EXISTING GROUND LEVEL (VIEW 2)

DIAGRAM LEGEND:

NOTE:
THE DIAGRAMS ABOVE REPRESENT A 12m HEIGHT PLANE REFLECTING THE R4 ZONE SURVEYED GROUND IN ACCORDANCE WITH MERMAN v COUNCIL

NO.	REVISION	BY	CHK	DATE
1	AMENDED COORDINATION ISSUE	AL	RPW	19.05.2022
2	DA ISSUE	RPW	ACT	18.05.2022
3	ISSUE FOR PLANNING REPORT	AL	RPW	31.01.2024
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Kurraba Point Road Pty Ltd
430 TOORAK ROAD, TOORAK 3142

ARCHITECT:
SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
NOMINATED ARCHITECT:
KOICHI TAKADA
NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
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Koichi Takada Architects

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PROJECT:
190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW 2089
STATUS:
DEVELOPMENT APPLICATION - RFI 01

DWG TITLE	REVISION
HEIGHT PLANE DIAGRAMS (MERMAN) - R4 ZONE	4
DWG NO. A481	DATE 02.02.2024
SCALE	



DIAGRAM LEGEND:

NOTE:
THE DIAGRAMS ABOVE REPRESENT A 12m HEIGHT PLANE REFLECTING THE R4 ZONE SURVEYED GROUND IN ACCORDANCE WITH MERMAN v COUNCIL

NO.	REVISION	BY	CHK	DATE
1	ISSUE FOR PLANNING REPORT	AL	RPW	31.01.2024
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

KEY PLAN

CLOUD LEGEND

REVISION
 ON HOLD

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PROJECT
190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089

STATUS
DEVELOPMENT APPLICATION - RFI 01

DWG TITLE
HEIGHT PLANE PLAN (MERMAN) - R4 ZONE

DWG NO.
A482

SCALE

REVISION
2

DATE
02.02.2024

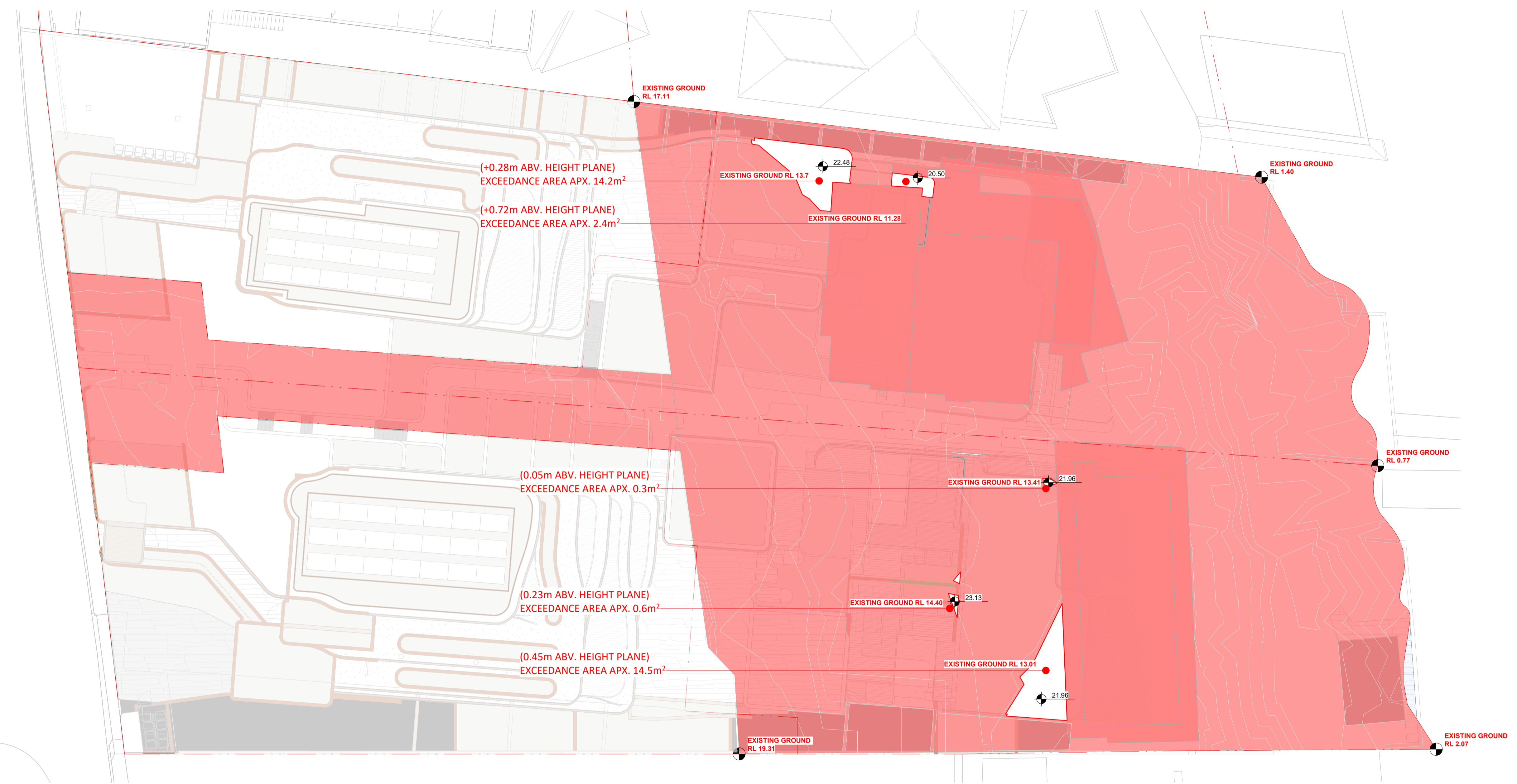


DIAGRAM LEGEND:

NOTE:
 THE DIAGRAMS ABOVE REPRESENT A 8.5m HEIGHT PLANE REFLECTING THE R2 ZONE SURVEYED GROUND IN ACCORDANCE WITH MERMAN v COUNCIL

NO.	REVISION	BY	CHK	DATE
1	ISSUE FOR PLANNING REPORT	AL	RPW	31.01.2024
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

KEY PLAN

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 VIC ARCHITECTS 16179
 QLD ARCHITECTS 5590
 KOICHIKAKADA.COM

Koichi Takada Architects

PROJECT:
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

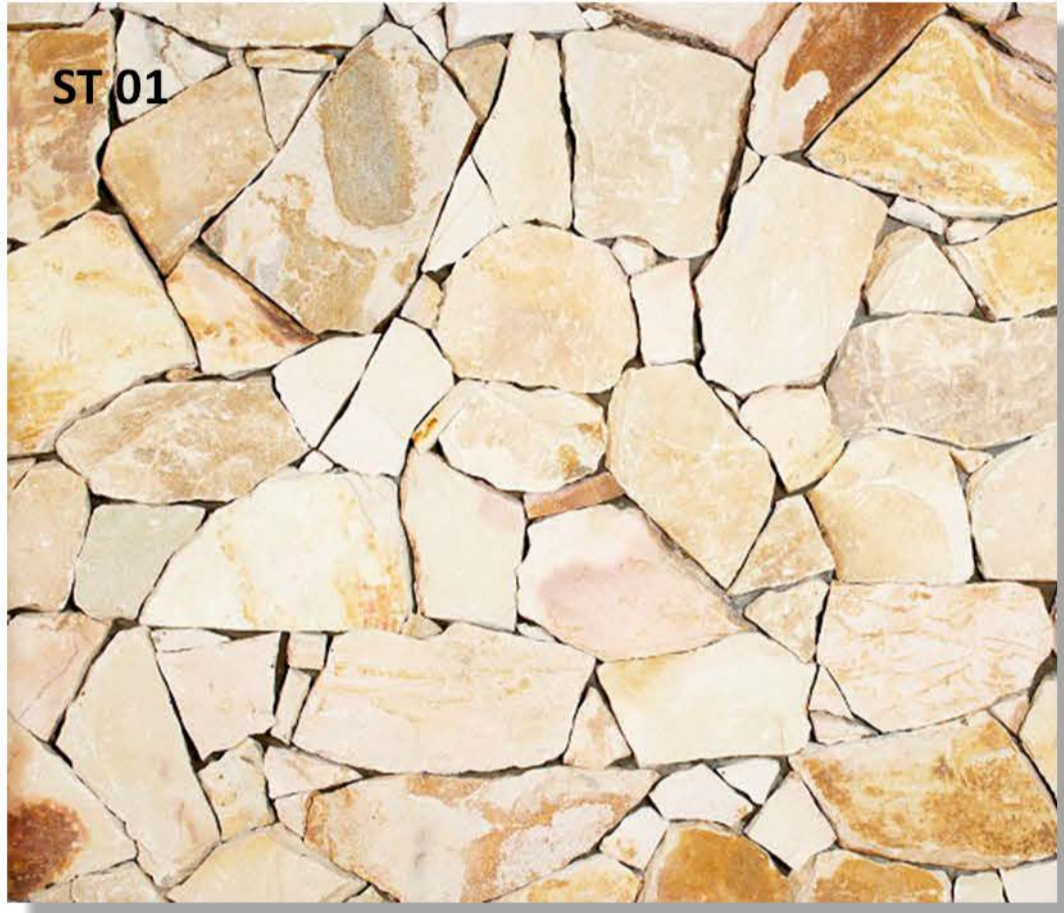
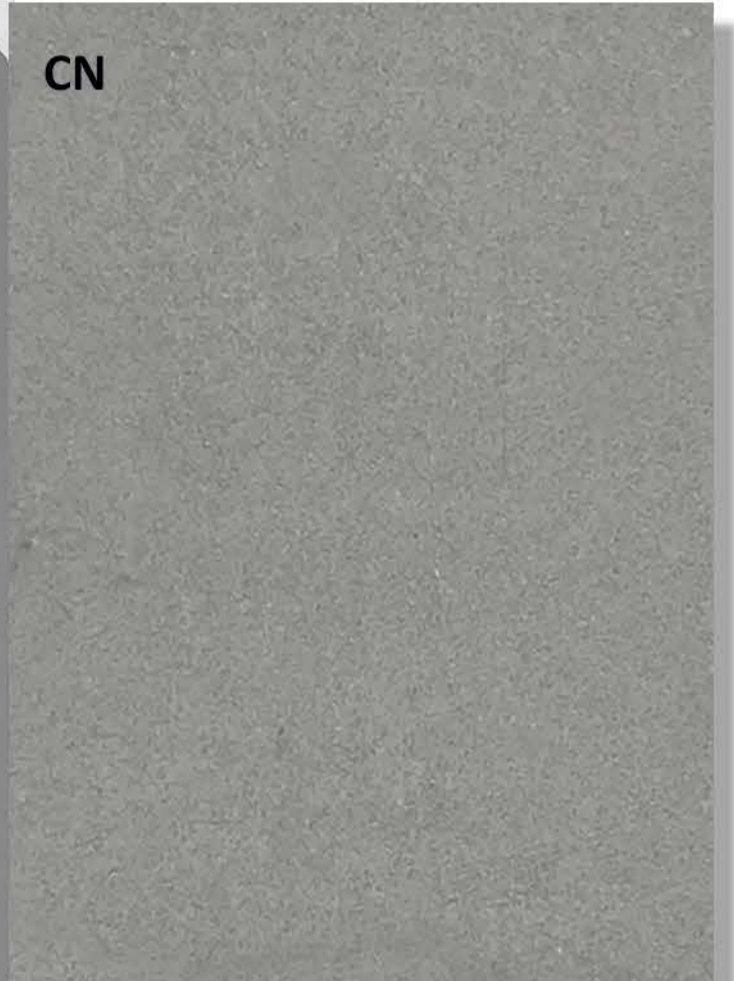
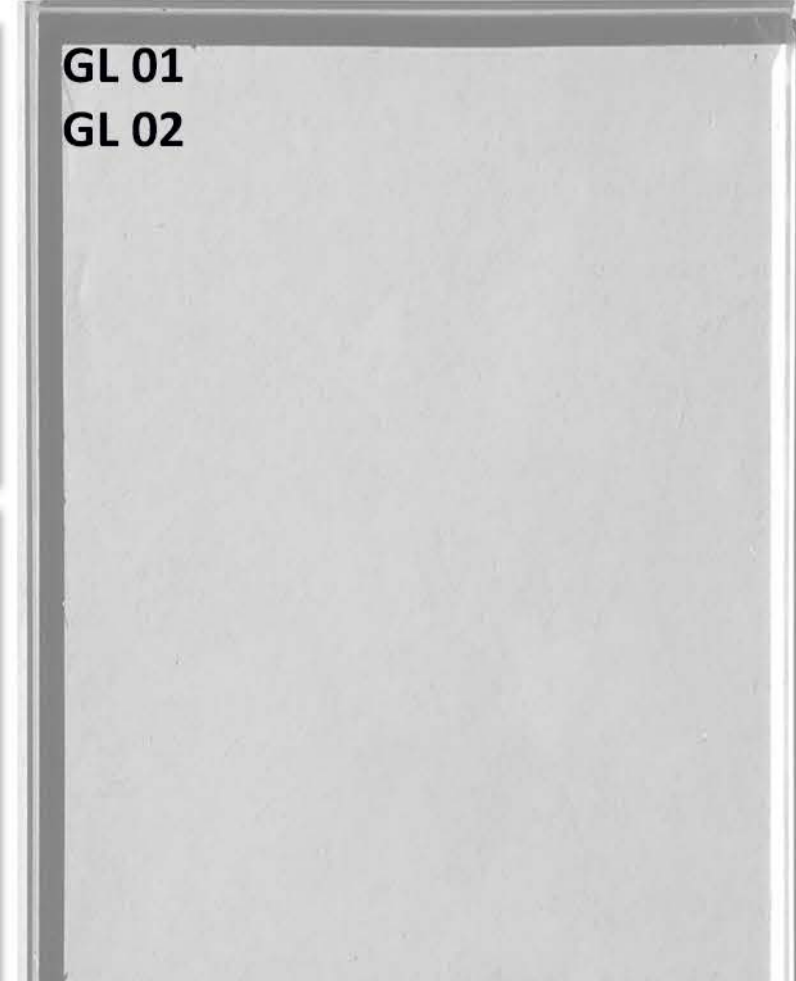
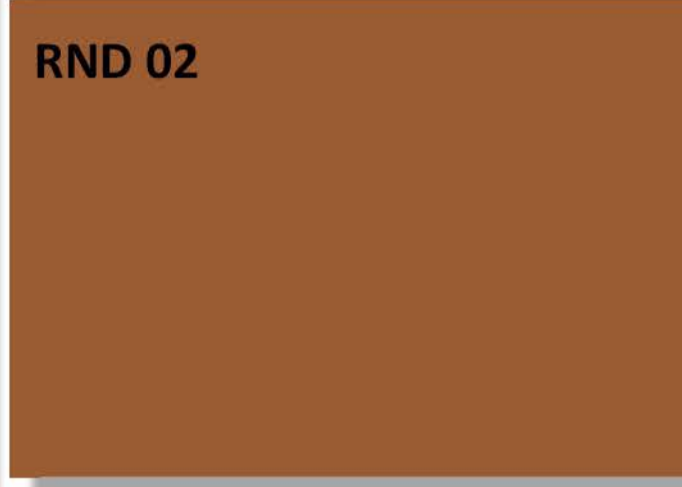
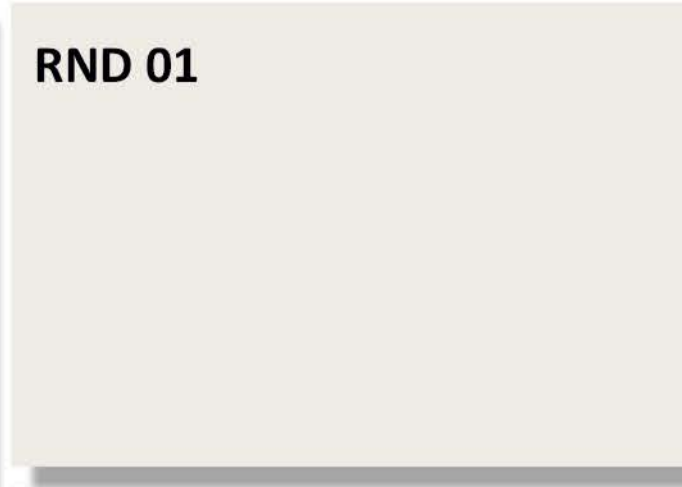
STATUS:
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE:
 HEIGHT PLANE PLAN (MERMAN) - R2 ZONE

DWG NO.:
 A484

SCALE:

REVISION	DATE
2	02.02.2024



[*Kurraba Point*]

LEGEND

AL 01	EARTH TONE RED COLOUR ALUM. BATTENS	RND 01	LIGHT COLOUR RENDER
AS 01	LIGHT COLOUR ALUMINIUM SCREEN	RND 02	EARTH TONE RED COLOUR RENDER
BR 01	EARTH TONE RED BRICK	ST 01	SANDSTONE CLADDING
CN	CONCRETE	ST 02	PAVING STONE
GL 01	CLEAR GLASS		
GL 02	GLASS BALUSTRADE		

NO.	REVISION	BY	CHK	DATE
1	ELEVATION REFERENCE ISSUE	RPW	JAC	06.05.2022
2	DA ISSUE	RPW	JAC	08.05.2022
3	COUNCIL RFI COORDINATION ISSUE	AL/DK	RPW	31.07.2023
4	COUNCIL RFI ISSUE	AL/DK	RPW	15.08.2023
5	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

NO.	REVISION	DATE

KEY PLAN

CLOUD LEGEND

	REVISION
	ON HOLD

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 VIC ARCHITECTS 16179
 QLD ARCHITECTS 5590
 KOICHI TAKADA.COM

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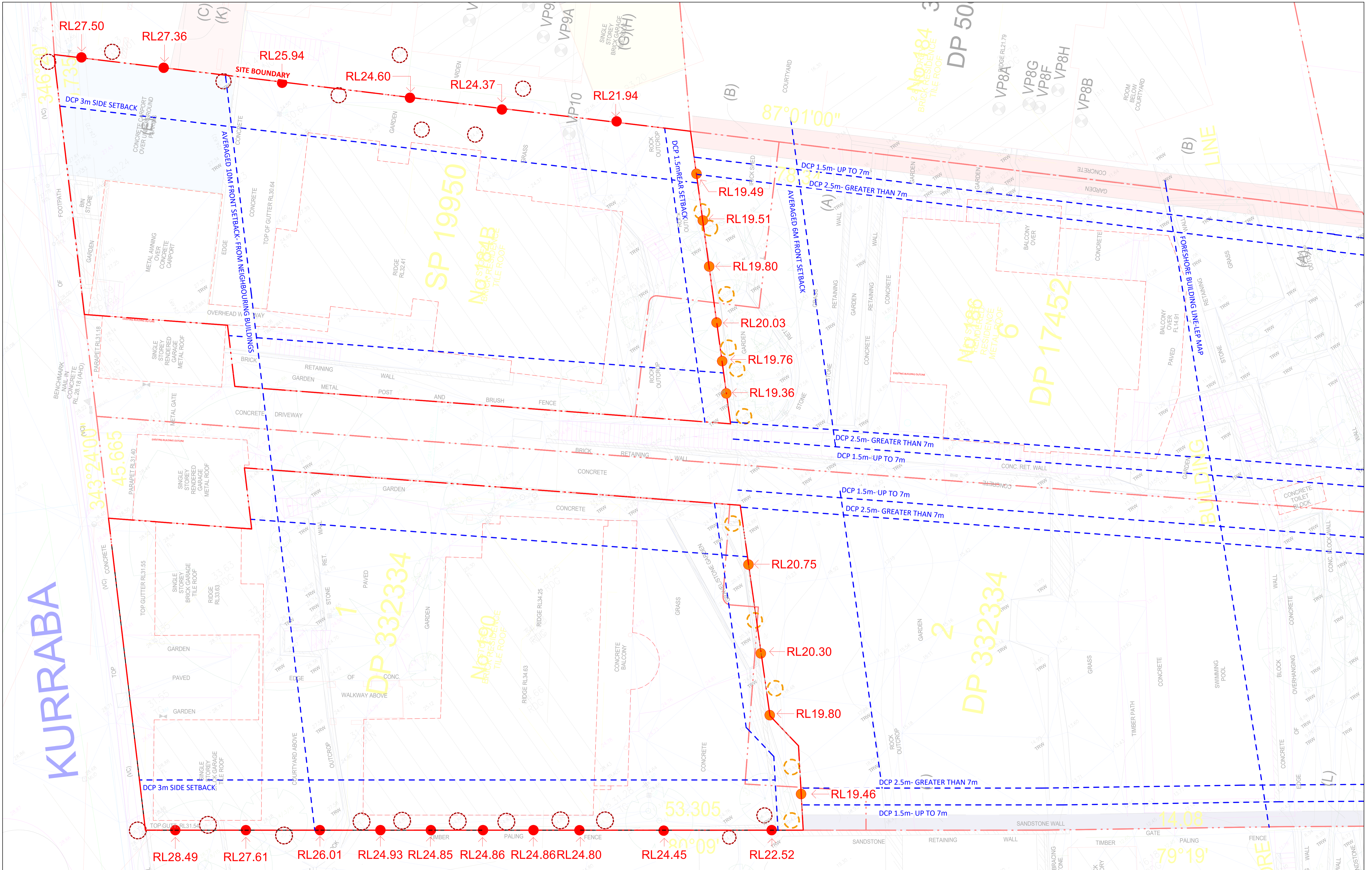
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE	DWG NO.	REVISION	DATE
MATERIAL SAMPLE BOARD	A500	5	02.02.2024



NO.	REVISION	BY	CHK	DATE
1	RFI Mark up	AL	RPW	30.06.2023
2	COUNCIL REF ISSUE	AL	RPW	15.08.2023
3	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	BY	CHK	DATE
1	RFI Mark up	AL	RPW	30.06.2023
2	COUNCIL REF ISSUE	AL	RPW	15.08.2023
3	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	BY	CHK	DATE
1	RFI Mark up	AL	RPW	30.06.2023
2	COUNCIL REF ISSUE	AL	RPW	15.08.2023
3	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

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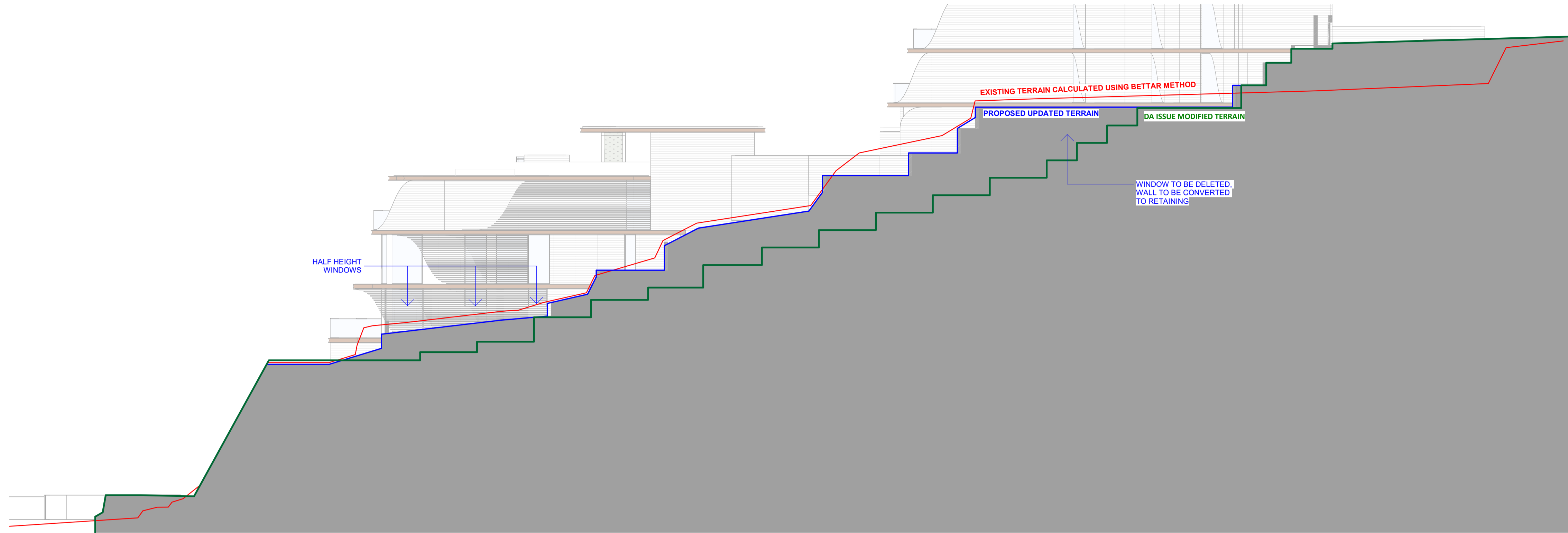
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

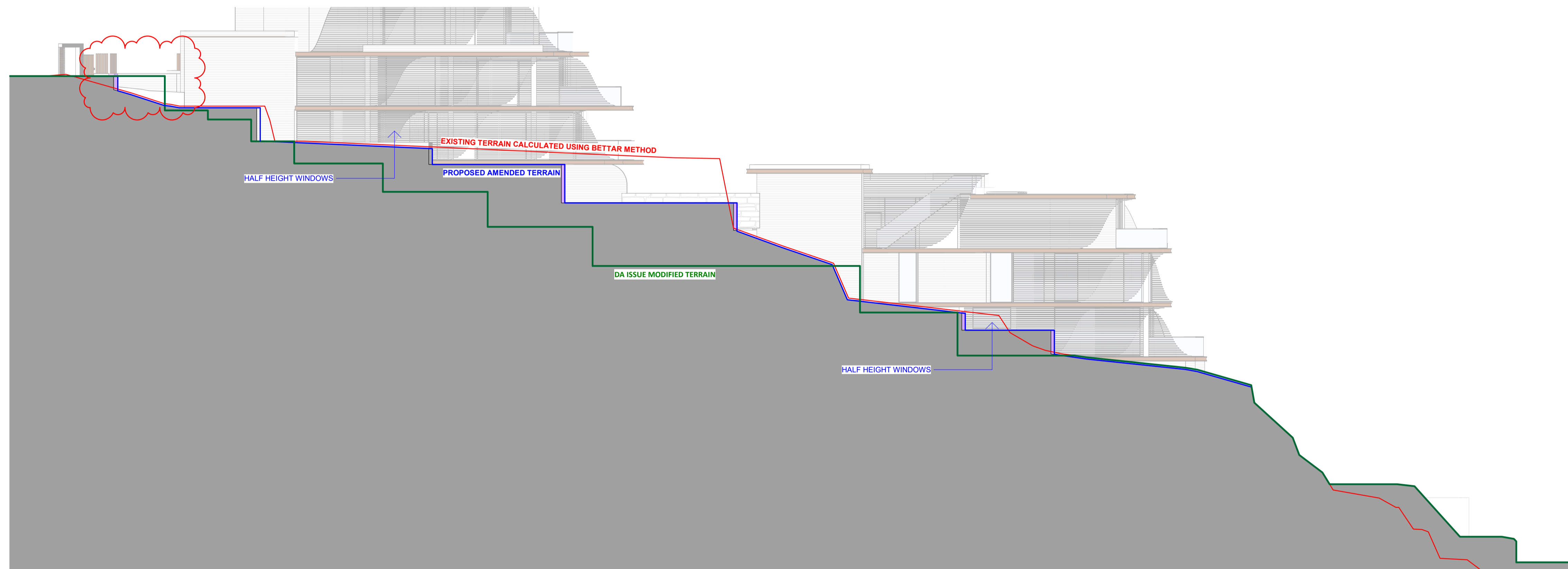
STATUS
 DEVELOPMENT APPLICATION - RFI 01

SCALE
 1:100@A1, 1:200@A3

DWG TITLE	DWG NO.	REVISION
DCP SIDE AND REAR SETBACK - SURVEY POINTS	A620	3
DATE	02.02.2024	

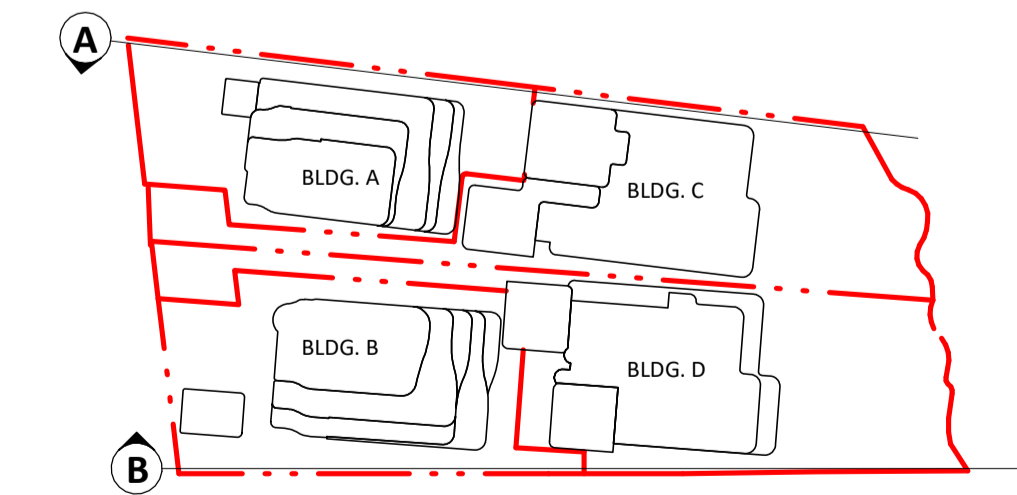


A SECTION A - NORTHERN BOUNDARY LEVELS
1:150



B SECTION B - SOUTHERN BOUNDARY LEVELS
1:150

- LEGEND:**
- JUNE 2022 DA ISSUE MODIFIED TERRAIN
 - EXISTING TERRAIN CALCULATED USING BETTAR METHOD
 - PROPOSED AMENDED TERRAIN



NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
1	COUNCIL RFI ISSUE	JALDR	RPW	15.08.2023	
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN

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 430 TOORAK ROAD, TOORAK 3142

ARCHITECT:
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 T 02 9698 8510
 ABN 63 131 365 896
 NOMINATED ARCHITECT:
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PROJECT:
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW 2089

STATUS:
 DEVELOPMENT APPLICATION - RFI 01

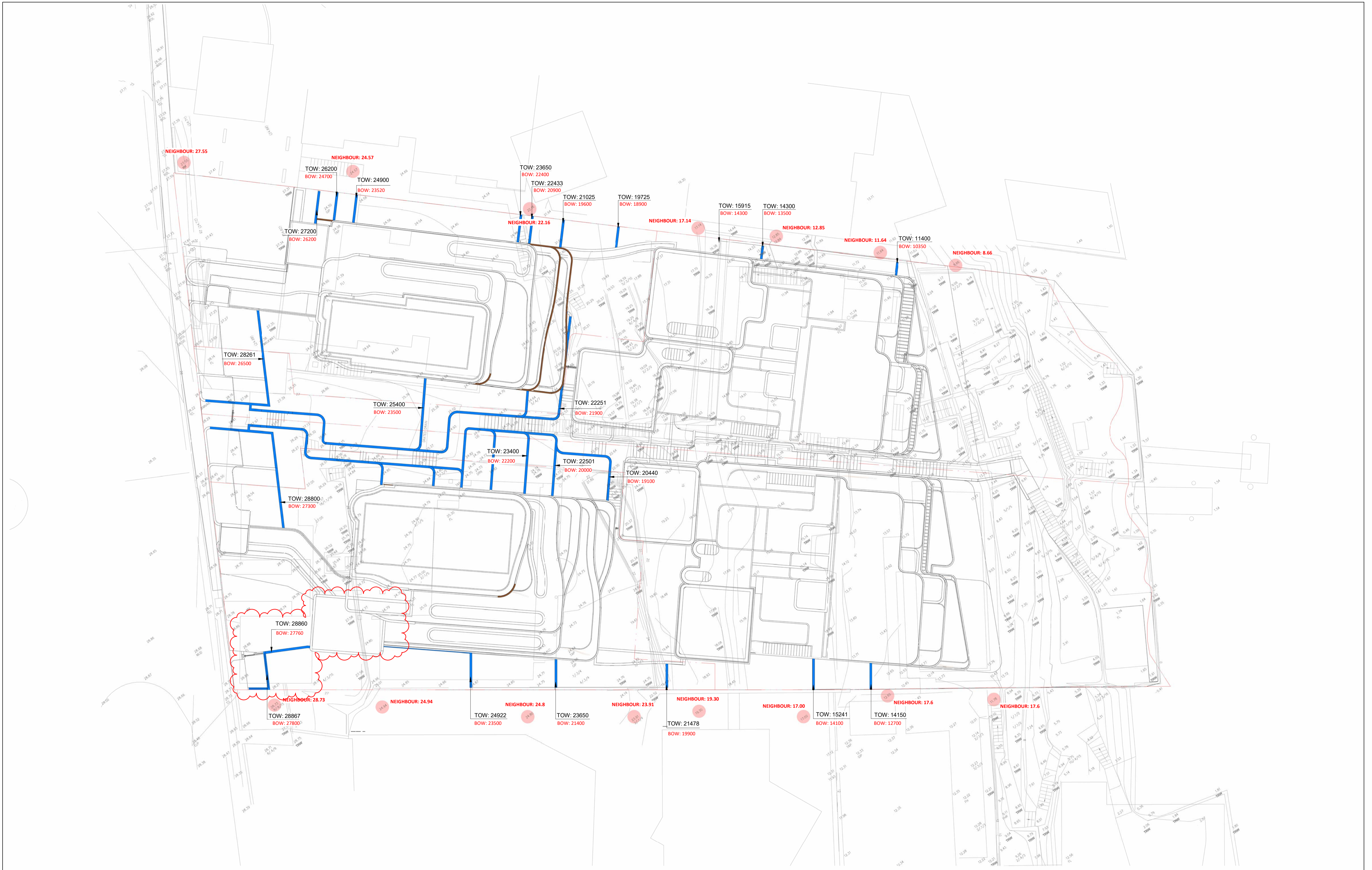
DWG TITLE:
 BOUNDARY SECTIONS - EXISTING LEVELS

DWG NO.:
 A650

SCALE:
 1:150

REVISION:
 2

DATE:
 02.02.2024



NO.	REVISION	BY	CHK	DATE
1	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

KEY PLAN

CLOUD LEGEND

REVISION

ON HOLD

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PROJECT:

190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089

STATUS:

DEVELOPMENT APPLICATION - RFI 01

DWG TITLE:

RETAINING STUDY

DWG NO.:

A660

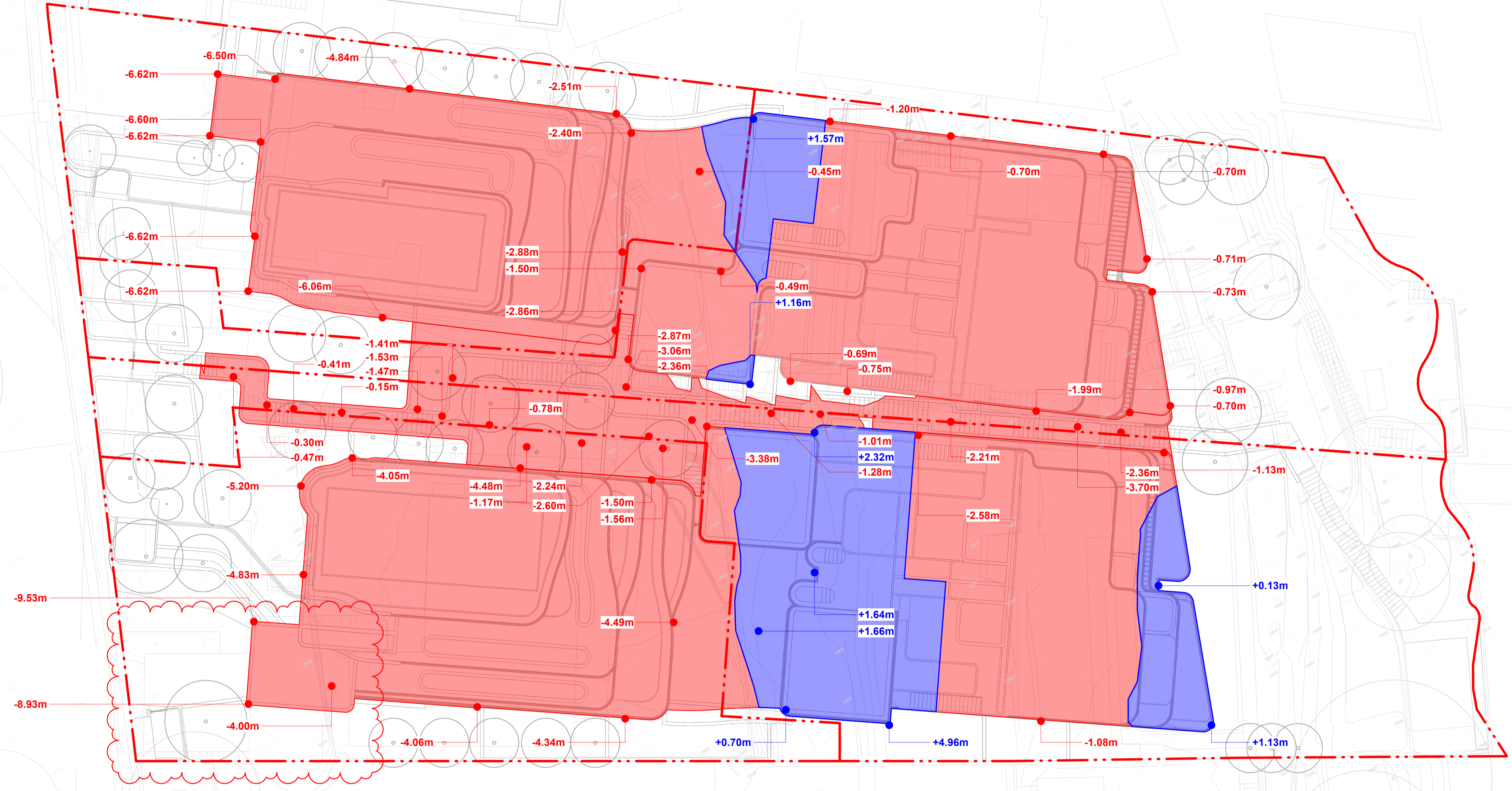
REVISION:

1

DATE:

02.02.2024

SCALE:



LEGEND		AREA SUMMARY	
■	SITE EXCAVATION	TOTAL SITE AREA:	3,343m ²
■	SITE IN-FILL	TOTAL EXCAVATION AREA:	1,628m ² (48.7%)
		TOTAL IN-FILL AREA:	247m ² (7.4%)

NO.	REVISION	BY	CHK	DATE
1	COUNCIL RFI ISSUE	JALDR	RPW	15.08.2023
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:	
○	REVISION
○	ON HOLD

KEY PLAN
CLOUD LEGEND

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PROJECT
190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089
 STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE	DWG NO.	REVISION
CUT & FILL DIAGRAM	A661	2
SCALE		DATE
		02.02.2024



R2 GROUND - View Points



R2 L1 - View Points

NO.	REVISION	BY	CHK	DATE
1	COUNCIL RFI ISSUE	ALDR	RPW	15.08.2023
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:	
REVISION	ON HOLD

KEY PLAN	NOTES:	OTHERS:
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CLIENT	ARCHITECT
<p>Kurraba Point Road Pty Ltd 430 TOORAK ROAD, TOORAK 3142</p>	<p>SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM</p>

Koichi Takada Architects

PROJECT	DWG TITLE
<p>190 KURRABA RD 190 KURRABA RD, KURRABA POINT NSW 2089</p> <p>STATUS DEVELOPMENT APPLICATION - RFI 01</p>	<p>FLOOR PLAN - VIEW POINTS</p> <p>DWG NO. A662</p> <p>REVISION 2</p> <p>DATE 02.02.2024</p>

SCALE	GA STAMP
<p>1:100@A1, 1:200@A3</p>	<p>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</p>



VIEW POINT 1



VIEW POINT 2



VIEW POINT 3



VIEW POINT 4

NOTE: VIEW LOCATIONS REFER TO SHEET A662

NO.	REVISION	BY	CHK	DATE
1	COUNCIL RFI ISSUE	ALDR	RPW	15.08.2023
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	BY	CHK	DATE

NO.	REVISION	BY	CHK	DATE

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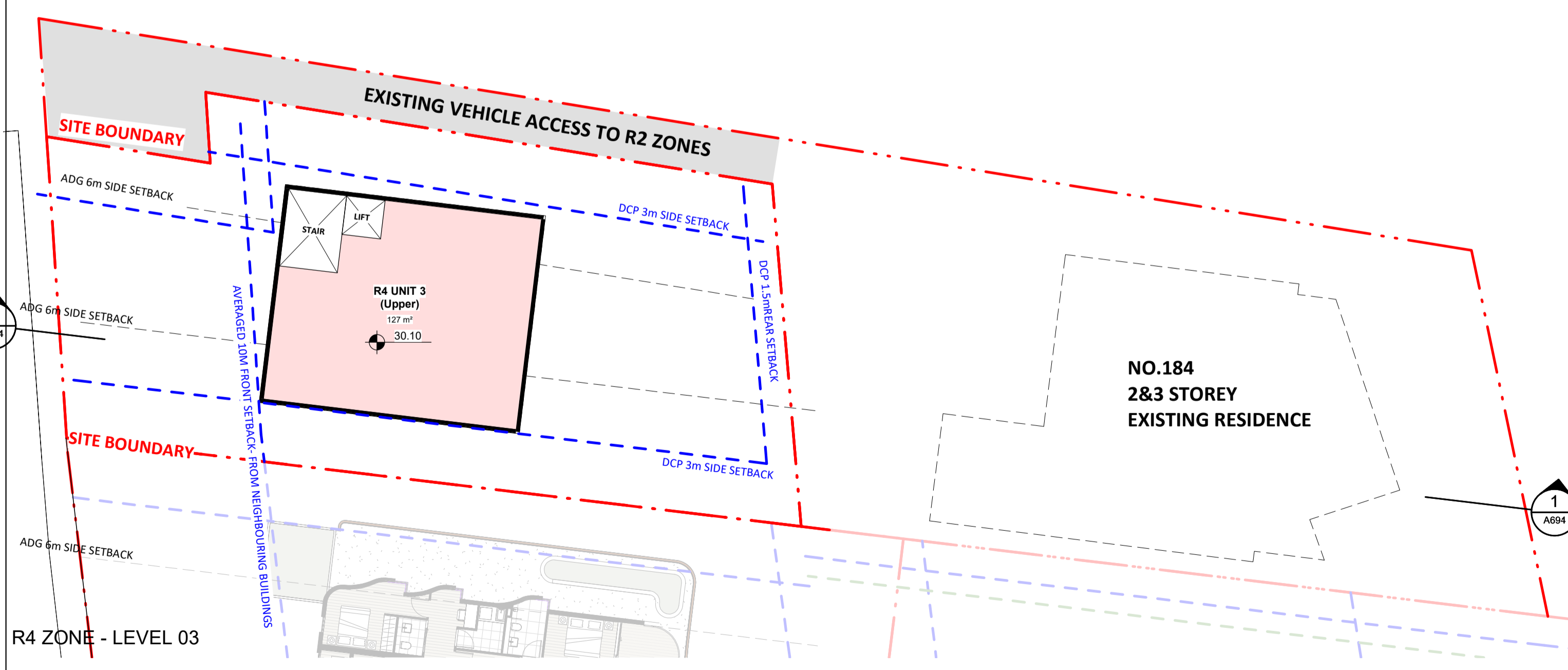
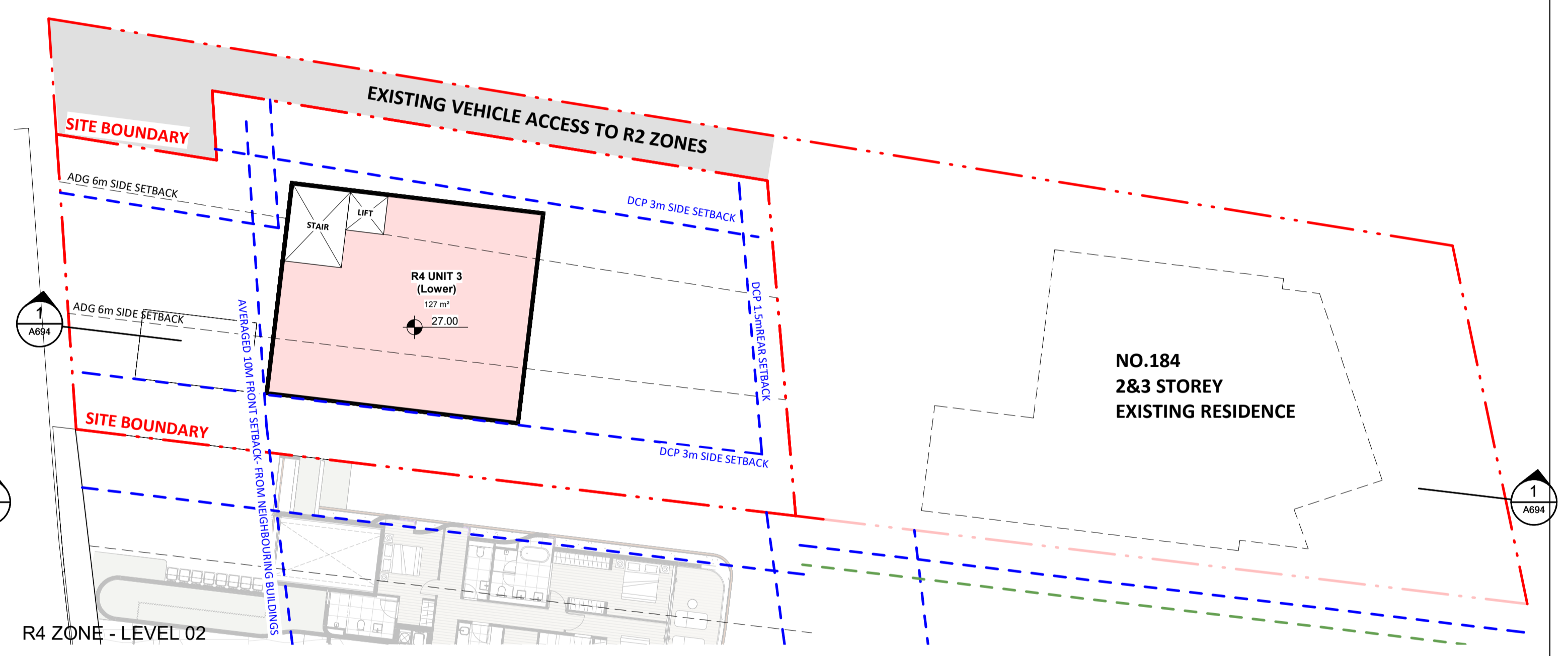
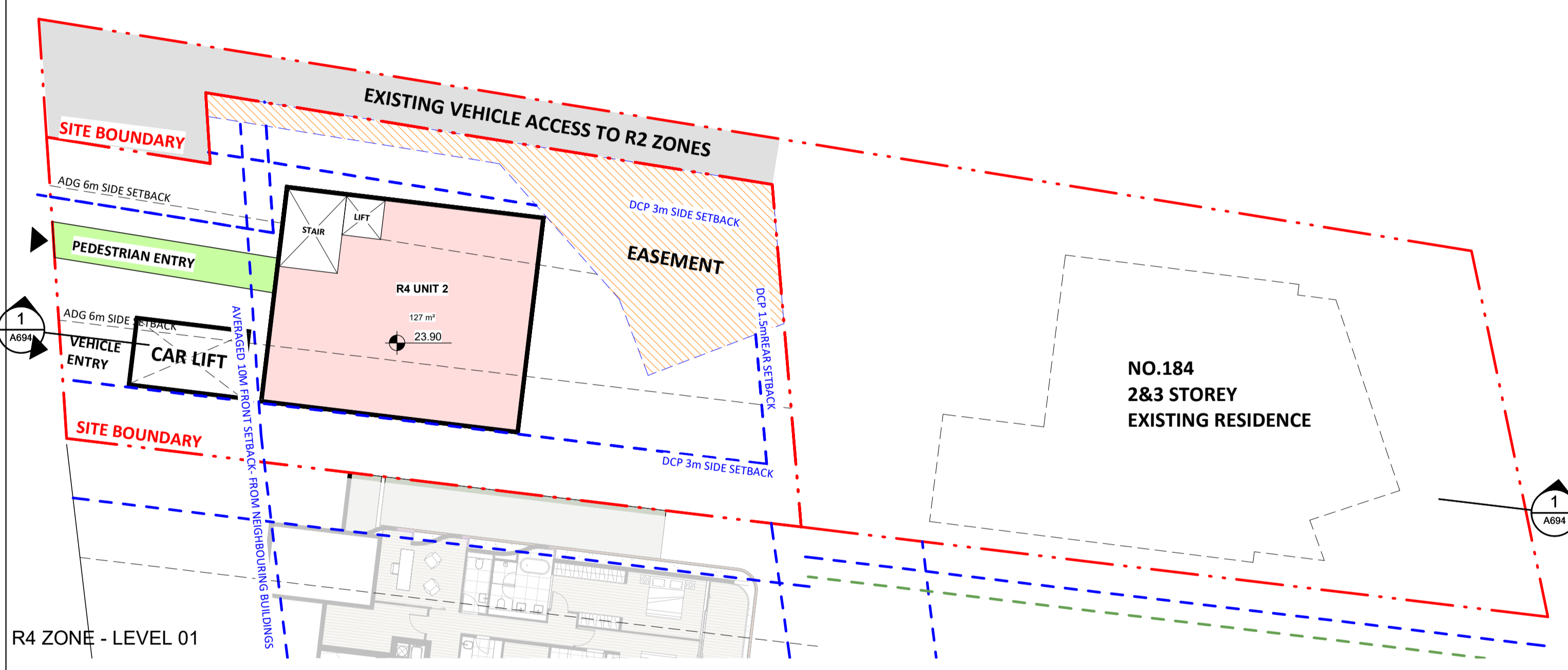
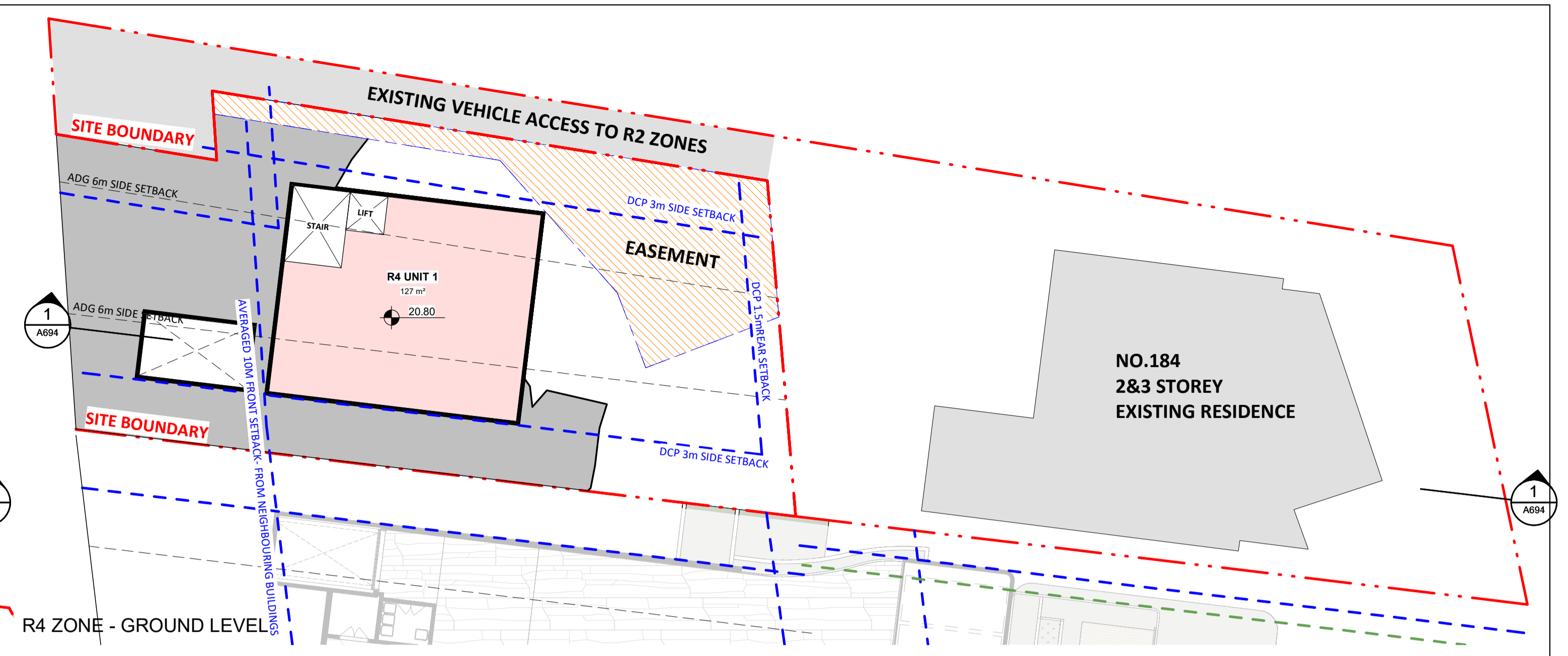
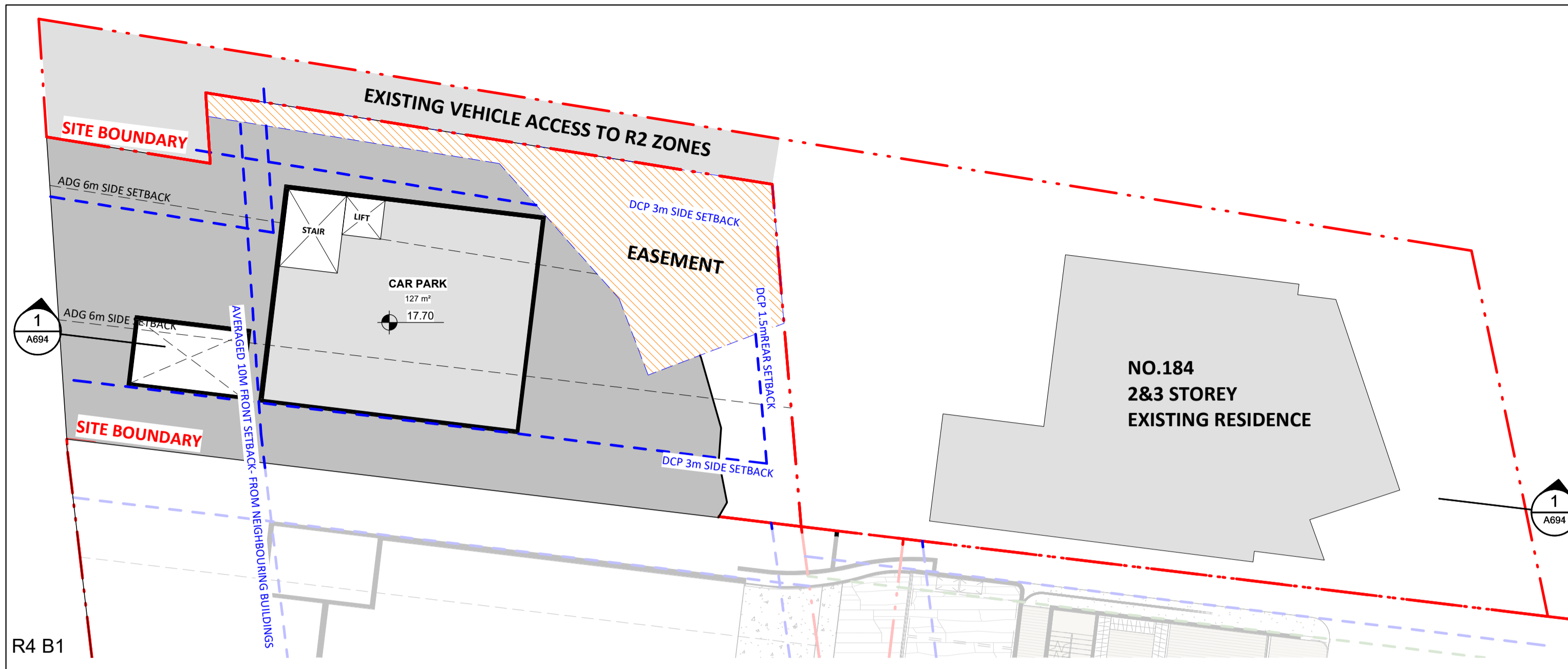
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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089
 STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG TITLE	DWG NO.	REVISION
INDICATIVE 3D VIEWS	A663	2
SCALE		DATE
		02.02.2024



NO.	REVISION	BY	CHK	DATE
1	COUNCIL RFI ISSUE	ALDR	RPW	15.08.2023
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	DATE
1	REVISION	02.02.2024
2	ON HOLD	

KEY PLAN

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Koichi Takada Architects

PROJECT

190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089

STATUS

DEVELOPMENT APPLICATION - RFI 01

DWG TITLE

FEASIBILITY STUDY - 184A KURRABA ROAD - OPTION 1

DWG NO.

A690

SCALE

1:1

REVISION

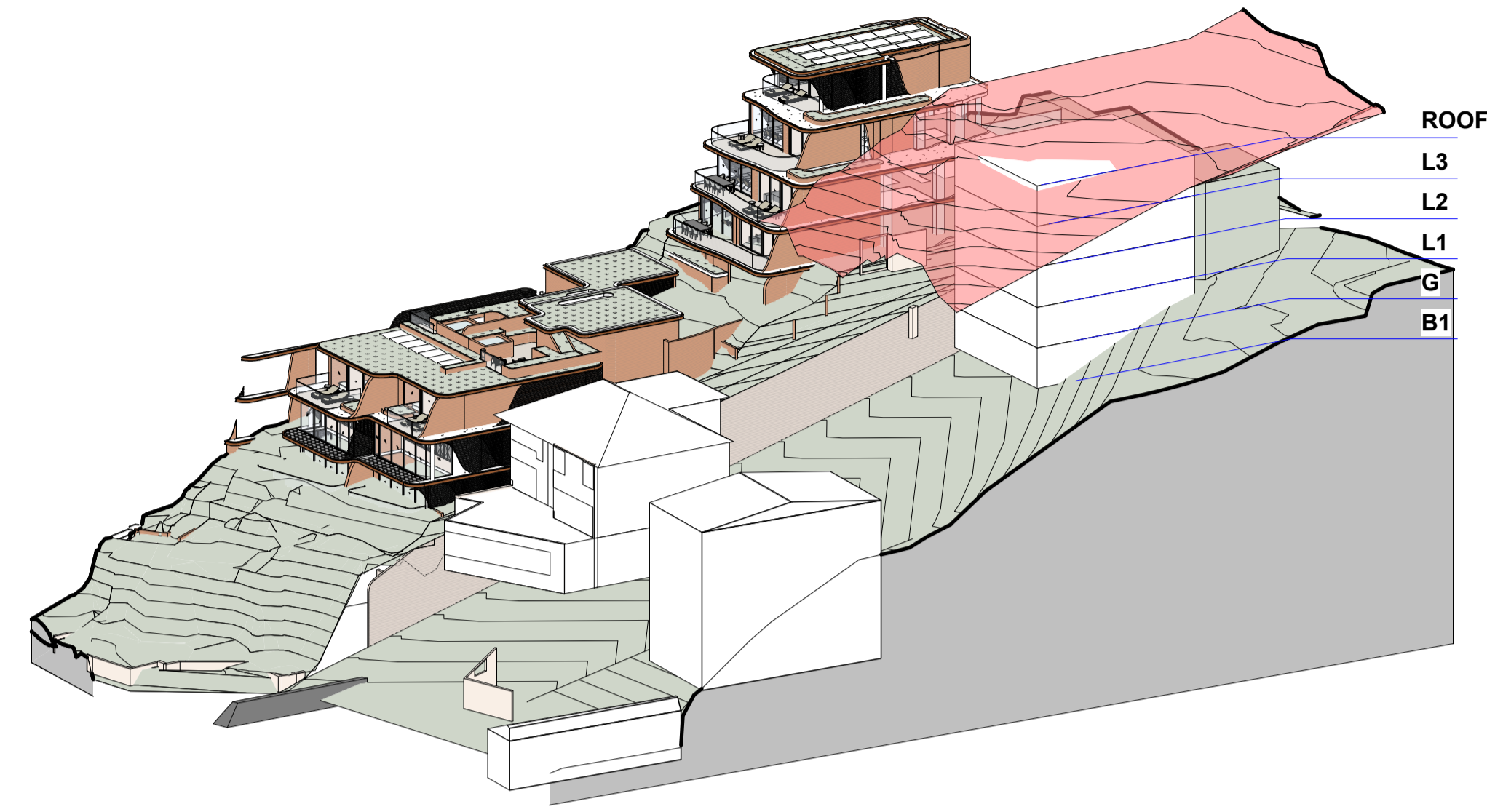
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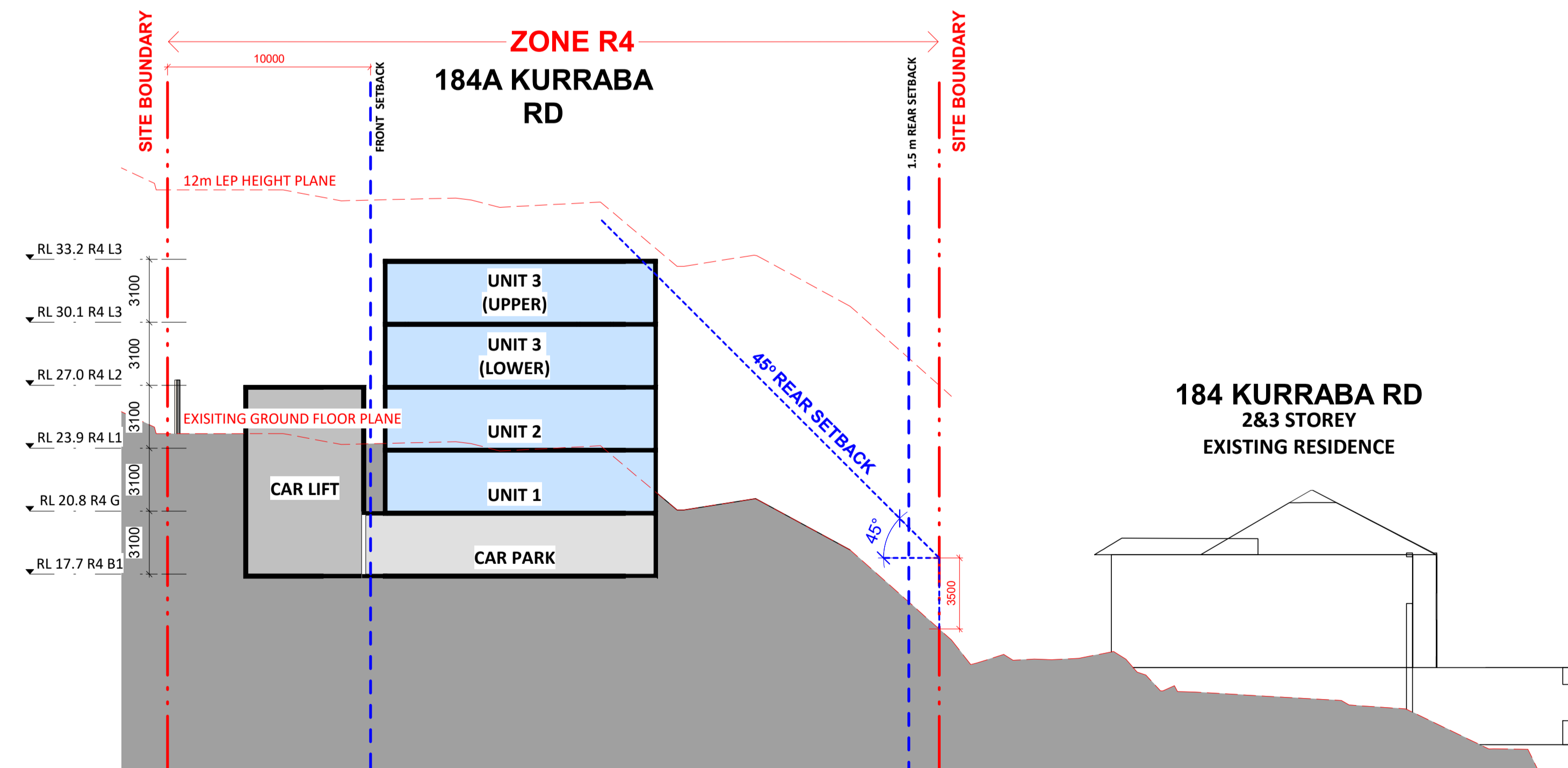
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OPTION 1 R4 ONLY		
SITE AREA		656 sqm
SITE COVERAGE		26.8 %
GFA		508 sqm
LEVELS	UNITS	GFA (sqm)
GROUND	UNIT 1	127
LEVEL 1	UNIT 2	127
LEVEL 2 (LOWER)	UNIT 3	127
LEVEL 2 (UPPER)	UNIT 3	127
TOTAL		508



12M Height Plane



NO.	REVISION	BY	CHK	DATE	REVISION NOTES
1	COUNCIL RFI ISSUE	ALDR	RPW	15.08.2023	
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024	

KEY PLAN

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Koichi Takada Architects

PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089

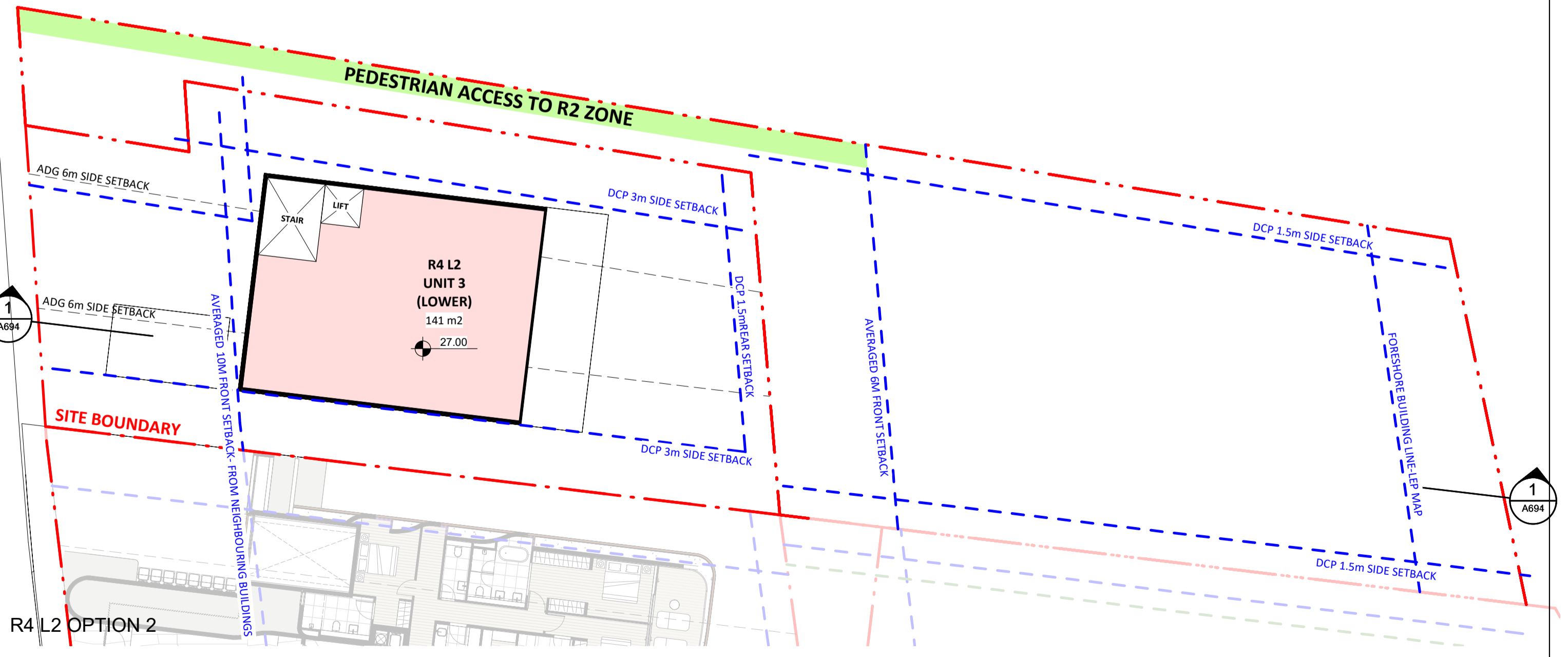
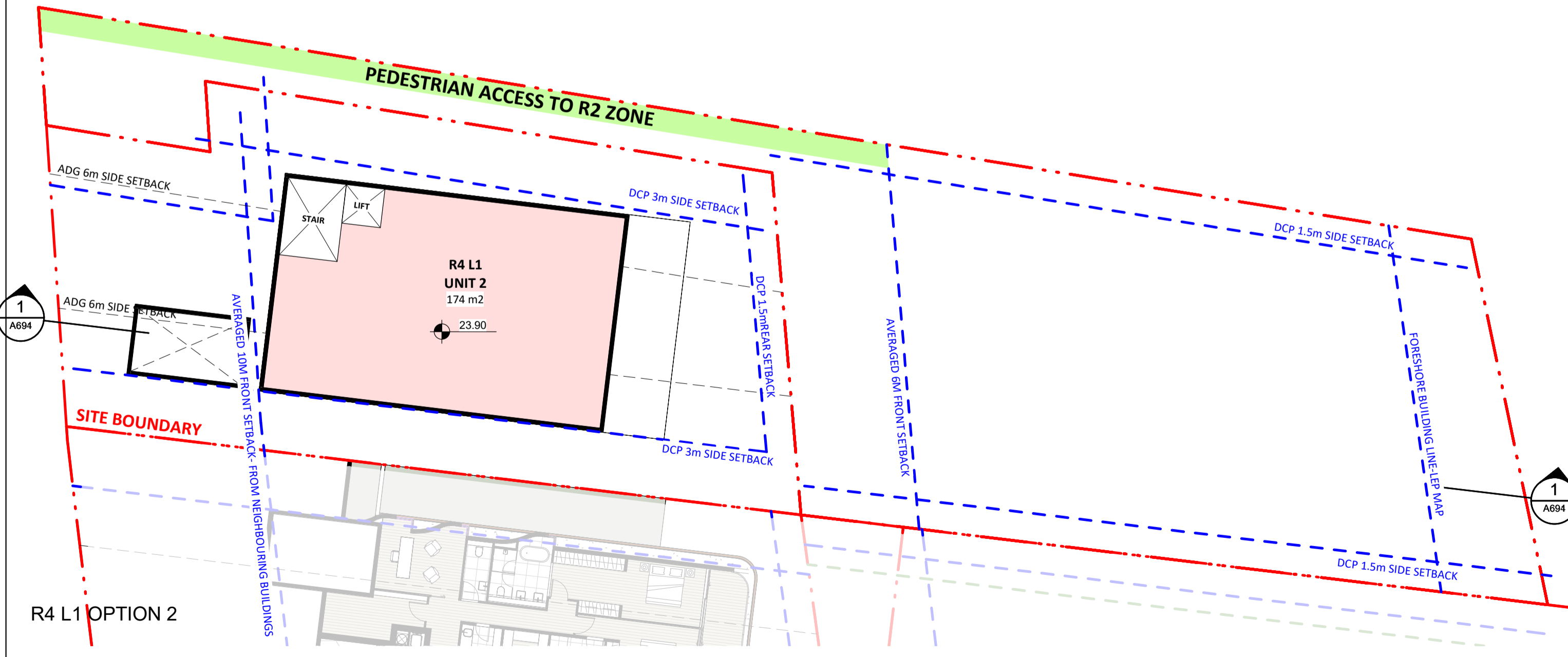
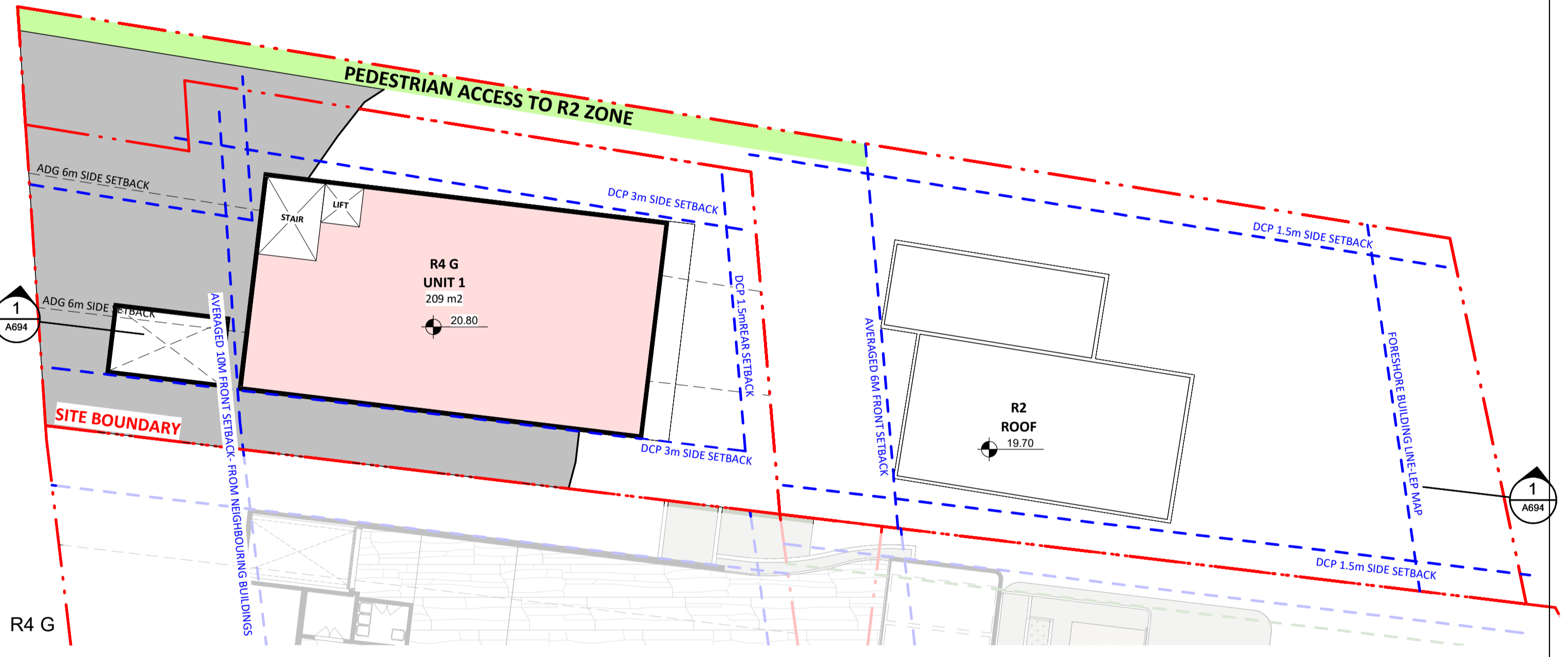
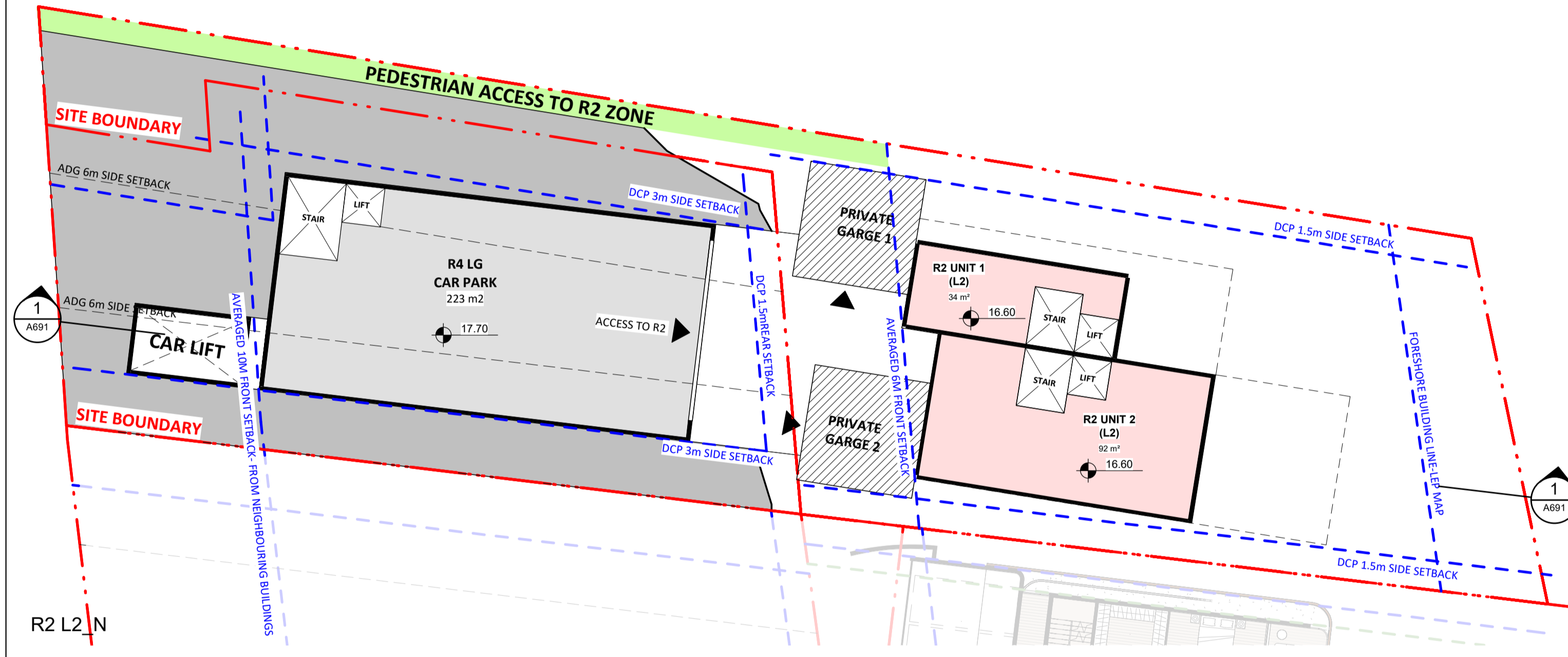
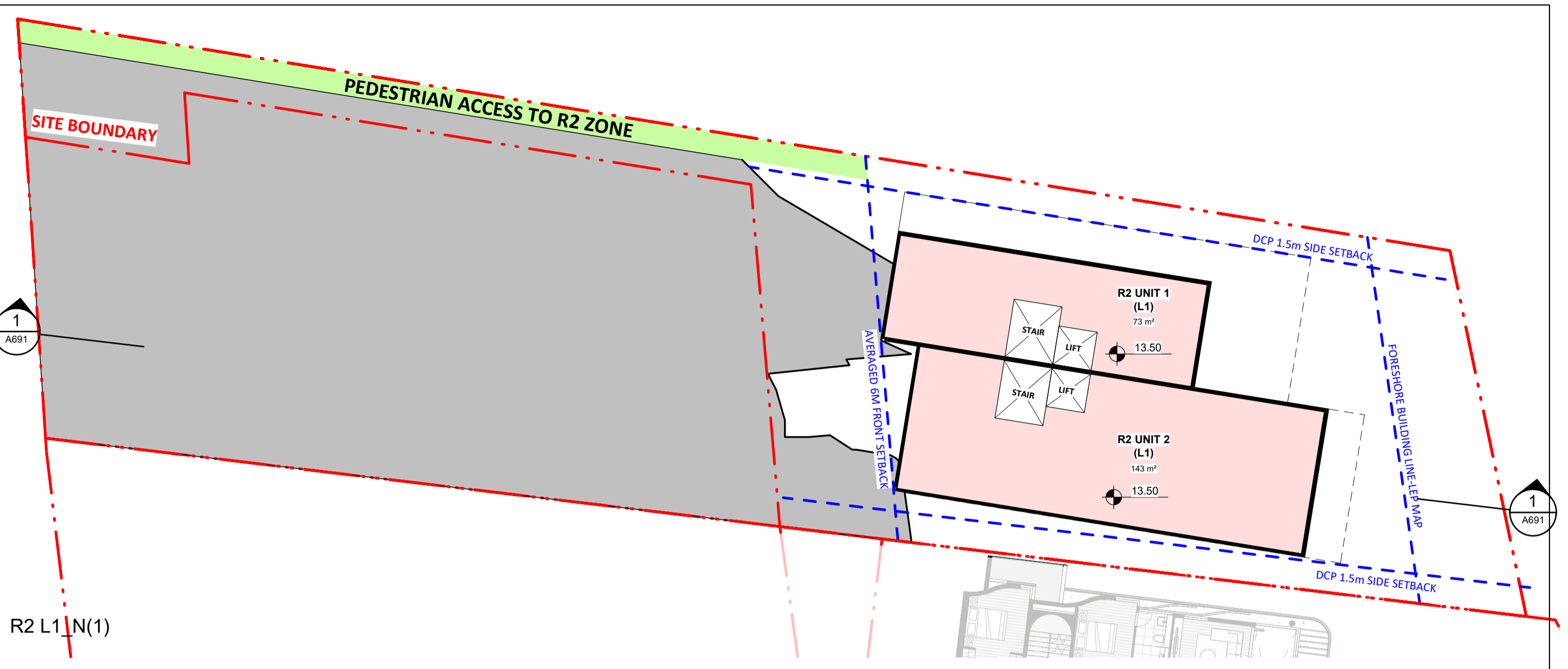
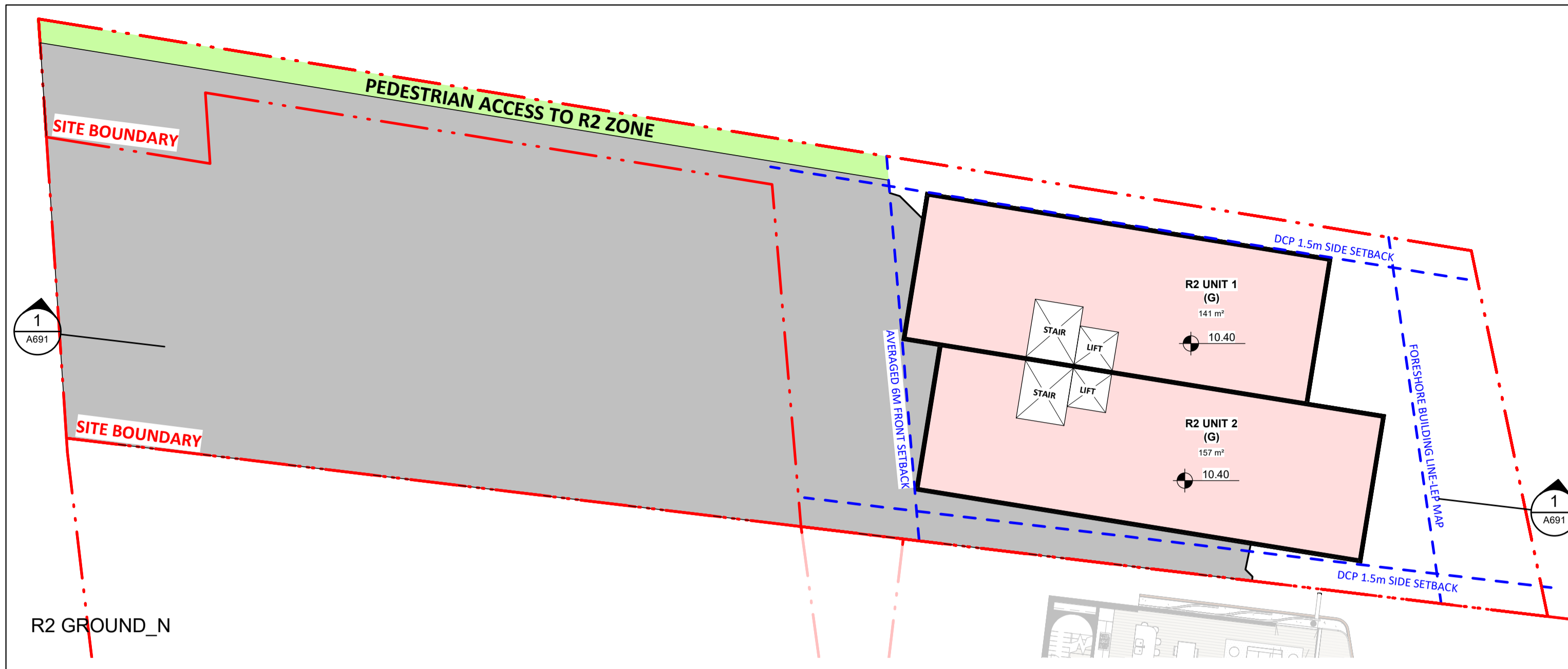
STATUS
 DEVELOPMENT APPLICATION - RFI 01

DWG NO.
A691

REVISION
2

DATE
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NO.	REVISION	BY	CHK	DATE
1	COUNCIL RFI ISSUE	ALD/K	RPW	15.08.2023
2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

REVISION NOTES:

KEY PLAN

CLOUD LEGEND

REVISION

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PROJECT

190 KURRABA RD
190 KURRABA RD, KURRABA POINT NSW
2089

STATUS

DEVELOPMENT APPLICATION - RFI 01

DWG TITLE

FEASIBILITY STUDY - 184A KURRABA ROAD - OPTION 2

DWG NO.

A692

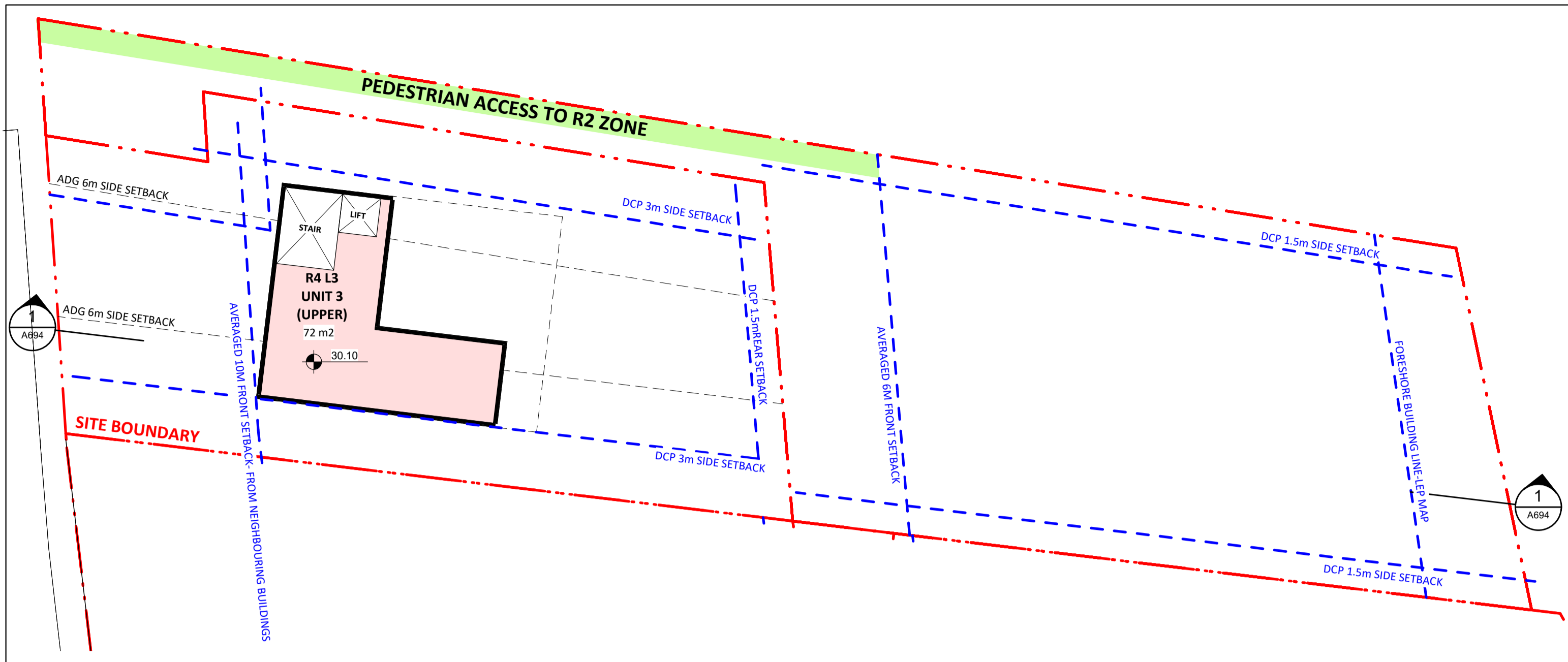
REVISION

2

SCALE

DATE

02.02.2024



R4 L3 OPTION 2

NO.	REVISION	BY	CHK	DATE
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2	ISSUE FOR DA RESUBMISSION	AL	RPW	02.02.2024

NO.	REVISION	BY	CHK	DATE

NO.	REVISION	BY	CHK	DATE

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PROJECT
 190 KURRABA RD
 190 KURRABA RD, KURRABA POINT NSW
 2089

STATUS
 DEVELOPMENT APPLICATION - RFI 01

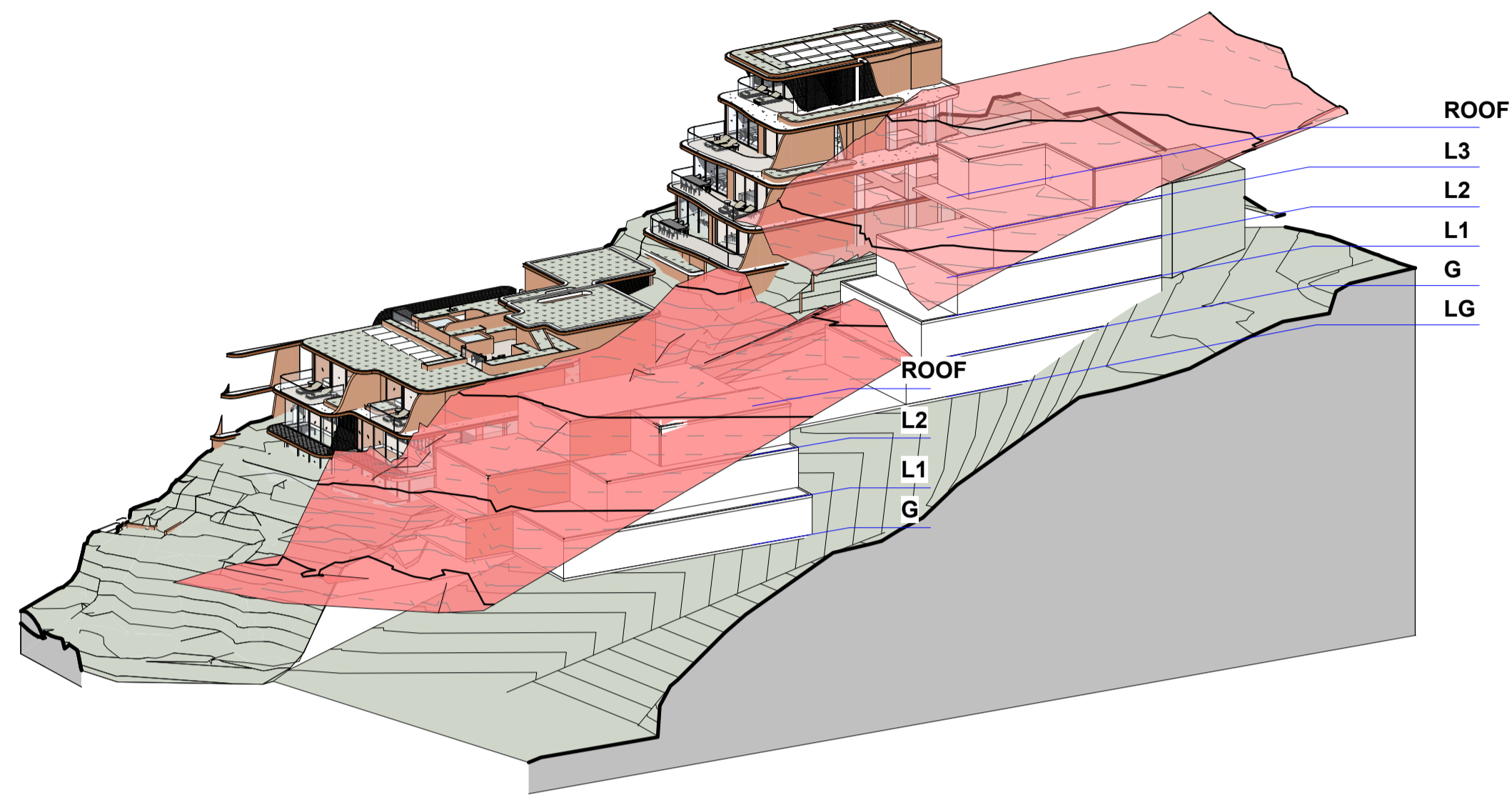
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 FEASIBILITY STUDY - 184A KURRABA ROAD - OPTION 2

DWG NO.
A693

REVISION
2

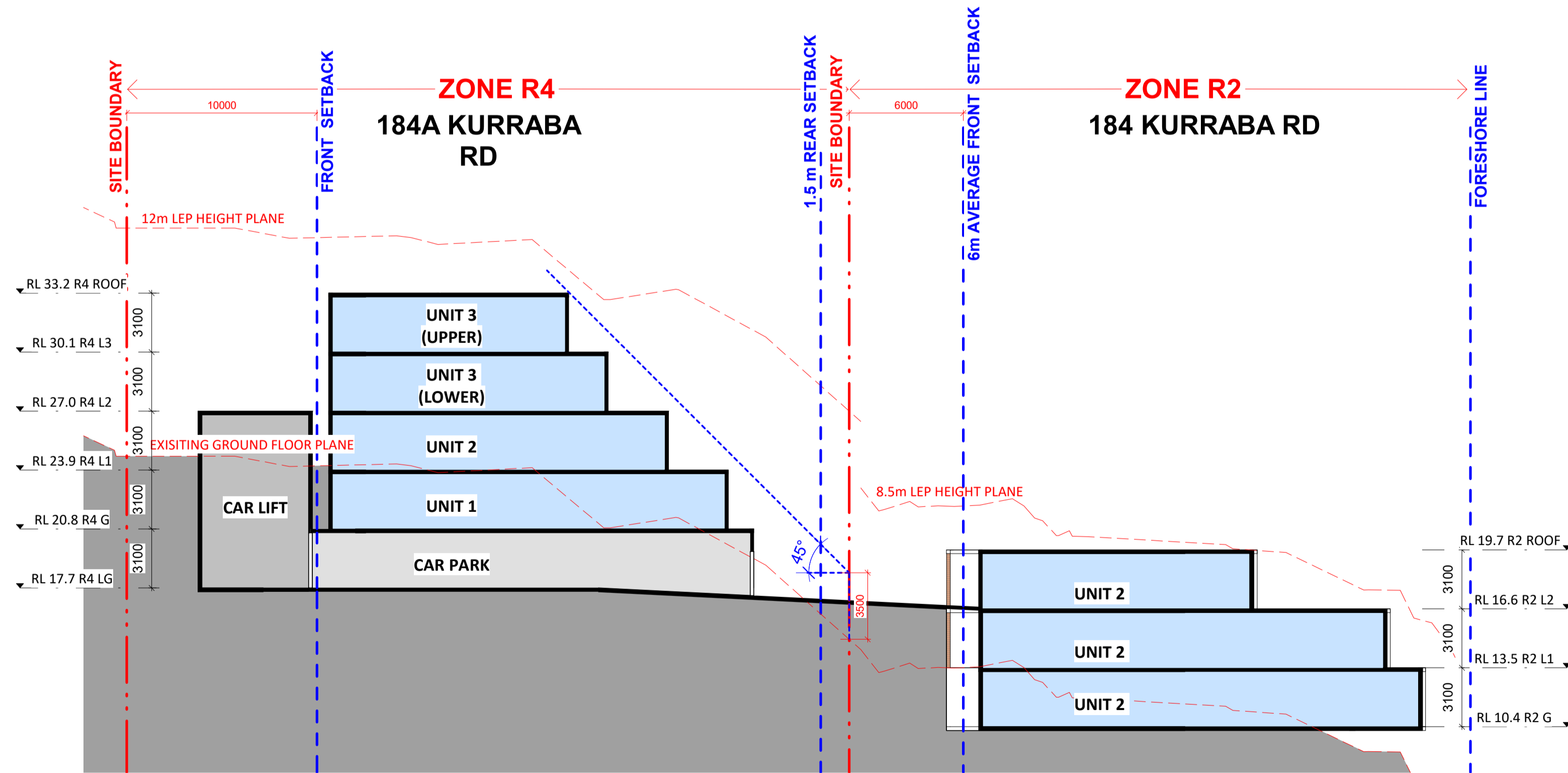
SCALE

DATE
02.02.2024



8.5M and 12M Height Plane

OPTION 2 R4 & R2				
R4				
SITE AREA		656 sqm		
SITE COVERAGE		42.5 %		
GFA		596 sqm		
LEVELS				
LEVELS	UNITS	GFA (sqm)		
GROUND	UNIT 1	209		
LEVEL 1	UNIT 2	174		
LEVEL 2 (LOWER)	UNIT 3	141		
LEVEL 2 (UPPER)	UNIT 3	72		
TOTAL		596		
R2				
SITE AREA		832.7 sqm		
SITE COVERAGE		40.9 %		
GFA		640 sqm		
UNIT 1				
LEVELS	GFA (sqm)		UNIT 2	
GROUND	141		GROUND	157
LEVEL 1	73		LEVEL 1	143
LEVEL 2	34		LEVEL 2	92
TOTAL	248		TOTAL	392



CROSS SECTION - OPTION 2

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NO.	REVISION	BY	CHK	DATE																						
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