

A D D E N D U M



ADDENDUM TO NSLPP REPORT PREPARED BY THOMAS HOLMAN

MEETING DATE: 5 JUNE 2024
SUBJECT: 114 ATCHISON STREET, CROWS NEST
APPLICATION NO. 355/23 (LPP03)
AUTHOR: THOMAS HOLMAN, SENIOR ASSESSMENT OFFICER
DATE: 24 MAY 2024

SUMMARY

This report should be read in conjunction with LPP03 concerning DA355/23 for alterations and additions to a heritage listed dwelling including a two storey rear addition, alterations to an existing two storey 'Barn' outbuilding and landscaping works at 114 Atchison Street, Crows Nest.

The amended documentation received by Council on 24 May 2024 includes:

1. Architectural Drawings DA00 – DA15 Issue B dated 15/12/23 & Issue C dated 15/05/24.
2. Statement of Environmental Effects Issue B dated 15 May 2024.
3. Comments on DA355/23 – Preliminary Assessment by Archnex Designs.
4. Supporting Statement in response to Council preliminary review and amended plans by James Lovell and Associates.

Noted amendments or additional information include:

1. Part retention of bedroom (proposed for stairs and bathroom) wall adjoining corridor within single storey cottage.
2. Barn Use – the Applicant confirms the use of the Barn as an ancillary component limited to use primarily by residents of the dwelling and not as a secondary dwelling.
3. Confirmation that existing fenestration including painted brick walls and timber beams are to be retained.
4. No change to the Bulk and Scale of the Two Storey Rear Addition or the Site Coverage, however supporting reasonings is detailed within the statement by James Lovell and Associates and an Impact Analysis Perspective View Diagram is included within the architectural set of plans.
5. Landscaping – Tree retention is shown and new screen planting '*Murraya paniculata*' is proposed on the side boundaries.

It is recommended that there be no change to the original recommendation for refusal and the amended plans and documentation do not satisfactorily address the issues and concerns in the preliminary assessment letter by Council dated 18 April 2024.

RECOMMENDATION:

1. **THAT** the Panel note this addendum to the report.
2. **THAT** the Panel consider the merits of the amended application submitted to Council on 24 May 2024.
3. **THAT** the Panel concur with the recommendation for refusal for the reasons detailed within the planning report.

SIGNED
THOMAS HOLMAN
SENIOR ASSESSMENT OFFICER

Endorsed by:

DAVID HOY
A/MANAGER DEVELOPMENT SERVICES

Alterations and Additions

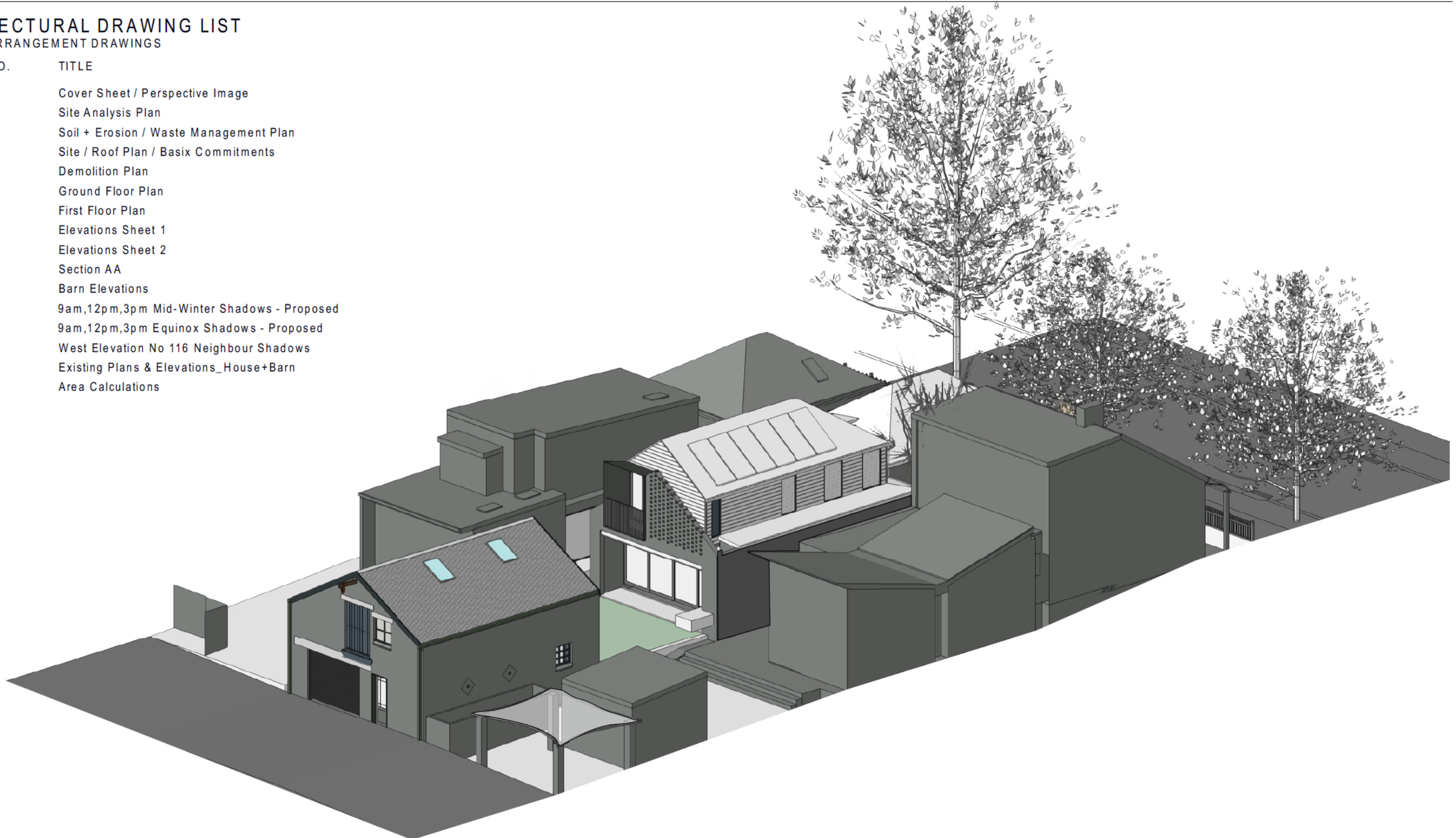
114 Atchison Street Crows Nest, NSW

DEVELOPMENT APPLICATION

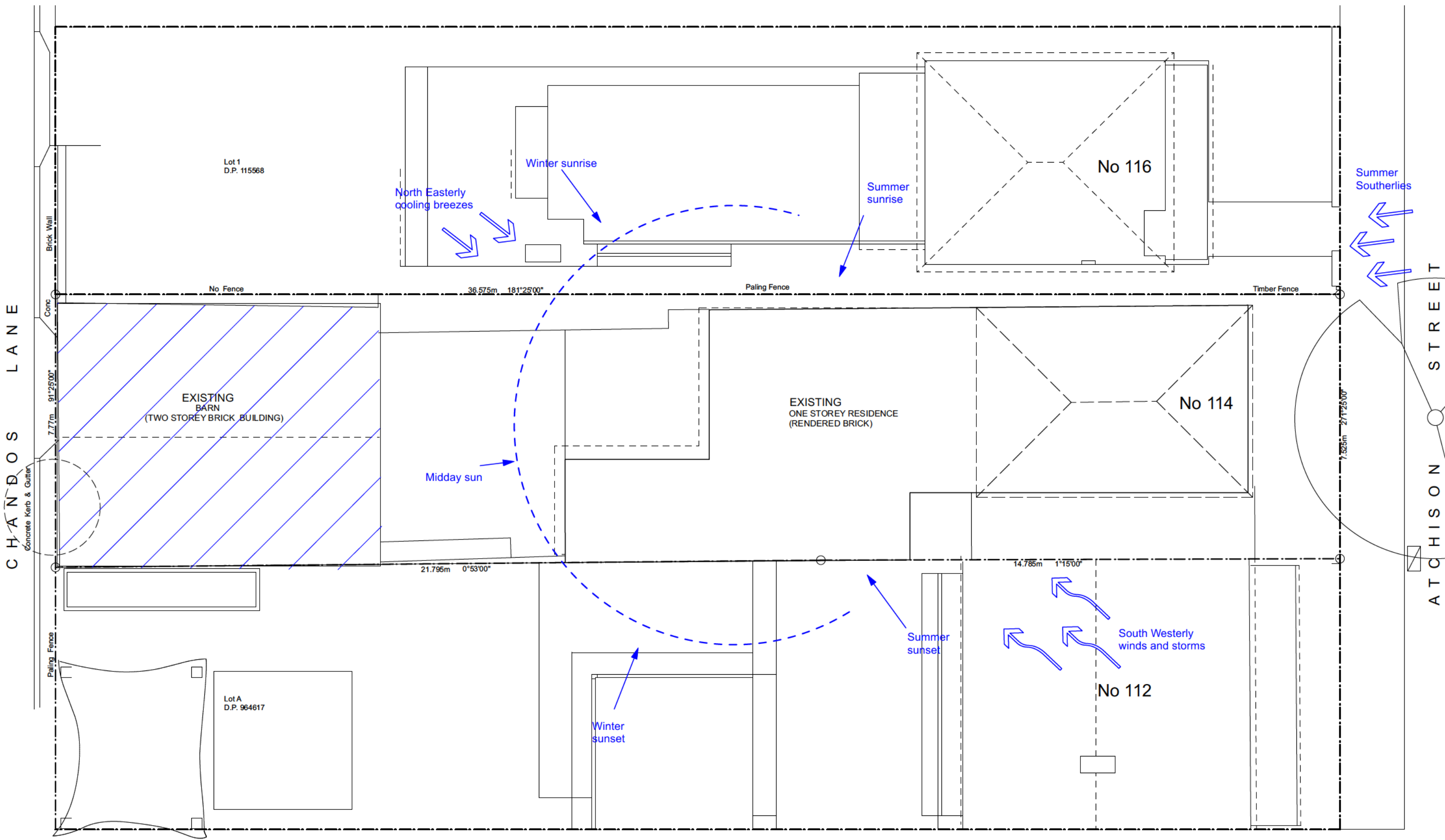
ARCHITECTURAL DRAWING LIST

GENERAL ARRANGEMENT DRAWINGS

DRAWING NO.	TITLE
2306_DA00	Cover Sheet / Perspective Image
2306_DA01	Site Analysis Plan
2306_DA02	Soil + Erosion / Waste Management Plan
2306_DA03	Site / Roof Plan / Basix Commitments
2306_DA04	Demolition Plan
2306_DA05	Ground Floor Plan
2306_DA06	First Floor Plan
2306_DA07	Elevations Sheet 1
2306_DA08	Elevations Sheet 2
2306_DA09	Section AA
2306_DA10	Barn Elevations
2306_DA11	9am,12pm,3pm Mid-Winter Shadows - Proposed
2306_DA12	9am,12pm,3pm Equinox Shadows - Proposed
2306_DA13	West Elevation No 116 Neighbour Shadows
2306_DA14	Existing Plans & Elevations_House+Barn
2306_DA15	Area Calculations



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		Issue	Date	Amendments																
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Version: 1, Version Date: 24/05/2024																				



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Version: 1, Version Date: 24/05/2024

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
Client
 Kylie Maddern

Scale
 1:100@A3

Drawn By
 GS

Project Number
 2306

Drawing Number
 DA01

Issue
 B

okeefe architects
 Nominated Architect: Paul O'Keefe Registration No. 6373

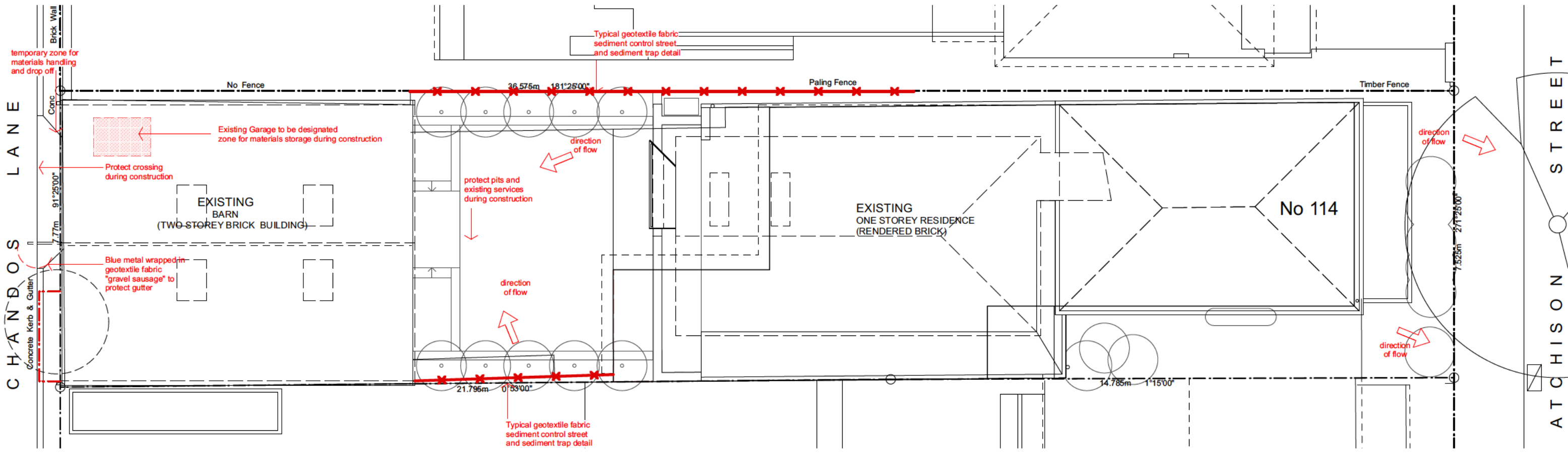
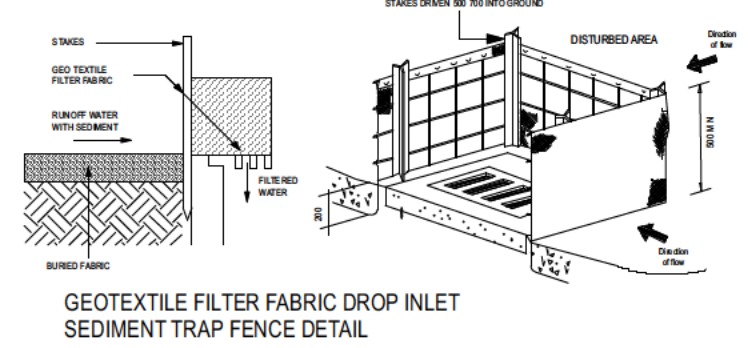
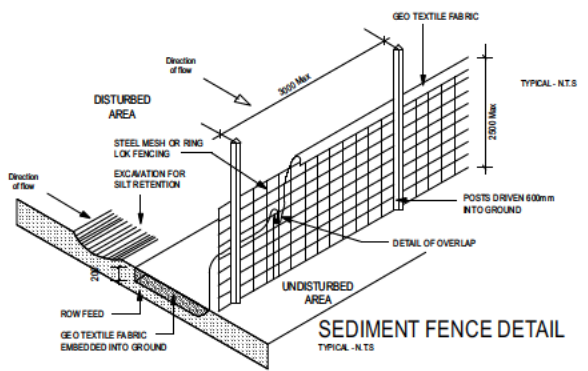
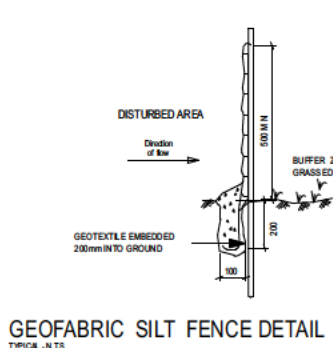
Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN : 12771617996

T 02 8960 2020
 E info@okeefe.com.au
 W okeefe.com.au

Soil & Water Management

- 1) THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- 2) THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED ON THIS DRAWING
- 3) ALL SUB-CONTRACTORS SHALL BE MADE AWARE OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATERWAYS
- 4) WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
 - A) INSTALL ANY NECESSARY SECURITY/BOUNDARY FENCES FOR THE SITE;
 - B) CONSTRUCT "SILT" FENCING AS DETAILED ALONG BOUNDARIES;
- 5) DURING WINDY WEATHER, LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL
- 6) FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE, AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES
- 7) ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE, AND WITHIN TEN WORKING DAYS FROM PLACEMENT
- 8) WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS RELATIVELY SEDIMENT-FREE: ie. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE
- 9) TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED
- 10) THE CONTRACTOR SHALL PROVIDE ACCEPTABLE RECEPTORS FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER
- 11) RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER, ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- 12) AT LEAST WEEKLY, THE CONTRACTOR SHALL INSPECT THE SITE, PROVIDING PARTICULAR ATTENTION TO THE FOLLOWING MATTERS:
 - A) ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR MAINTENANCE AS REQUIRED
 - B) REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 2 METRES FROM LIKELY AREAS OF CONCENTRATED OR HIGH-VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS
 - C) CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, ie. MAKE ONGOING CHANGES TO THE PLAN
 - D) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE REHABILITATED
 - E) REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME
- 13) THE CONTRACTOR SHALL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, AND AFTER RAINFALL AND/OR SITE CLOSURE. RECORD:
 - A) THE VOLUME OF ANY RAINFALL EVENTS (CHECK WEATHER BUREAU)
 - B) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS
 - C) REMEDIAL WORKS

THE BOOK SHALL BE KEPT ON SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON ON REQUEST



LEGEND:

- - - - - Tree protection fence
- x - x - x - Site security + dust control fence

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Nominated Architect: Paul O'Keefe Registration No. 6373
23/06/2024 Rev DA Rev 1
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	12/12/23	15/12/23

Project	Alterations and Additions
Address	114 Atchison Street Crow's Nest NSW 2065 Lot B D.P. 964617
Client	Kylie Maddern

Scale: 1:100@A3
Drawn By: GS

Project Number: 2306

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

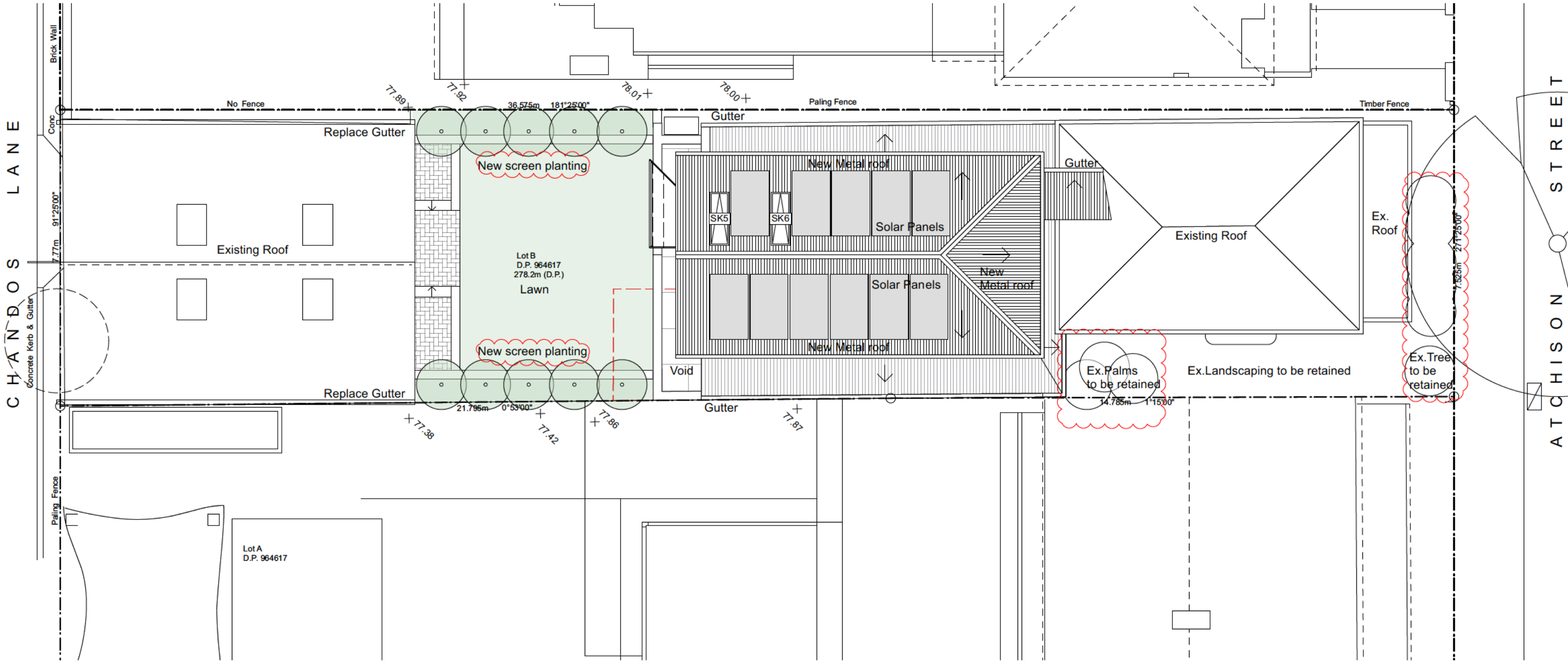
Drawing	Soil + Erosion / Waste Management Plan
Drawing Number	DA02
Issue	B
Unit	Unit 4 281 Pacific Highway North Sydney NSW 2060 ABN : 12771617996
Tel	02 8960 2020
Email	info@okeefe.com.au w.okeefe.com.au

BASIX COMMITMENTS

Water Commitments	Construction	Area - m ²	Additional insulation required	Systems to address thermal bridging	Other specifications	Thermal Performance and Materials commitments	Weighting	Maximum area (m ²)	Weighting specification	Shading device
Landscaping The applicant must plant indigenous or ice water use species of vegetation throughout 35 square metres of the site.	floor - concrete slab on ground	683	1 1000 edge (not specified)	at	in-slab or in-slab heating system	SK1	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Alternative water The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	floor - suspended floor above enclosed outdoor, fire cement, frame, laminated veneer lumber (LVL)	214	2 (or 27 including construction) above full foam-composite boards	at	subfloor wall insulation, frame	SK2	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Refrigeration The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	floor - above habitable rooms or mechanical, particle board, frame, laminated veneer lumber (LVL)	427	no additional insulation required	at		SK3	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Thermal Performance and Materials commitments	Construction	Area - m ²	Additional insulation required	Systems to address thermal bridging	Other specifications	Thermal Performance and Materials commitments	Weighting	Maximum area (m ²)	Weighting specification	Shading device
Do-it-yourself Method The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys. The conditioned floor area of the dwelling must not exceed 300 square metres. The dwelling must not contain open fireplace area exceeding 25 square metres. The dwelling must not contain hot water radiators also.	external wall - cavitybrick, frame, no frame	125	0.50 (or 120 including construction) above full foam-composite boards	at	well other: Medium (low absorption 0.40-0.7)	SK4	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Energy Commitments	Construction	Area - m ²	Additional insulation required	Systems to address thermal bridging	Other specifications	Energy Commitments	Weighting	Maximum area (m ²)	Weighting specification	Shading device
Hot water The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	external wall - framed three element steel or stucco, frame, timber - no frame, no frame	4.2	0.50 (or 120 including construction) above full foam-composite boards, cell or pump-in - reference for the clarity	at	well other: Medium (low absorption 0.40-0.7)	SK5	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Natural lighting The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	external wall - plasterboard, frame, timber - no frame, no frame	43	no additional insulation required	at	well other: Medium (low absorption 0.40-0.7)	SK6	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Alternative energy The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	ceiling and roof - no ceiling, pitched roof, frame, metal roof, laminated veneer lumber (LVL)	16	ceiling 5.7 (up) roof, not full backed, lighted, ceiling, laminated veneer lumber (LVL)	at	roof space ventilation - wind driven ventilator - clear vents, roof colour light (low absorption < 0.30, unless area of the roof is 10% of ceiling area) or 10% of ceiling area unshaded	SK7	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Natural lighting The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	ceiling and roof - no ceiling, pitched roof, frame, metal roof, laminated veneer lumber (LVL)	52	ceiling 5.7 (up) roof, not full backed, lighted, ceiling, laminated veneer lumber (LVL)	at	roof colour, medium (low absorption 0.40-0.7), 1.5% of ceiling area unshaded	SK8	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading
Natural lighting The applicant must install a rainwater tank of at least 120 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	ceiling and roof - no ceiling, flat roof, frame, metal roof, laminated veneer lumber (LVL)	3	ceiling 5.7 (up) roof, not full backed, lighted, ceiling, laminated veneer lumber (LVL)	at	roof colour, light (low absorption < 0.30, 0.5% of ceiling area unshaded)	SK9	0.70	0.70	Energy: overhangs 50 mm (0.1 m x 0.5 m), SHSC: 0.21 - 0.26	no shading

PLANTING SCHEDULE

- Muraya Paniculata Maintained in Hedge to 3m High
- Lawn
- Sir Walter Buffalo



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Nominated Architect: Paul O'Keefe Registration No. 6373
2300, Collins Street, Melbourne, VIC 3006
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA
C	15/5/24	Additional Information: Planting Schedule

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3

Drawn By
GS

Drawing
Site / Roof Plan / Landscape Plan

Project Number
2306

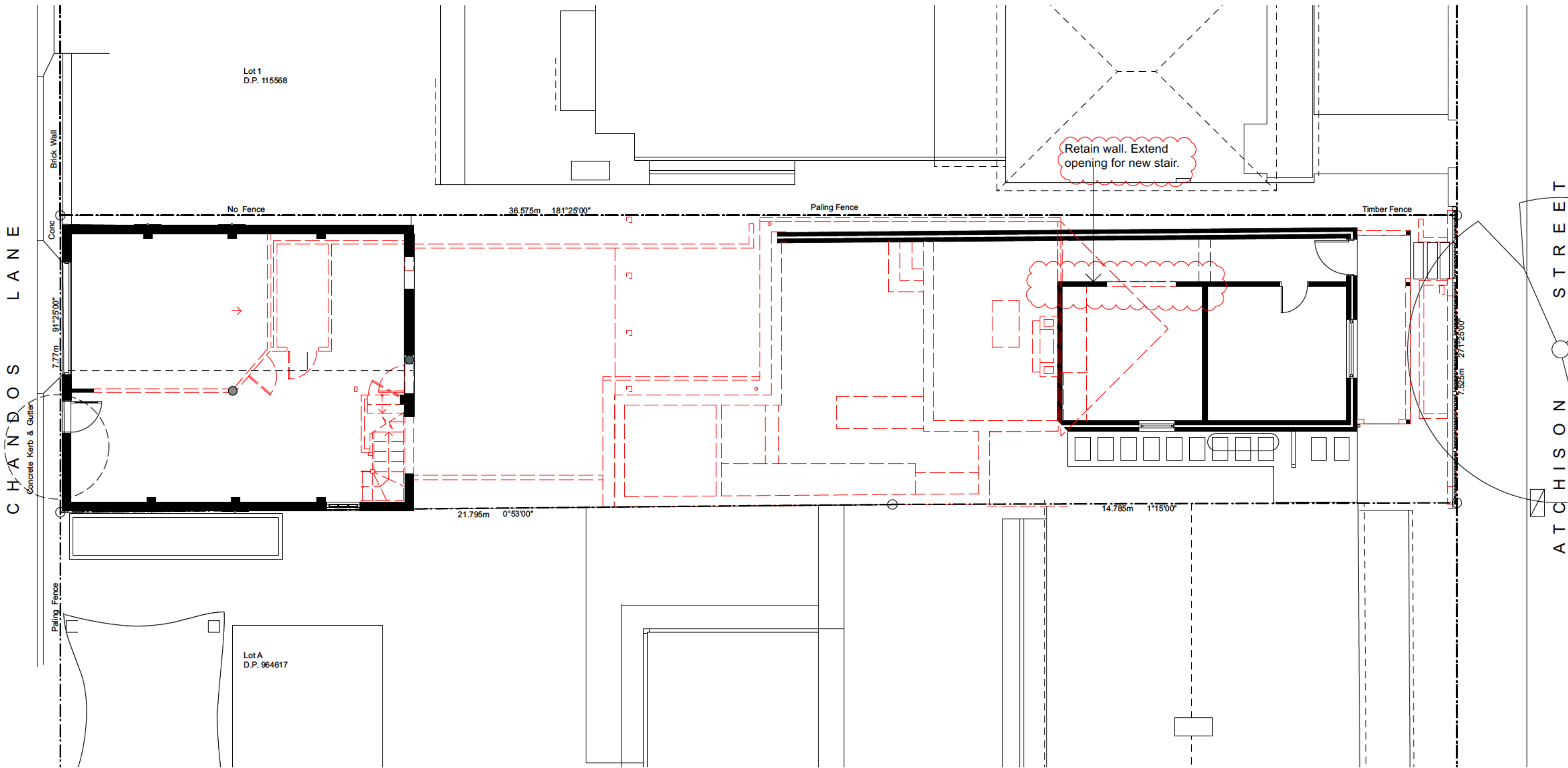
Drawing Number
DA03

Issue
C

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Unit 4 281 Pacific Highway North Sydney NSW 2060
ABN : 12771617996

T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



--- Proposed Demolition

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 2306 Crows Nest, DA, Rev 18 P.O.W.
 Version: 1, Version Date: 24/05/2024

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A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA
C	15/5/24	DA Revisions

Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
Client
 Kylie Maddern



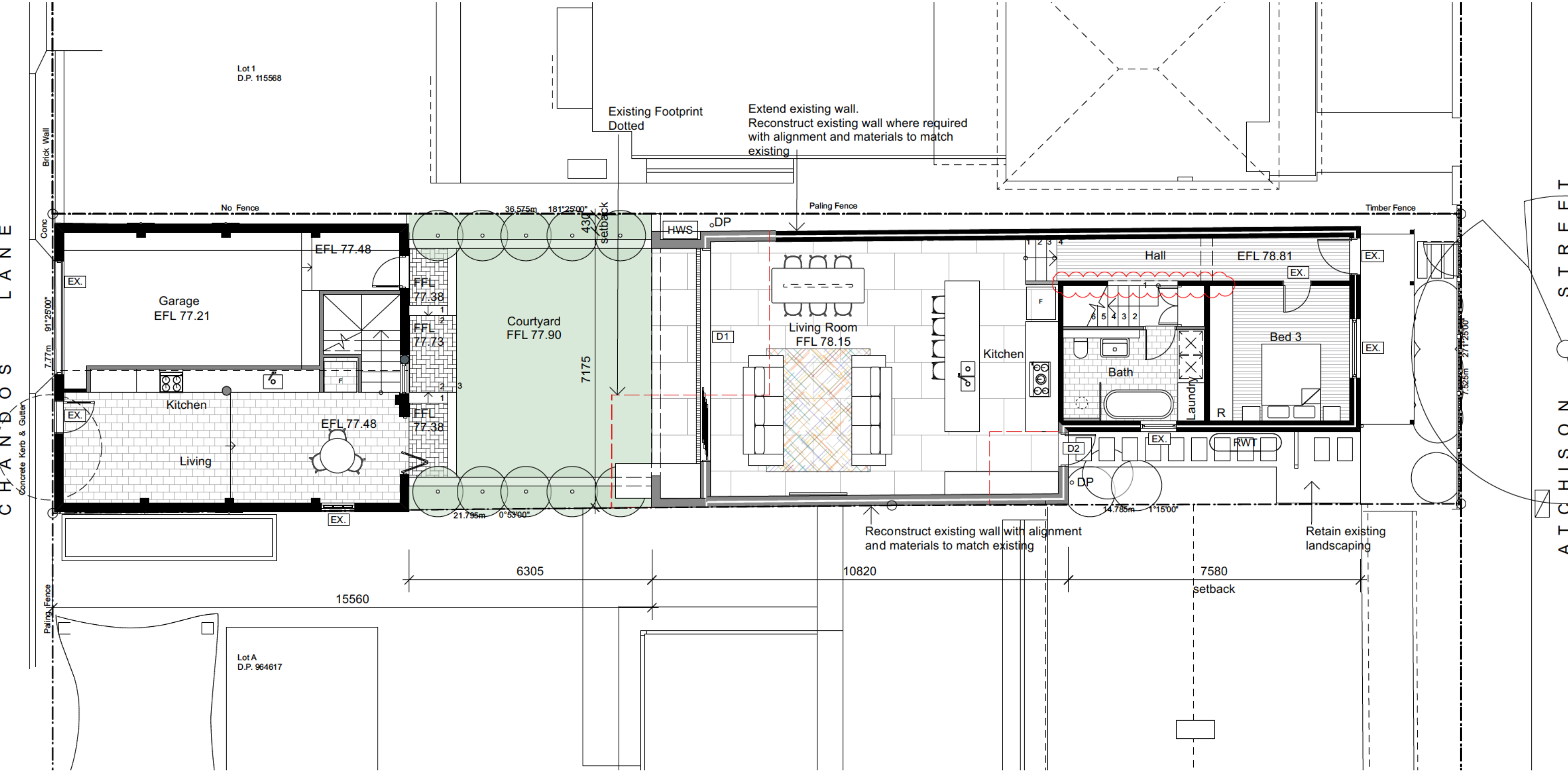
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Project Number
 2306
Drawn By
 GS

Drawing
 Demolition Plan
Drawing Number
 DA04
Issue
 C
 Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN : 12771617996
 T 02 8960 2020
 E info@okeefe architects.com.au
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CHANDOS LANE

ATCHISON STREET



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2306 Crows Nest, DA Rev 18 P.O.W.
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C	15/5/24	DA Revisions

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3

Drawn By
GS

Project Number
2306

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

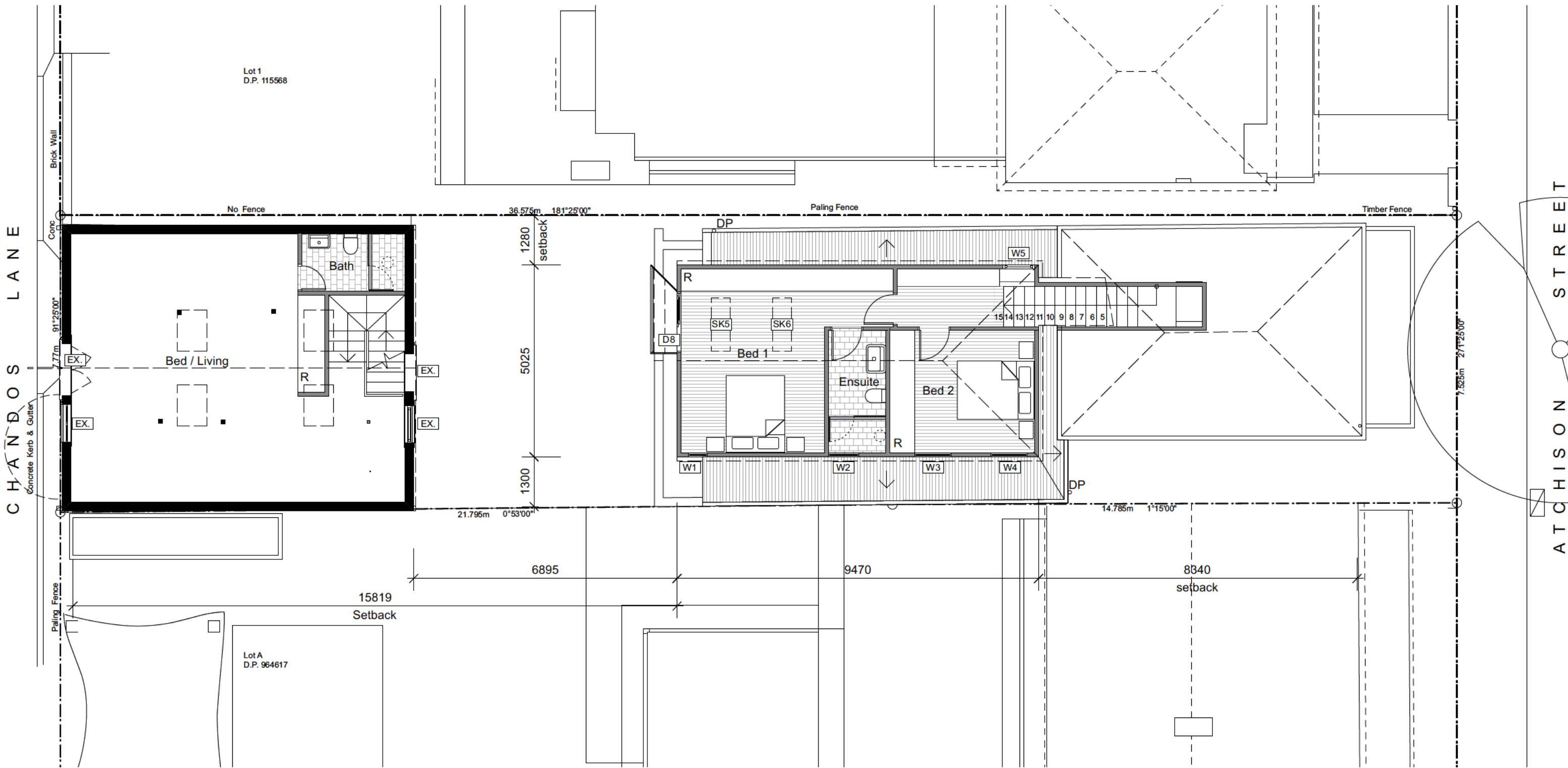
Drawing
Ground Floor Plan

Drawing Number
DA05

Issue
C

Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996

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--- Proposed Demolition

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 2306 Crows Nest, DA Rev 1.wg
 Version: 1, Version Date: 24/05/2024

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Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
Client
 Kylie Maddern



Scale
 1:100@A3

Drawn By
 GS

Project Number
 2306

okeefe architects
 Nominated Architect: Paul O'Keefe Registration No. 6373

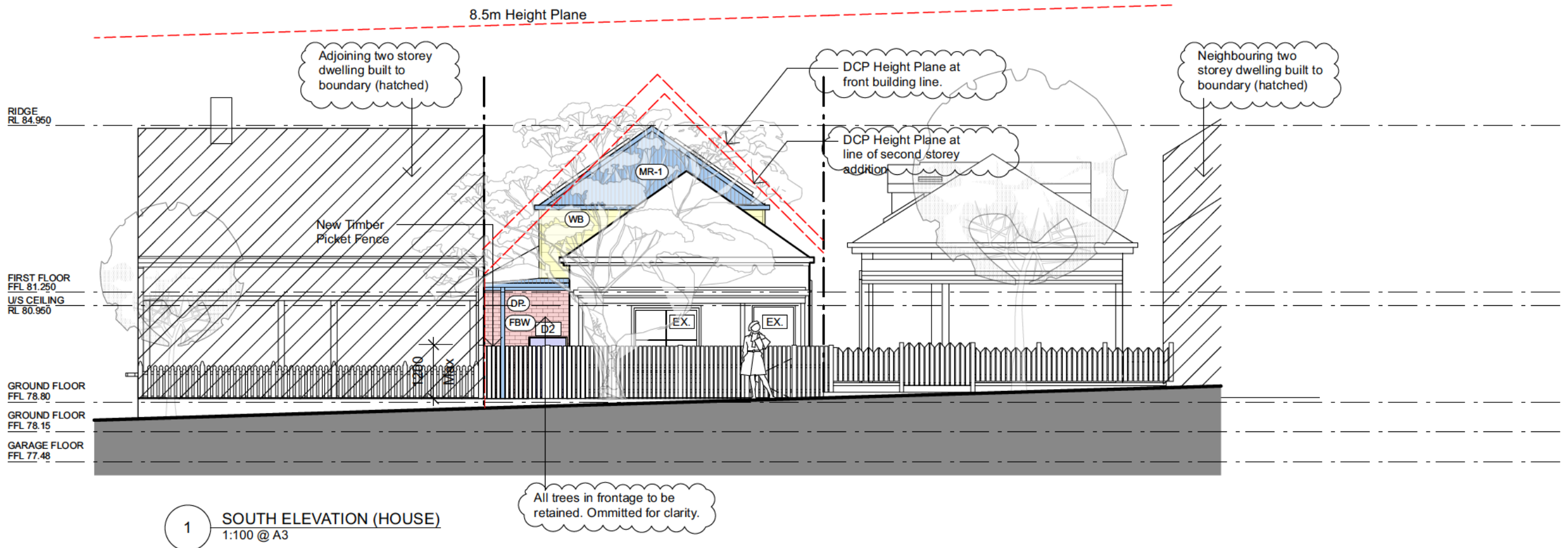
Drawing
First Floor Plan

Drawing Number
DA06

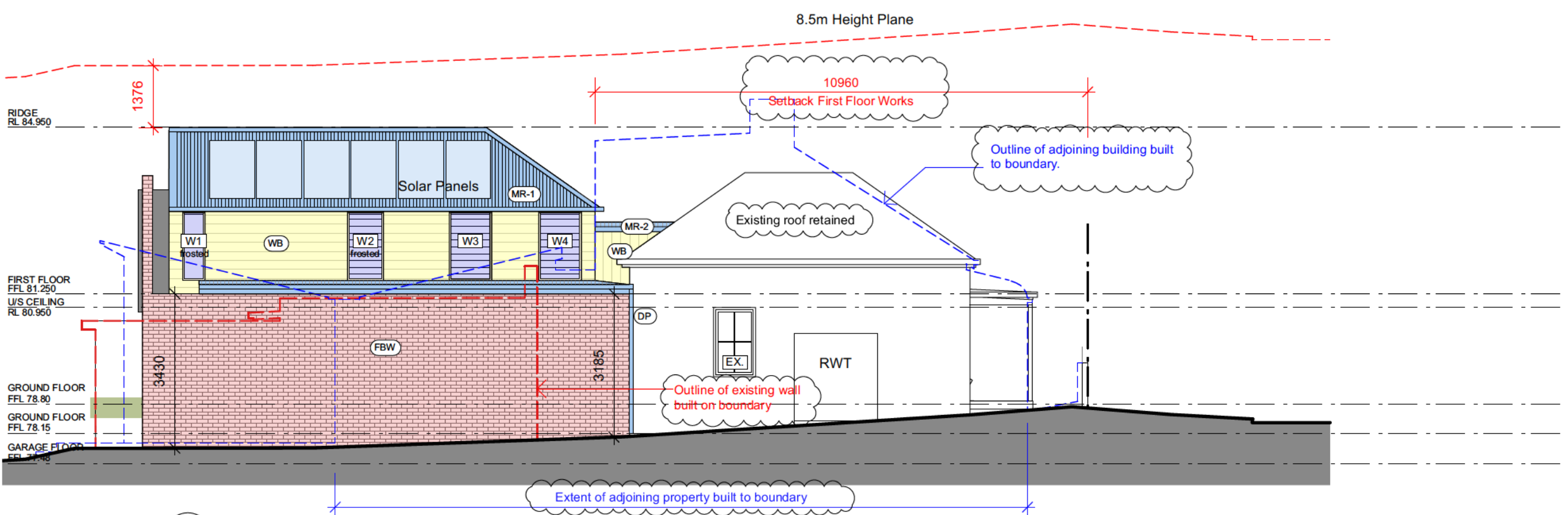
Issue
B

Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN : 12771617996

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 W okeefe architects.com.au



1 SOUTH ELEVATION (HOUSE)
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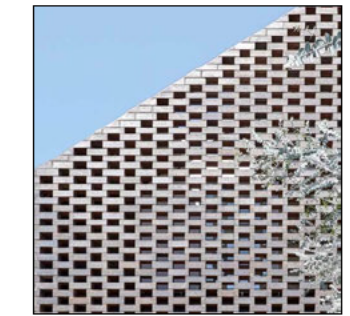


2 WEST ELEVATION (HOUSE)
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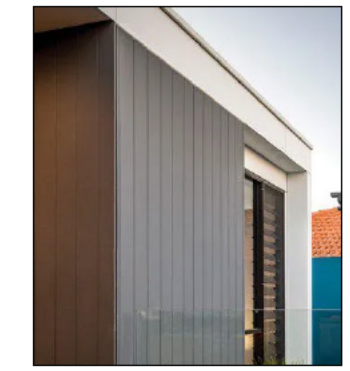
Finishes Schedule



New Roof (Corrugated Steel)



New Feature Wall (Facebrick)



New External Walls (FC Cladding)



New Windows & Doors (Aluminium)

Materials For Construction

MR 1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR 2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards
RW	Rendered Brickwork
STH	Steel Handrail

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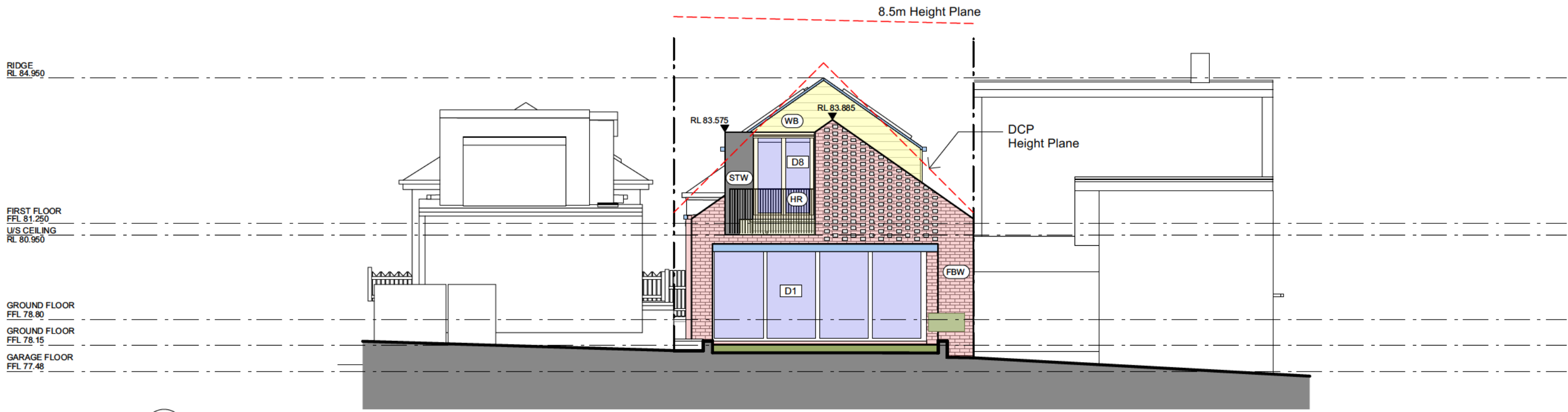
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B	15/12/23	Issue for DA
C	15/5/24	Clarifications

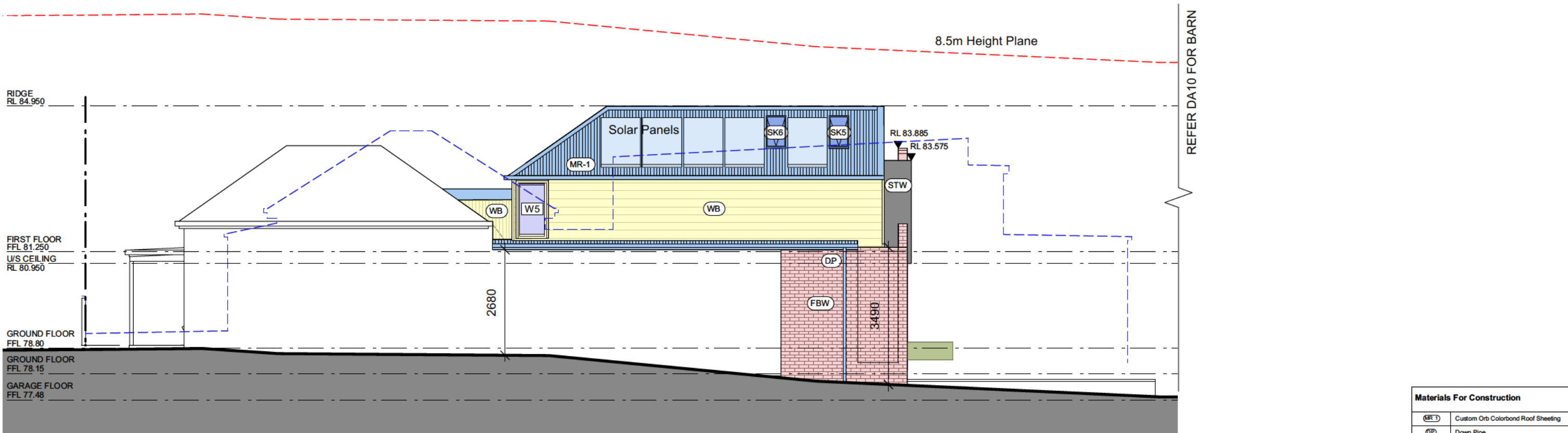
Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3
Project Number
2306
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Drawn By
GS
Drawing
Elevations-sheet 1
Drawing Number
DA07
Issue
C
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



3 NORTH ELEVATION (HOUSE)
1:100 @ A3



4 EAST ELEVATION (HOUSE)
1:100 @ A3

Materials For Construction	
MR 1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR 2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards
RB	Rendered Brickwork
HR	Steel Handrail

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Nominated Architect: Paul O'Keefe, Registration No. 6373
2306 Crows Nest, DA Rev 1.wdw
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

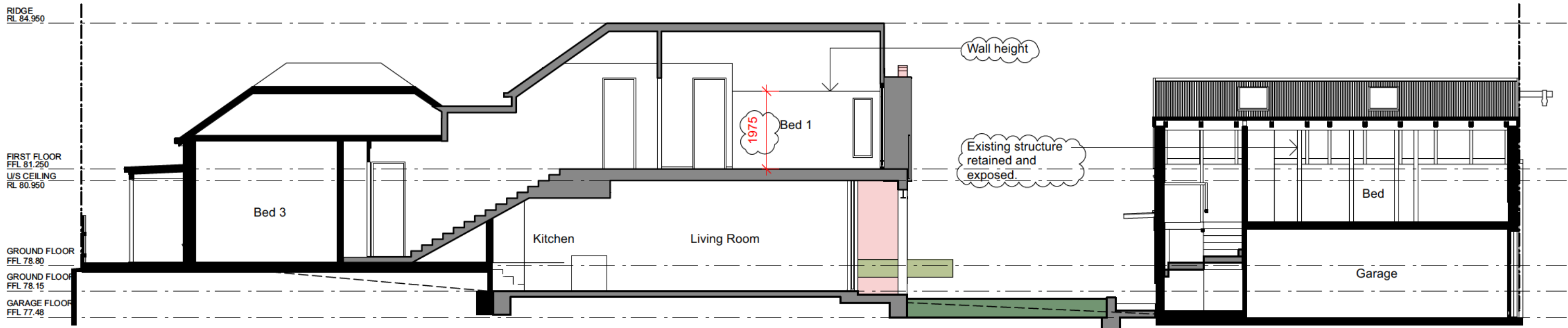
Scale
1:100@A3
Drawn By
GS
Project Number
2306

Drawing
Elevations-sheet 2
Drawing Number
DA08

Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



8.5m Height Plane



SECTION A-A
1:100 @ A3

Materials For Construction	
MR 1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR 2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cemintel F/C Sheeting / Weatherboards
RW	Rendered Brickwork
SH	Steel Handrail

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Nominated Architect: Paul O'Keefe, Registration No. 6373
2306 Crows Nest, DA, Rev 18 P.O.yvw
Version: 1, Version Date: 24/05/2024

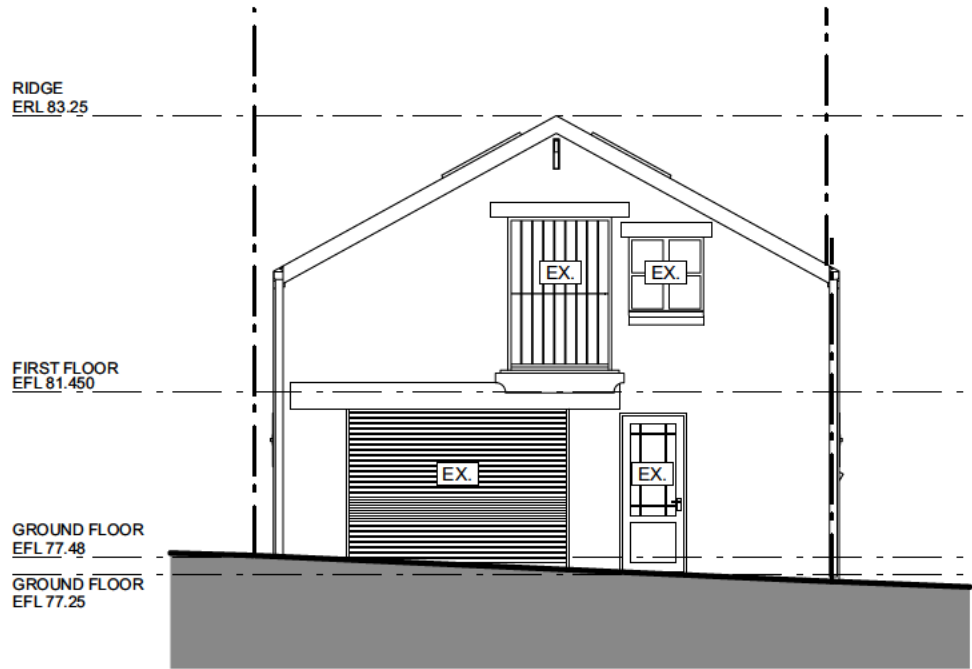
Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA
C	15/5/24	Clarifications

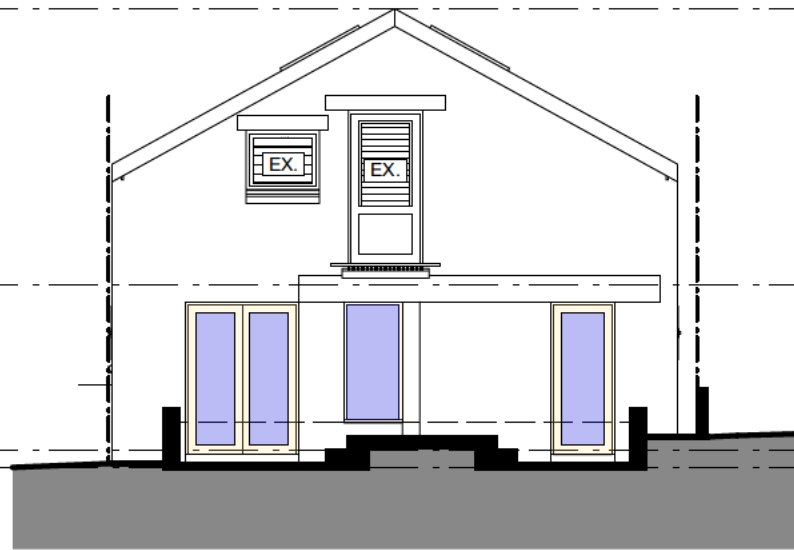
Project Alterations and Additions 114 Atchison Street Crows Nest NSW 2065 Lot B D.P. 964617 Client Kylie Maddern
--

Scale
1:100@A3
Project Number
2306
Drawn By
GS
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

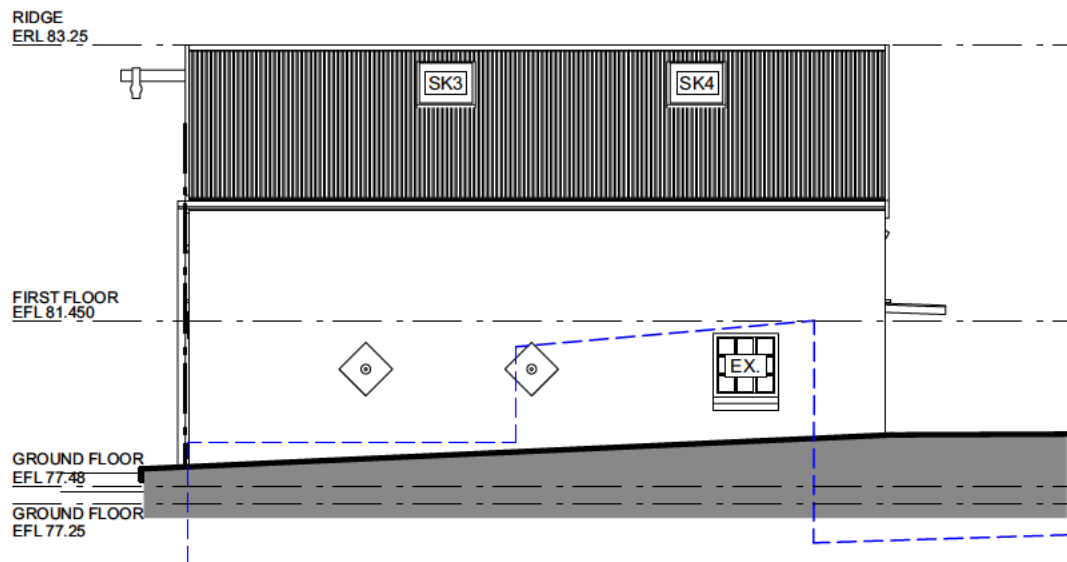
Drawing
Section AA
Drawing Number
DA09
Issue
C
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



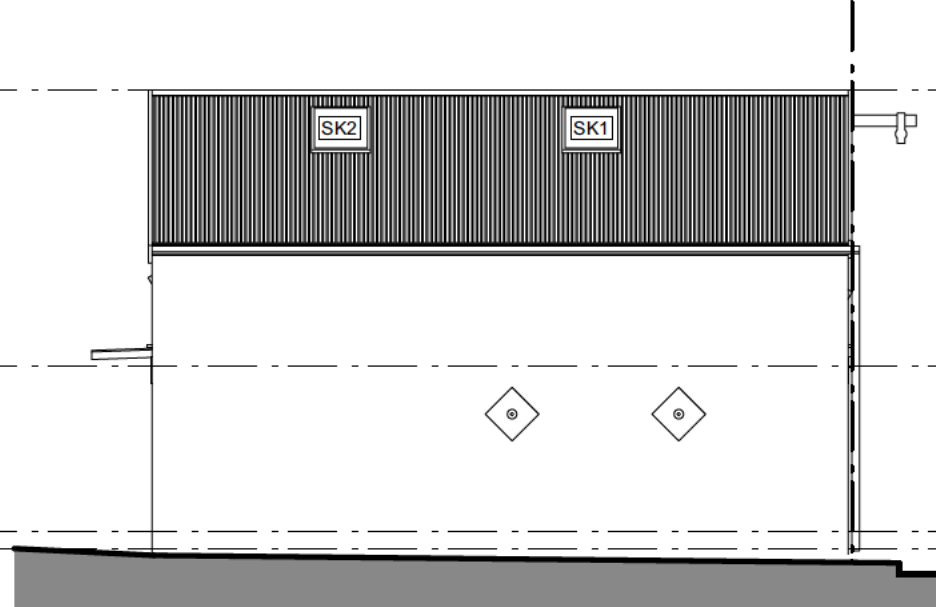
1 CHANDOS LANE STREETScape (NORTH ELEVATION)
1:100 @ A3



3 SOUTH ELEVATION (BARN)
1:100 @ A3



2 WEST ELEVATION
1:100 @ A3



4 EAST ELEVATION
1:100 @ A3

Materials For Construction	
MR 1	Custom Orb Colorbond Roof Sheeting
DP	Down Pipe
FBW	Face Brick wall
MR 2	Klip-lok Colorbond Roof Sheeting
STW	Painted Steel Wall Panel
WB	Pre-finished Cement F/C Sheeting / Weatherboards
RW	Rendered Brickwork
SH	Steel Handrail

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Nominated Architect: Paul O'Keefe, Registration No. 6373
2306 Crows Nest, DA Rev 1/24
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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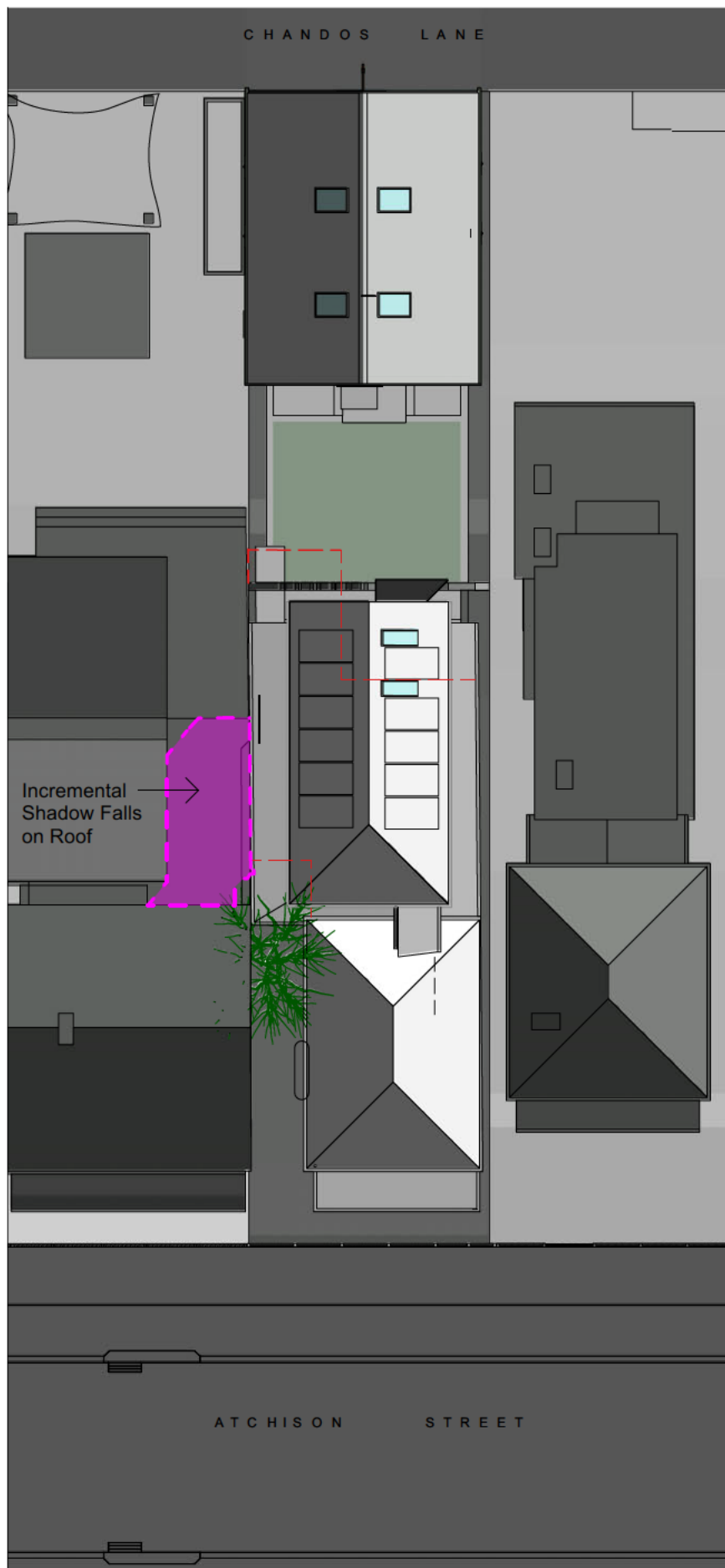
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

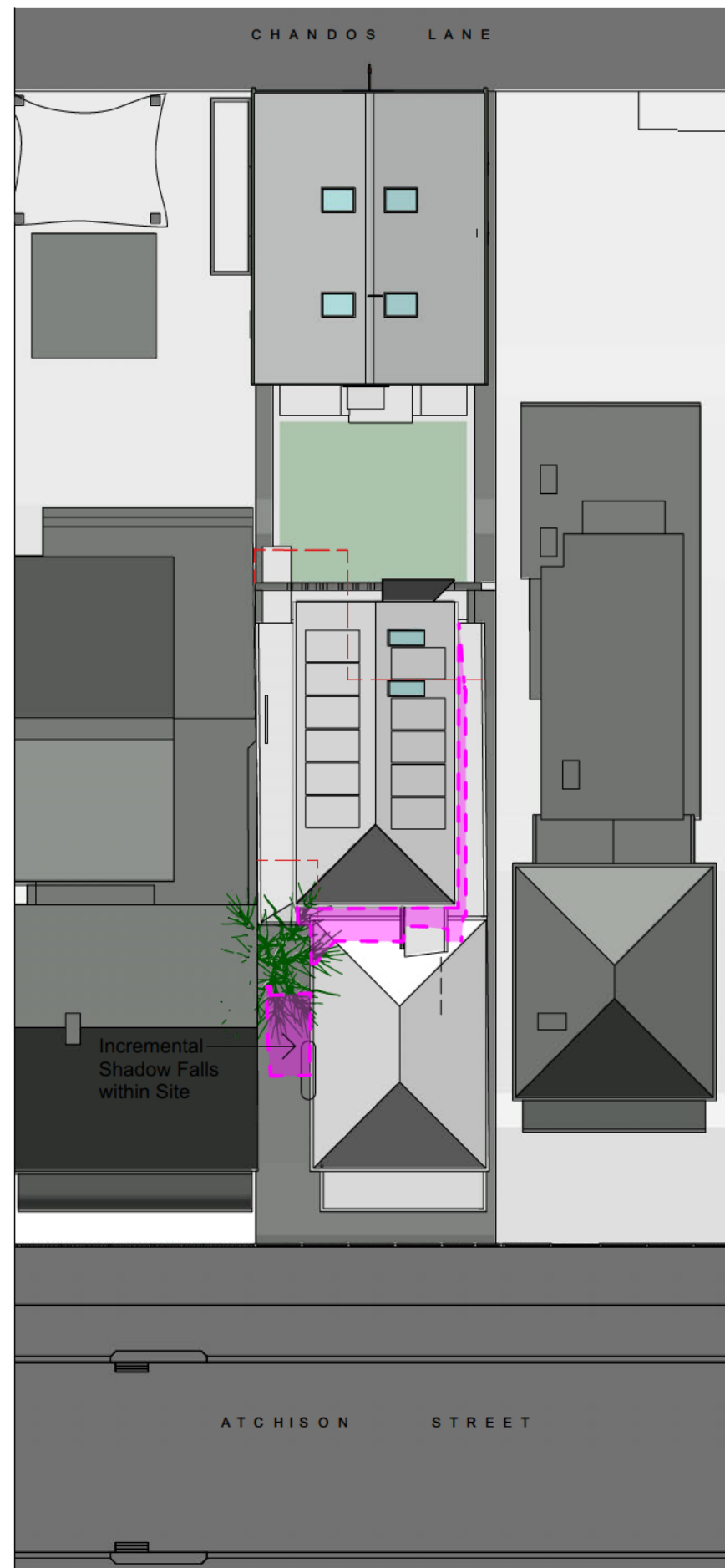
Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3
Drawn By
GS
Project Number
2306
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

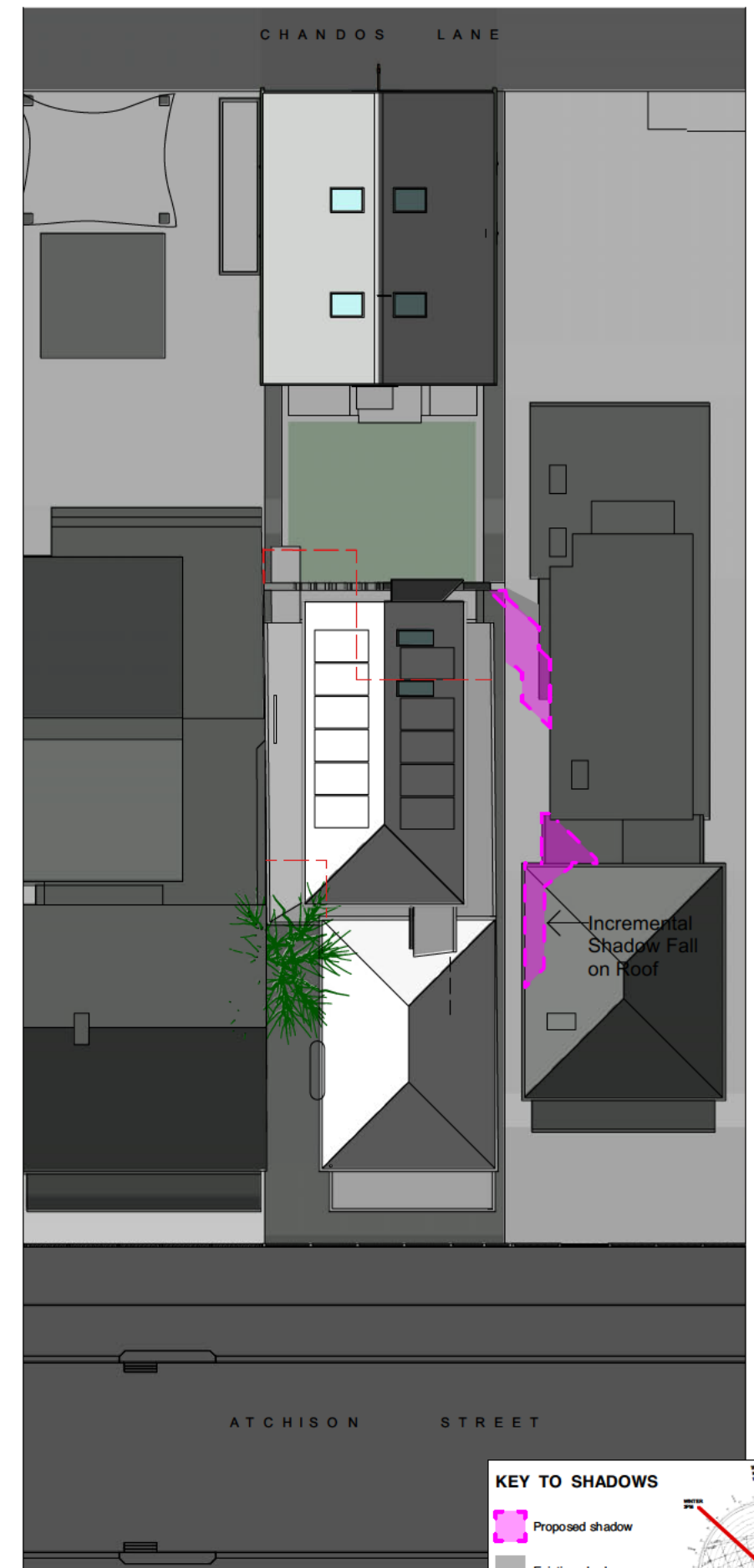
Drawing
Barn Elevations
Drawing Number
DA10
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



9AM SHADOW
1:200 @ A3





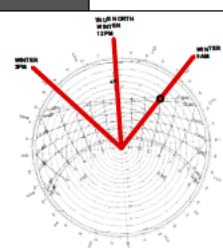
12PM SHADOW
1:200 @ A3



3PM SHADOW
1:200 @ A3

KEY TO SHADOWS

-  Proposed shadow
-  Existing shadow



21 JUNE 9am, 12pm, 3pm

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Nominated Architect: Paul O'Keefe, Registration No. 6373
2306 Crows Nest, DA, Rev 1, 24/05/2024
Version: 1, Version Date: 24/05/2024

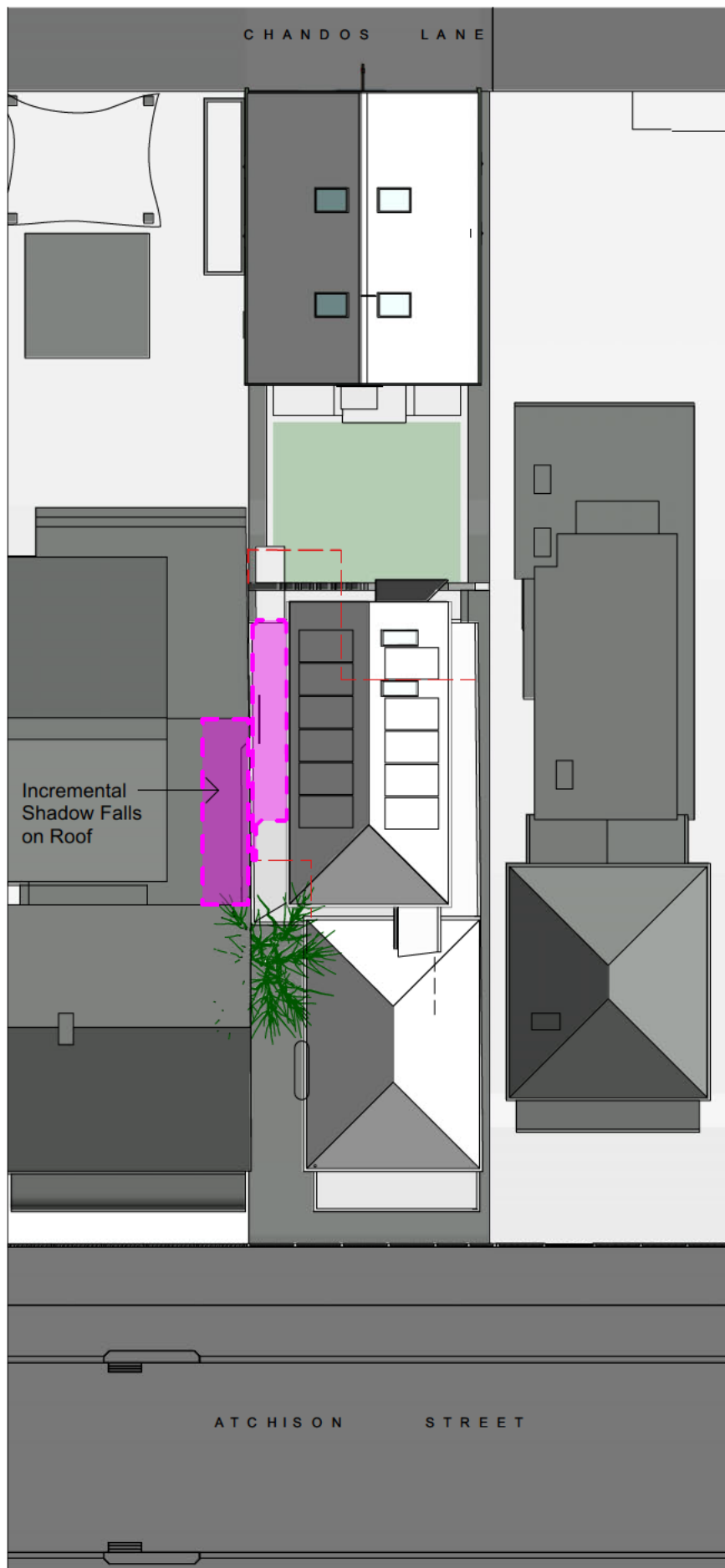
Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

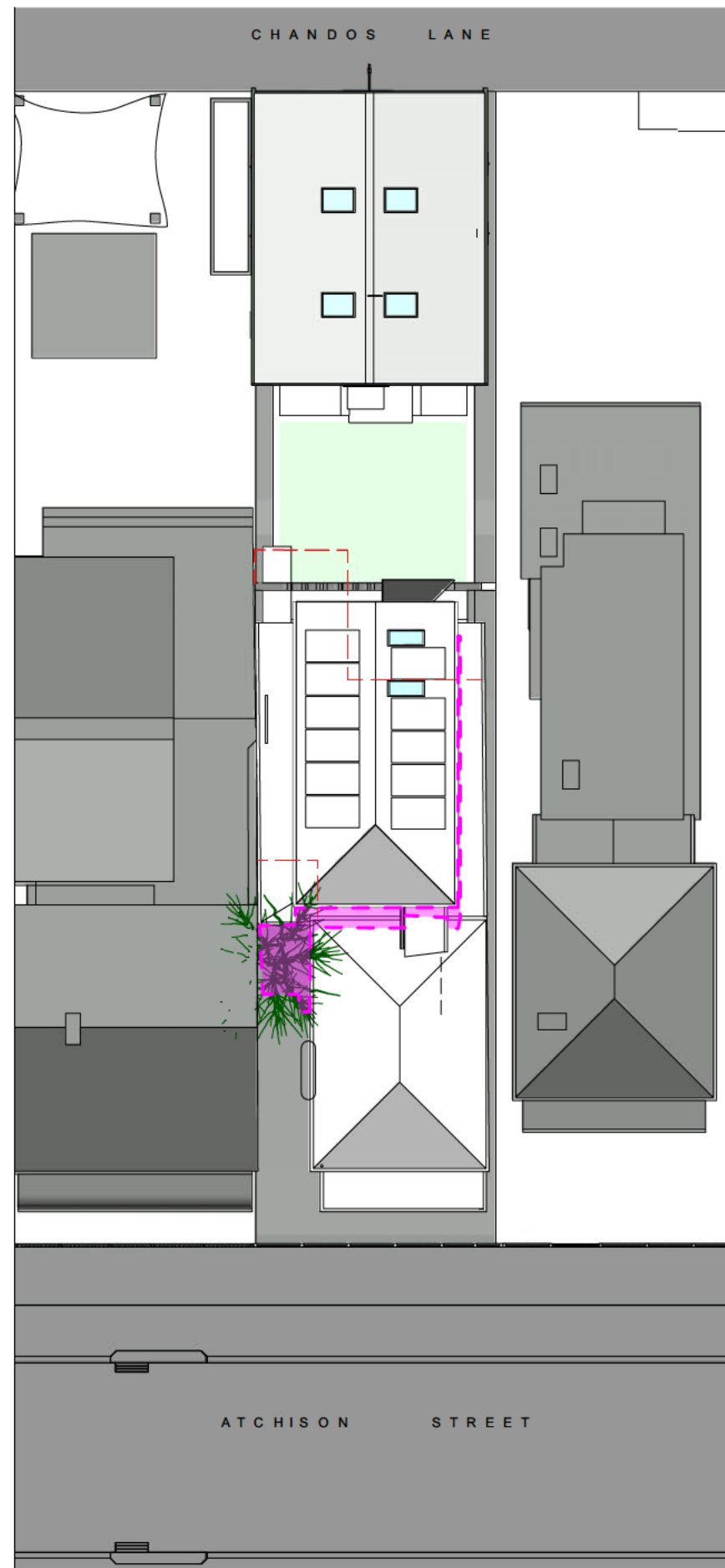
Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:100@A3
Project Number
2306
Drawn By
GS
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

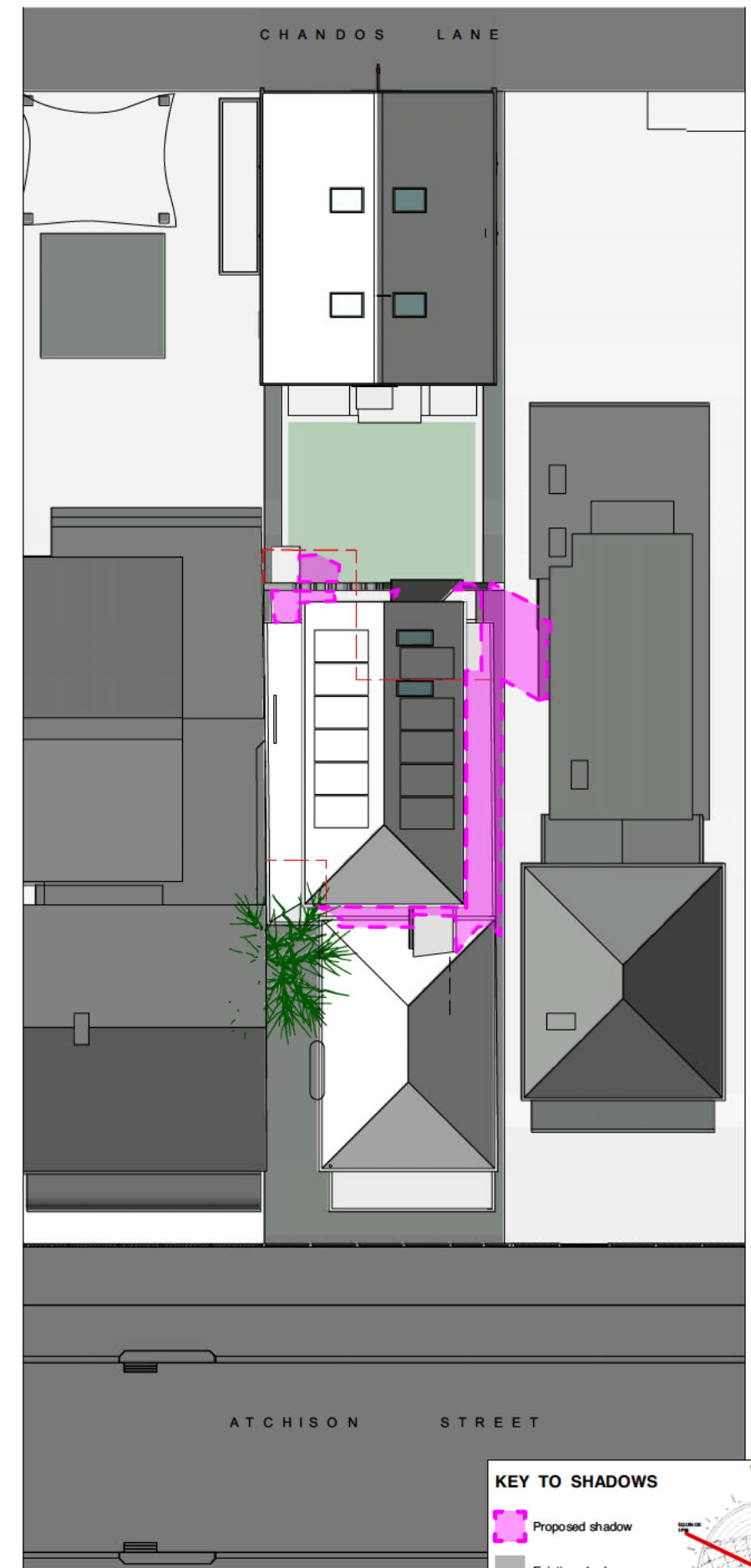
Drawing
9am, 12pm, 3pm 22 June Shadows
Drawing Number
DA11
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefeartists.com.au
W okeefeartists.com.au



9AM SHADOW
1:200 @ A3



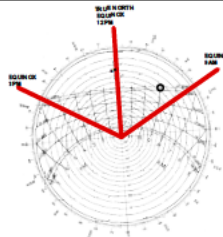
12PM SHADOW
1:200 @ A3



3PM SHADOW
1:200 @ A3

KEY TO SHADOWS

- Proposed shadow
- Existing shadow



21 MARCH 9am, 12pm, 3pm

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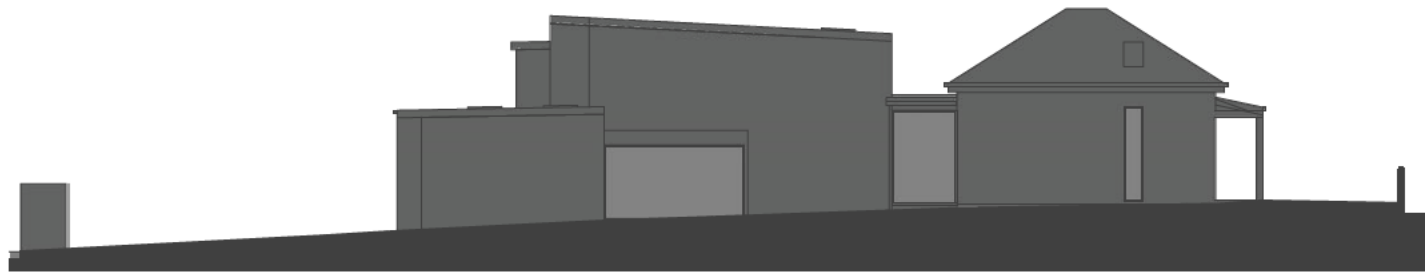
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

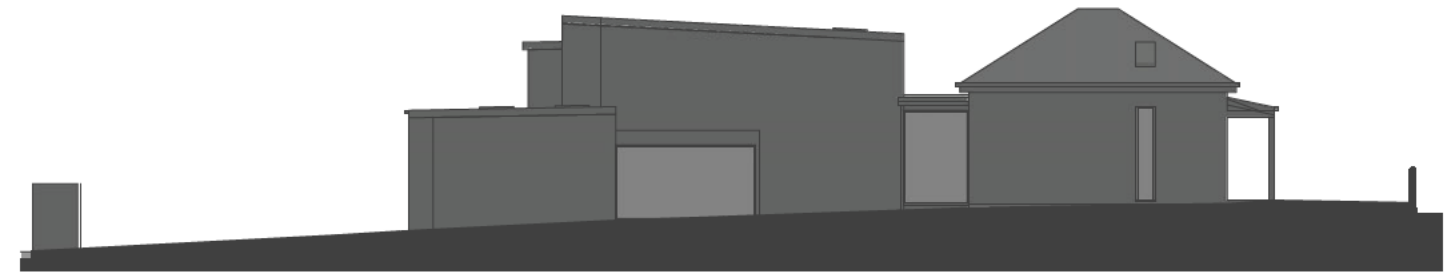


Scale
1:100@A3
Project Number
2306
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

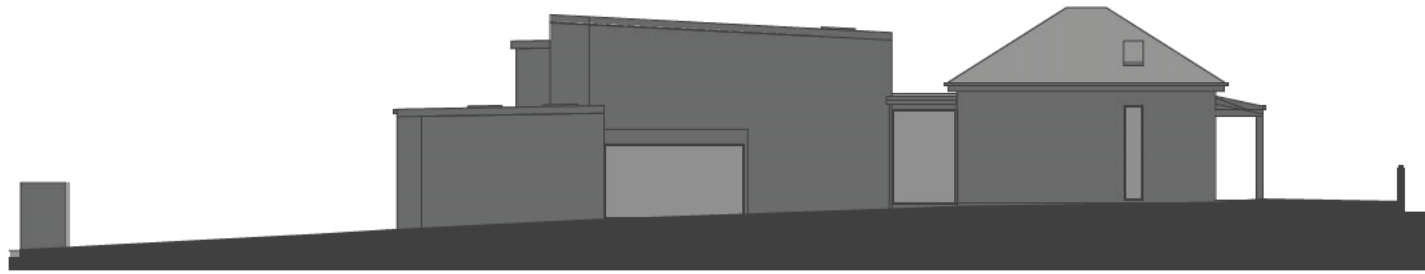
Drawing
9am, 12pm, 3pm Equinox Shadows
Drawing Number
DA12
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



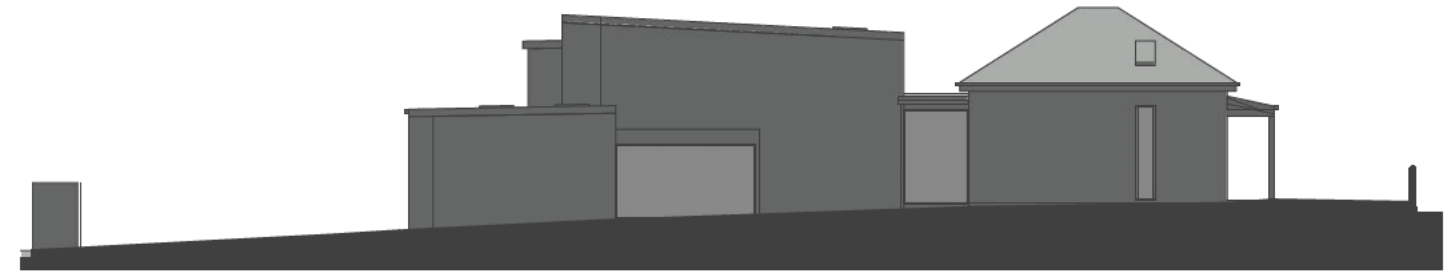
9AM-PROPOSED SHADOW MID WINTER
1:200 @ A3
NO CHANGE TO SHADOW



9AM-PROPOSED SHADOW EQUINOX
1:200 @ A3
NO CHANGE TO SHADOW



12PM-PROPOSED SHADOW MID WINTER
1:200 @ A3
NO CHANGE TO SHADOW



12PM-PROPOSED SHADOW EQUINOX
1:200 @ A3
NO CHANGE TO SHADOW



3PM-PROPOSED SHADOW MID WINTER
1:200 @ A3
ADDITIONAL SHADOW AS INDICATED
NOTE: EXISTING FENCE & 3M HIGH
BOUNDARY SCREEN PLANTING
NOT PLOTTED.



3PM-PROPOSED SHADOW EQUINOX
1:200 @ A3
ADDITIONAL SHADOW AS INDICATED

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2306 Crows Nest, DA Rev 1/24
Version: 1, Version Date: 24/05/2024

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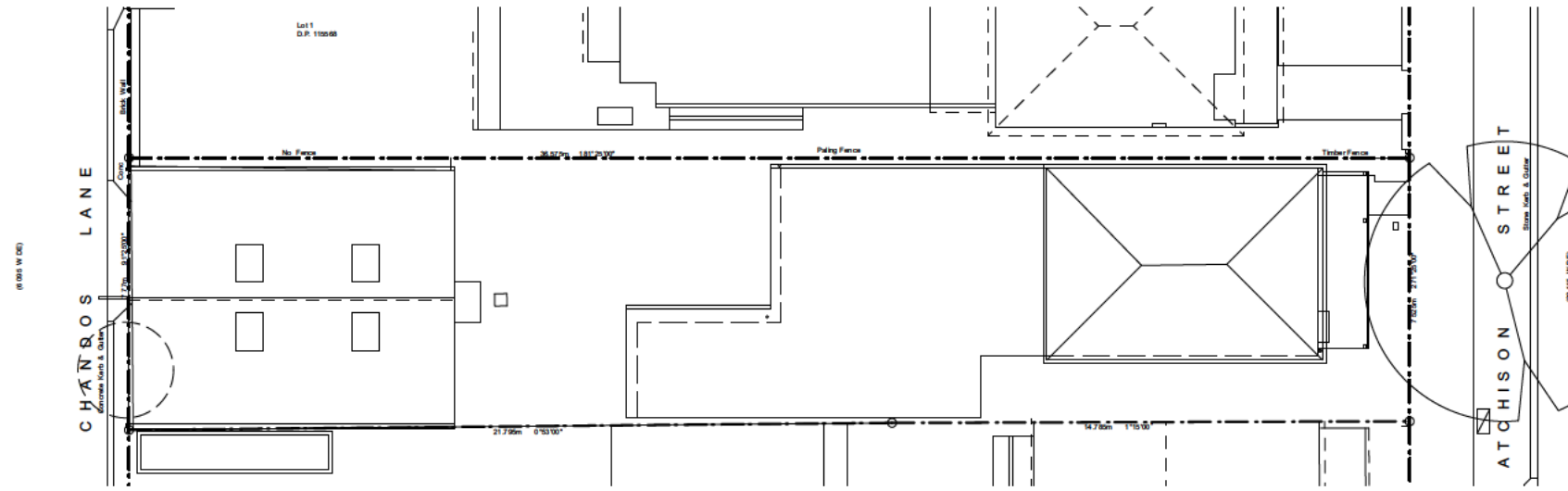
Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

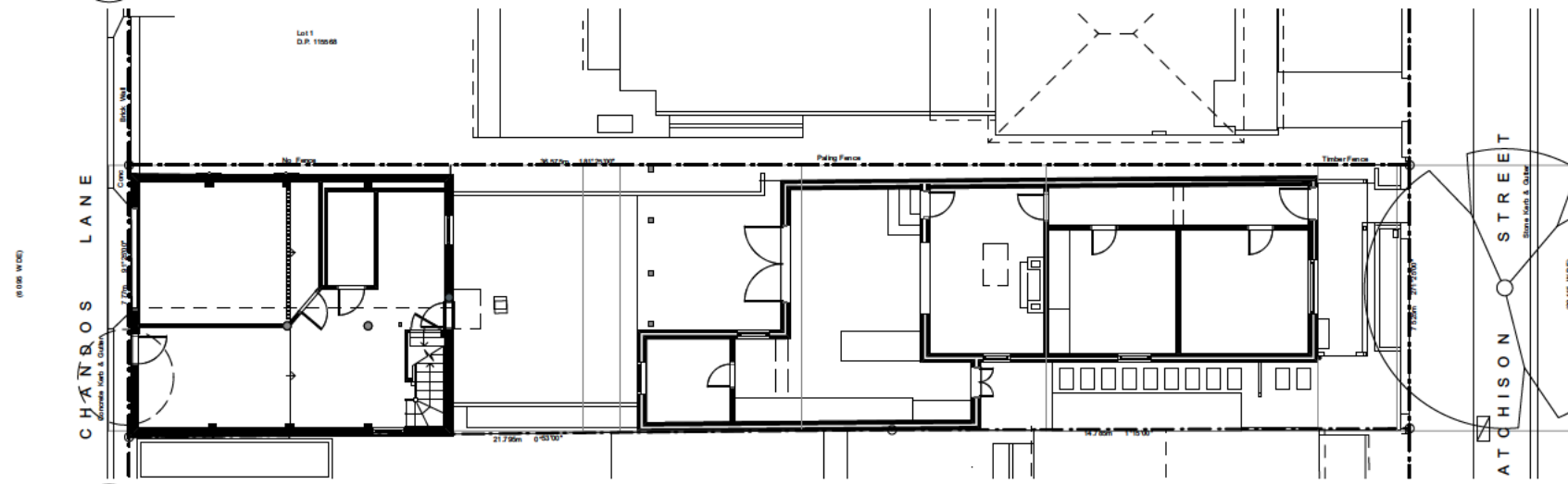
Scale
1:100@A3
Drawn By
GS
Project Number
2306

Drawing
West Elevation No 116 Neighbour Shadows
Drawing Number
DA13
Issue
B
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au





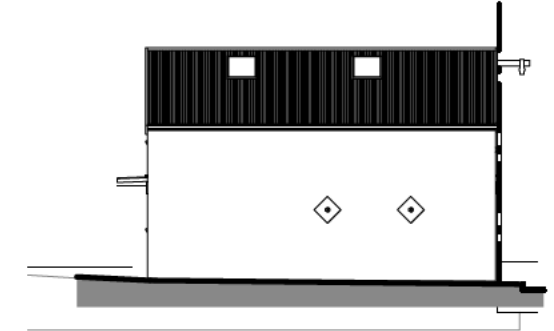
FIRST FLOOR PLAN - House
1:200 @ A3



GROUND FLOOR PLAN - House
1:200 @ A3



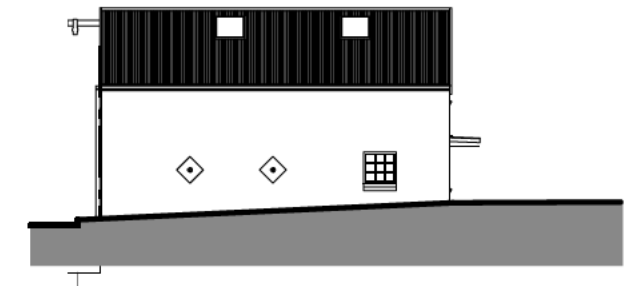
NORTH ELEVATION - BARN
1:200 @ A3



EAST ELEVATION - BARN
1:200 @ A3



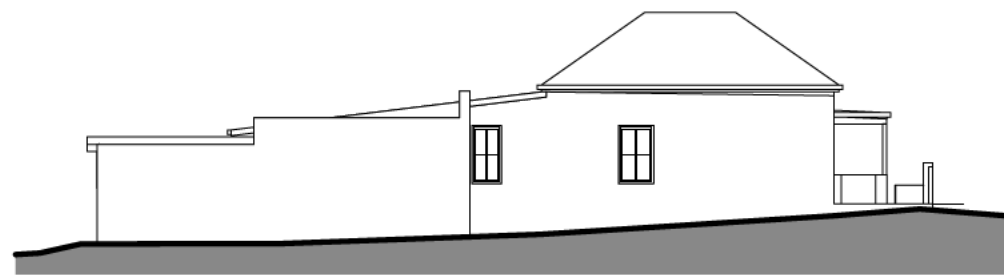
SOUTH ELEVATION - BARN
1:200 @ A3



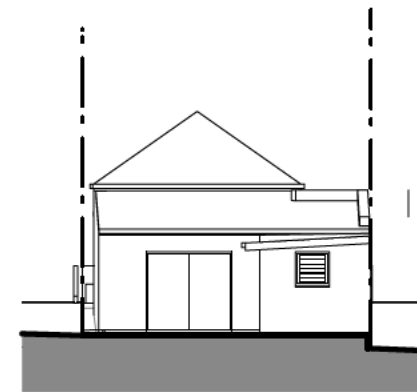
WEST ELEVATION - BARN
1:200 @ A3



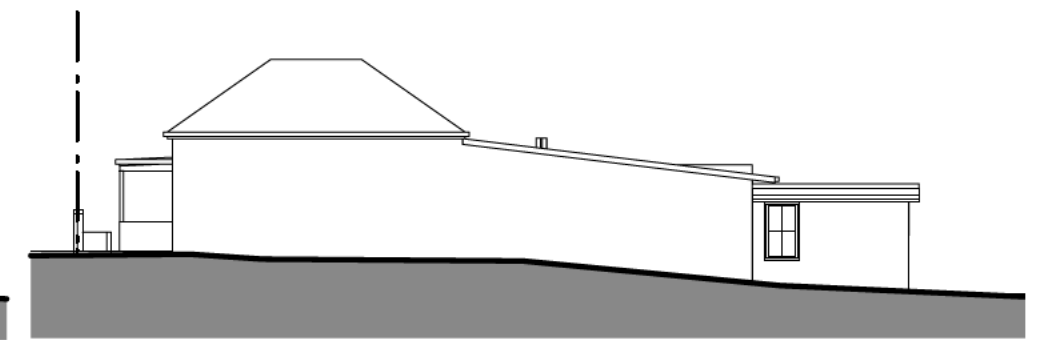
SOUTH ELEVATION - HOUSE
1:200 @ A3



WEST ELEVATION - HOUSE
1:200 @ A3



NORTH ELEVATION - HOUSE
1:200 @ A3



EAST ELEVATION - HOUSE
1:200 @ A3

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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

Scale
1:200@A3
Drawn By
GS
Project Number
2306

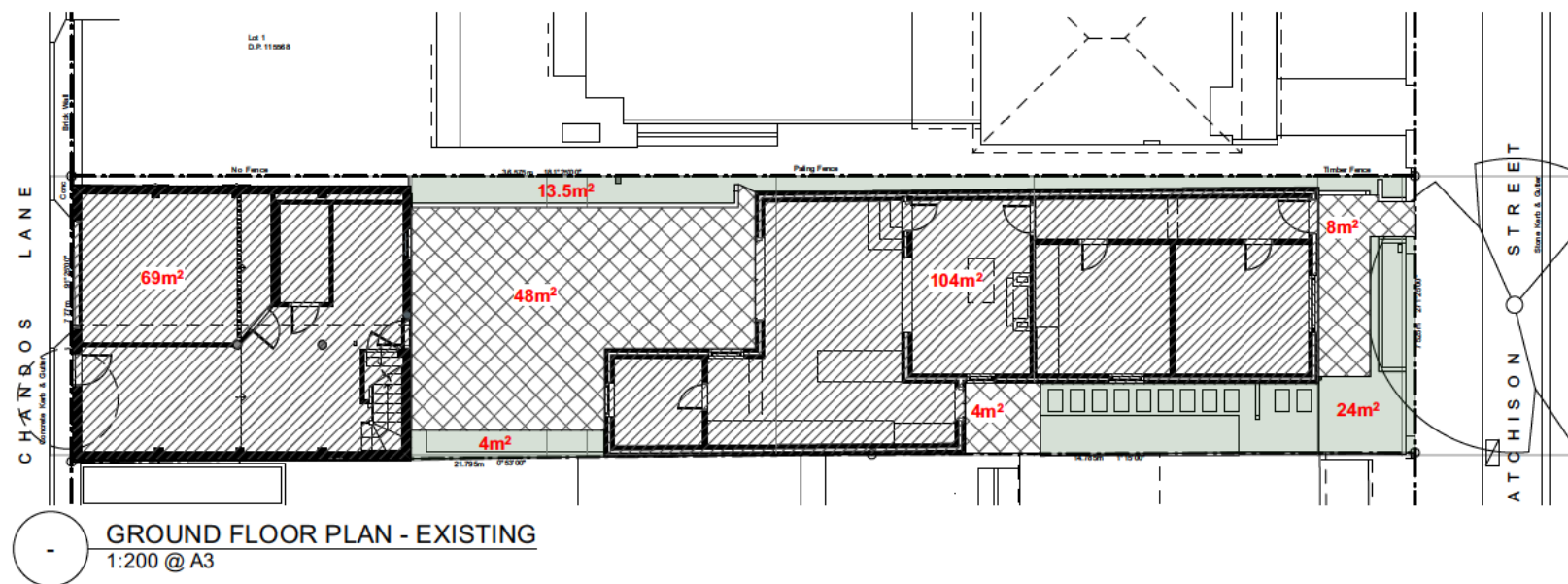
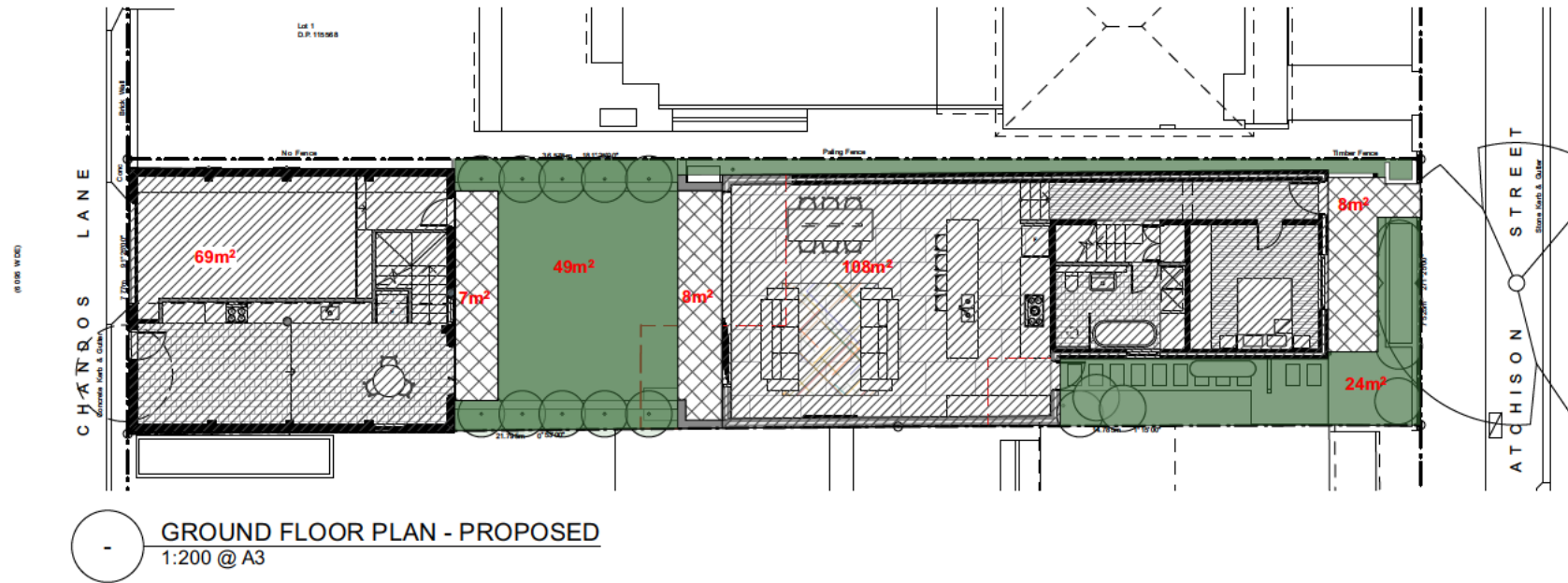
Drawing
Existing Plans & Elevations_House+Barn
Drawing Number
DA14
Issue
B

okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373

Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe architects.com.au
W okeefe architects.com.au



Site Analysis		Development Summary		
Site Area	278.2m ²		Existing	Proposed
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m ²	157m ²
LEP FSR	-	First GFA	61m ²	106m ²
		TOTAL	212m ²	263m ²
Landscaped Area Control	Min 20%		41.5m ² (14.9%)	73m ² (26.3%)
Unbuilt Area	Max 20%		60m ² (21.5%)	23m ² (8.3%)
Site Coverage (Built Upon area) Control	Max 60%		173m ² (62.1%)	177m ² (63.6%)



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2306 Crows Nest, DA, Rev. 1, v.w.
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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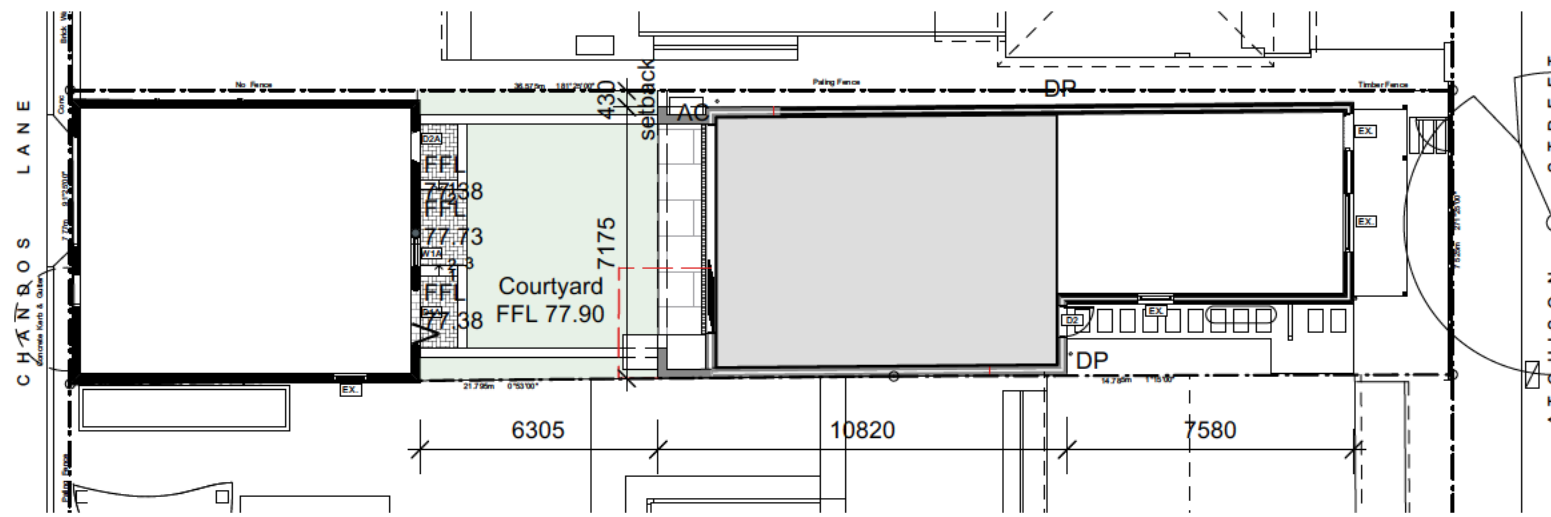
Issue	Date	Amendments
A	15/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddern

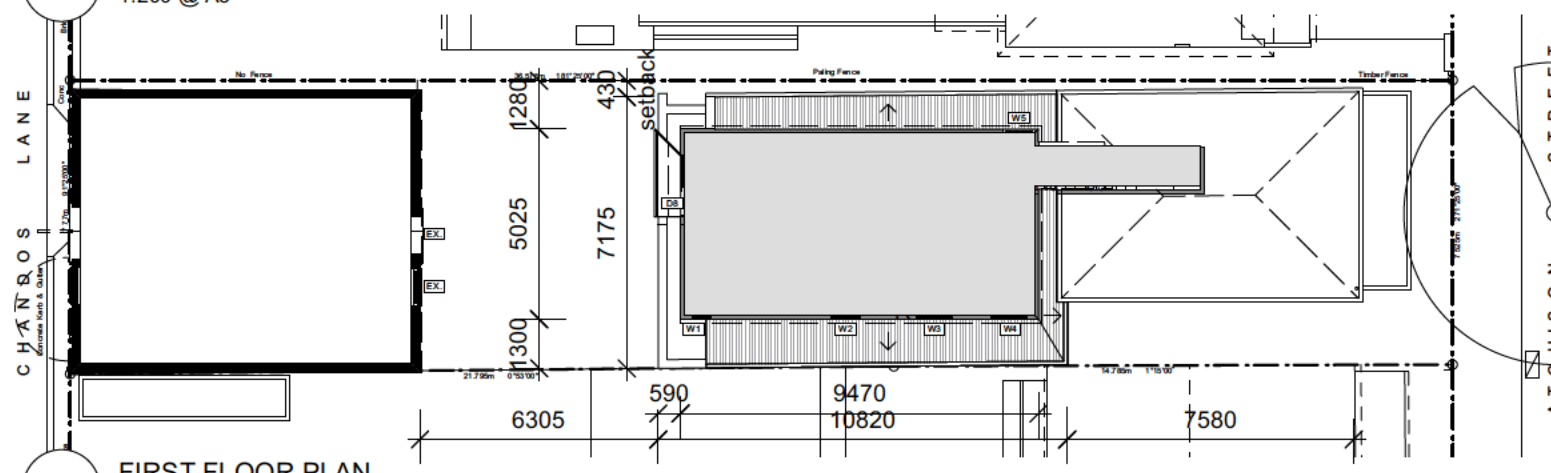


Scale
1:200@A3
Drawn By
GS
Project Number
2306

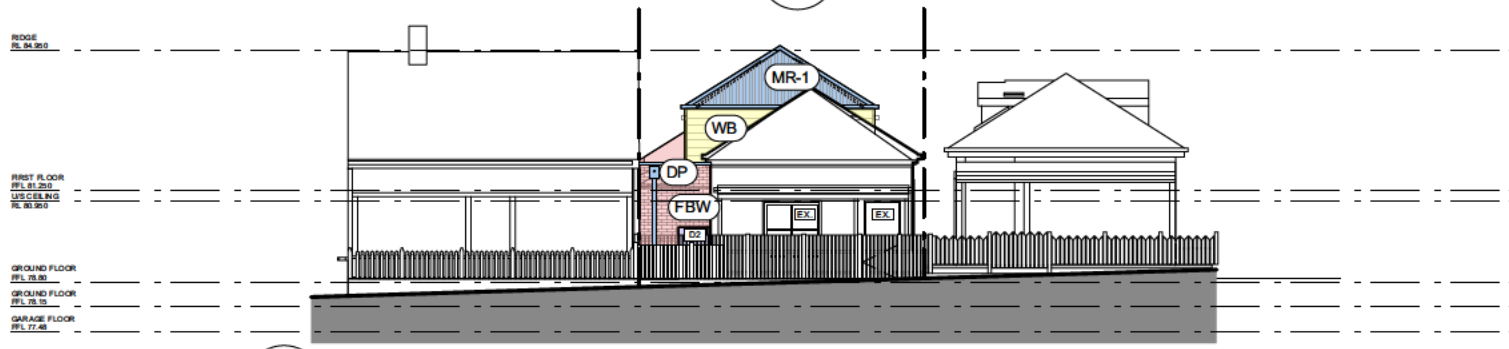
Drawing Area Calculations
Drawing Number
DA15
Issue
A
okeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN : 12771617996
T 02 8960 2020
E info@okeefe.com.au
W okeefe.com.au



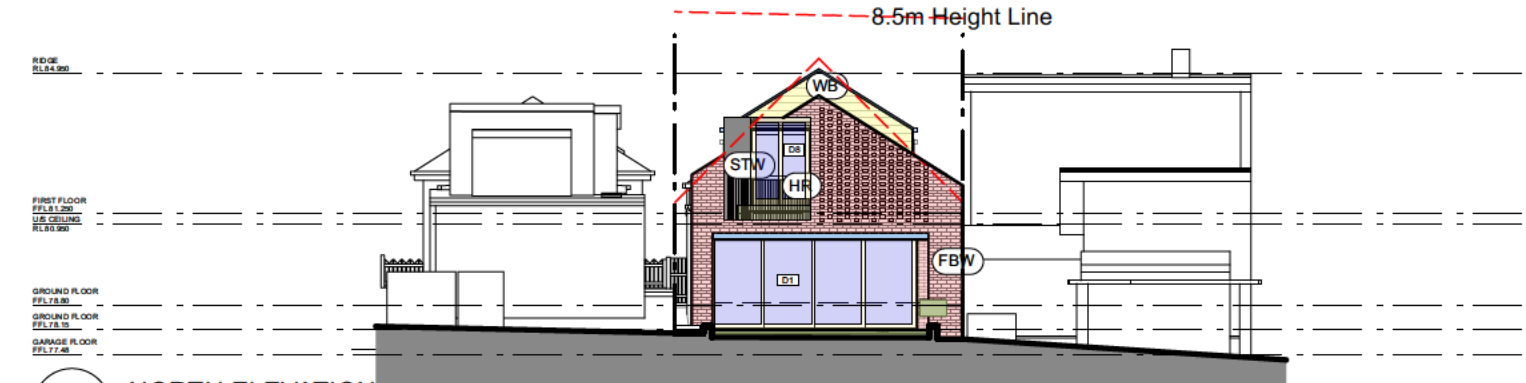
1 GROUND FLOOR PLAN
1:200 @ A3



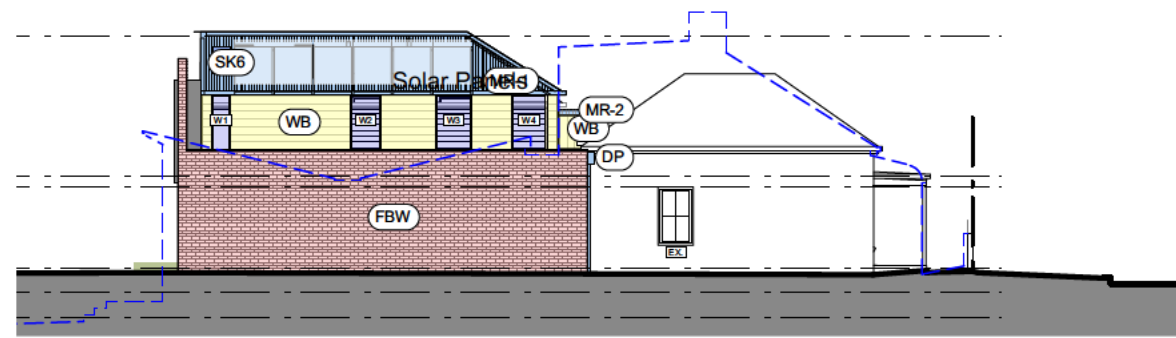
2 FIRST FLOOR PLAN
1:200 @ A3



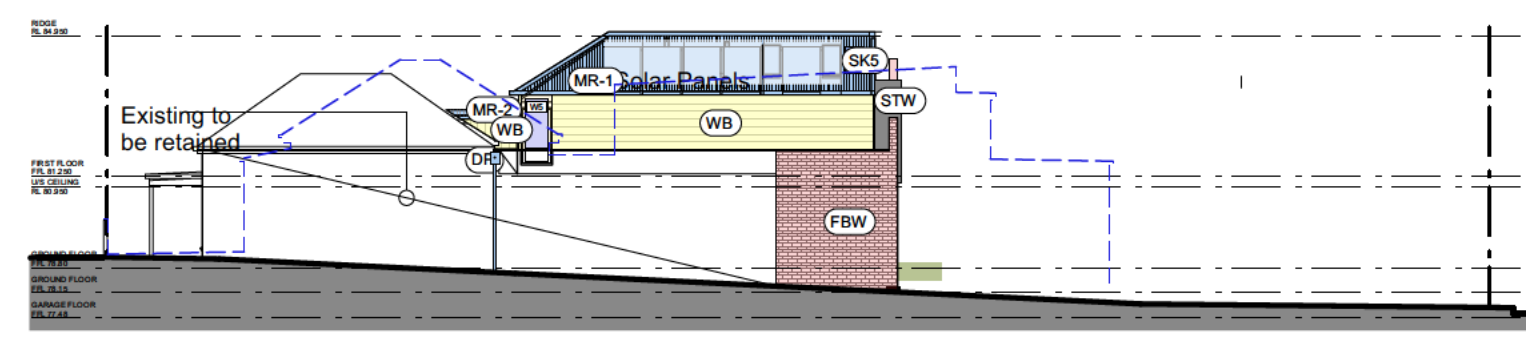
3 ATCHISON STREETSCAPE (SOUTH ELEVATION)
1:100 @ A3



5 NORTH ELEVATION
1:100 @ A3



4 WEST ELEVATION
1:100 @ A3



6 EAST ELEVATION
1:100 @ A3

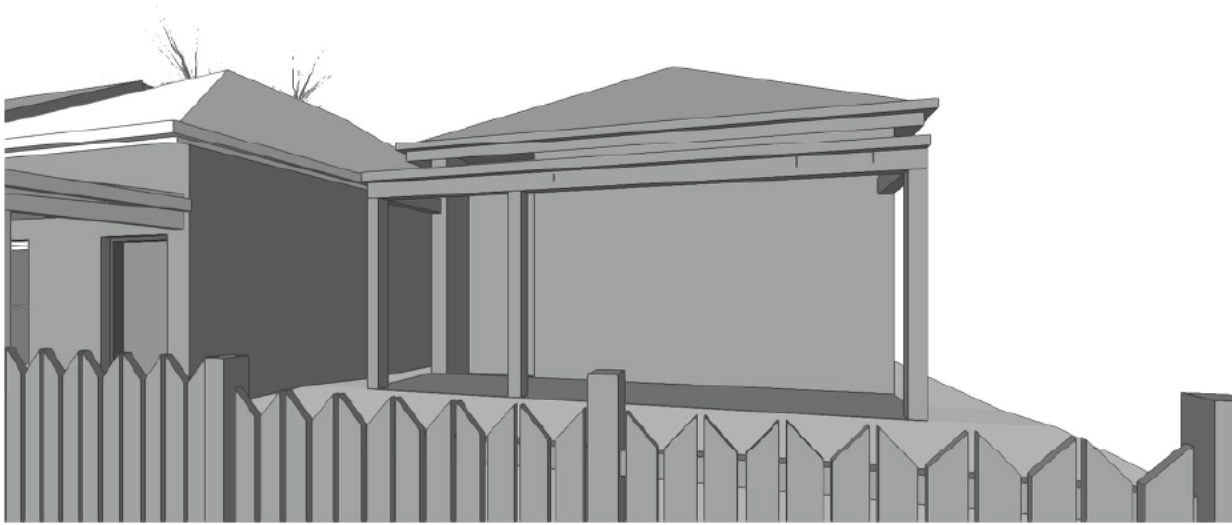
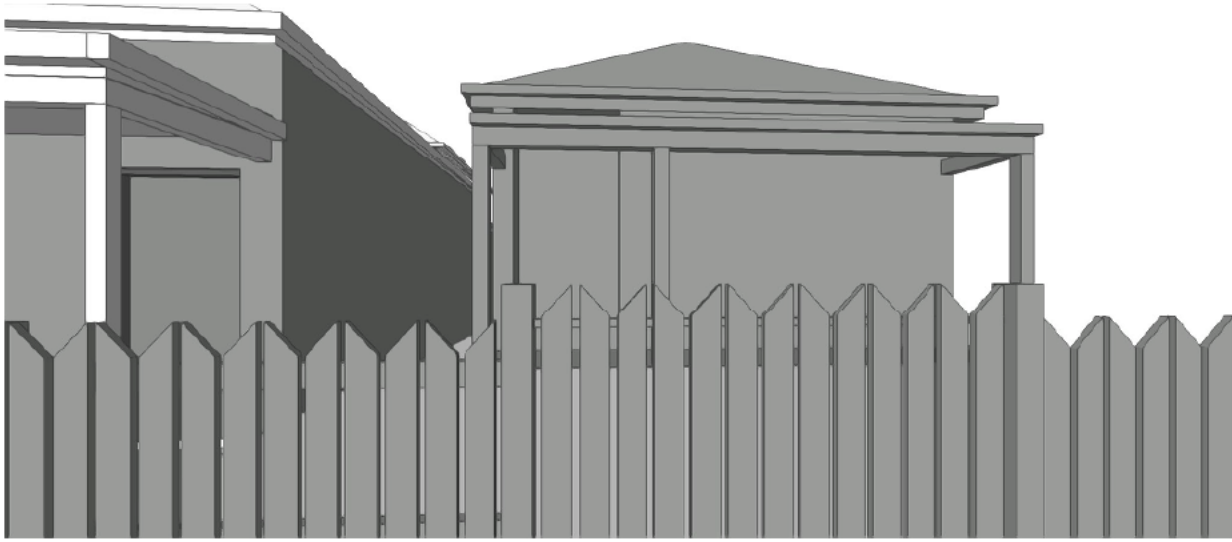
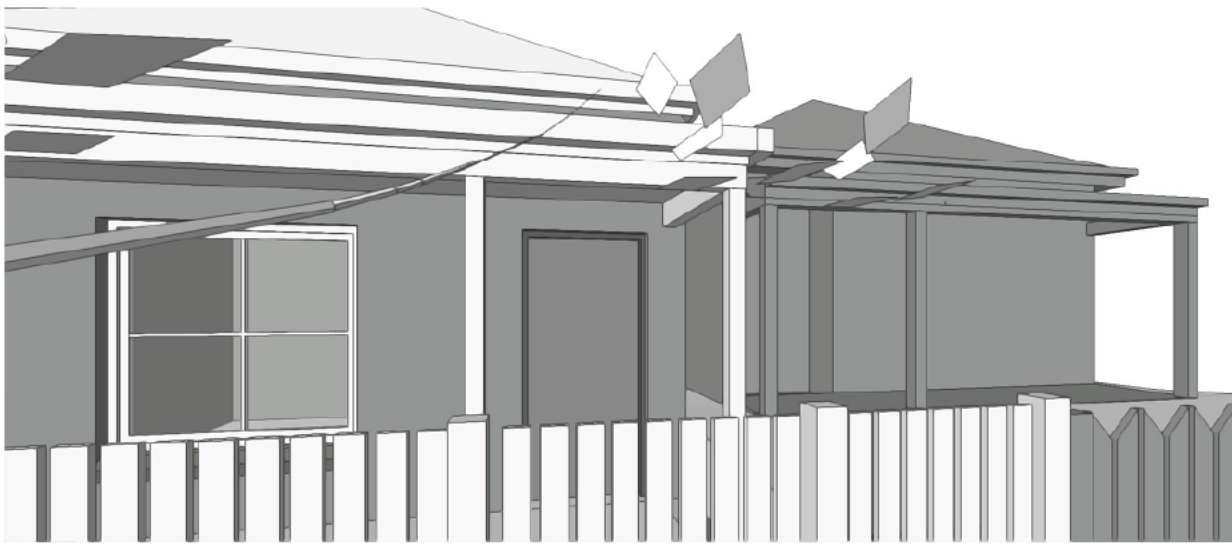
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Nominated Architect: Paul O'Keefe Registration No. 6373
23/05/2024, 22/05/2024, DA, Rev 1, Ww
Version: 1, Version Date: 24/05/2024

Drawing Notes:
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Issue	Date	Amendments
A	13/11/23	Issue for consultant coordination
B	06/12/23	Issue for DA

Project
Alterations and Additions
114 Atchison Street
Crows Nest NSW 2065
Lot B D.P. 964617
Client
Kylie Maddem

Scale
NTS
Drawn By
GS
Project Number
2306
Drawing Number
DA_2306
Issue
B
oakeefe architects
Nominated Architect: Paul O'Keefe Registration No. 6373
Unit 4 281 Pacific Highway
North Sydney NSW 2060
ABN: 12771617996
T 02 8960 2020
E info@oakeefe.com.au
W oakeefe.com.au



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Nominated Architect: Paul O'Keefe, Registration No. 6373
 2306 Crows Nest, DA, Rev 18 P.O. Box
 Version: 1, Version Date: 24/05/2024

Issue	Date	Amendments
A	15/5/24	DA Additional Information

Project
 Alterations and Additions
 114 Atchison Street
 Crows Nest NSW 2065
 Lot B D.P. 964617
Client
 Kylie Maddern

Scale
 NTS
Drawn By
 GS
Project Number
 2306

Drawing
 Impact Analysis - Perspective Views
Drawing Number
 DA16
Issue
 A

Unit 4 281 Pacific Highway
 North Sydney NSW 2060
 ABN : 12771617996

T 02 8960 2020
 E info@okeefe architects.com.au
 W okeefe architects.com.au

Nominated Architect: Paul O'Keefe Registration No. 6373



Statement of Environmental Effects

For:

Alterations & Additions
114 Atchison Street,
Crows Nest NSW 2065

Issue

A 10th December 2023
B 15 May 2024

Prepared by

O'Keefe Architects
4/281 Pacific Highway
North Sydney

Nominated Architect: Paul O'Keefe
Reg 6373

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1. Introduction

This Statement of Environmental Effects (“SEE”) accompanies a development application (“DA”) for alterations and additions to an existing dwelling comprising; demolition works, first floor addition, internal alterations, alterations to existing window and door openings, and alterations to an existing two storey ‘Barn’ containing existing ancillary living areas and garage located at the rear lane.

The impacts of the development application are assessed herein.

The Statement of Environmental Effects:

- describes the land to which the DA relates;
- describes the characteristics of the surrounding locality;
- describes the statutory planning framework within which the DA is to be assessed and determined;
- describes the form of the proposed development; and
- assesses the proposed development in the light of all the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Act, 1997 (“EPAA Act”).

The SEE is accompanied by:

- Architectural plans prepared by O’Keefe Architects and set out on drawings numbered 2306_DA00 to 2306 DA_15 Issue for DA
- Heritage Impact Statement prepared by Archnex Designs
- Survey Plan prepared by Bennett & O’Donnell Surveyors
- BASIX Certificate No. 1730129S

2. The Site



2.6 Access

The primary pedestrian access to the main house is off Atchison Street. Access to the barn is via Chandos Lane.



Figure 2A: The Site viewed from Atchison Street



Figure 2B: Rear 'Barn' viewed from Chandos Lane

3. Surrounding Environment

3.1 General Observations

Atchison St is an established street with formal footpaths, verge landscaping and mature street trees. The surrounding streetscape is comprised of tightly spaced lots generally consisting of a mix of original free-standing and semi-detached dwellings. The street facing facades are generally maintained in their original configuration with contemporary extensions, including second floor additions, set behind the original frontage. A number of unsympathetic mid to late 20th Century properties are located on the southern side of Atchison St, however, the original character of the street remains otherwise largely intact.

3.2 To the North

The site is serviced at the rear by Chandos Lane which provides rear lane access and parking to adjoining properties on Atchison Street and Chandos Street. The lane is fronted by a mix of rear boundary fences, open parking spaces, carports and garages.

3.3 To the West

112 Atchison street is located to the West of the site and comprises a part single, part two storey brick and weatherboard dwelling. The dwelling comprises an original cottage fronting Atchison St, with contemporary part single storey, part two storey alterations extending into the site. No 112 is constructed to both side boundaries.

3.4 To the East

116 Atchison street is located directly to the East of the site and comprises a contemporary two storey brick and weatherboard dwelling. Further to the east Number 118 Atchison St is a substantial 2 storey dwelling incorporating contemporary additions. A series of original semidetached dwellings with contemporary rear extensions, second storey additions and rear lane garages extends further east.

3.5 To the South

The Southern side of Atchison Street contains a mix of small apartment blocks, a series of original stand-alone and semi-detached dwellings and a number of unsympathetic mid – late 20th century buildings.



Figure 3: Aerial View: Context.

4. Proposed Development

4.1 The Development

The proposed works involve the retention and refurbishment of the original front section of the existing cottage, internal alterations, partial demolition of the rear portion of the house, and construction of a new two storey addition.

Internal alterations are proposed to the rear Barn structure with related new windows and doors proposed to the Southern façade.

The proposed works will comprise:

Dwelling:

- Internal alterations to front rooms
- Demolition of rear extension and construction of new two storey addition
- New works set behind the line of the original front cottage

Barn:

- Internal alterations including reconfigured kitchen, relocated stair, relocated bathroom
- Alterations to south facing windows and doors
- Incorporation of direct access between the Garage and the Rear garden
- **Retention of internal brick and timber detailing**

Landscape:

- Removal of unsympathetic elements within Atchison St frontage
- New timber paling fence to Atchison St
- New Landscaped rear courtyard including replacement screen planting to side boundaries

4.2 Development Calculations

(figures incorporate House and Barn)

Site Area	278.2m ²		Existing	Proposed
LEP Zoning	R2 - Low Density Residential	Ground GFA	151m ²	157m ²
LEP FSR	-	First GFA	61m ²	106m ²
		TOTAL	212m ²	263m ²
Landscaped Area Control	Min 20%		41.5m ² (14.9%)	73m ² (26.3%)
Unbuilt Area	Max 20%		60m ² (21.5%)	23m ² (8.3%)
Site Coverage (Built Upon area) Control	Max 60%		173m ² (62.1%)	177m ² (63.6%)

5. Development Controls

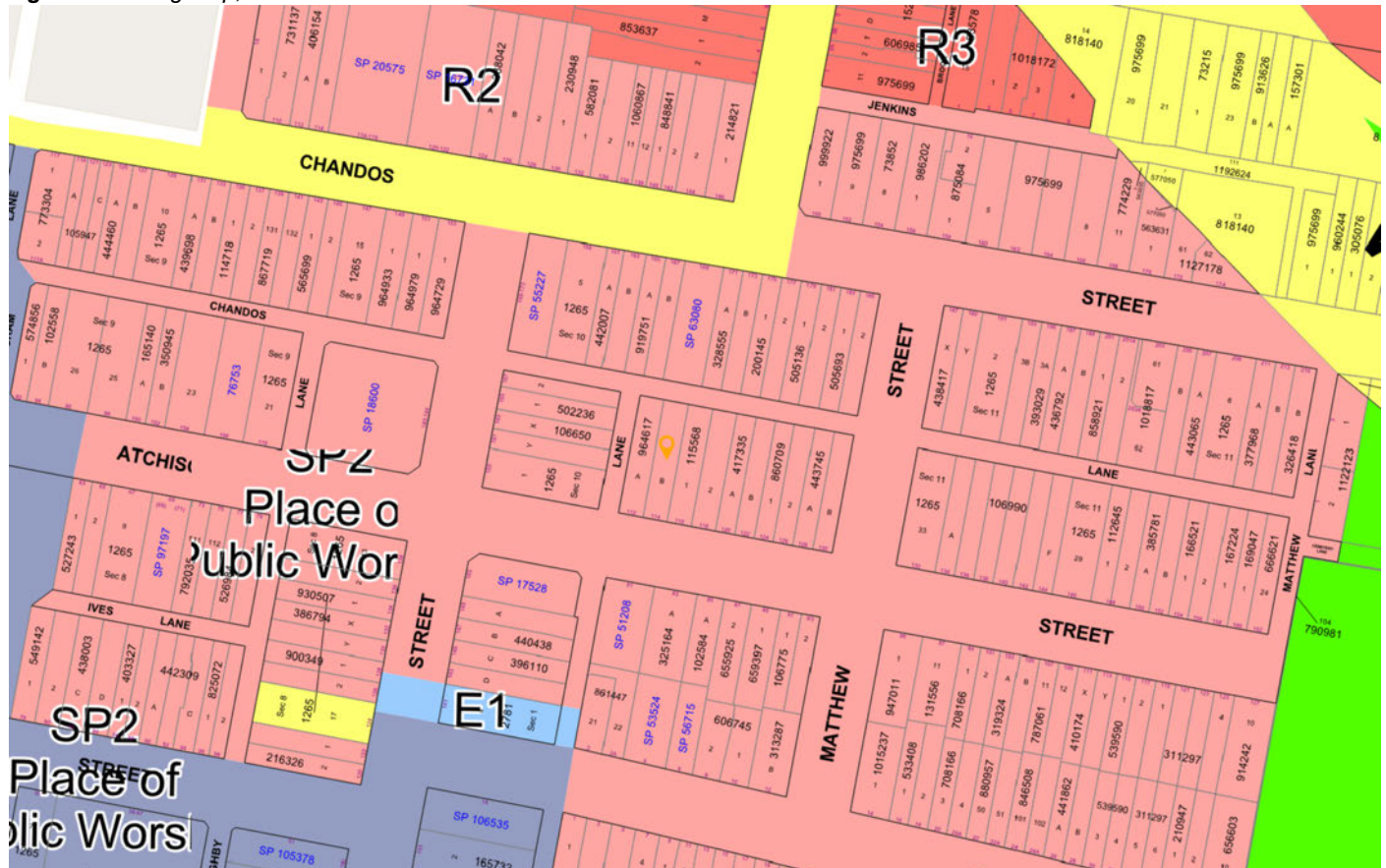
5.1 North Sydney Local Environmental Plan 2013

The relevant clauses of the North Sydney Local Environmental Plan 2013 are addressed below.

Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the North Sydney Local Environmental Plan 2013. The proposed development is a permissible use in the R2 zone which permits alterations and additions to residential dwelling with development consent.

Figure 4: Zoning Map, LEP



Floor Space Ratio

The floor space ratio control has not been adopted for the subject site.

Acid Sulfate Soils

The site is not located in an area nominated as being affected by Acid Sulfate soils.

5.2 North Sydney Development Control Plan 2013.

The relevant sections of the DCP are addressed below.

Section 1- Residential Development

General Objectives

Relevant controls and objectives are met by the proposed development as discussed below:

1. Reinforces the aims and targets of Council's Residential Development Strategy;

The proposed redevelopment is appropriate when considered against Council's Residential Development strategy, with existing residential stock being retained with improved amenity and increased accommodation.

2. Is consistent with the principles contained within the Integrated Land Use and Transport Policy;

The proposal has no material impact on the Integrated Land Use and Transport Policy.

3. Provides a range of living opportunities that attract and cater for a diverse population;

Improving the amenity of the property is consistent with this objective.

4. Does not have adverse impacts on residential amenity or environmental quality;

The proposal does not give rise to any material adverse amenity or environmental impacts on the adjoining properties or the surrounding area.

5. Is in context with surrounding development;

The upper floor extension is designed to complement the immediate heritage context of the property and the broader context of the heritage conservation area. The scale of the proposal is consistent with adjoining development and is formatted to ensure that the existing structures facing Atchison St and Chandos Lane remain the primary visual elements on the site.

6. Contributes to the garden setting and lower scale character of North Sydney's residential neighbourhoods;

The streetscape will be enhanced by the removal of solid masonry fencing to Atchison St and introduction of open paling fencing providing a visual connection between Atchison Street and the landscaping within the frontage.

7. Provides safe and comfortable accommodation;

The proposed works provide for improved amenity within the property.

8. Is consistent with the character that is described in the relevant area character statements;

The additions proposed to the existing dwelling are consistent with the heritage character of the Holtermann Estate A conservation area and are consistent with the objectives of the character statement.

9. Incorporates innovative sustainable design to reduce energy and water consumption, and meets or exceeds sustainability requirements, and

A BASIX Certificate is provided with the Development Application.

10. Minimise stormwater

There is a general increase in soft landscaping as a result of the proposal along with the incorporation of a rainwater storage tank, both of which contribute to a reduction in Stormwater run off.

Environmental Criteria

Topography

The site is relatively level and contains an existing dwelling. The proposed works at the rear of the site will have no impacts on the existing topography of the site.

Properties on Bush Fire Prone Land

The site is not located in a bushfire prone area.

Properties with a foreshore frontage

The site is not located with a foreshore frontage.

Visual Impact

The dwelling is not visible from the harbour. Works are set back from Atchison St and obscured by the existing structure. The generous setbacks and pitched roof form of the proposed first floor addition minimises visual impact.

Views

No views will be impacted by the proposed works.

Solar Access

The proposal results in minor incremental shadow which falls on the roof the adjoining property at 112 Atchison St and onto the side setback of No. 116 Atchison St. It is noted that the shadows cast by the existing boundary fence, pergola and screen planting adjacent the Eastern Boundary have not been plotted. When taken into consideration the actual net incremental overshadowing of the side setback of 116 Atchison St is significantly less than indicated on the Shadow Diagrams. The private outdoor and indoor living spaces of all three properties face onto the Northern rear garden and are unaffected by the proposal. Shadow Diagrams are included in the Architectural drawing set.

Visual Privacy

First floor windows are located to avoid overlooking. Windows 3 & 4 (Bedroom 2) look onto adjoining rooftop. W1 Bed 1 and W2 (Ensuite) will be fitted with frosted glass.

Context

The alterations and additions will be appropriate when considered with regard to site layout and characteristics of the local area.

Streetscape

The streetscape of Atchison Street will be enhanced by the replacement of unsympathetic masonry fencing with paling fencing. The proposed first floor additions are well set back and do not impact the streetscape. The Chandos Lane streetscape remains unchanged.

Laneways

Chandos Lane is the secondary frontage to the site. The existing barn is to remain and it's presentation to Chandos Lane is unchanged.

Siting

Proposed works are generally located over the existing building footprint.

Setbacks

Front: The front setback will be unchanged.

Rear: The proposed rear setback (house) will be increased by 1.05m to 15.56m. The existing nil rear setback for the Barn is unchanged.

Side: Side setbacks of 900mm are permitted for a single storey (up to 4m) and 1.5 metres for second storeys for dwellings in the R2 zone. The existing Ground Floor side setbacks are retained including a 0m setback to the Western Boundary and a reduced setback of 430mm on the Eastern Boundary. The proposed first floor is setback 1280mm from the East and 1300mm from the West.

The proposed first floor addition will vary the setback requirement on the western side by 200mm and on the eastern side by 220mm. The reduced setbacks are offset by the use of a raked ceiling which reduces the wall height to 5.25m which is substantially less than the 7m allowable wall height referenced in the control.

Provision 1.4.6 of the DCP

Provision 1.4.6 of the DCP relating to side setbacks provides the following:

Council may grant consent to a development with a 0m setback to a side boundary. However, Council must not grant consent, unless the applicant has satisfactorily addressed the questions identified in the Land and Environment Court Planning Principle "Building to the side boundary in residential areas" established in North Sydney Development Control Plan 2013 Residential Development Part B Page B1-17 Galea v Marrickville Council [2003] NSWLEC 113 and consideration has been given to that statement. The Planning Principle is available to view on the Land and Environment Court's website (http://www.lev.justice.nsw.gov.au/planning_principles).

The relevant questions are summarised below, with comment providing an assessment of the proposed replacement wall located on the Western boundary:

(a) Is the street characterised by terrace housing? Building to the boundary is only considered appropriate in streets where the existing form of development is characterised by attached dwellings, semi detached dwellings and multi dwelling housing (e.g. villas and townhouses).

Comment: Yes, the street contains a number of examples of attached housing, built to boundary dwellings and townhouse development. The existing dwelling is built to the Western boundary and the adjoining property, no. 112 Atchison St, is built to both side boundaries. The proposed wall replaces an existing wall located on the boundary.

(b) What is the height and length of the wall on the boundary? The length and height of any wall built to the boundary should be minimised to limit any adverse impacts in terms of overshadowing and visual privacy.

Comment: The length of the Western wall constructed with 0m setback is 10.8m and replaces an existing wall that is 12.3m long. (Proposed is a reduction in length of the wall of 1.05m compared to the existing wall).

The wall is proposed to be 3.45m high at it's highest point.

(c) Has the applicant control over the adjoining site(s) or the agreement of their owners? Unrestricted access should be made to all components of a building which is built to the boundary to ensure that those components can be adequately maintained over its life.

Comment: The applicant does not have control over the adjoining site. However the proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

(d) What are the impacts on the amenity and/or development potential of adjoining sites? It must be adequately demonstrated above all else that building to the boundary will not result in any adverse amenity impacts or development potential of adjoining sites.

Comment: As the proposal is for the replacement of an existing wall and for a reduction in length, and as the neighbouring property at 112 Atchison St is constructed to both it's East and West boundaries, the construction of the wall does not result in any material adverse amenity impacts or affect the development potential of the adjoining property. The Shadow Diagrams included in the architectural set demonstrate that the proposal does not result in any material incremental overshadowing of the adjoining property.

(e) Are there arrangements in place for the maintenance of the wall or gutters? Access and maintenance arrangements should be in place before a development application is assessed by Council to avoid disputes later on.

Comment: The proposed wall is a reconstruction of an existing wall located on the boundary. The wall is proposed to be constructed in masonry with all drainage elements located within the site and fully accessible from within the property.

Form, massing and scale

The built form will be consistent with neighbouring dwellings. The overall bulk of the site will be only minimally impacted and the development as proposed is considered to be suitable for the site and its surrounds. Visual impact on the street is minimal with the works being set well back behind the original roof and effectively screened by a substantial street tree located directly in front of the property. Privacy, overshadowing and views are all adequately addressed and of negligible impact.

Built form character

The front façade is retained and enhanced through the reinstatement of traditional paling fence to the front boundary. The second storey is set back within the site and located behind the original roof, which is retained. A pitched roof form is proposed for the second story in keeping with development on the site and to reduce bulk. The form is appropriate and of consistent scale for the location.

Dwelling Entry

The dwelling entry is retained at the front of the site.

Roofs

The proposed pitched roof to the second storey is consistent with the existing pitched roof and reduces overall bulk.

Colours and Materials

The additions have been designed to complement the existing site and surrounds. Materials and colours have been sourced to ensure that the alterations compliment the conservation area.

Vehicular Access & Car Parking

A single garage is retained with access from Chandos Lane.

Site Coverage

For a lot area of 278.2m², the DCP permits a maximum site coverage of 60%.

Based on the DCP definition of site coverage the existing dwelling has a non-compliant site coverage of 173m² (62.1%). The proposed works involve minor additional site coverage and will be 177m² or 63.6%. Site coverage is affected by the presence of a substantial heritage listed outbuilding / barn which is to be retained.

Landscape Area

The DCP requires a minimum landscape area of 20% (55.64m²). The site has an existing landscape area of 41.5m² or 14.9%. The landscaped area of the subject site as proposed to be increased to 73m² or 26.3%, complying with the DCP requirement.

Excavation

There is minimal excavation proposed as a part of the development.

Landscaping

The proposed landscaping provides general improvement to the existing garden space. The garden and landscaping in the frontage will be maintained and enhanced by the proposed development. Screen planting to replace existing screen planting is proposed to the rear garden.

Energy Efficiency

A BASIX Certificate is provided in support of the proposed works.

Stormwater Management

The alterations and additions will be connected to the existing drainage on the site and fed by gravity to Council's stormwater system.

Private and Communal Open Space

Private open space of 40m² is required for the dwelling. Private Open Space is retained and is compliant at 57m² (Rear Garden).

Part B – Heritage and Conservation

The site is located within the Holtermann Estate A Conservation Area. Accordingly, the proposed works are located behind the original building and, accordingly, the Atchison Street streetscape remains largely unchanged. The proposed first floor additions are scaled to be consistent with surrounding development and designed to be sympathetic to the dwelling and the conservation area.

The proposed alterations retain the primary roof of the original dwelling and involve removal on unsympathetic brick fencing to the Atchison St frontage. There are no changes proposed to the Chandos Lane facade of the Barn / Outbuilding.

The HIS prepared by Archnex Designs concludes that *"there will be no adverse effects of the works and proposal is supportable in terms of potential heritage impacts."*

The proposal is consistent with the provisions of Clause 5.10.

Topography

Existing levels are largely retained. There will be no impact on the existing topography as a result of the rear addition to the existing dwelling.

Subdivision

No subdivision is proposed.

Streetscape

The proposed addition will retain the characteristic Atchison Street and Chandos Lane streetscapes.

Views

There is no impact on views as a result of the development.

Numerical Control Table

	Standard	Proposed	Compliance
North Sydney LEP			
Zone	R2-Low Density residential	Alterations & additions to an existing dwelling	Permitted with consent
Lot Size	230m ²	278.2m ²	N/A – No change
Building Height	8.5 metres	7.15 metres	Yes
Floor Space Ratio	N/A		
Heritage	Holtermann Estate A Conservation Area	note	Note
North Sydney DCP			
Solar Access	3 hours sunlight to solar panels, main living room windows and private open space, on the subject site and adjoining residential properties between 9am and 3pm on June 21	Proposed shadows have minimal additional impact and fall within side setbacks. Subject site and adjoining site primary internal and external living areas are orientated to the north and are unaffected by the proposal.	Yes
Front Setback	Consistent with or average of adjoining properties.	Unchanged	Yes
Side Setbacks	R2 Zone 900mm first storey up to 4m 1.5m second storey up to 7m	Existing setbacks to be retained Second storey setback 1.28m (east) and 1.4m (west). Wall height is 4.8m high.	No – existing setbacks No – minor non-compliance which is compensated for by reduced wall height of 4.8m (vs 7m control). Net result is reduced bulk and scale and reduced overshadowing.
Rear Boundary Setbacks	Consistent with adjoining properties.	15.56m Proposed rear wall of dwelling is setback further than both adjoining properties and represents a 1m increase vs existing setback.	Yes
Floor to Ceiling Height	2.7m	2.8m Ground Floor Raked ceiling First Floor	Yes
Roof Pitch	25° to 36°	35° (to match existing)	Yes
Site Coverage	60% (max)	Existing 62.1% Proposed 63.6%	No. Proposed change to Site Coverage is minor (4m ²). A small non-compliance in site coverage results from the substantial existing heritage listed barn structure. The proposed dwelling footprint is not excessive, with the proposed rear setback line set behind the line of adjoining properties. Landscape area and un-built upon areas are compliant.
Landscaped Area	20% (min)	26.3%	Yes
Unbuilt upon Area (max)	20% (max)	8.3%	Yes

6. Assessment Of Environmental Effects

In determining the subject DA, council is required to consider those relevant matters listed in Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997. Each of the relevant matters is addressed below.

6.1 Division 4.15 - Statutory Planning Considerations

Division 4.15 requires the consent authority to take into consideration:

- “(a) the provision of:*
- (i) any environmental planning instrument; and*
 - (ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority; and*
 - (iii) any development control plan; and*
 - (iv) any matters prescribed by the regulations that apply to the land to which the development application relates.”*

These matters (and others) are addressed in both Section 5 of this report, and below. The proposal complies with all the requirements of the statutory controls and is permissible with the consent of the Council.

6.2 Division 4.15 - Environmental, Social and Economic Impacts

Division 4.15 requires the consent authority to consider:

“(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.”

The proposed development involves modest alterations and addition to the existing dwelling.

The improvements do not involve any intensification of development on the site and have no material adverse affect on neighbouring properties. The proposed development does not extend into natural bushland areas of the site and does not encroach the drainage easement or right of drainage that affects the site.

The proposal will not have any unreasonable adverse impact on any adjoining natural and built environments. It will not have any adverse social or economic impacts.

6.3 Division 4.15 - The Suitability of the Site

Division 4.15 requires the consent authority to consider:

“(c) the suitability of the site for the development.”

The subject site is of substantial dimensions and is currently occupied by a two storey dwelling. The proposed development involves modest alterations and addition to the existing dwelling.

The proposed works are permissible within the zoning and are compliant with the numeric controls applicable to the site. The proposed development is appropriate to the size of the allotment.

The subject site is accordingly considered suitable for the proposed development.

6.4 Division 4.15 - Submissions

Division 4.15 requires the consent authority to consider:

“(d) any submissions made in accordance with this Act or the regulations”.

Any relevant representations will need to be considered by the consent authority in the determination of the development application.

6.5 Division 4.15 - Public Interest

Division 4.15 requires the consent authority to consider:

“(e) the public interest”.

The proposal allows for alterations to improve the amenity of the existing dwelling, with those improvements achieved without any material adverse impact on adjoining natural or built environment. The proposal provides for ongoing utilization of the existing structures on the site. The proposal is considered to be in the public interest.

7. Conclusion

The development is permissible with consent on the subject site and is in compliance with applicable planning objectives, provisions and controls. The proposal is compatible with surrounding development and development in the locality generally.

The proposal will not result in any unreasonable adverse impact on adjoining properties, and is considered to be appropriate development for the subject site. The proposal is considered to be satisfactory with regard to the public interest.

Having regard to the above, and with reference to the relevant heads of consideration listed under Division 4.15 of the Environmental Planning and Assessment Amendment Act, 1997, the proposal is considered to be appropriate and worthy of favourable consideration by Council.

APPENDIX A: Site Photos



1.View of existing Barn from rear Chandos lane.



2.View of existing Barn from rear Chandos lane.



3.View of existing Barn from rear.



4.View of existing Entry to Dwelling off Atchison Street.



5. View of existing Neighbour at 112 Atchison Street.



6. View of existing Neighbour at 116 Atchison Street.



7. Atchison Street View (Incl Street tree)

26 April 2024

To Paul O'Keefe
Via email: paul@okeefearchitects.com.au

Re: 114 Atchison Street St Leonards
Comments on DA355/23- Preliminary Assessment

Heritage

“**Barn**” - more or less cautionary notes- the fenestration is to remain as is and the use of “lightweight construction” appears to be what is proposed. Section A-A indicates that the trusses are to be visible to the upper level.

House – there is a degree of separation (appears to be approx. 1 metre) of the upper-level of the addition from the rear wall of the existing 2-bedroom portion of the house.

The sightlines from the street are such that the peak of the proposed ridge to the upper-level addition will be largely obscured by the existing roof, with the extent of setback having the effect of reducing the visual impact of the upper walls of the addition when viewed down the gap between the subject house and N^o 112 Atchison St.

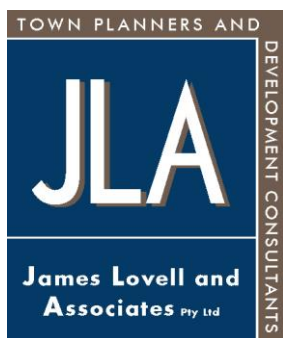
The placement of the proposed stair is appropriate given the comparative width of the proposed upper level and the position of the access off the existing hallway. The utilisation of the remainder of the floorspace of Bed 1 as a bathroom/ storage is logical as these facilities are adjacent the main circulation to the ground and upper floors. It is also a matter of balancing the floorspace consumed by the stair if placed in the proposed Living Room, with a location that is of lesser spatial benefit.

The fireplace is of apparent lightweight construction with a tubular steel flue (i.e. no chimney) and is not original fabric.

In my opinion, the proposal will not give rise to adverse impacts on the heritage item, nor the HCA in which it is located.

Yours sincerely

Greg Patch
B Sc. Arch, B Arch(Hons) M Herit Cons (Hons)
Heritage Consultant



Ph: (02) 9986 3362 Fax: (02) 9986 3364

Suite 1, 9 Narabang Way, Belrose 2085

PO Box 716, Turramurra 2074

Email: james@jameslovell.com.au

Web: www.jameslovell.com.au

23 May 2024

The General Manager
North Sydney Council
PO Box 12
NORTH SYDNEY NSW 2059
Attention: Thomas Holman

Dear Sir,

DEVELOPMENT APPLICATION No. 355/23
114 ATCHISON STREET, CROWS NEST

Introduction

I refer to the abovementioned matter and confirm that I have been engaged by the Applicant to respond to your correspondence dated 18 April 2024.

As you are aware, the proposed development comprises alterations and additions to the existing dwelling house including internal alterations to the front rooms of the existing dwelling house, demolition of the rear extension and construction of a new 2-storey addition, refurbishment of the existing barn located adjacent to the rear boundary, and the implementation of new landscaping.

I note that you have raised a number of issues in relation to the proposed development in terms of heritage impacts, the bulk and scale of the rear addition, the use of the existing barn structure at the rear of the site, and the details of the proposed landscaping, including a number of trees required for retention.

The Applicant has carefully considered the issues raised in your correspondence and explored any potential to reduce the bulk and scale of the rear addition and/or increase the visual separation between the retained (front) portion of the dwelling and the rear addition.

In that regard, the Architectural Plans have been amended to slightly reconfigure the internal stairs to better retain the appreciation of the front two (2) rooms, with a consequential result

James Lovell and Associates

being a slight improvement in the separation between the existing and new portions of the dwelling.

Irrespective, the first floor level is intended to accommodate two (2) bedrooms and an ensuite and the 3-dimensional form of the first floor level has been designed to generally follow a building height plane projected at 45 degrees from 3 metres above the side boundaries.

The first floor level provides an internal floor to ridge height of 3.7 metres, however the roof profile has been intentionally designed to reflect the roof profile of the retained portion of the dwelling.

In that regard, the outer (side) portions of the first floor level already provide lower floor to ceiling heights of less than 2 metres and any further reduction in the height or width of first floor level would compromise the amenity of the bedrooms and/or comprise the architectural compatibility between the roof profiles of the retained and new portions of the dwelling.

Further, the overall bulk and scale of the roof form is materially smaller than a flat roof design with higher side walls and the proposed roof form is more compatible with the roof profile of the existing dwelling and the existing barn.

Further, the Applicant has confirmed/clarified the use of the existing barn as an ancillary component limited to use primarily by residents of the dwelling and not as a “*secondary dwelling*”.

Finally, the Applicant has prepared a Landscape Plan which describes the proposed landscaping and confirms the retention of the existing Palm trees and the existing street trees.

Heritage Impacts

The Development Application (DA) was accompanied by a Statement of Heritage Impact (SHI) prepared by *Archnex Designs*, dated December 2023. The SHI concludes that:

Historical research has revealed that the house to the subject property was most probably built around c. 1919- 1920 (though possibly earlier) as evidenced in the title diagram relating to the sale to Henry Albert Johnson. The barn appears to have been built following this sale, as it is not noted on the survey diagram to DP964617 reproduced at p. 2, above.

The proposed development seeks to improve the accommodation and amenity of the house, and to refurbish apparently recent past works to the interior of the barn as an associated living area.

In my opinion, there will be no adverse effects of the works and the proposal is supportable in terms of potential heritage impacts.

I note that the Council's Heritage Officer has raised concerns in relation to the scale of the 2-storey addition to the rear of the retained portion of the existing dwelling, and the separation between the existing and new elements and suggested that the 2-storey addition should be *"compatible with the height of the existing roof ridge"*.

Further, the Heritage Office suggested the works to the barn located adjacent to the rear boundary should comprise of lightweight construction which is reversible, and the installation of fixtures and fittings which minimise the loss of internal fabric, including the painted brick walls and timber beams.

The Applicant's heritage consultant has carefully considered the issues raised by the Council's Heritage Officer and confirmed that existing fenestration of the barn is being retained, lightweight materials will be used, there will be minimal loss of internal fabric, and the painted brick walls and timber beams are being retained.

Further, the Applicant's heritage consultant has provided the following comments in relation to the scale of the 2-storey addition to the rear of the retained portion of the existing dwelling, and the separation between the existing and new elements:

There is a degree of separation (appears to be approx. 1 metre) of the upper-level of the addition from the rear wall of the existing 2-bedroom portion of the house.

The sightlines from the street are such that the peak of the proposed ridge to the upper-level addition will be largely obscured by the existing roof, with the extent of setback having the effect of reducing the visual impact of the upper walls of the addition when viewed down the gap between the subject house and No 112 Atchison St.

The placement of the proposed stair is appropriate given the comparative width of the proposed upper level and the position of the access off the existing hallway. The utilisation of the remainder of the floorspace of Bed 1 as a bathroom/ storage is logical as these facilities are adjacent the main circulation to the ground and upper floors. It is also a matter of balancing the floorspace consumed by the stair if placed in the proposed Living Room, with a location that is of lesser spatial benefit.

Bulk and Scale of the Rear Addition

I note that you have identified numerical non-compliances with the controls incorporated in the North Sydney Development Control Plan (DCP) 2013 in relation to the side boundary setbacks and site coverage and concluded that *"amendments are therefore required to reduce the bulk and scale and visibility of the rear addition from Atchison Street which accords with concerns raised by Council's Heritage Officer"*.

In that regard, Section 3.42 of the *Environmental Planning and Assessment Act 1979* specifies that the provisions of a DCP “are not statutory requirements”.

Further, Section 4.15(3A)(b) specifies that the consent authority “is to be flexible in applying” the provisions of a DCP, and “allow reasonable alternative solutions that achieve the objectives of those standards for dealing with that aspect of the development”.

Boundary Setbacks

In that context, Part 1.4.6 of the North Sydney DCP 2013 specifies a minimum side boundary setback of 900mm at the ground floor level and 1.5 metres at the first floor level. Irrespective, Part 1.4.6 also specifies that “Council may grant consent to a development with a 0m setback to a side boundary” if consideration is given to the *Planning Principles* established in *Galea v Marrickville Council [2003] NSWLEC 113*.

The existing dwelling is setback approximately 450mm from the eastern boundary and the proposed works maintain the existing building setback, with the wall length increased by approximately 2.8 metres. The existing dwelling extends along a portion of the western boundary and the proposed works reduce the wall length by approximately 1.0 metre.

Further, the proposed works provide setbacks at the first floor level of 1.28 metres to the eastern boundary and 1.3 metres to the western boundary.

The first floor level is intended to accommodate two (2) bedrooms and an ensuite and the 3-dimensional form of the first floor level has been designed to generally follow a building height plane projected at 45 degrees from 3 metres above the side boundaries.

The first floor level provides an internal floor to ceiling height of 3.4 metres, however the roof profile has been intentionally designed to reflect the roof profile of the retained portion of the dwelling and to be compatible with the gabled form of the existing barn.

In that regard, the outer (side) portions of the first floor level already provide lower floor to ceiling heights and any further reduction in the height or width of first floor level would compromise the amenity of the corridor and bedrooms and/or compromise the architectural compatibility between the roof profiles of the retained and new portions of the dwelling.

The objectives of the boundary setback controls are expressed as follows:

- O1 *To reinforce the characteristic pattern of setbacks and building orientation within the street.*
- O2 *To control the bulk and scale of buildings.*
- O3 *To provide separation between buildings.*
- O4 *To preserve the amenity of existing dwellings and provide amenity to new dwellings in terms of shadowing, privacy, views, ventilation and solar access.*

In terms of Objective O1, the locality is characterised by a relatively narrow side boundary setbacks, including where 2-storey additions have been built to the rear of the single storey buildings fronting the main roadways.

The proposed works are considered entirely compatible with the existing pattern of development in the streetscape and locality more generally in terms of boundary setbacks.

In terms of Objective O2, the locality is generally characterised by single storey dwellings, with many examples of contemporary 2-storey additions constructed to the rear. The proposed development comfortably complies with the applicable building height control, increases the separation between the main dwelling and the existing barn, and significantly increases the deep soil landscaping on the site.

In terms of Objective O3, the locality is characterised by a relatively narrow side boundary setbacks, including where 2-storey additions have been built to the rear of the single storey buildings fronting the main roadways.

The proposed works are considered entirely compatible with the existing pattern of development in the streetscape and locality more generally in terms of separation between buildings.

In terms of Objective O4, the site has a north-south orientation such that any overshadowing of the adjoining properties is demonstrated to be limited to either a short period during the morning or afternoon, but not both.

Further, the additional shadows primarily fall on the roof/s of the adjoining dwelling and will have no impact on the existing solar access to the main living rooms or private open space.

In terms of privacy, the first floor level addition is limited to bedrooms from where overlooking is of reduced significance given the nature of the use of the rooms and the times they are typically occupied.

Further, the Landscape Plan prescribes *Murraya* as the “*screen planting*” along the side boundaries within the central yard area to mitigate and minimise any overlooking from the bedroom to the adjoining properties to the east and west.

Finally, the proposed development will have no impact on any existing views, and the existing dwelling and the adjoining dwellings will continue to be naturally ventilated.

In the circumstances, the proposed development is consistent with the objectives of the building setback controls, and Section 4.15(3A)(b) of the *Environmental Planning and Assessment Act 1979* specifies that the consent authority “*is to be flexible in applying*” the provisions of a DCP, and “*allow reasonable alternative solutions that achieve the objectives of those standards for dealing with that aspect of the development*”.

Site Coverage

Part 1.5.5 of the North Sydney DCP 2013 specifies a maximum site coverage of 50% of the site area, a minimum landscaped area of 30% and a maximum un-built upon area of 20%.

The existing development provides a site coverage of approximately 62.1% and the proposed works marginally increase the site coverage to approximately 63.8%. Irrespective, the proposed works increase the landscaped area on the site from approximately 14.9% to 26.3% and reduce the un-built upon area from 21.5% to 8.3%.

In the circumstances, the minor increase in site coverage is more than off-set by the material increase in landscaped area and material reduction in un-built upon area.

The objectives of the site coverage control are expressed as follows:

- O1 To ensure that development is balanced and in keeping with the optimum capacity of the site with no over development.*
- O2 To ensure that development promotes the existing or desired future character of the neighbourhood.*
- O3 To control site density.*
- O4 To limit the building footprint so as to ensure adequate provision is made for landscaped area and private open space.*

In terms of Objective O1, the proposed development is considered balanced and in keeping with the development potential of the site. The proposed works will materially improve the amenity of the existing dwelling house without imposing any significant or adverse impacts on the adjoining properties or the public domain.

In terms of Objective O2, the proposed development is compatible with the existing and emerging pattern of development in the locality and maintains the predominance of the single storey dwelling and the barn at the street frontages, with a sensitively designed 2-storey addition to the rear.

In terms of Objective O3 and O4, the existing development provides a site coverage of approximately 62.1% and the proposed works marginally increase the site coverage to approximately 63.8%.

Irrespective, the proposed works increase the landscaped area on the site from approximately 14.9% to 26.3% and reduce the un-built upon area from 21.5% to 8.3%.

In the circumstances, the proposed development will materially improve the landscaped setting of the site and enhance the functionality of the private open space, with an improved connection between indoor and outdoor spaces.

Proposed Use of the Barn

The DA was accompanied by a Statement of Environmental Effects (SEE) prepared by O’Keefe Architects, dated 10 December 2023. The SEE describes the existing barn as “*containing an existing secondary dwelling*”.

In that regard, the ground floor level of the existing barn accommodates an off-street car parking space, a kitchen, bathroom and living space. The first floor level accommodates an open plan room and laundry at the first floor level.

The Applicant understands that a “*secondary dwelling*” is permissible on the site pursuant to the provisions of State Environmental Planning Policy (SEPP) (Housing) 2021. The floor area of the existing “*secondary dwelling*” is approximately 90m² and the proposed works marginally reduce the floor area to approximately 85m² to improve usability of the garage. Irrespective, the floor area of the existing “*secondary dwelling*” exceeds the maximum requirement of 60m² specified in Clause 52 of the SEPP.

Further, Clause 53 of the SEPP specifies a non-discretionary development of a minimum lot size of 450m², albeit the minimum lot size control is capable of being varied pursuant to Clause 4.6 of the North Sydney Local Environmental Plan (LEP) 2013.

Irrespective, the subject site was purchased by its current owners in October 2022, and no works have been undertaken within the existing barn since that time. Further, the barn has not been used as a separate residence since the property was purchased.

As noted previously, the Applicant has confirmed /clarified the use of the existing barn as an ancillary component limited primarily by residents of the dwelling and not as a “*secondary dwelling*”.

Landscaping

I note that the Council’s Landscape Development Officer has requested a detailed Landscape Plan identifying species, pot sizes and number of species. Further, the Landscape Development Officer requested details of the “*screen planting*” proposed along the side boundaries within the central yard area.

Finally, the Landscape Development Officer requested the planting of one (1) canopy tree capable of accommodating a mature height of 7 metres within the rear (central) yard area, and details to demonstrate the retention and protection of the existing palms located within the setback to the western boundary and the adjacent street tree.

The Applicant has prepared a Landscape Plan which identifies species, pot sizes and number of species. Further, the Landscape Plan prescribes *Murraya* as the “*screen planting*” along the side boundaries within the central yard area.

Further, the addition of a 7 metre high mature tree within the rear (central) yard area would have an adverse impact on the amenity and useability of the space.

Finally, the Landscape Plan provides for the retention and protection of the existing palms located within the setback to the western boundary and the *Magnolia* street tree along Atchison Street.

Conclusion

I trust this submission is satisfactory for your purposes, however should you require any further information or clarification please do not hesitate to contact the writer.

Yours Sincerely,

James Lovell
Director
James Lovell and Associates Pty Ltd