



**NSLPP MEETING HELD ON 07/08/2024**  
**SECTION 4.55 APPLICATION REPORT**

**Attachments:**  
 1. Site Plan  
 2. Architectural Plans

**ADDRESS/WARD:**                    2 Folly Point, Cammeray (S)

**APPLICATION NO:**                DA 397/19/3

**PROPOSAL:**                        S4.55(1A) modification application for internal and external alterations to existing dwelling house and davit (boat lift) structure.

**PLANS REF:**

No.	Revision	Title	Drawn by	Date	Received
A101	B	Site Plan/Roof Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A211	B	Proposed Level 5	Play Co Pty Ltd	10/05/2024	22/05/2024
A212	B	Proposed Level 4 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A213	B	Proposed Level 3 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A214	B	Proposed Level 2 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A215	B	Proposed Level 1 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A311	B	Proposed North Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024
A312	B	Proposed East Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024
A313	B	Proposed West Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024
A320	B	Proposed Material Finishes Schedule	Play Co Pty Ltd	10/05/2024	22/05/2024
A411	B	Proposed Section 1	Play Co Pty Ltd	10/05/2024	22/05/2024
A412	B	Cross Section	Play Co Pty Ltd	10/05/2024	22/05/2024
A601	B	Sliding & Swing Gate Details	Play Co Pty Ltd	10/05/2024	22/05/2024
A602	B	Balustrade Details	Play Co Pty Ltd	10/05/2024	22/05/2024
A710	B	Davit Drawing	Play Co Pty Ltd	10/05/2024	22/05/2024

**OWNER:**                                Yiu Chung Yuen

**APPLICANT:**                        Mark Solomon, Plan Urbia

**AUTHOR:**                             Andrew Beveridge, Senior Assessment Officer

**DATE OF REPORT:**                26 July 2024

**DATE LODGED:**                    19 April 2024

**SUBMISSIONS:**                    One (1)

**RECOMMENDATION:**            Approval

## EXECUTIVE SUMMARY

This application seeks approval to modify development consent DA397/2019 for alterations and additions to an existing dwelling house, including various minor amendments to the balconies and rooftop elements, internal floorplan layouts, and other minor elements. The amendments are primarily structural or aesthetic and would not differ significantly from the approved built form.

**The application is reported to the North Sydney Local Planning Panel (NSLPP) for determination as the application relates to a variation to a development standard by more than 10%, and is beyond delegation as it applies to the C4 Environmental Living zone.**

The proposed development, as modified, is considered to be substantially the same development as that originally approved and has regard to the reasons for approval.

A portion of the proposed modifications are greater than 10% above the maximum building height development standard of 8.5 metres pursuant to Clause 4.3(2) in *NSLEP 2013*. The existing dwelling has a maximum height of 15.8m and the maximum height of the approved additions is approximately 13.4m resulting in a variation to the development standard of 57.64%. The proposed modifications above the height limit relate to the change of the height of a section of the roof parapet to 1m, and the removal of a planter. It is also proposed to substitute the specified material finish of the approved rooftop walkway awning structure.

An amended written request to vary a development standard pursuant to clause 4.6 in *NSLEP 2013* is not required as the modification of a consent is distinguished from the granting of consent. Regardless, the proposed modifications have been considered with regard to the objective of the height of buildings development standard and the objective of the zone. The alterations are generally consistent with the existing built form and would not result in adverse impacts to the amenity of the surrounding area.

The proposed development, as modified, would not result in any additional impacts to the amenity of the surrounding dwellings with regard to the retention of views, privacy and solar access. The proposed development remains consistent with the existing character of the dwelling and the surrounding foreshore area.

The application was notified in accordance with Council's Community Engagement Protocol, and one submission was received raising concern about the potential usability of the Level 5 roof area. The original large-sized pebbles and limited trafficability of the roof level as approved under DA 397/19 remain unchanged and the proposed modifications will not have any additional impact upon the usability of the roof level that would create additional privacy impacts.

The proposed modifications would not require the amendment of a number of conditions that were originally imposed by the Panel. Whilst the proposed modifications are considered to achieve the reasons for the conditions, the application is still required to be referred to the Panel for determination. The proposed modifications are considered reasonable and therefore the application is recommended for approval.



## **DESCRIPTION OF PROPOSAL**

This Section 4.55(1A) application seeks various modifications to DA397/19 for alterations and additions to an existing dwelling house that was approved by NSLPP on 3 June 2020, including the following:

### **Level 5**

1. Low wall raised to a height of 1 metre to act as a balustrade at the north western and along the western and south eastern elevations;
2. Existing planter box and associated balustrading at the north western corner to be removed;
3. Approved angled driveway gate changed to vertical lattice metal fence (no change to the approved 1.8 metre height, as per Condition 11) with finish changed from silver to white powder coated finish;
4. New vertical lattice metal fencing along northern edge of driveway;
5. Change to Canopy roof material from glass to clear acrylic;

### **Level 4**

6. Low wall raised to a height of 1 metre to act as balustrade along at south western (stair) and north eastern (existing terrace) corners of the dwelling;
7. Internal reconfiguration to floor layout and new entry door (same location) from single leaf to double leaf door;

### **Level 3**

8. Change to the materiality of balustrading at the northern terrace from the approved perforated metal screen balustrade to a semi-frameless glass balustrade.
9. Removal of existing low wall within existing terrace;
10. Change to existing windows along the eastern elevation (W04 and W05);

### **Level 2**

11. Extension of existing powder coated aluminium pergola at the northern elevation;
12. Existing stainless steel tube profile to be removed at the north western elevation and replaced with a fixed metal pergola structure;
13. Change to existing window (W07) along the eastern elevation;
14. Convert unused lilypond extending from living area to a balcony including new glass balustrading and sliding doors;
15. Internal reconfiguration to floor layout;

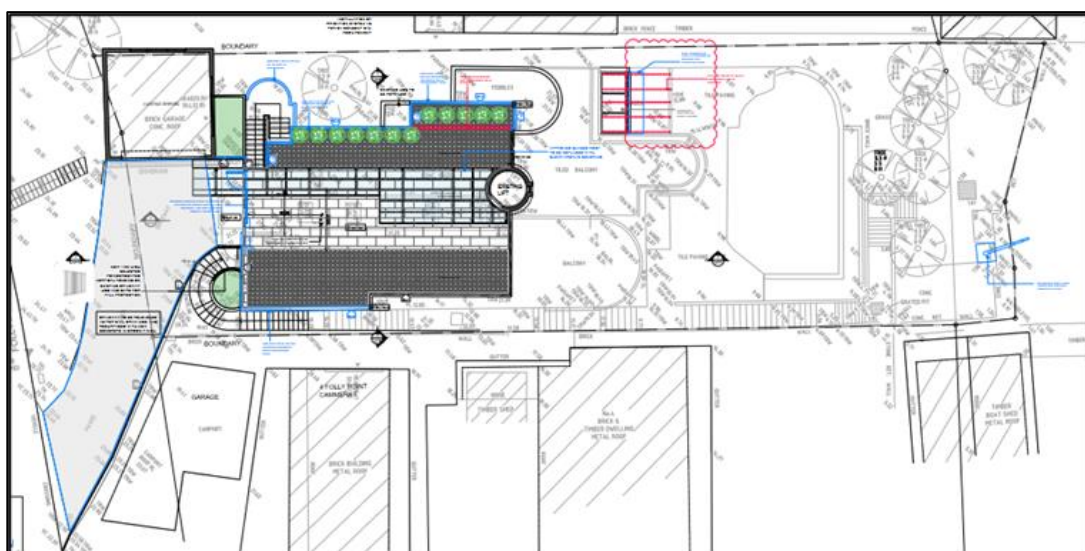
### **Level 5**

16. New awning structure to Level 1 balcony at the north western corner of dwelling (Bedroom 1);
17. New awning structure to Level 1 balcony at the north eastern corner (existing bar area);
18. New windows (W06 & W07) along the eastern elevation with exhaust outlets;
19. Existing sliding door to bar area (W03) to new full height fixed glazing;
20. Existing fixed glazing at bar area to be glazed door opening (W04);
21. Reconfiguration of pool fencing;
22. Internal reconfiguration to floor layout.

### **Foreshore & Waterway Area**

23. Removal of existing davit structure and replacement with new davit contained wholly within the site.





**Figure 1. Proposed Roof Terrace Plan**

## **STATUTORY CONTROLS**

### *North Sydney Local Environmental Plan 2013*

- Zoning – C4 Environmental Living
- Item of Heritage – No
- In Vicinity of Item of Heritage – No
- Conservation Area – No
- Foreshore Building Line – Yes

### *Environmental Planning & Assessment Act 1979*

#### *SEPP (Biodiversity and Conservation) 2021*

- Chapter 2 – Vegetation in non-rural areas
- Chapter 6 – Water Catchments (Foreshores and Waterways Area)

#### *SEPP (Resilience and Hazards) 2021*

- Chapter 2 – Coastal Management
- Chapter 4 – Remediation of Land

#### *SEPP (Sustainable Buildings) 2022*

#### Local Development

## **POLICY CONTROLS**

### North Sydney Development Control Plan 2013 (NSDCP 2013)

- Bushland Buffer – Buffer Area A (100m)

### Sydney Harbour Foreshores and Waterways Area Development Control Plan 2005

### North Sydney Local Infrastructure Contributions Plan 2020

## **DESCRIPTION OF LOCALITY**

The subject site is legally described as Lot 34 of DP 8933, and is known as 2 Folly Point, Cammeray. The lower foreshore area of the site, described as Lot 1 of DP 578260, comprising reclaimed land was leased from Transport for NSW, however, is now in private ownership with the subject site. The existing garage at the front of the site encroaches on to Council land, however, the property owner has a lease in place with Council for this encroachment which is identified in Council's property records and mapping system.

The subject site contains an existing dwelling house constructed over 4 levels which steps down the steeply sloping site. The dwelling has a flat roof with a covered walkway to access the lift portal. The dwelling is constructed of concrete and is articulated as it steps down the site with its curved projecting elements and balconies on the foreshore side of the building. The dwelling has a pool area at the rear and has a jetty extending approximately 15m into waterway with a berth that are both subject to a lease from Transport for NSW.



Figure 2. Aerial Image of the subject site and surrounds.

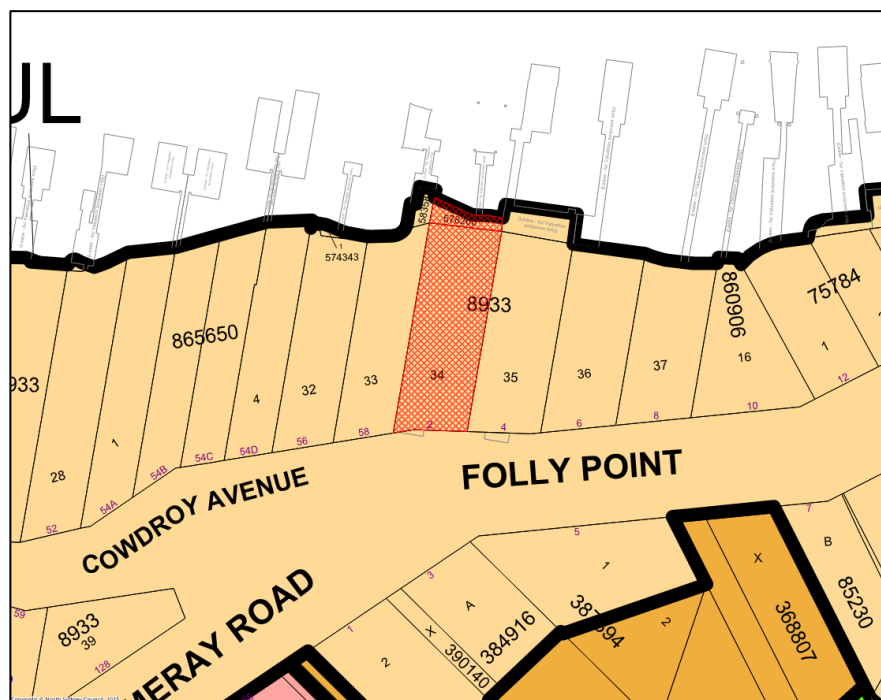


Figure 3. NSLEP Zoning Map with the subject site hatched red in the C4 Zone.





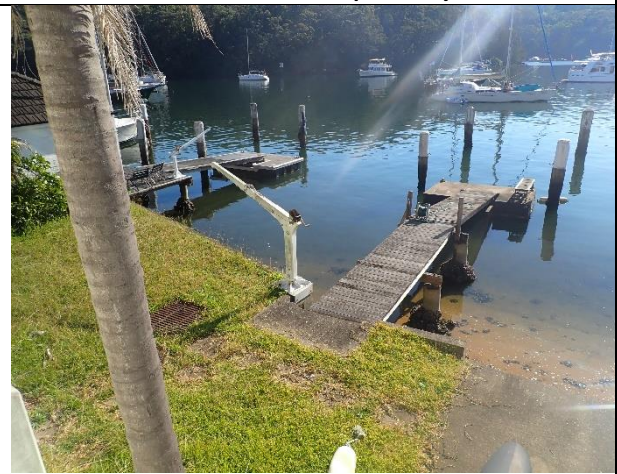
**Figure 4. The subject dwelling as viewed from the waterway.**



**Figure 5. View looking north across the roof level and access (Level 5).**



**Figure 6. View looking west over the Level 2 north-west corner balcony.**



**Figure 7. View of the existing foreshore area.**

## RELEVANT DEVELOPMENT HISTORY

A comprehensive development history of the site was provided in the original assessment report for DA 397/19.

**Development Application No. 397/19** for alterations and additions to an existing dwelling house was approved by NSLPP on 3 June 2020. The consent included a number of conditions that were imposed or amended by the Panel.

**Section 4.55(2) Modification Application No. 397/19/2** for modifications to the finished floor level of the rooftop area, installation of architectural elements and a privacy screen, and amendments to the proposed finishes, was approved by NSLPP on 5 May 2021.

## RELEVANT APPLICATION HISTORY

Date	Assessment
19 April 2024	The subject application was lodged with Council via the NSW Planning Portal.
23 April 2024	The application was notified in accordance with Council's Community Engagement Protocol from 3 May 2024 to 17 May 2024. One (1) submission was received.
22 May 2024	Amended plans were submitted by the applicant, to correct various minor elements.
29 May 2024	A site inspection was undertaken by Council Assessment Staff.

## REFERRALS

### Building

The proposed works that are the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC/BCA standards, a Section 4.55 application would be necessary.

### Engineering

The application was referred to Council's Development Engineer, who raised no objection nor required the modification of any condition.

## SUBMISSIONS

The development application was notified in accordance with Council's Community Engagement Protocol from 3 May 2024 to 17 May 2024. One (1) submission was received. The issues raised in the submissions are summarised below and addressed later in this report.

### Basis of Submissions

- Concern regarding the proposed increase in usable space on the Level 5 roof through the removal of planters, and the potential privacy impacts arising.
- Request that the pebble finish of the roof area in Condition C13 be clarified to be: "the pebble finish shown on Level 5 is to provide a surface that is not trafficable for the purposes of recreation or entertainment, and is to include coarse pebbles of minimum 70mm dimension".

## CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

### **Section 4.55 of the Environmental Planning and Assessment Act 1979**

Section 4.55(1A) of the *Environmental Planning and Assessment Act 1979* enables a consent authority to modify a development consent upon application being sought by the applicant or any person entitled to act on the consent, provided that the consent authority:

1. *is satisfied that the proposed modification is of minimal environmental impact;*
2. *is satisfied that the development to which the consent as modified relates is substantially the same development, and;*
3. *has notified the application in accordance with the regulations and has considered any submissions made concerning the proposed modification.*

Therefore, Council's assessment of the application to modify the subject development consent must consider the following issues:

**1. *Is the proposed modification of minimal environmental impact?***

The proposed modifications will have minimal environmental impacts on the locality as the amendments are primarily structural or aesthetic and would not differ significantly from the approved built form and would not create any significant additional impacts on the surrounding area beyond what has already been approved.

**2. *Is the proposed development as modified substantially the same development approved by the Council?***

The proposed development, as modified, is considered to be substantially the same as the originally approved development as it relates to various minor amendments to the balconies, internal floorplan layouts, and other minor elements. The amendments are primarily structural or aesthetic and would not differ significantly from the approved built form.

**3. *Whether any submissions were made concerning the proposed modification and considered.***

The application was notified in accordance with Council's Community Engagement Protocol, and one submission was received raising concern about the potential usability of the Level 5 roof area. The original large-sized pebbles and limited trafficability of the roof level as approved under DA 397/19 remain unchanged and the proposed modifications will not have any additional impact upon the usability of the roof level that would create additional privacy impacts.

Section 4.55 (3) requires consideration of the reasons given by the consent authority for the granting of the consent that is sought to be modified. In this case, the reasons for granting the original permission, which is sought through this application to be modified, are set out in the notice of determination. The reasons were:

*The Panel has the benefit of a site inspection and the submissions received. The Panel have endorsed the Officer's report and recommendations, subject to changes to the conditions of consent regarding the finishes schedule, placement of permanent bollards, landscaping, front fence height and pool safety. The matters for consideration as outlined in section 4.15(1) of the Act have been satisfied. The proposed development is permissible within the zone, meets the development standards and relevant provisions of NSLEP 2013 subject to a clause 4.6 exemption and is generally in accordance with the objectives of the NSDCP 2013.*

*The written request prepared pursuant to Clause 4.6 in NSLEP 2013 seeking a variation to the building height development standard in Clause 4.3 in NSLEP 2013, is considered to be well founded. The written request has adequately demonstrated that strict compliance is considered unreasonable and unnecessary as the objectives of the standard are achieved notwithstanding the non-compliance and that there are also sufficient environmental planning grounds to justify the contravention.*

*The proposed development is considered to be within the public interest because the proposed development is consistent with the objectives of the standard and the objectives of the zone. The proposed development would not adversely impact views from surrounding dwellings or from the public domain, would not result in any additional overshadowing or adversely impact the privacy of surrounding dwellings.*

*The existing dwelling is visually prominent within the foreshore area however the proposed alterations and additions would not increase the bulk and massing of the building and would retain the existing built form character of the dwelling.*

*The Panel also made the following changes to the conditions of consent and imposed an additional three conditions as outlined below.*

*Condition A4 to be amended to include the following sentence: The reference to "ST1" as the finish of the steel awning structure on the Plans and Elevations listed in Condition A1 is to be amended to "SS1" which specifies a Stainless Steel finish.*

*(Reason: To ensure clarity and consistency of material finishes)*

*Condition C10 to be amended with permanent not operable or removable bollards.*

*(Reason: To ensure appropriate vehicle maneuvering access is maintained.)*

*Condition C11 to allow a 1.8m in lieu of a 1.5m fence.*

*(Reason: The front fence, given the steep topography, will not be visible from the street and the public domain. Furthermore, the existing vegetation between the street and front fence will be retained)*

*The following conditions were also imposed*

- C12 Pool Access*
- C13 Installation of Irrigation System*
- I4 Maintenance of Landscaping*

It is not considered that these reasons for consent would be substantially altered by the amendments proposed through this application. The proposed changes will also not result in any significant adverse amenity impacts upon adjoining properties.

## MERIT ASSESSMENT

### **4. Any relevant considerations under Section 4.15(1) of the Environmental Planning and Assessment Act 1979.**

In determination of a development application, a consent authority is to take into consideration the following matters relevant to the development application:

- a) *The provisions of any environmental planning instrument or draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority.*

#### **1. SEPP (Biodiversity and Conservation) 2021 – Chapter 2 – Vegetation in non-rural areas**

Under Chapter 2 of this SEPP, the proposed modifications would not require the removal of any significant vegetation defined under this SEPP or have any impact upon any bushland areas.

#### **2. SEPP (Biodiversity and Conservation) 2021 – Chapter 6 – Water Catchments**

#### **3. Sydney Harbour Foreshores and Waterways Area Development Control Plan 2005**

Chapter 6 of this SEPP applies to this site and is required to be considered in the assessment of the application. The site is within the Foreshores and Waterways Area adjoining but not including the zone **W8 – Scenic Waters Passive Use**. The proposal is unlikely to have an adverse environmental impact as the works are relatively minor in nature, are sufficiently set back from the waterway, will generally have a positive impact upon the general appearance and accessibility of the site, and will not physically damage or interfere with the ecological or water qualities of Sydney Harbour. The majority of external elements are located away from the waterway's foreshore, and all works will not involve any significant excavation or alteration to the site's topography or natural features.

#### **4. SEPP (Resilience and Hazards) 2021 – Chapter 4 – Remediation of Land**

Council's records indicate that the site has been used for residential development for a substantial period of time with no potential for land contamination identified. Therefore, the requirements of the above SEPP have been satisfactorily addressed.

#### **5. SEPP (Sustainable Buildings) 2022**

An updated BASIX Certificate (A1743396, dated 11 April 2024) has been provided in accordance with the requirements of the SEPP.

#### **6. North Sydney Local Environmental Plan 2013 (NSLEP 2013)**

The proposed development, as modified, involves alterations and additions to an existing dwelling house which is a permissible form of development in the C4 Environmental Living zone.

### **Objectives of the zone**

The objectives of the C4 Environmental Living zone are as follows.

- *To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*

- *To ensure that residential development does not have an adverse effect on those values.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The proposed modifications would not affect the consistency of the development with the objective of the zone. The proposed modifications seek to improve the amenity of the dwelling and would not adversely impact the amenity of the surrounding natural or built area.

#### **Clause 4.3 – Height of buildings**

The subject site has a maximum permitted building height of 8.5m pursuant to clause 4.3(2) in *NSLEP 2013*. The existing dwelling has a maximum height of 15.8m (measured to the top of the lift overrun) and the maximum height of the approved additions is approximately 13.4m resulting in a variation to the development standard of 57.64%.

The proposed modifications are generally contained within the existing building envelope. The proposed modifications above the height limit relate to the change of the height of a section of the roof parapet to 1m, and the removal of a planter. It is also proposed to substitute the specified material finish of the approved rooftop walkway awning structure.

In accordance with the findings of Justice Lloyd in *Gann & Anor v Sutherland Shire Council* [2008] NSWLEC 157, the modification of a development consent pursuant to section 4.55 (formerly section 96) which results in a new or modified variation to a development standard, does not require a request for variation to the development standard under Clause 4.6 of the LEP. In this regard, reference is made to the provisions of s4.55(3) of the Act which distinguishes between the modification of a development consent pursuant to s4.55 and the granting of development consent. The Panel considered the clause 4.6 statement submitted with the original DA 397/19 to be well founded and worthy of support.

However, the proposed modifications are still assessed against the objectives of the standard below as these remain a relevant consideration.

#### ***(1)(a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,***

The proposed works would be contained within the existing building footprint above ground level and would not alter the development's overall relationship to the topography, continuing the stepped built form of the existing building.

#### ***(1)(b) to promote the retention and, if appropriate, sharing of existing views,***

There would be no view loss for adjoining dwellings given that majority of the works would be contained within the existing footprint with no significant additional bulk and scale that would impact upon any views.

#### ***(1)(c) to maintain solar access to existing dwellings, public reserves, and streets, and to promote solar access for future development,***

The levels of solar access for the properties will not substantially change as a result of the proposal. The shadows cast by the new additions will fall within existing shadows cast by the building and adjoining buildings.



***(1)(d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,***

The proposed modifications to the existing roof level are unlikely to create significant additional privacy impacts when compared to existing. The proposed removal of the planter box in the north-western corner of the roof level is to an area that is not proposed to be easily accessible or in use as an outdoor living space. The previously approved pebbles for the majority of roof areas will be unchanged in this proposal and will ensure that these spaces are clearly demarcated from the access pathways and will restrict any easy use of these spaces other than for maintenance.

***(1)(e) to ensure compatibility between development, particularly at zone boundaries,***

The site is located within the C4 zone and adjoins the C4 zone on all sides. The proposed works will retain the existing footprint of the building, with some additions partially above the height limit, with a development that is broadly consistent with n developments.

***(1)(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.***

The proposed scale and density of the development is appropriate for the site and does not result in significant non-compliances with Council's controls. While the proposal involves works to a building with an existing non-compliance in building height, the overall development is compatible with the existing building and surrounding buildings.

***(1)(g) to maintain a built form of mainly one or two storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.***

The proposal involves works to an existing 5-storey building. As the number of storeys in this development does not change, the built form character of the area is unlikely to be significantly change by this development, which will remain compatible with surrounding buildings.

In summary, the proposed modifications remain consistent with the objectives of the building height development standard with regard to the existing development on the site and the surrounding locality, and the objectives of the E4 Environmental Living zone. The proposed modification, despite including further works above the height of buildings development standard, is considered acceptable with regard to this clause.

**Clause 6.9 – Limited development on foreshore area**

While a portion of the site lies within the foreshore building line area, the majority of the proposed works are located outside this area. The only elements within the foreshore building line are the new fixed glass balustrades added to the sides of the pool area on Level 1, and the replacement of the existing davit on the existing seawall with a new davit further east. These works are very minor, with no significant excavation or additional bulk and scale, and are not considered to have an adverse impact upon the waterway, flora, and fauna or the heritage and environmental significance of the surrounding area.

**Clause 6.10 – Earthworks**

No excavation is proposed, and the works will be contained within the existing footprint of the building above existing ground level with no impacts upon the topography, drainage patterns, soil stability, neighbouring amenity or significant trees and vegetation. The works are therefore compliant in this regard.

**7. North Sydney Development Control Plan 2013 (NSDCP 2013)**

<b>NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013 PART B - SECTION 1 - Residential Development</b>		
	<b>Complies</b>	<b>Comments</b>
<b>1.2 Function</b>		
<b>Mixed residential population Maintaining residential accommodation</b>	Yes	The proposal will not change the accommodation provision of the existing dwelling.
<b>1.3 Environmental criteria</b>		
<b>Topography</b>	Yes	The works will have no impact upon the existing building's relationship to the site topography and no excavation or fill is proposed.
<b>Properties in proximity to Bushland</b>	Yes	The proposal will have no effect upon nearby bushland, and will not result in any changes or impacts upon significant trees or landscaping.
<b>Views</b>	Yes	There would be no view loss for adjoining dwellings given that majority of the works would be contained within the existing footprint with no significant additional bulk and scale that would impact upon any views.
<b>Solar access</b>	Yes	The levels of solar access for the properties will not substantially change as a result of the proposal. The shadows cast by the new additions will fall within existing shadows cast by the building and adjoining buildings.
<b>Acoustic privacy Visual privacy</b>	Yes	<p>The proposed modifications to the existing roof level are unlikely to create significant additional privacy impacts when compared to existing. The proposed removal of the planter box in the north-western corner of the roof level is to an area that is not proposed to be easily accessible or in use as an outdoor living space. The previously approved pebbles for the majority of roof areas will be unchanged in this proposal and will ensure that these spaces are clearly demarcated from the access pathways and will restrict any easy use of these spaces other than for maintenance.</p> <p>The remaining works have been appropriately designed to minimise any privacy impacts for adjoining properties and are unlikely to create significant additional impacts in this regard, nor create any significant intensification of use that would impact upon the privacy of neighbours.</p>
<b>1.4 Quality Built Form</b>		
<b>Siting</b>	Yes	The works are consistent with the existing site of the building.
<b>Setbacks</b>	Yes	The majority of works are contained within the footprint of the building and are sufficiently setback from the site boundaries. The proposed modifications will have no impact upon the approved setbacks.

<b>Form, massing and scale</b>	Yes	The proposed works are consistent with the built form, massing, and scale within the area by maintaining the overall height and scale of the existing dwelling.
<b>Built form character</b>	Yes	The works are consistent with the existing modernist design of the building.
<b>Roofs</b>	Yes	The proposal will maintain the existing roofs of the buildings on site, which are nevertheless consistent with the surrounding area.
<b>Colours and materials</b>	Yes	The proposed materials are consistent with the late 20 <sup>th</sup> century style of the existing building and nearby buildings of the same era.
<b>1.5 Quality urban environment</b>		
<b>High quality residential accommodation</b>	Yes	A high level of residential accommodation is likely to be maintained and enhanced.
<b>Safety and security</b>	Yes	Safety and security would not be compromised as a result of the subject development application.
<b>Site Coverage, Unbuilt-Upon Area and Landscaped Area</b>	N/A	The proposal works are entirely contained within the existing building footprint and will not change any of these areas.
<b>Vehicle Access and Car parking</b>	N/A	The existing parking provision is unchanged by this proposal.
<b>Landscaping and front gardens</b>	N/A	The proposal will have no impact upon existing landscaping on the site.
<b>Private and communal open space</b>	Yes	A substantial area of private open space is retained for the subject unit.
<b>1.6 Efficient use of resources</b>		
<b>Energy Efficiency</b>	Yes	An updated BASIX Certificate has been provided.

## Part C – Section 4 – Cammeray Planning Area (Cammeray Neighbourhood)

The development has been assessed against the relevant provisions of the Cammeray Neighbourhood under section 4.2 in Part C of NSDCP 2013:

### 4.2.3 Form Massing and scale

The proposed modifications have a minimal impact on the form, massing and scale of the development. The modifications are generally maintained within the approved building envelope and primarily relate to architectural detailing and floorplan reconfigurations.

## LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The *North Sydney Local Infrastructure Contributions Plan 2020* came into force on 1 March 2021, after the original approval of DA 397/19 on 3 June 2020, so Council is unable to levy a section 7.11 or section 7.12 contribution.

## ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	Yes
6. Loading and Servicing facilities	Yes
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	Yes
9. All relevant s4.15(1) considerations of <i>Environmental Planning and Assessment (Amendment) Act 1979</i>	Yes

#### **SUITABILITY OF THE SITE (Section 4.15 of the EPAA 1979)**

The proposal involves residential development in a residential zone, so the proposal is considered to be suitable for the subject site.

#### **SUBMISSIONS (Section 4.15 of the EPA&A 1979)**

The application was notified to surrounding properties and the precinct committee. One submission was received. The following matters were raised in the submission (summarised, *in italics*):

- *Concern regarding the proposed increase in usable space on the Level 5 roof through the removal of planters, and the potential privacy impacts arising.*
- *Request that the pebble finish of the roof area in Condition C13 be clarified to be: “the pebble finish shown on Level 5 is to provide a surface that is not trafficable for the purposes of recreation or entertainment, and is to include coarse pebbles of minimum 70mm dimension”.*

See the comments earlier in this report regarding privacy. It is considered that the development has been appropriately designed so as to minimise visual and privacy impacts, and it is unlikely that significant adverse impacts will be created for adjoining properties. The existing conditions of Development Consent No. 397/19 relating to the rooftop areas will continue to apply.

#### **PUBLIC INTEREST (Section 4.15 of the EPAA 1979)**

The proposal would provide improved amenity for the residents without causing any unreasonable impacts to the area character, the streetscape, and/or adjoining properties so the proposal would not be contrary to the public interest.

## **HOW THE COMMUNITY VIEWS WERE TAKEN INTO CONSIDERATION**

The development application was notified in accordance with Council's Community Engagement Protocol and one submission was received. Nevertheless, it is considered that, the proposed modifications would provide improved amenity for the residents without causing any unreasonable impacts to the streetscape and/or adjoining properties.

## **DELEGATION FOR DETERMINATION**

Given that the proposal involves works that breach a development standard by more than 10% (Clause 4.3 – Height of Buildings – of *NSLEP 2013*), determination of applications of this type would normally be referred to NSLPP for determination under the Directions from the Minister. However, on 4 November 2020, NSLPP granted delegation pursuant to Section 2.20(8) of the *Environmental Planning & Assessment Act 1979*, to the Manager Development Services, to determine development applications "involving a variation to the maximum height of building development standard contained within Clause 4.3 of the *North Sydney LEP 2013* by greater than 10%, which relates to an existing building on land in the R2, R3, R4, B1, B3 and B4 zones where no material significant increase in overall building height or yield." The C4 Environmental Living zone is not included in this delegation.

While the proposal involves works that do not increase the existing building height or yield, this does not fall under the above delegations for determination by Council officers, as the subject site falls within a C4 Environmental Living zone, despite the context of the development being almost entirely similar to nearby zones. This issue together with other potential enhancements to the panel's operation will be subject to further review in the future.

## **CONCLUSION AND REASONS**

The development as proposed to be modified is considered to be substantially the same development as the previously approved development and has regard to the reasons for approval of the original application. The modification has been assessed against the matters for consideration as outlined in section 4.15(1) of the Act which have been satisfied.

A portion of the proposed modifications are greater than 10% above the maximum building height development standard of 8.5 metres pursuant to Clause 4.3(2) in *NSLEP 2013*. The existing dwelling has a maximum height of 15.8m and the maximum height of the approved additions is approximately 13.4m resulting in a variation to the development standard of 57.64%. The proposed modifications above the height limit relate to the change of the height of a section of the roof parapet to 1m, and the removal of a planter. It is also proposed to substitute the specified material finish of the approved rooftop walkway awning structure.

A written request to vary the development standard pursuant to clause 4.6 in *NSLEP 2013* is not required. Nevertheless, the proposed modifications have been considered against the objectives of the development standard and the objectives of the E4 Environmental living zone and are considered acceptable.

The proposed development, as modified, would not result in any significant additional impacts to the amenity of the surrounding dwellings with regard to the retention of views, privacy and solar access. The proposed development remains consistent with the existing character of the dwelling and the surrounding foreshore area.

The proposed modifications would not affect the conditions of consent imposed or modified by the panel and are considered to address the objective of the conditions imposed and incorporate the required amendments.

The proposed modifications are considered reasonable and therefore the application to modify development consent DA397/2019 is recommended for approval subject to amended conditions.

## RECOMMENDATION

PURSUANT TO SECTION 4.16 OF *ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979* (AS AMENDED)

**THAT** under the provisions of section 4.55(1A) of the Act, North Sydney Local Planning Panel, in accordance with the Ministers Direction 30 June 2020, grant consent to modify Development consent DA 397/18 for alterations and additions to an existing dwelling house, application Ref. DA 397/19/3, on land at 2 Folly Point, Cammeray, only so far as to provide the following:

### 1. Condition A1 is amended as follows:

#### Development in Accordance with the Plans (S4.55 Modification)

A1. The development must be carried out in accordance with the following drawings and documents endorsed with Council's approval stamp: -

Plan No	Title	Dated	Prepared	Received
S4.55 A101 – A	Site / Roof Plan	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A211 – A	Proposed Level 5	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A212 – A	Proposed Level 4	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A213 – A	Proposed Level 3	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A214 – A	Proposed Level 2	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A215 – A	Proposed Level 1	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A304 – A	Proposed Southern Elevation	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A311 – A	Proposed Northern Elevation	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A312 – A	Proposed East Elevation	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A313 – A	Proposed West Elevation	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A411 – A	Long Section	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A412 – A	Cross Section	22/01/2021	Play Co Pty Ltd	01/03/2021
S4.55 A605 – A	Level 2 Eastern Balcony Screen Details	21/01/2021	Play Co Pty Ltd	01/03/2021

Except as modified as such on the following drawings for DA 397/19/3:

No.	Revision	Title	Drawn by	Date	Received
A101	B	Site Plan/Roof Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A211	B	Proposed Level 5	Play Co Pty Ltd	10/05/2024	22/05/2024
A212	B	Proposed Level 4 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A213	B	Proposed Level 3 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A214	B	Proposed Level 2 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A215	B	Proposed Level 1 Plan	Play Co Pty Ltd	10/05/2024	22/05/2024
A311	B	Proposed North Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024
A312	B	Proposed East Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024
A313	B	Proposed West Elevation	Play Co Pty Ltd	10/05/2024	22/05/2024

A320	B	Proposed Material Finishes Schedule	Play Co Pty Ltd	10/05/2024	22/05/2024
A411	B	Proposed Section 1	Play Co Pty Ltd	10/05/2024	22/05/2024
A412	B	Cross Section	Play Co Pty Ltd	10/05/2024	22/05/2024
A601	B	Sliding & Swing Gate Details	Play Co Pty Ltd	10/05/2024	22/05/2024
A602	B	Balustrade Details	Play Co Pty Ltd	10/05/2024	22/05/2024
A710	B	Davit Drawing	Play Co Pty Ltd	10/05/2024	22/05/2024

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

**2. The following conditions are to be amended to reflect the amended plan references**

**External Finishes & Materials**

A4. External finishes and materials must be in accordance with the submitted Proposed Material Finishes Schedule, drawing ref: A320, Revision B, dated 10 May 2024, and received by Council on 22 May 2024, unless otherwise modified by Council in writing.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

**Installation of Irrigation System**

C13. An automated irrigation system is to be installed on the roof level to irrigate the approved landscaping shown on drawing A211, Revision B, drawn by Play Co Pty Ltd, dated 10 May 2024, and received by Council on 22 May 2024.

(Reason: To ensure that the approved landscaping is able to be adequately maintained)

**Landscaping**

G1. The landscaping shown in the Level 5 Plan numbered A211, Revision B, prepared by Play Co Pty Ltd, dated 10 May 2024, and received by Council on 22 May 2024, must be completed prior to the issue of any Occupation Certificate.

(Reason: To ensure compliance)

**Maintenance of Landscaping**

I4. The owner of the premises at 2 Folly Point, Cammeray is to maintain the landscaping approved by this consent generally in accordance with drawing number A211, Revision B, drawn by Play Co Pty Ltd, dated 10 May 2024, and received by Council on 22 May 2024. The automated irrigation system installed as required by condition C13 Installation of Irrigation System is to be appropriately programmed to provide sufficient irrigation to the planters.

The landscaping is to be maintained to ensure that the height does not exceed 1.8m above the finished floor level of the rooftop area.

Any replacement plants required shall be advanced in growth and be selected to maintain the anticipated mature height, canopy density and nature of those plant species as originally approved.

(Reason: To ensure maintenance of the amenity, solar access and views of adjoining properties)

**ANDREW BEVERIDGE**  
**SENIOR ASSESSMENT OFFICER**

**ISOBELLA LUCIC**  
**TEAM LEADER ASSESSMENTS**

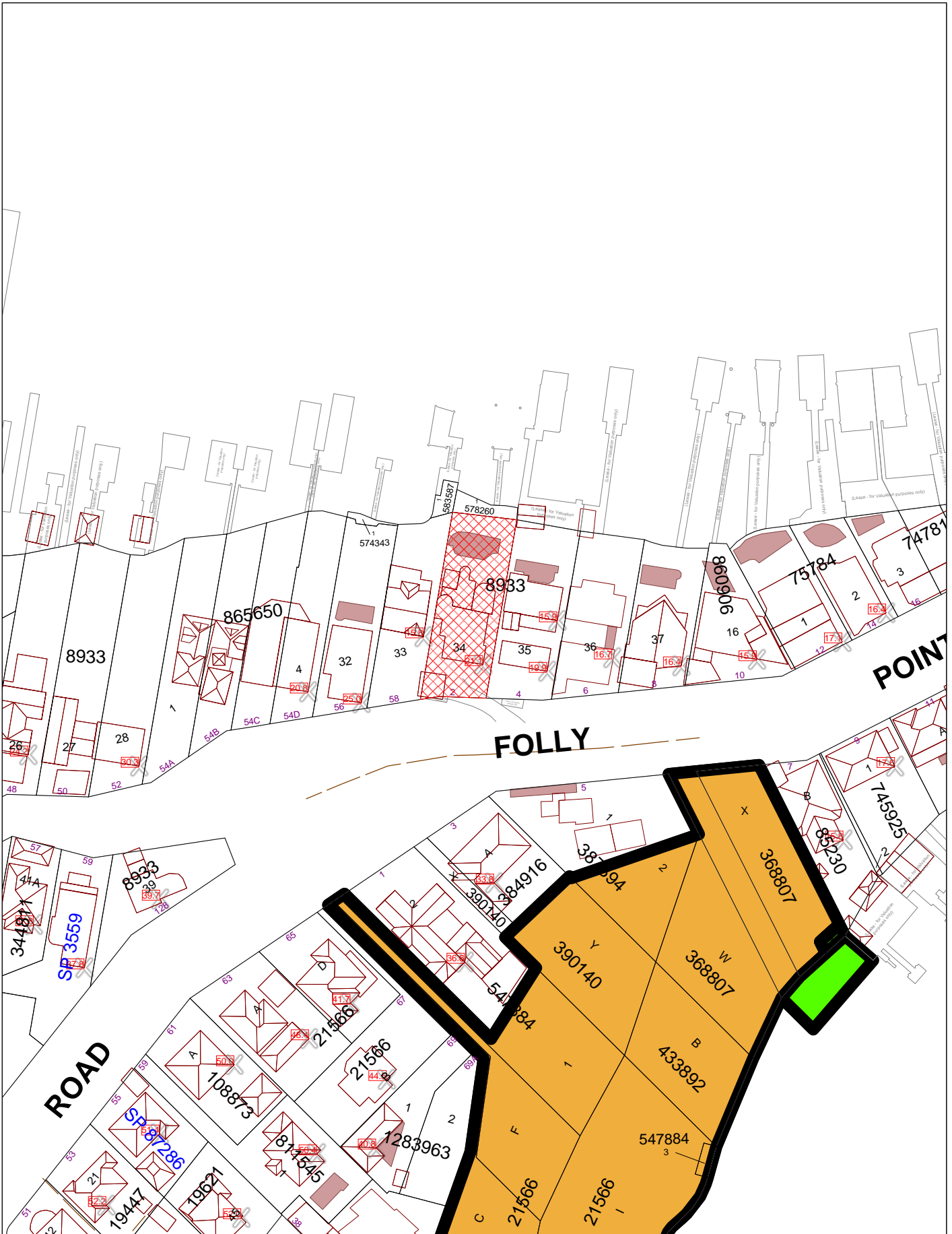
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**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

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**Date:**





**North Sydney Council**

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Further details can be obtained by calling (02) 9936 8100 or e-mail [mapping@northsydney.nsw.gov.au](mailto:mapping@northsydney.nsw.gov.au).

Scale: 1:1200 approx.



# 2 FOLLY POINT CAMMERAY NSW

## PROPOSED ALTERATION AND ADDITION TO EXISTING DWELLING

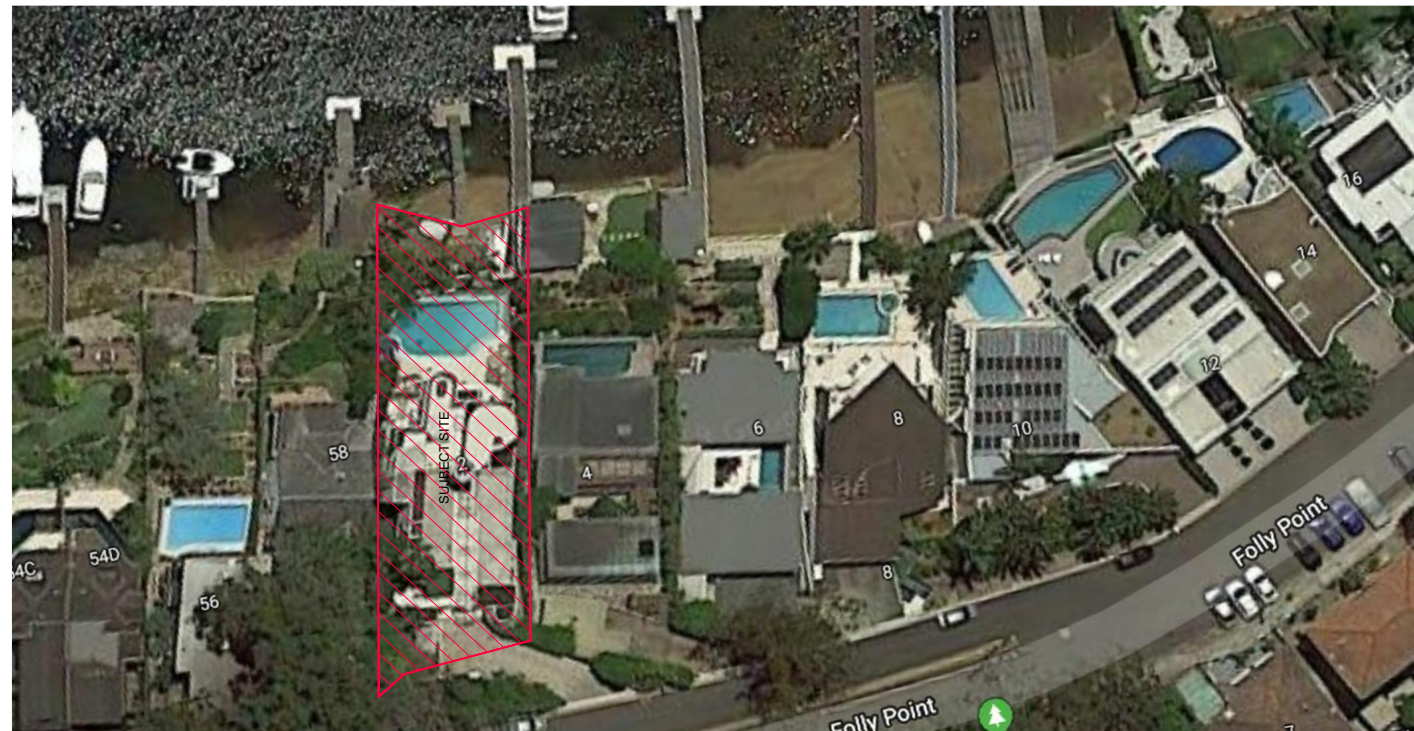
### S455 APPLICATION

#### DRAWING LIST

A000	COVER SHEET / LOCATION PLAN	A304	PROPOSED SOUTH ELEVATIONS
A101	SITE PLAN / ROOF PLAN	A311	PROPOSED NORTH ELEVATION
A110	BASIX COMMITMENT	A312	PROPOSED EAST ELEVATION
A211	PROPOSED LEVEL 5 PLAN	A313	PROPOSED WEST ELEVATION
A212	PROPOSED LEVEL 4 PLAN	A320	PROPOSED MATERIAL FINISHES SCHEDULE
A213	PROPOSED LEVEL 3 PLAN	A411	PROPOSED LONG SECTION
A214	PROPOSED LEVEL 2 PLAN	A412	EXISTING / PROPOSED CROSS SECTIONS
A215	PROPOSED LEVEL 1 PLAN	A500	WINDOW SCHEDULE
		A601	SLIDING AND SWING GATE DETAIL
		A602	BALUSTRADE DETAILS
		A710	PROPOSED DAVIT DRAWING DETAILS

BCA 2022 Specification:

1. Structural software used in computer aided design of a building or structure that uses design criteria based on the Deemed-to-Satisfy Provisions of NCC Volume Two and the ABCB Housing Provisions, including its referenced documents, for the design of steel or timber trussed roof and floor systems and framed building systems, must comply with the ABCB Protocol for Structural Software where relevant, as referred to in ABCB Housing Provisions Part 2.2.5.
2. Earthwork is to comply with BCA 2022 H1D3 and ABCB Housing Provisions Part 3.2.
3. Termite Risk Management is to comply with ABCB Housing Provisions Part 3.4.
4. Footings and slabs are to comply with BCA 2022 H1D4 and H2D3.
5. Masonry, masonry components and accessories, and weatherproofing of masonry are to comply with BCA 2022 H1D5 and H2D4.
6. Steel and timber framing and structural steel sections are to comply with BCA 2022 H1D6.
7. Reinforced autoclaved aerated concrete is to comply with AS 5146.1-2015.
8. Concrete - Post-installed and cast-in fastenings is to comply with SA TA 101.
9. Roof and wall cladding are to comply with BCA 2022 H1D7 and H2D6.
10. Drainage is to comply with BCA 2022 H2D2.
11. Glazing is to comply with BCA 2022 H1D8 and H2D7.
12. Attachment of framed decks and balconies to external walls of buildings using a waling plate is to comply with BCA 2022 H1D11.
13. Piled footings are to comply with AS 2159-2009.
14. Sub floor ventilation is to comply with BCA 2022 H2D5.
15. Roof and wall cladding are to comply with BCA 2022 H2D6.
16. External waterproofing is to comply with BCA 2022 H2D8.
17. The fire hazard properties of materials are to comply with BCA 2022 H3D2.
18. Fire separation of external walls is to comply with BCA 2022 H3D3.
19. Fire protection of separating walls and floors is to comply with BCA 2022 H3D4.
20. Fire separation of garage-top-dwellings is to comply with BCA 2022 H3D5.
21. Smoke alarms and evacuation lighting are to comply with BCA 2022 H3D6.
22. Wet areas are to comply with BCA 2022 H4D2.
23. Materials and installation of wet area components and systems are to comply with BCA 2022 H4D3.
24. Room heights are to comply with BCA 2022 H4D4.
25. Provision of light is to comply with BCA 2022 H4D6.
26. Provision of ventilation is to comply with BCA 2022 H4D7.
27. Sound insulation is to comply with BCA 2022 H4D8.
28. Condensation management is to comply with BCA 2022 H4D9.
29. Stairway and ramp construction are to comply with BCA 2022 H5D2.
30. Barriers and handrails are to comply with BCA 2022 H5D3.
31. Swimming pools are to comply with BCA 2022 NSW H7D2.
32. Construction in bushfire prone areas is to comply with BCA 2022 NSW H7D4.
33. Heating appliances, fireplaces, chimneys and flues are to comply with BCA 2022 H7D5.
34. Livable Housing Design is to comply with BCA 2022 NSW H8D2.



1 LOCATION PLAN  
1:500

NOTES

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REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT  
CAMMERAY**

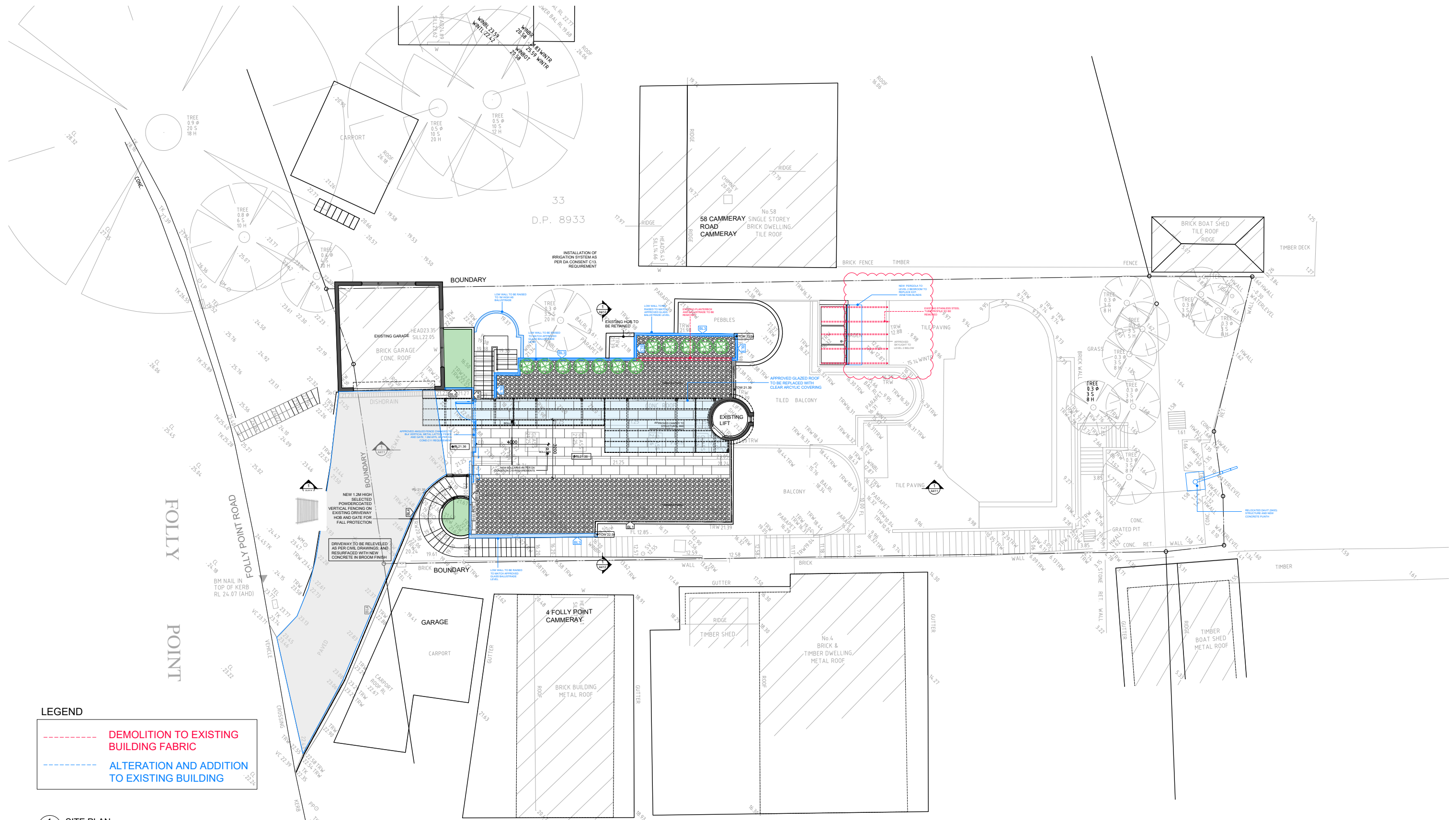
ARCHITECT CLIENT



PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A000	DRAWING TITLE	COVER SHEET & LOCATION PLAN		
SCALE	NTS	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55





**LEGEND**

- DEMOLITION TO EXISTING BUILDING FABRIC
- ALTERATION AND ADDITION TO EXISTING BUILDING

**1 SITE PLAN**  
1:200

- NOTES**
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A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

**PROJECT**  
2 FOLLY POINT  
CAMMERAY

**ARCHITECT**  
**CLIENT**

**PLAY**

PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY
DRAWING NUMBER	A101	DRAWING TITLE	SITE PLAN / ROOF PLAN
SCALE	1:200	PAPER SIZE	A3
REVISION	B	PROJECT STATUS	S4.55



BASIX Certificate number A1743396

page 2/10

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number A1743396

page 3/10

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Insulation requirements</b>					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.					
			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil	N/A			
external wall: concrete panel/plasterboard (concrete: 200 mm)	R1.35 (or R1.70 including construction)				
external wall: cavity brick	nil				
flat ceiling, flat roof: concrete/plasterboard internal	ceiling: R2.50 (up), roof: foilsarking	medium (solar absorptance 0.475 - 0.70)			

BASIX Certificate number A1743396

page 4/10

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

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BASIX Certificate number A1743396

page 9/10

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Glazed roofs</b>			
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each glazed roof:		✓	✓
<b>Glazed roofs glazing requirements</b>			
Glazed roof number	Area of glazing (m <sup>2</sup> )	Shading device	Glass type
L2S01	4.39	no shading	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

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NOTES

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P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	\$4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

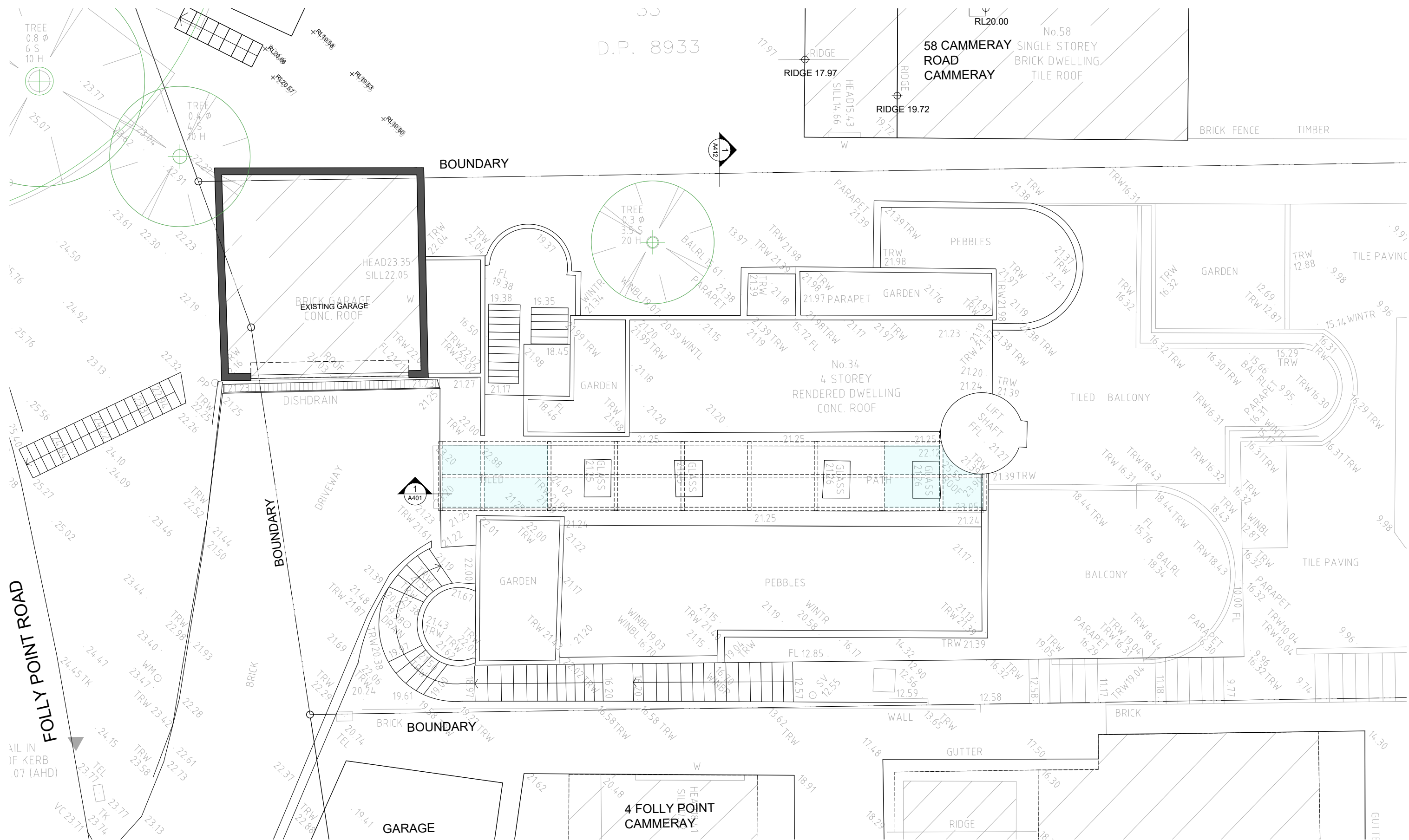
PROJECT  
2 FOLLY POINT  
CAMMERAY

ARCHITECT CLIENT



PLAY CO PTY LTD  
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SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A110	DRAWING TITLE	BASIX COMMITMENTS		
SCALE	NTS	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	\$4.55



- NOTES**
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B	10/05/24	ADDITIONAL INFORMATION

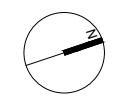
**PROJECT**  
2 FOLLY POINT  
CAMMERAY



**CLIENT**

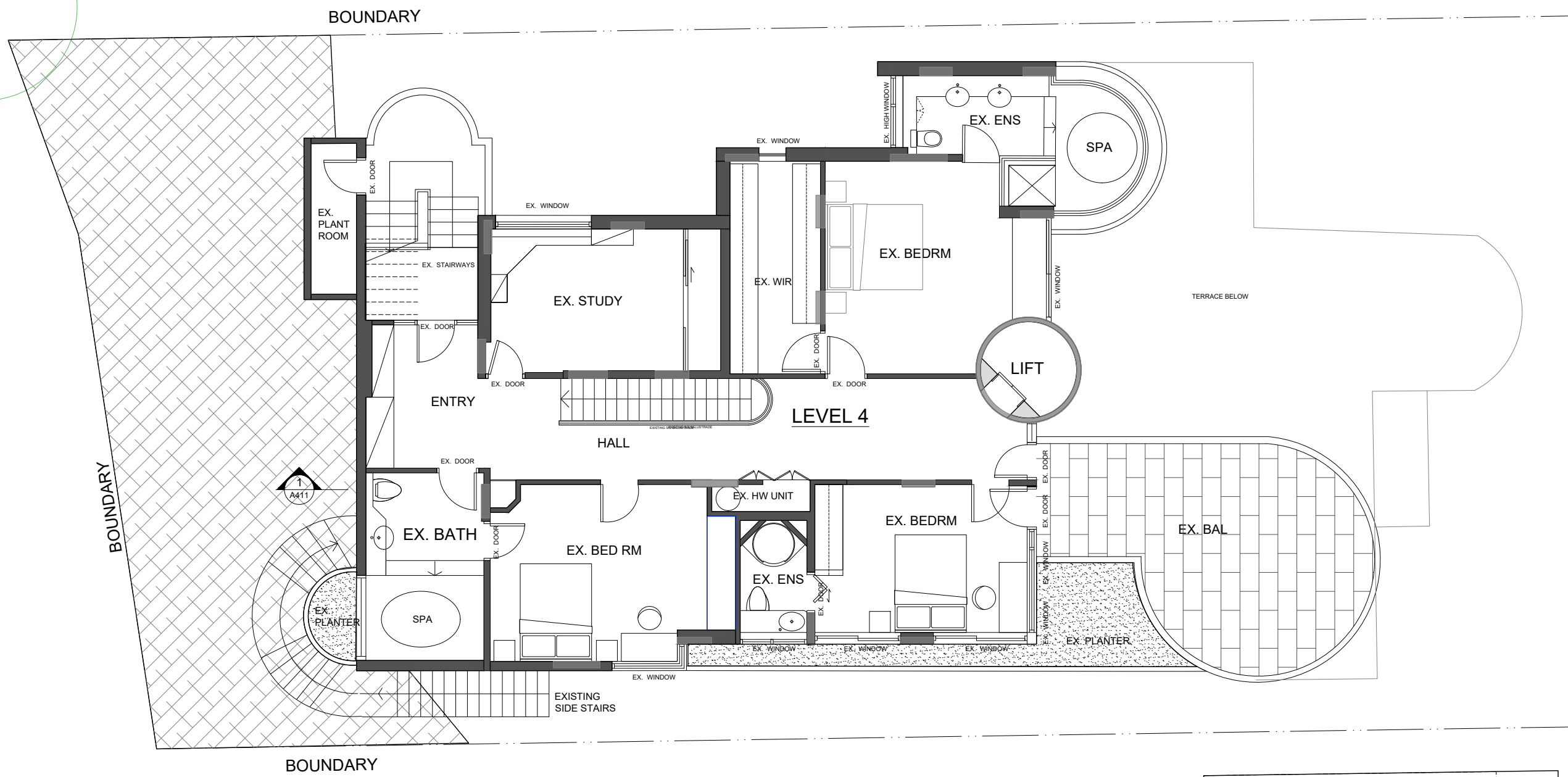
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ACCOUNTS@PLAY-CO.COM.AU

<b>PROJECT NUMBER</b>	P101	<b>PROJECT ADDRESS</b>	2 FOLLY POINT CAMMERAY	
<b>DRAWING NUMBER</b>	A201	<b>DRAWING TITLE</b>	EXISTING LEVEL 5 PLAN	
<b>SCALE</b>	1:100	<b>PAPER SIZE</b>	A3	<b>REVISION</b>
<b>DRAWN BY</b>	RN	<b>REVIEWED BY</b>	NK	<b>PROJECT STATUS</b>
				S4.55





58 CAMMERAY  
ROAD  
CAMMERAY



GARAGE

4 FOLLY POINT  
CAMMERAY

NOTES

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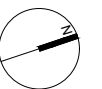
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P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

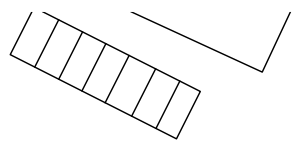
PROJECT  
**2 FOLLY POINT  
CAMMERAY**



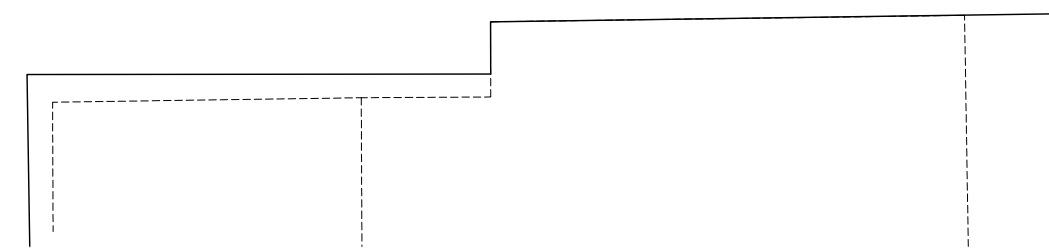
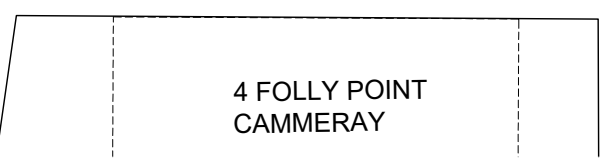
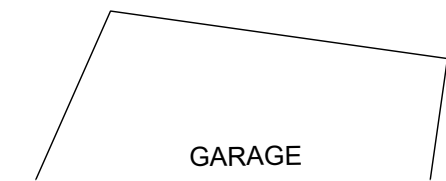
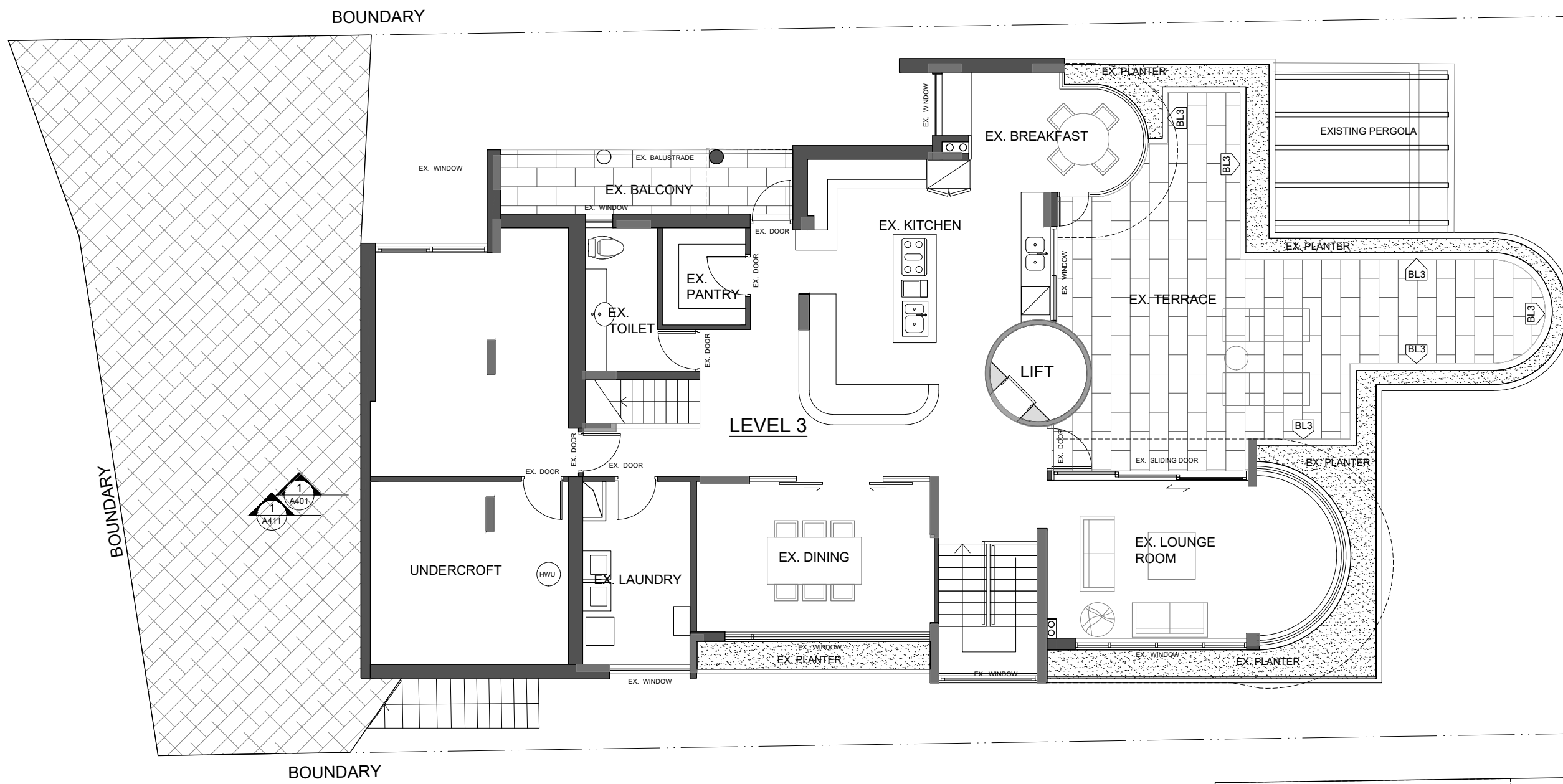
PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A202	DRAWING TITLE	EXISTING LEVEL 4 PLAN	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55





58 CAMMERAY  
ROAD  
CAMMERAY



NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.
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REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

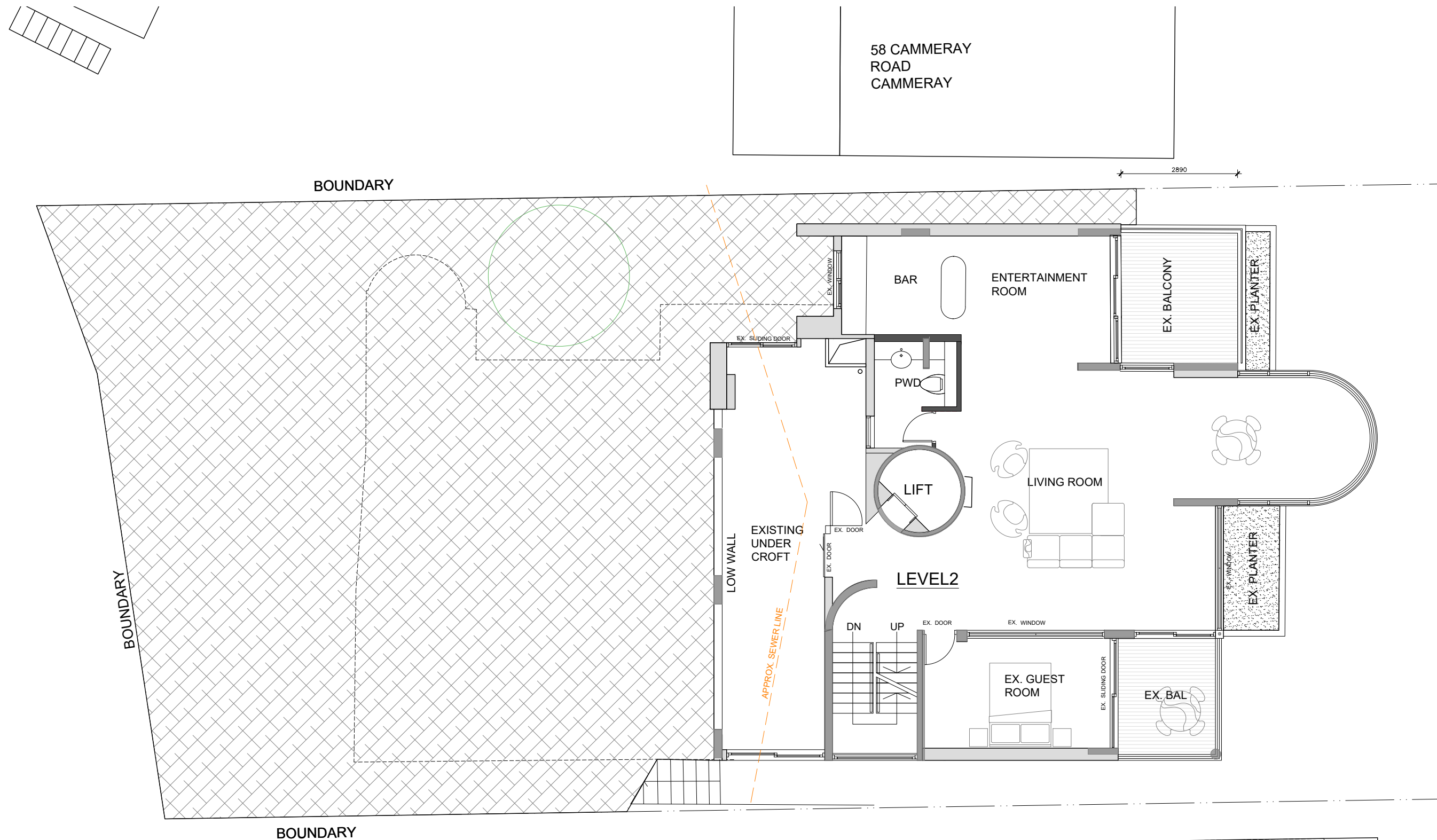
PROJECT  
**2 FOLLY POINT  
CAMMERAY**



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SUITE 6.14 55 MILLER STREET PYRMONT  
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A203	DRAWING TITLE	EXISTING LEVEL 3 PLAN	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55





NOTES

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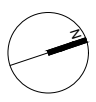
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P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT  
CAMMERAY**

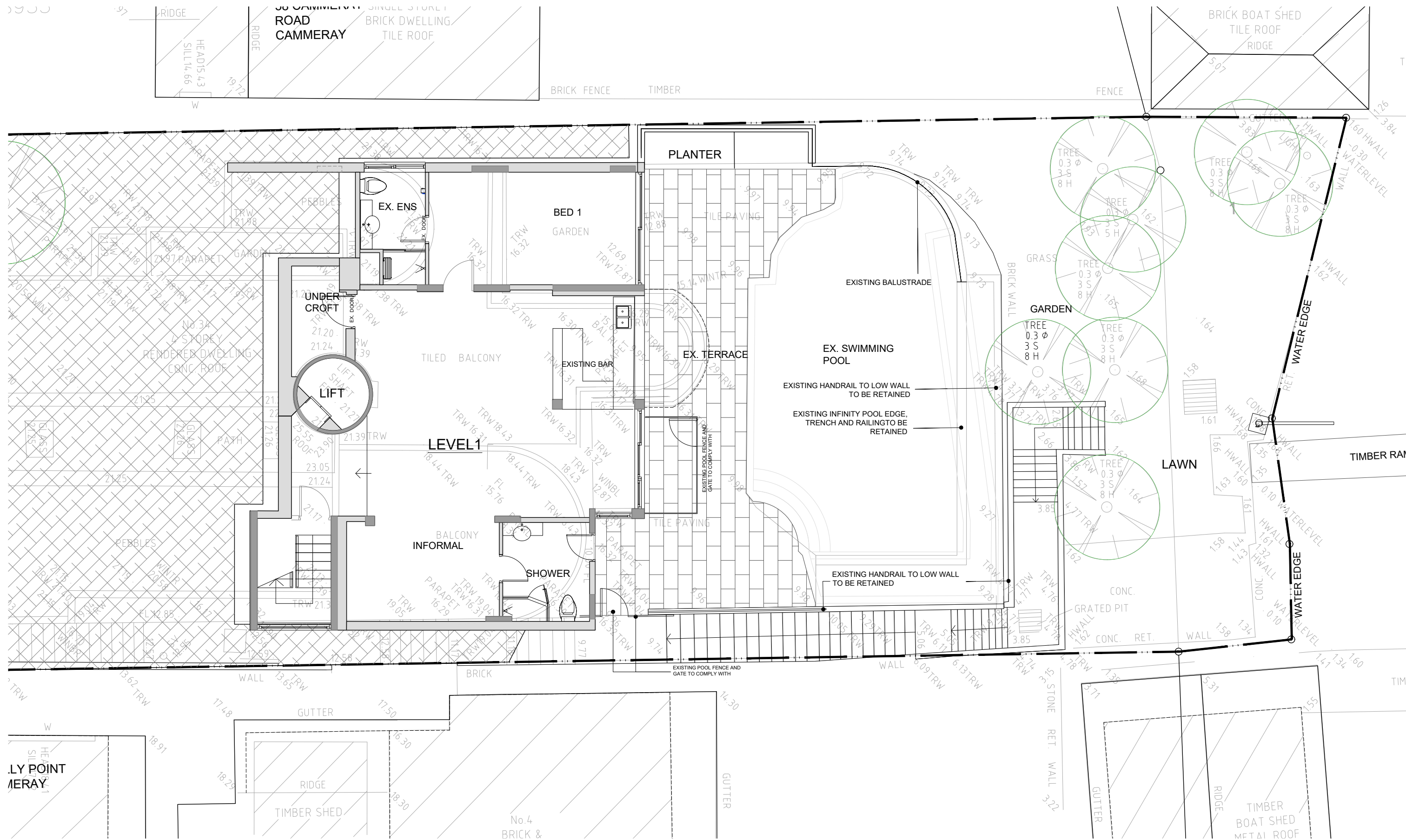


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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A204	DRAWING TITLE	EXISTING LEVEL 2 PLAN	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55







- NOTES**
- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.
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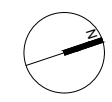
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P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

**PROJECT**  
2 FOLLY POINT  
CAMMERAY



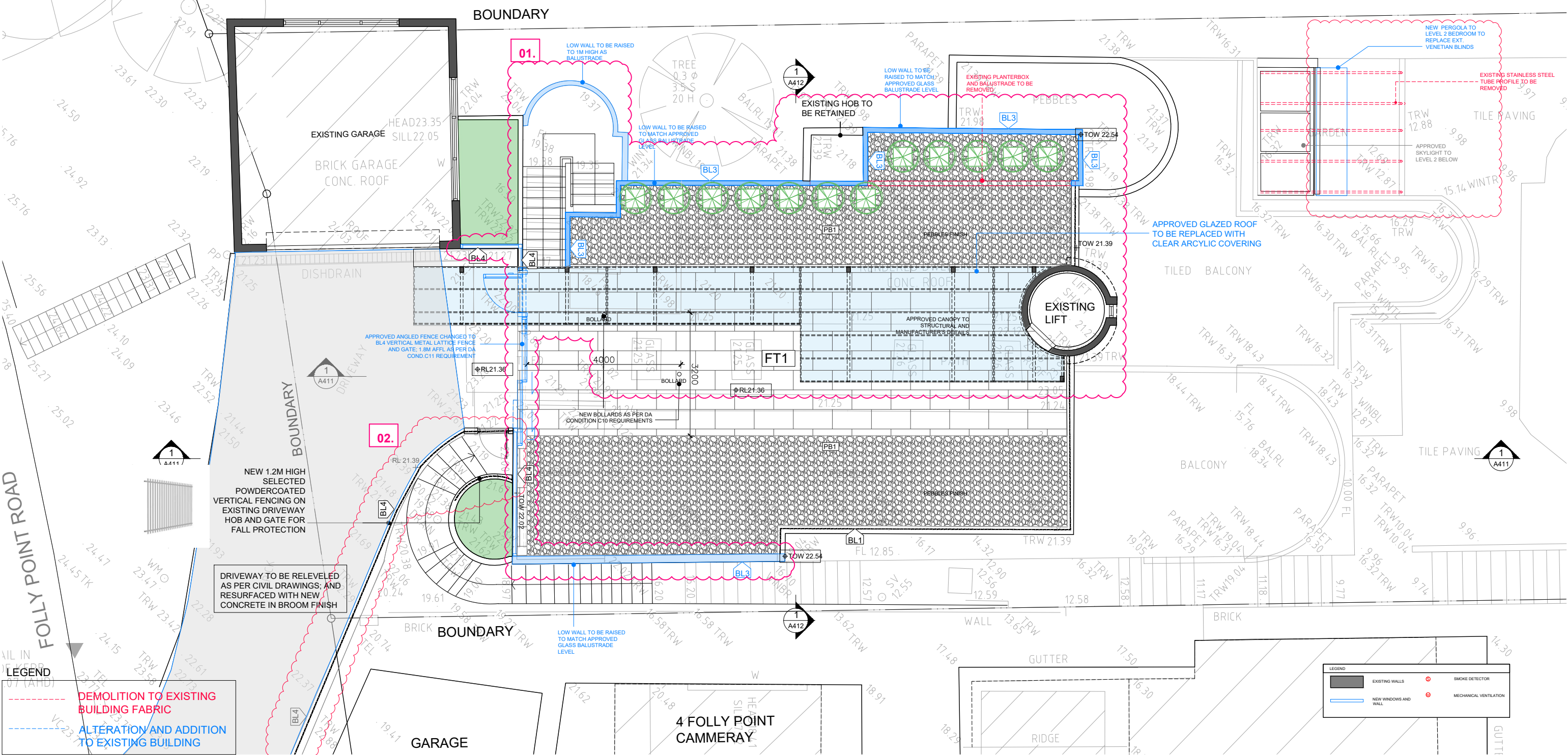
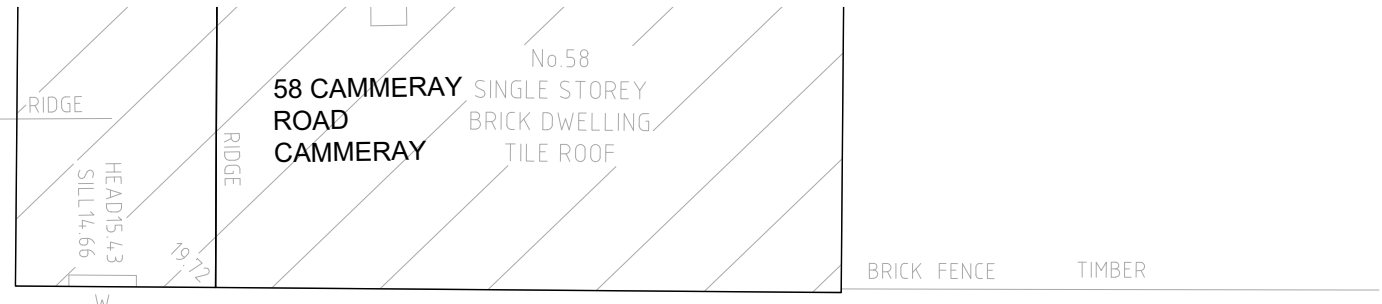
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A205	DRAWING TITLE	EXISTING LEVEL 1 PLAN		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55



- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION

INSTALLATION OF IRRIGATION SYSTEM AS PER DA CONSENT C13. REQUIREMENT



**LEGEND**

- DEMOLITION TO EXISTING BUILDING FABRIC
- ALTERATION AND ADDITION TO EXISTING BUILDING

**LEGEND**

- EXISTING WALLS
- NEW WINDOWS AND WALL
- SMOKE DETECTOR
- MECHANICAL VENTILATION

**NOTES**

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A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

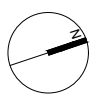
PROJECT  
**2 FOLLY POINT CAMMERAY**

ARCHITECT  
**PLAY**

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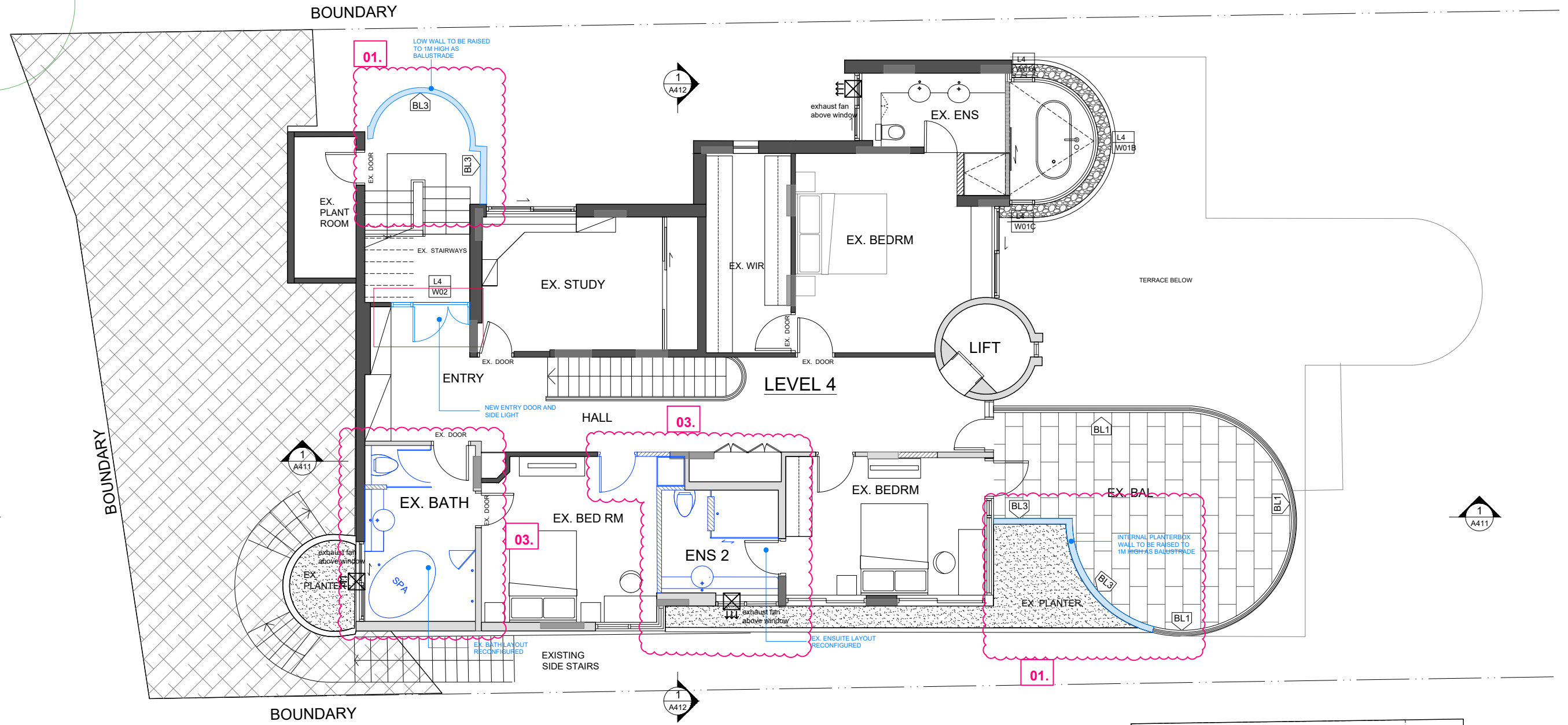
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DRAWING NUMBER	A211	DRAWING TITLE	PROPOSED LEVEL 5	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55





- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION

58 CAMMERAY ROAD  
CAMMERAY



- LEGEND**
- DEMOLITION TO EXISTING BUILDING FABRIC
  - ALTERATION AND ADDITION TO EXISTING BUILDING

- LEGEND**
- EXISTING WALLS
  - NEW WINDOWS AND WALL
  - SMOKE DETECTOR
  - MECHANICAL VENTILATION

- NOTES**
- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.
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A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT CAMMERAY**

ARCHITECT  
**PLAY**

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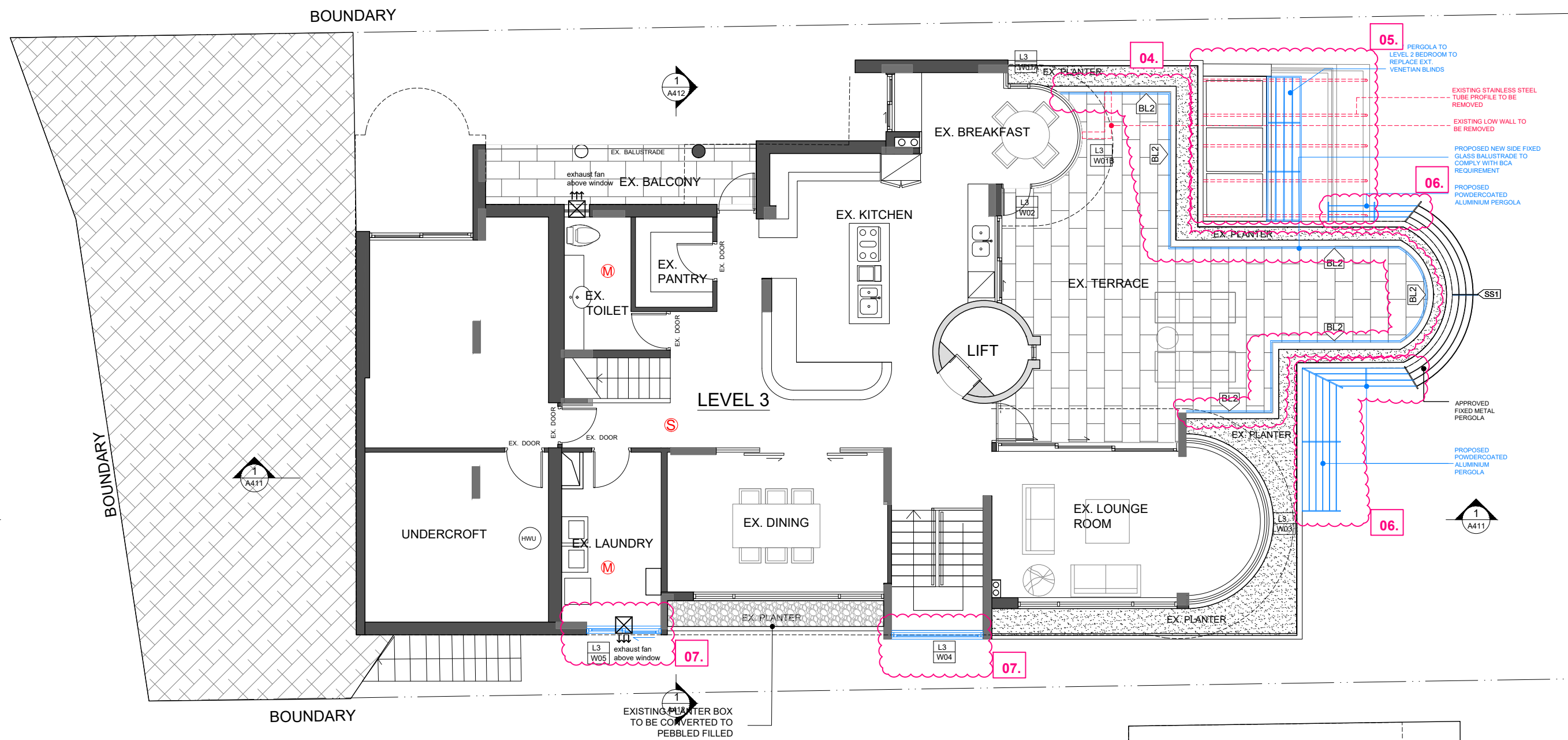
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY
DRAWING NUMBER	A212	DRAWING TITLE	<b>PROPOSED LEVEL 4 PLAN</b>
SCALE	1:100	PAPER SIZE	A3
DRAWN BY	RN	REVIEWED BY	NK
		REVISION	B
		PROJECT STATUS	S4.55



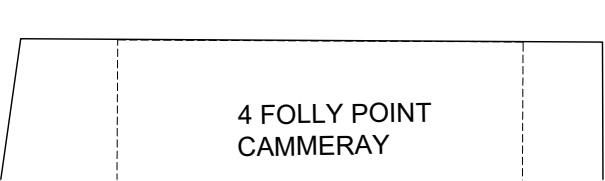
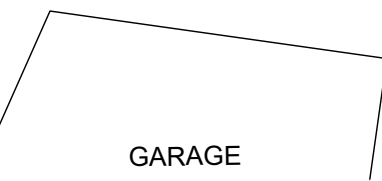
- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION

58 CAMMERAY ROAD  
CAMMERAY



- LEGEND**
- DEMOLITION TO EXISTING BUILDING FABRIC
  - ALTERATION AND ADDITION TO EXISTING BUILDING

- NOTES**
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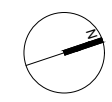
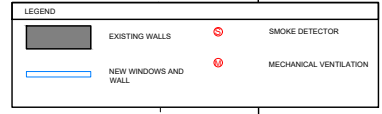
PROJECT  
**2 FOLLY POINT CAMMERAY**

ARCHITECT  
**PLAY**

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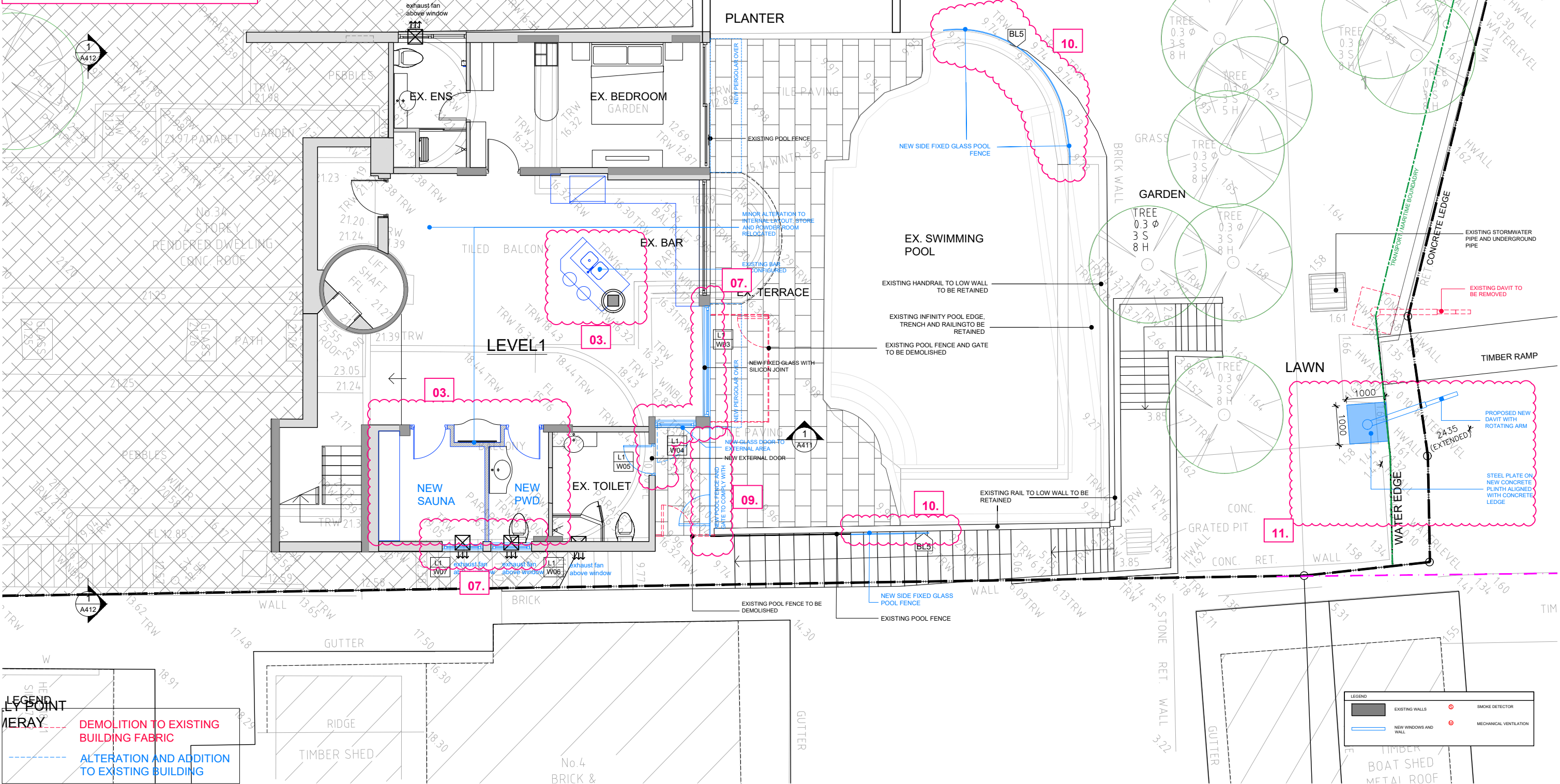
PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A213	DRAWING TITLE	<b>PROPOSED LEVEL 3 PLAN</b>	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55







- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION



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B	10/05/24	ADDITIONAL INFORMATION

**PROJECT**  
2 FOLLY POINT  
CAMMERAY

**ARCHITECT**  
**CLIENT**

**PLAY**

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<b>PROJECT NUMBER</b>	P101	<b>PROJECT ADDRESS</b>	2 FOLLY POINT CAMMERAY
<b>DRAWING NUMBER</b>	A215	<b>DRAWING TITLE</b>	PROPOSED LEVEL 1 PLAN
<b>SCALE</b>	1:100	<b>PAPER SIZE</b>	A3
<b>DRAWN BY</b>	RN	<b>REVIEWED BY</b>	NK
<b>REVISION</b>	B	<b>PROJECT STATUS</b>	S4.55



NOTES

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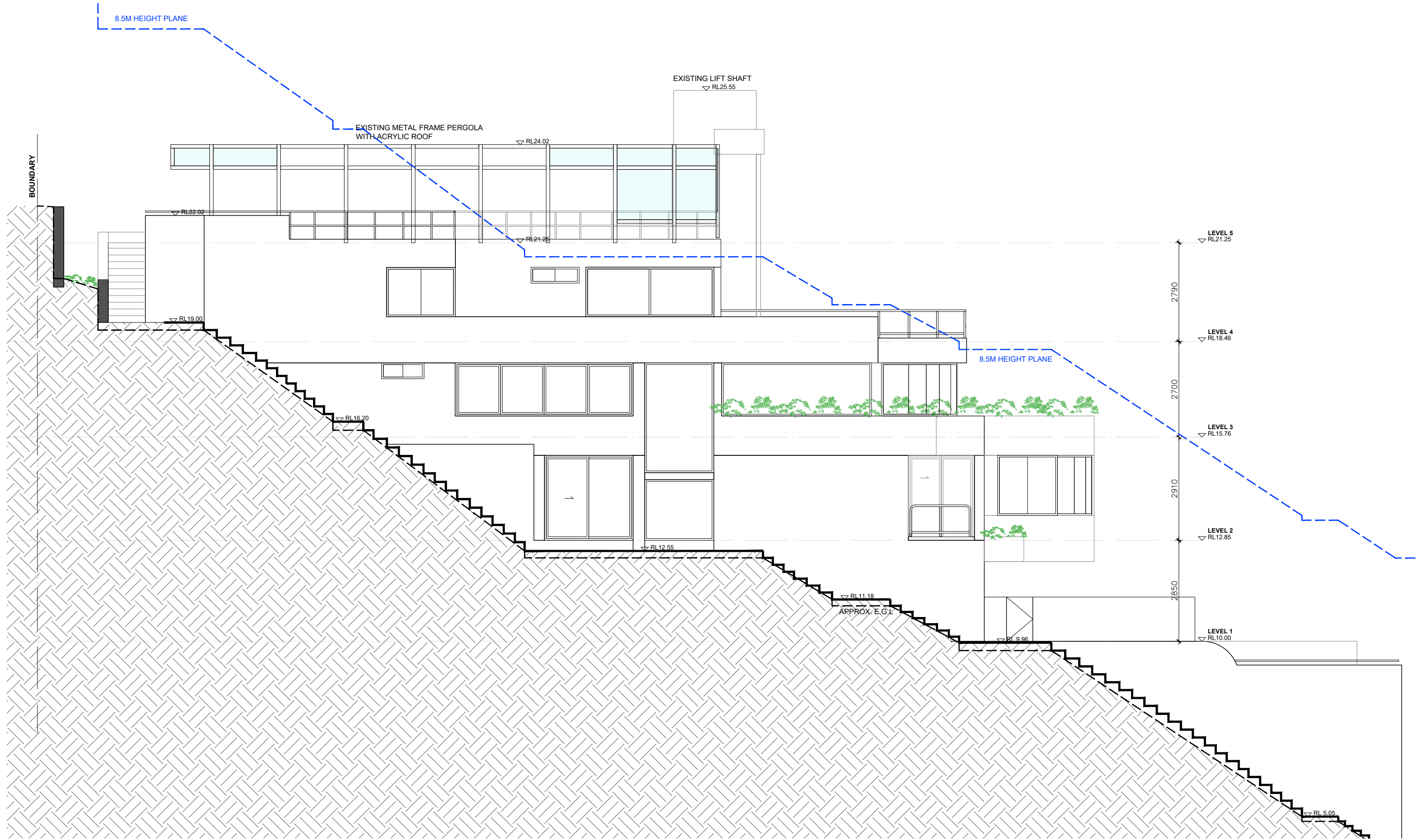
PROJECT  
**2 FOLLY POINT  
 CAMMERAY**



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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A301	DRAWING TITLE	EXISTING NORTH ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55



NOTES

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A	15/03/24	S4.55 ISSUE
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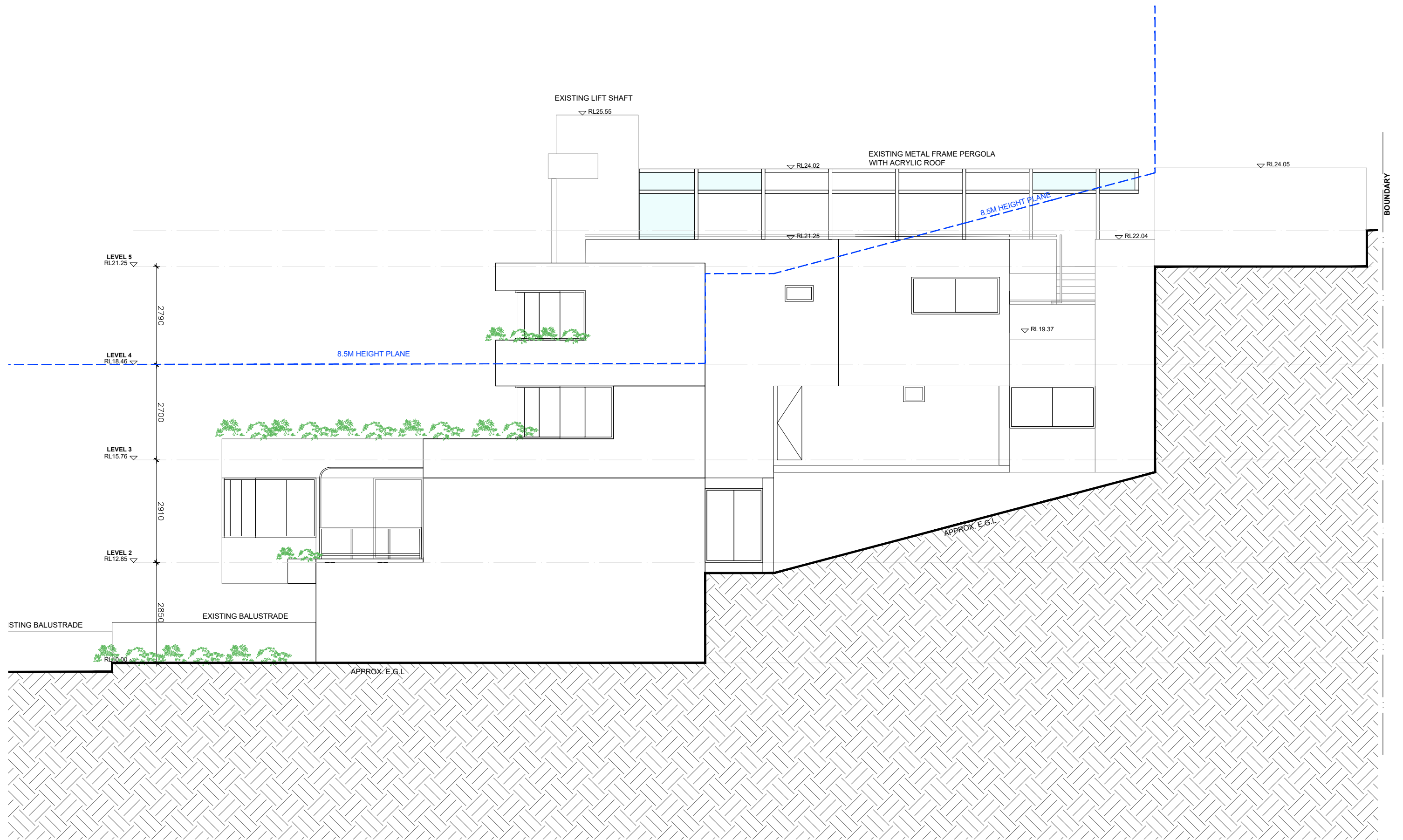
PROJECT  
**2 FOLLY POINT  
CAMMERAY**



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SUITE 6.14 55 MILLER STREET PYRMONT  
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A302	DRAWING TITLE	EXISTING EAST ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55





NOTES

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A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT  
 CAMMERAY**



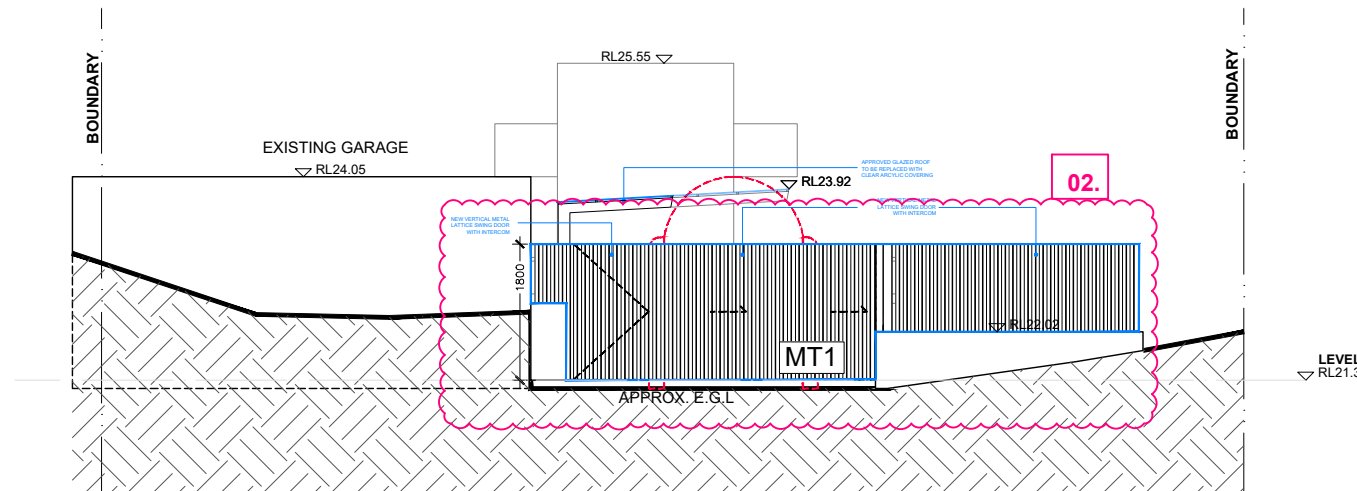
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A303	DRAWING TITLE	EXISTING WEST ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55

- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION

FINISHES LEGEND	
PT1	WHITE RENDER AND PAINT FINISH TO MATCH EXISTING WALLS
BL1	SEMI- FRAMELESS GLASS BALUSTRADE WITH ROUND S/S TOP RAIL
AL1	NATURAL ANODISE ALUMINIUM FRAMED GLAZED WINDOWS/ DOORS TO MATCH EXISTING
ST1	NATURAL ANODISE ALUMINIUM METAL FINISH
CG1	CLEAR ARCYLIC COVER ON METAL SUPPORT STRUCTURES
SS1	NATURAL ANODISE ALUMINIUM PERGOLA
MT1	VERTICAL LATTICE METAL GATE IN NATURAL ANODISE ALUMINIUM COLOUR



2 PROPOSED SOUTH ELEVATION  
1:100

**LEGEND**

---	DEMOLITION TO EXISTING BUILDING FABRIC
—	ALTERATION AND ADDITION TO EXISTING BUILDING

**NOTES**

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REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT  
CAMMERAY**

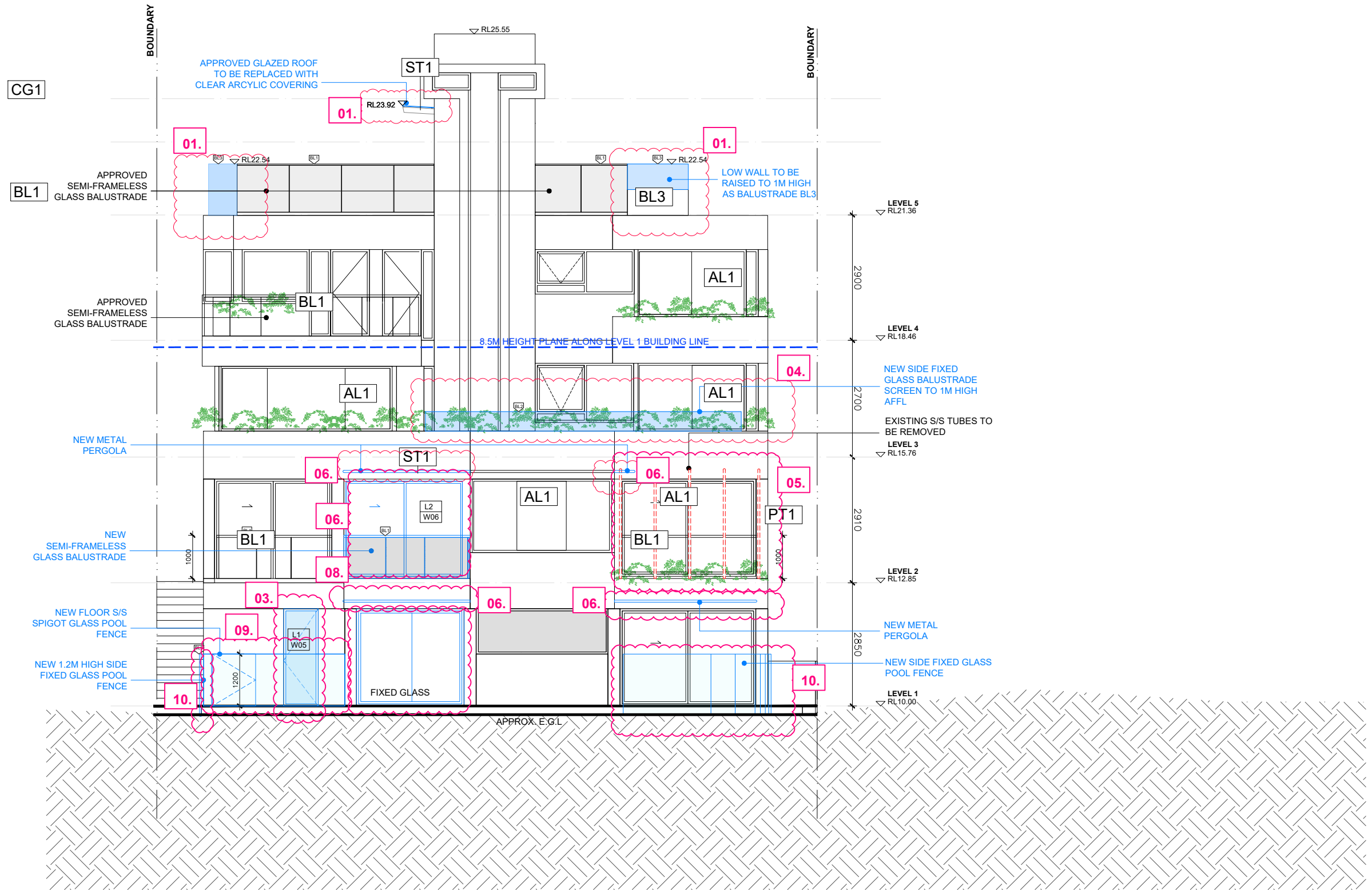
ARCHITECT CLIENT



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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A304	DRAWING TITLE	EXISTING / PROPOSED SOUTH ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55

- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL2 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION



**LEGEND**

	DEMOLITION TO EXISTING BUILDING FABRIC
	ALTERATION AND ADDITION TO EXISTING BUILDING

- NOTES**
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B	10/05/24	ADDITIONAL INFORMATION

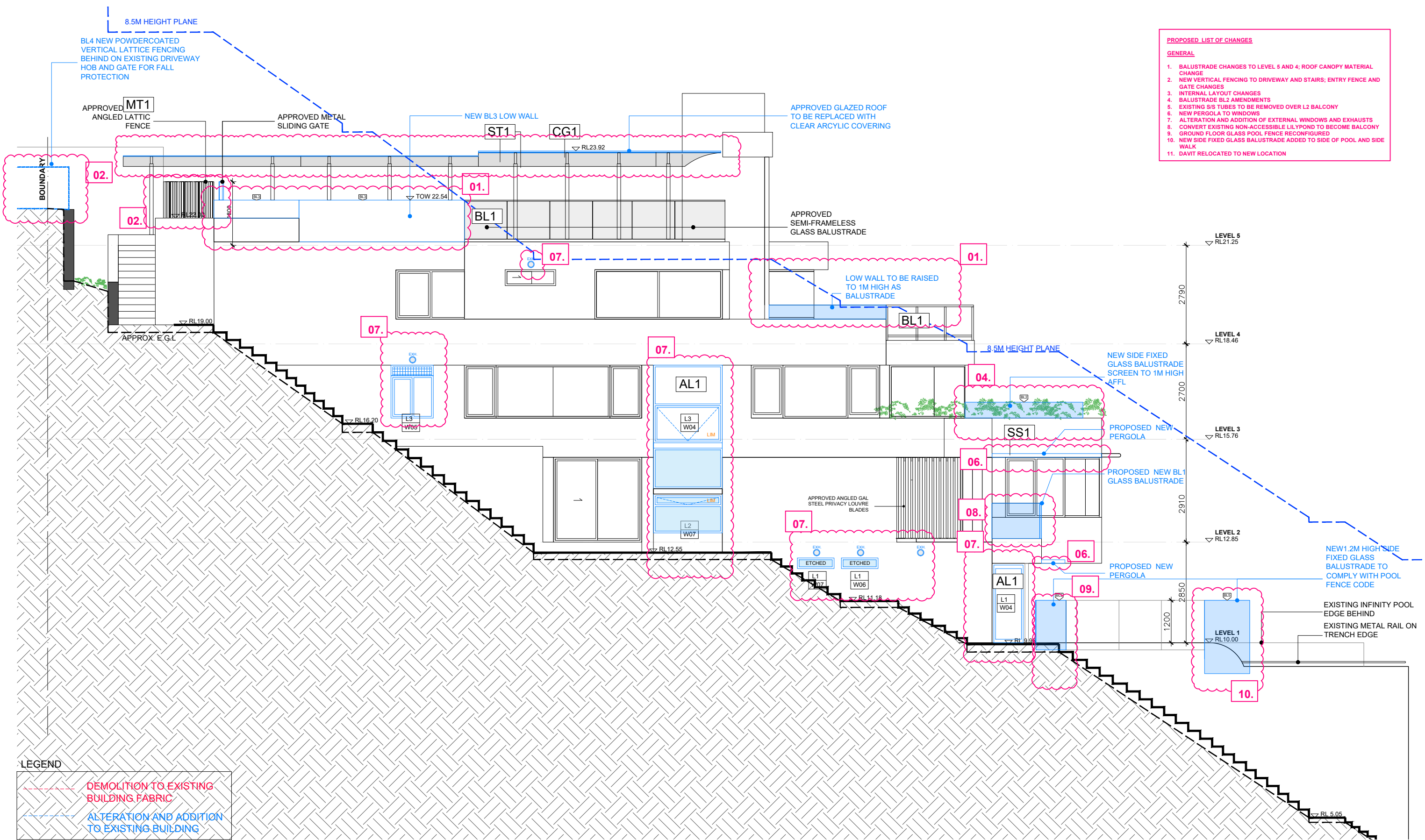
PROJECT  
**2 FOLLY POINT CAMMERAY**

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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A311	DRAWING TITLE	PROPOSED NORTH ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55



**LEGEND**

- DEMOLITION TO EXISTING BUILDING FABRIC
- ALTERATION AND ADDITION TO EXISTING BUILDING

**NOTES**

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B	10/05/24	ADDITIONAL INFORMATION

**PROJECT**  
2 FOLLY POINT  
CAMMERAY

**ARCHITECT**  
**CLIENT**

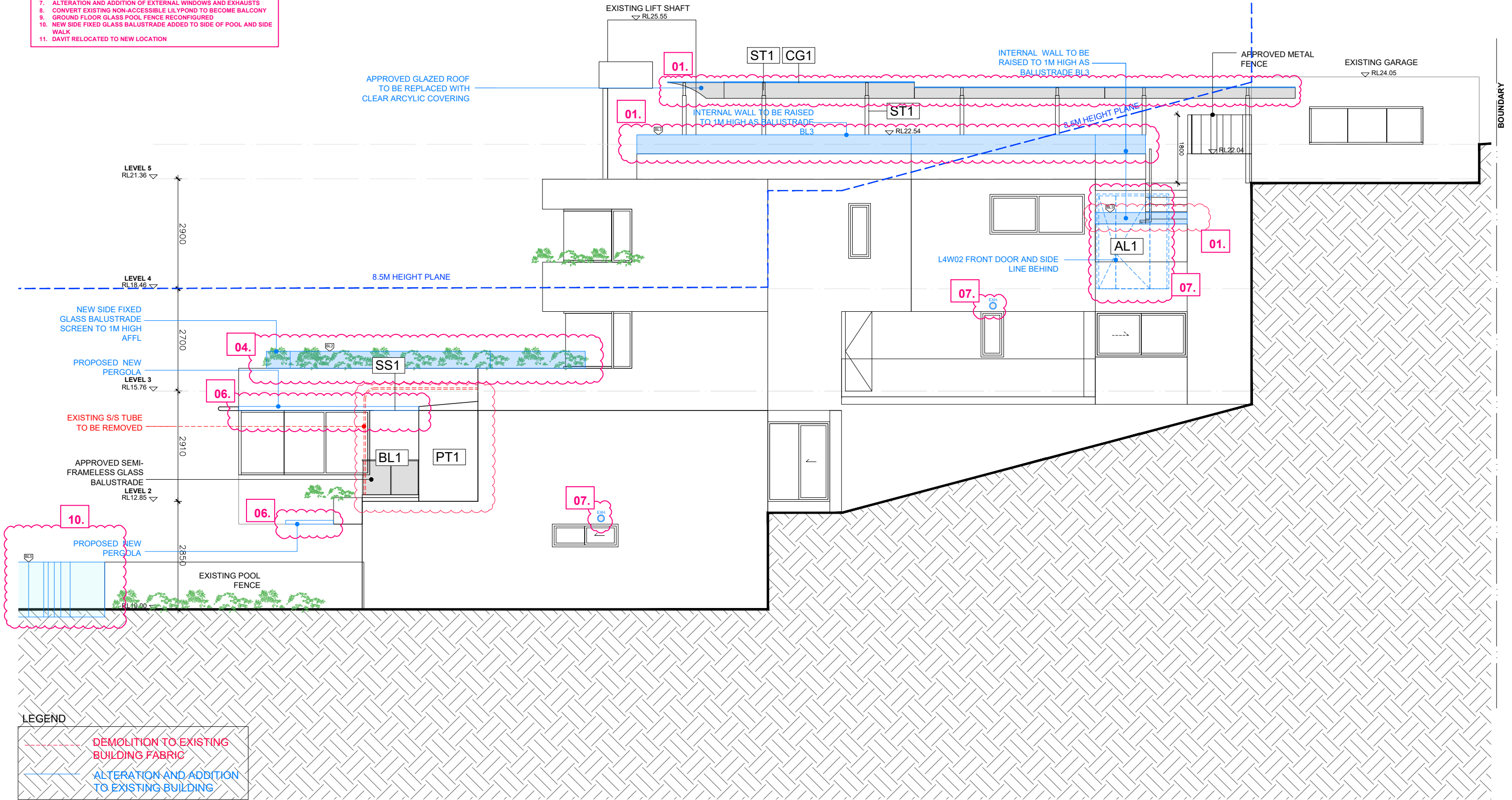
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A312	DRAWING TITLE	PROPOSED EAST ELEVATION	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55



- PROPOSED LIST OF CHANGES**
- GENERAL**
- BALUSTRADE CHANGES TO LEVEL 5 AND 4; ROOF CANOPY MATERIAL CHANGE
  - NEW VERTICAL FENCING TO DRIVEWAY AND STAIRS; ENTRY FENCE AND GATE CHANGES
  - INTERNAL LAYOUT CHANGES
  - BALUSTRADE BL1 AMENDMENTS
  - EXISTING S/S TUBES TO BE REMOVED OVER L2 BALCONY
  - NEW PERGOLA TO WINDOWS
  - ALTERATION AND ADDITION OF EXTERNAL WINDOWS AND EXHAUSTS
  - CONVERT EXISTING NON-ACCESSIBLE LILYPOND TO BECOME BALCONY
  - GROUND FLOOR GLASS POOL FENCE RECONFIGURED
  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION



**LEGEND**

	DEMOLITION TO EXISTING BUILDING FABRIC
	ALTERATION AND ADDITION TO EXISTING BUILDING

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B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
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CAMMERAY**

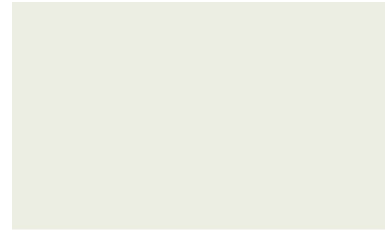
ARCHITECT  
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A313	DRAWING TITLE	PROPOSED WEST ELEVATION		
SCALE	1:100	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55

- PROPOSED LIST OF CHANGES**
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  - NEW SIDE FIXED GLASS BALUSTRADE ADDED TO SIDE OF POOL AND SIDE WALK
  - DAVIT RELOCATED TO NEW LOCATION



**PT1** MATT NATURAL WHITE DULUX PAINT FINISH ON RENDER TO MATCH EXISTING WALLS



**BL1** SEMI- FRAMELESS, CLEAR GLASS BALUSTRADE WITH ROUND S/S TOP RAIL



**AL1** NATURAL ANODISE ALUMINIUM FRAMED; GLAZED WINDOWS/ DOORS TO MATCH EXISTING



**CG1** CLEAR ACRYLIC COVER ON EXISTING APPROVED METAL SUPPORT STRUCTURE FINISH

01.



**SS1** NATURAL ANODISE ALUMINIUM PERGOLA



**MT1** WHITE POWDERCOATED VERTICAL METAL LATTICE FINISH

02.



**FT1** NON- SLIP GREY GRANITE TILE



**PB1** MEDIUM SIZE - GREY ROUND RIVER PEBBLES

**LEGEND**

- DEMOLITION TO EXISTING BUILDING FABRIC
- ALTERATION AND ADDITION TO EXISTING BUILDING

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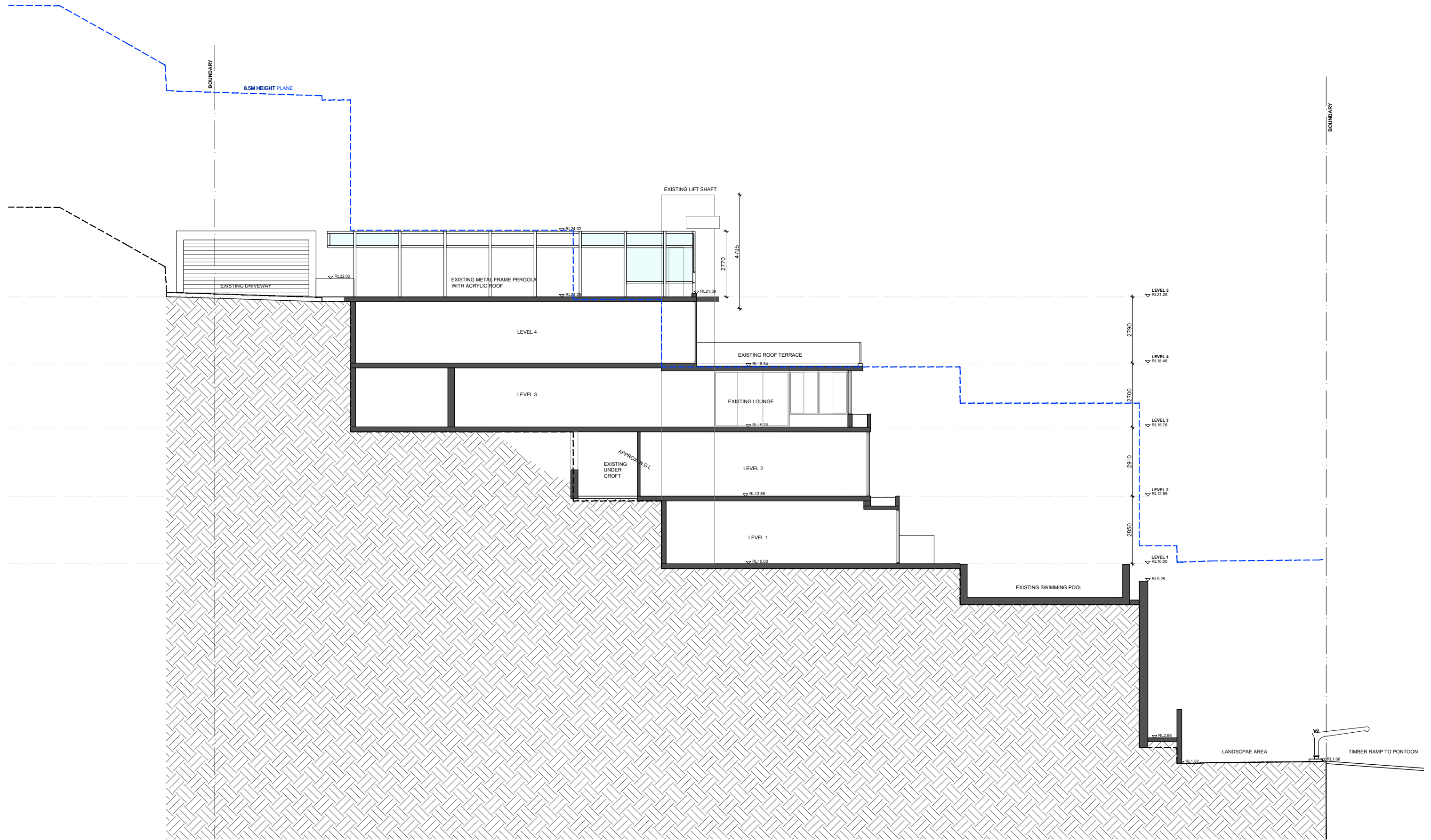
REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
**2 FOLLY POINT  
CAMMERAY**



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CLIENT  
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A320	DRAWING TITLE	<b>PROPOSED MATERIAL FINISHES SCHEDULE</b>		
SCALE	NTS	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55



NOTES

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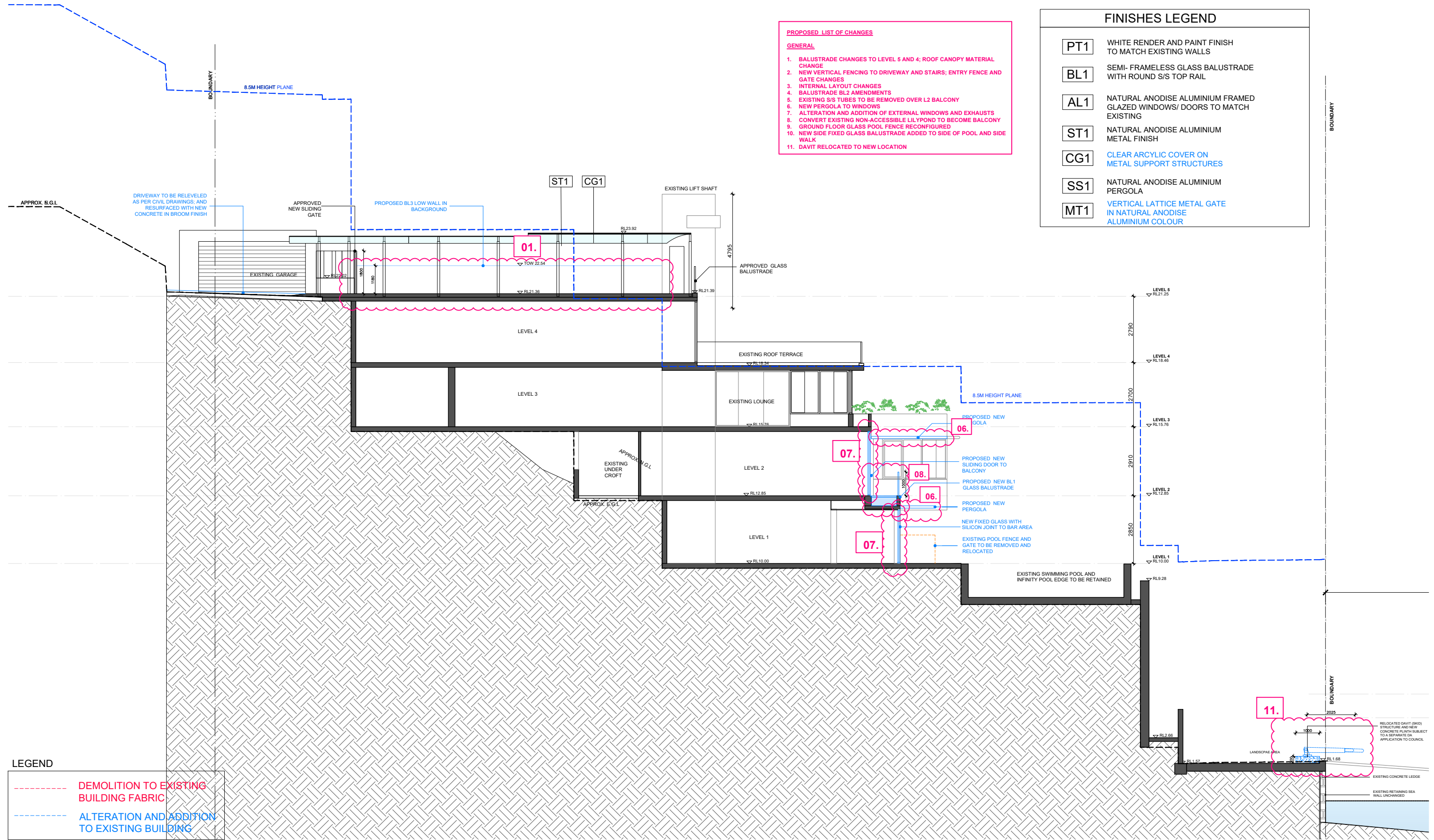
PROJECT  
**2 FOLLY POINT  
 CAMMERAY**



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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A401	DRAWING TITLE	EXISTING SECTION 1		
SCALE	1:150	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	S4.55





**NOTES**

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**PROJECT**  
2 FOLLY POINT  
CAMMERAY

**ARCHITECT**  
**CLIENT**

**PLAY**

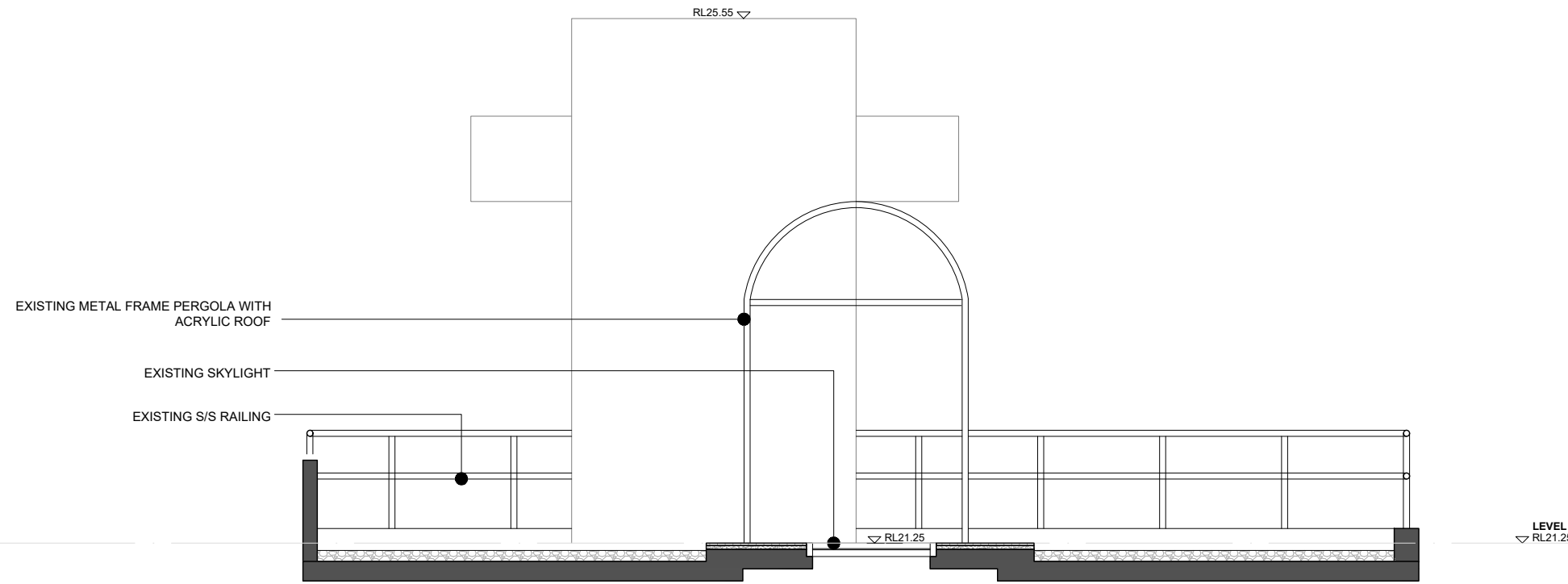
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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY
<b>DRAWING NUMBER</b>	<b>A411</b>	<b>DRAWING TITLE</b>	<b>PROPOSED SECTION 1</b>
<b>SCALE</b>	1:150	<b>PAPER SIZE</b>	A3
<b>REVISION</b>	B	<b>PROJECT STATUS</b>	S4.55



BOUNDARY

BOUNDARY



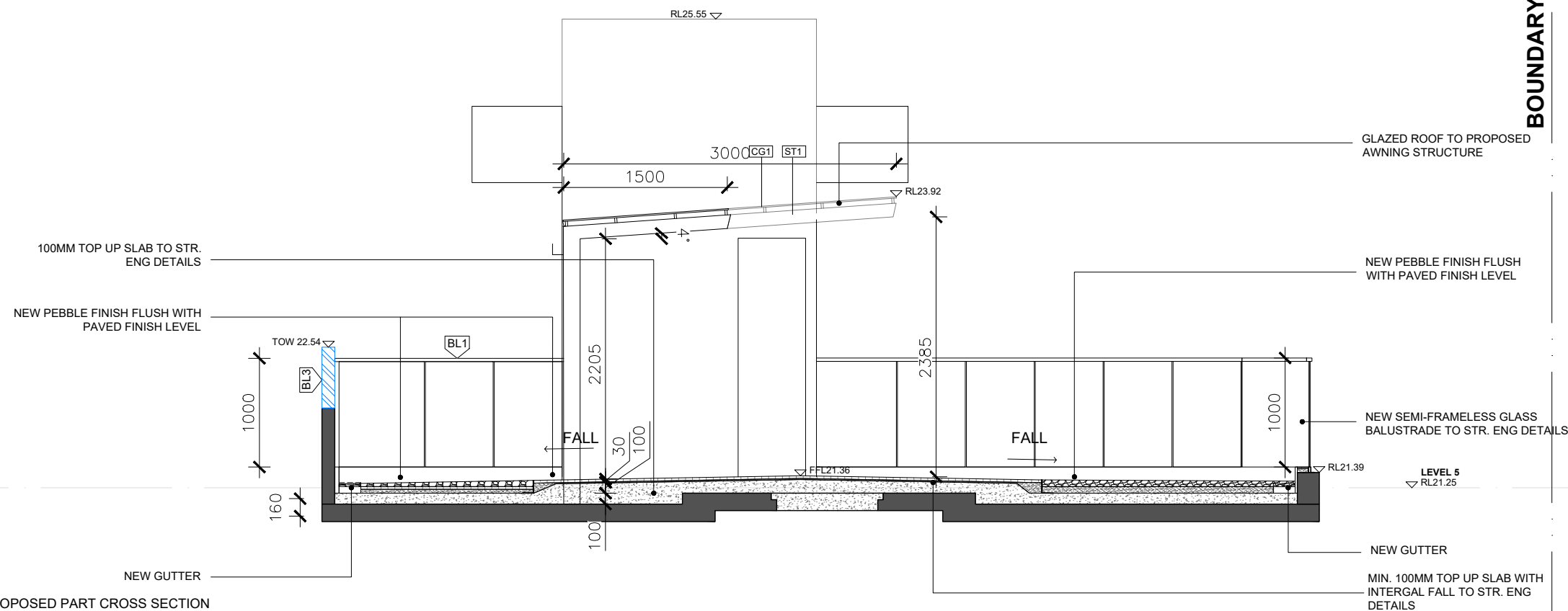
1 EXISTING PART CROSS SECTION  
1:50

FINISHES LEGEND	
PT1	WHITE RENDER AND PAINT FINISH TO MATCH EXISTING WALLS
BL1	SEMI-FRAMELESS GLASS BALUSTRADE WITH ROUND S/S TOP RAIL
AL1	NATURAL ANODISE ALUMINIUM FRAMED GLAZED WINDOWS/ DOORS TO MATCH EXISTING
ST1	NATURAL ANODISE ALUMINIUM METAL FINISH
CG1	CLEAR ARCYLIC COVER ON METAL SUPPORT STRUCTURES
SS1	NATURAL ANODISE ALUMINIUM PERGOLA
MT1	VERTICAL LATTICE METAL GATE IN NATURAL ANODISE ALUMINIUM COLOUR

LEGEND	
<span style="color: red;">---</span>	DEMOLITION TO EXISTING BUILDING FABRIC
<span style="color: blue;">---</span>	ALTERATION AND ADDITION TO EXISTING BUILDING

BOUNDARY

BOUNDARY



2 PROPOSED PART CROSS SECTION  
1:50

NOTES

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PROJECT  
**2 FOLLY POINT  
CAMMERAY**



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PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A412	DRAWING TITLE	CROSS SECTION	
SCALE	1:100	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55

WINDOW SCHEDULE					
SLIM ALUMINIUM FRAME - POWDERCOATED IN NATURAL MATT COLOUR FINISH ;					
WINDOW	WIDTH ('W')	SILL HEIGHT ('SH')	WINDOW HEIGHT ('WH')	SPEC	NOTES
L1W03	2830	0	2250	10.38MM CLEAR TEMPERED GLASS	FIXED GLASS - MID SILICON JOINT
L1W04	1040	0	2250	6.38MM TRANSLUCENT TEMPERED GLASS	LEFT HINGE SWING OUTWARDS
L1W05	1040	300	2100	6.38MM SPOTSWOOD GLASS OR SIMILAR	FIXED
L1W06	1040	300	2100	6.38MM SPOTSWOOD GLASS OR SIMILAR	FIXED
L1W07	800	0	2250	6.38MM TRANSLUCENT TEMPERED GLASS	RIGHT HINGE SWING INWARDS
L2W01	3145	0	2170	DOUBLE GLAZED CLEAR GLAZING	RIGHT SLIDER; FLY SCREEN
L2W02	1760	800	1500	LOW IRON; 6.38MM CLEAR TEMPERED GLASS	CASEMENT WINDOW; 125MM LIMITER; FLY SCREEN
L2W03	3740 ARC	800	1500	LOW IRON; 6.38MM CLEAR TEMPERED GLASS	1650 RADIUS, FIXED 2 PANE WITH CLEAR SILICON JOINT
L2W04	1760	800	1500	LOW IRON; 6.38MM CLEAR TEMPERED GLASS	CASEMENT WINDOW; 125MM LIMITER; FLY SCREEN
L2W05	2720	0	2170	DOUBLE GLAZED CLEAR GLAZING	LEFT SLIDER; DOUBLE GLAZING; FLY SCREEN
L2W06	3080	0	2400	10.38 CLEAR TEMPERED GLASS	2-WAY SLIDER; FLYSCREEN
L2W07	2100	0	1050	6.38MM SPOTSWOOD OR SIMILAR	PART FIXED; PART AWNING
L3W01A	400 + 950	550	1550	TEMPERED GLAZING; LOW-E GLAZING	CORNER WINDOW WITH CLEAR SILICON JOINT
L3W01B	3200 ARC	550	1550	TEMPERED GLAZING; LOW-E GLAZING	1195 RADIUS, FIXED 2 PANE WITH CLEAR SILICON JOINT
L3W02	680	0	2100	TEMPERED GLAZING; LOW-E GLAZING	LEFT HINGE GLASS DOOR
L3W03	5940 ARC	550	1550	TEMPERED GLAZING; LOW-E GLAZING	FIXED 3 PANE WITH CLEAR SILICON JOINT
L3W04	2100	0	3500	6.36MM TOP CLEAR; BOTTOM SPOTSWOOD OR SIMILAR	TOP FIXED; BOTTOM AWNING
L3W05	1710	800	1500	6.38MM TEMPERED TRANSLUCENT GLAZING	RIGHT SLIDING; INCLUDE 300MM HIGH WIRE MESH TO TOP
L4W01A	400 + 570	550	1550	TEMPERED GLAZING; LOW-E GLAZING	CORNER WINDOW WITH CLEAR SILICON JOINT
L4W01B	2900	550	1550	TEMPERED GLAZING; LOW-E GLAZING	1450 RADIUS, FIXED 2 PANE WITH CLEAR SILICON JOINT
L4W01C	570	550	1550	TEMPERED GLAZING; LOW-E GLAZING	FIXED CLEAR PANEL
L4W02	1800	0	2500	6.38MM LAMINATE TRANSLUCENT GLASS	GLASS DOOR AND SIDE LIGHT
FIXED SKYLIGHTS - ANODIC NATURAL MATT COLOUR FINISH - HIGH PERFORMANCE DOUBLE GLAZING (U-Value: 5.31, SHGC:0.48)					
L2S01	3145	1395	-		FCM FIXED (NON-OPENING) -3DEGREE FALL

## NOTES

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## REV DATE DESCRIPTION

A 15/03/24 S4.55 ISSUE

## PROJECT

2 FOLLY POINT  
CAMMERAY

## ARCHITECT

PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

## CLIENT

## PROJECT NUMBER

P101

## PROJECT ADDRESS

2 FOLLY POINT CAMMERAY

## DRAWING NUMBER

A500

## DRAWING TITLE

WINDOW SCHEDULE

## SCALE

1:100

## PAPER SIZE

A3

## REVISION

B

## DRAWN BY

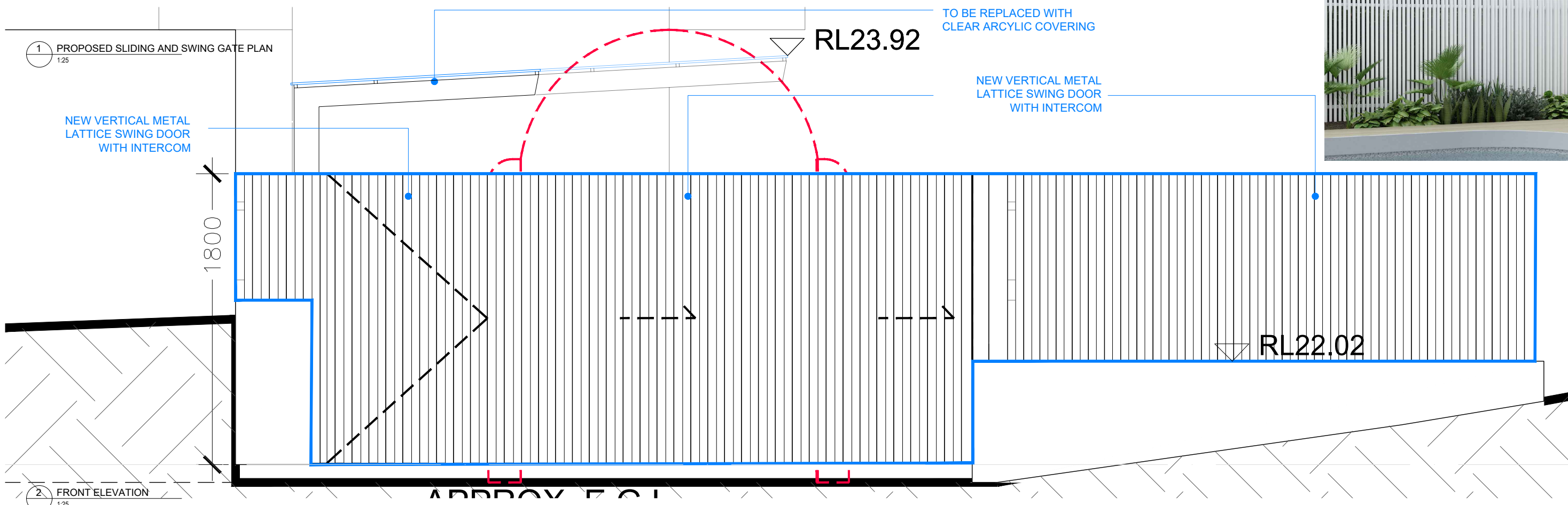
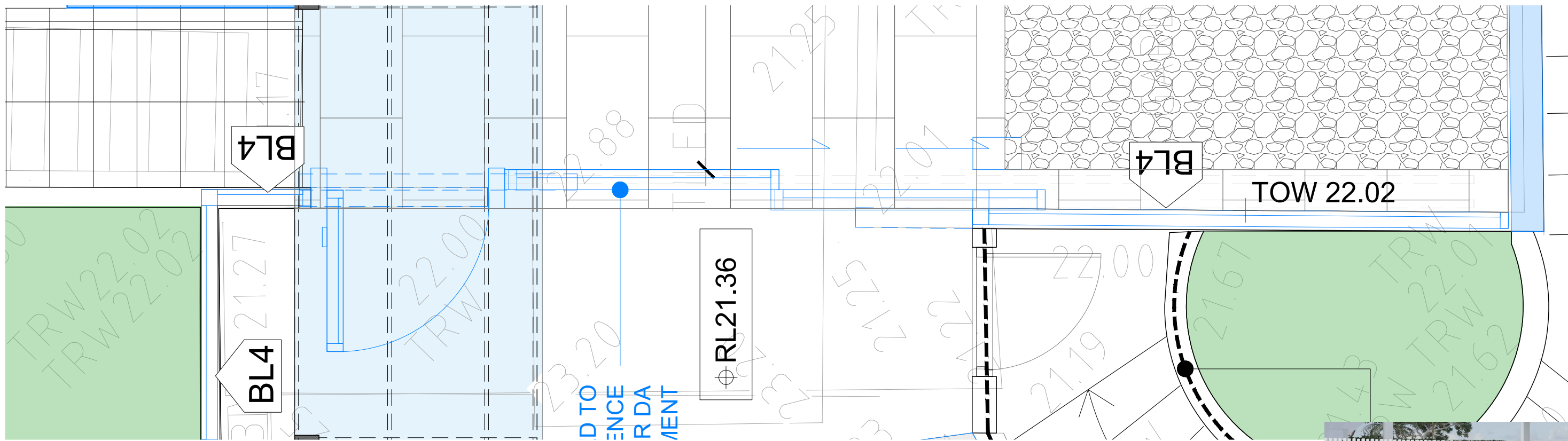
RN

## REVIEWED BY

NK

## PROJECT STATUS

S4.55



NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.
- CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIAL IS MAINTAINED.
- PREPARE & MAKE GOOD ALL SURFACES & SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS PER MANUFACTURER'S SPECIFICATION.
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REV	DATE	DESCRIPTION
P1	15/03/24	NEW DRAWING

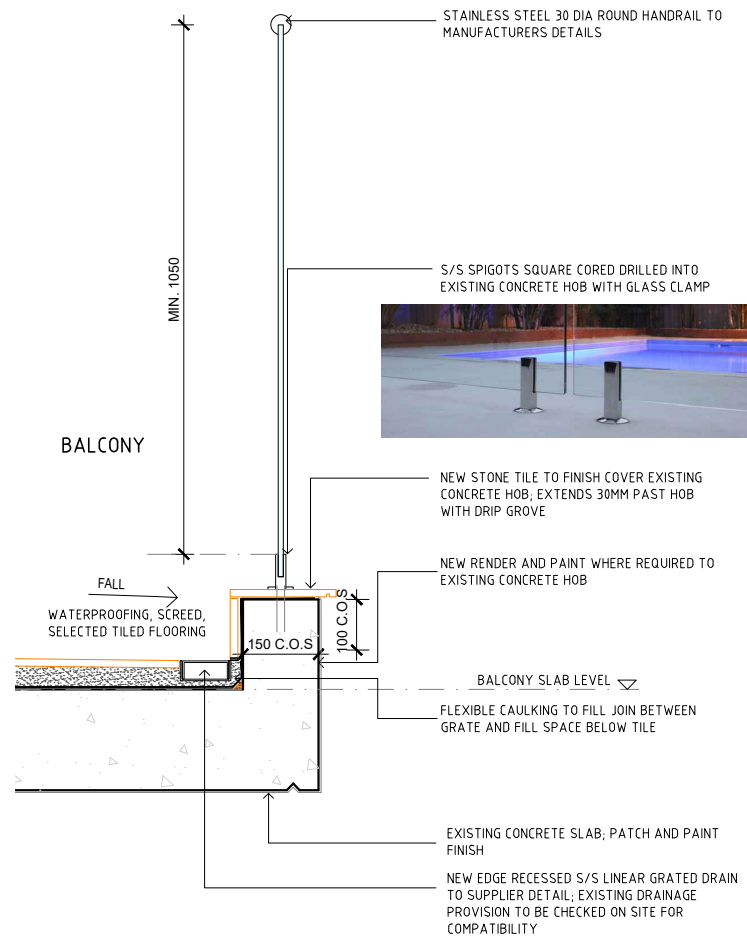
PROJECT  
2 FOLLY POINT  
CAMMERAY



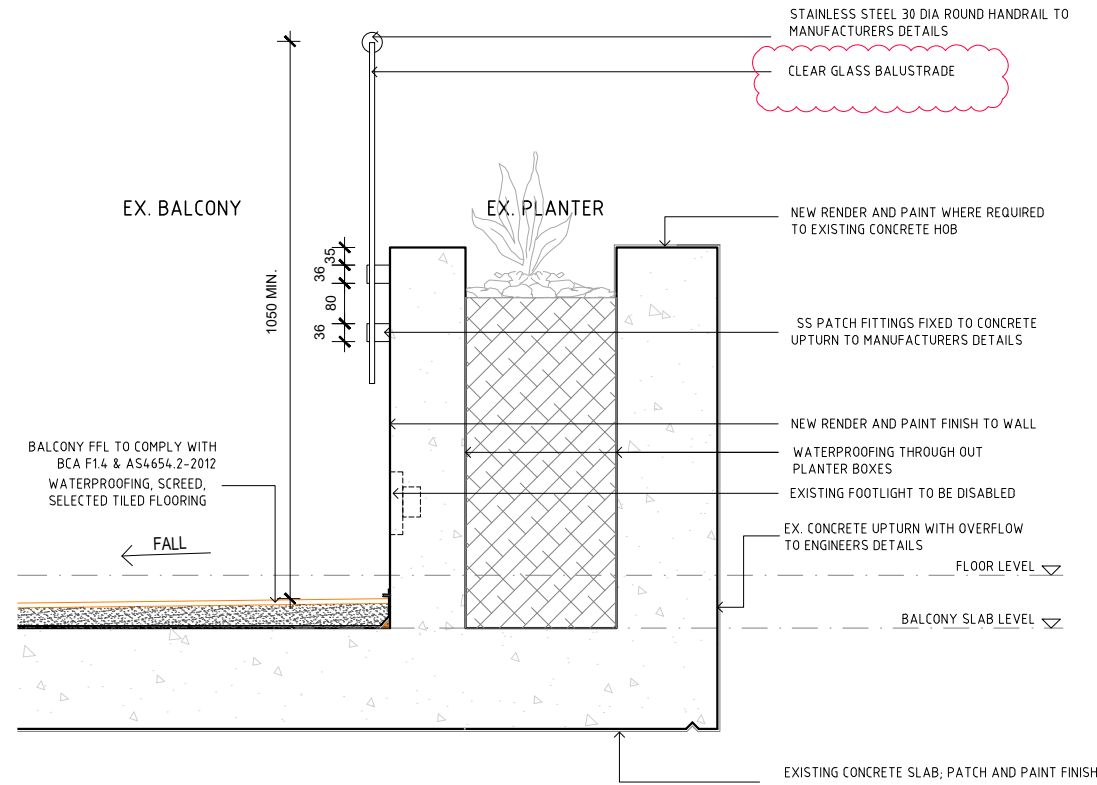
ARCHITECT  
CLIENT  
PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY		
DRAWING NUMBER	A601	DRAWING TITLE	SLIDING & SWING GATE DETAILS		
SCALE	1:50	PAPER SIZE	A3	REVISION	B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS	\$4.55

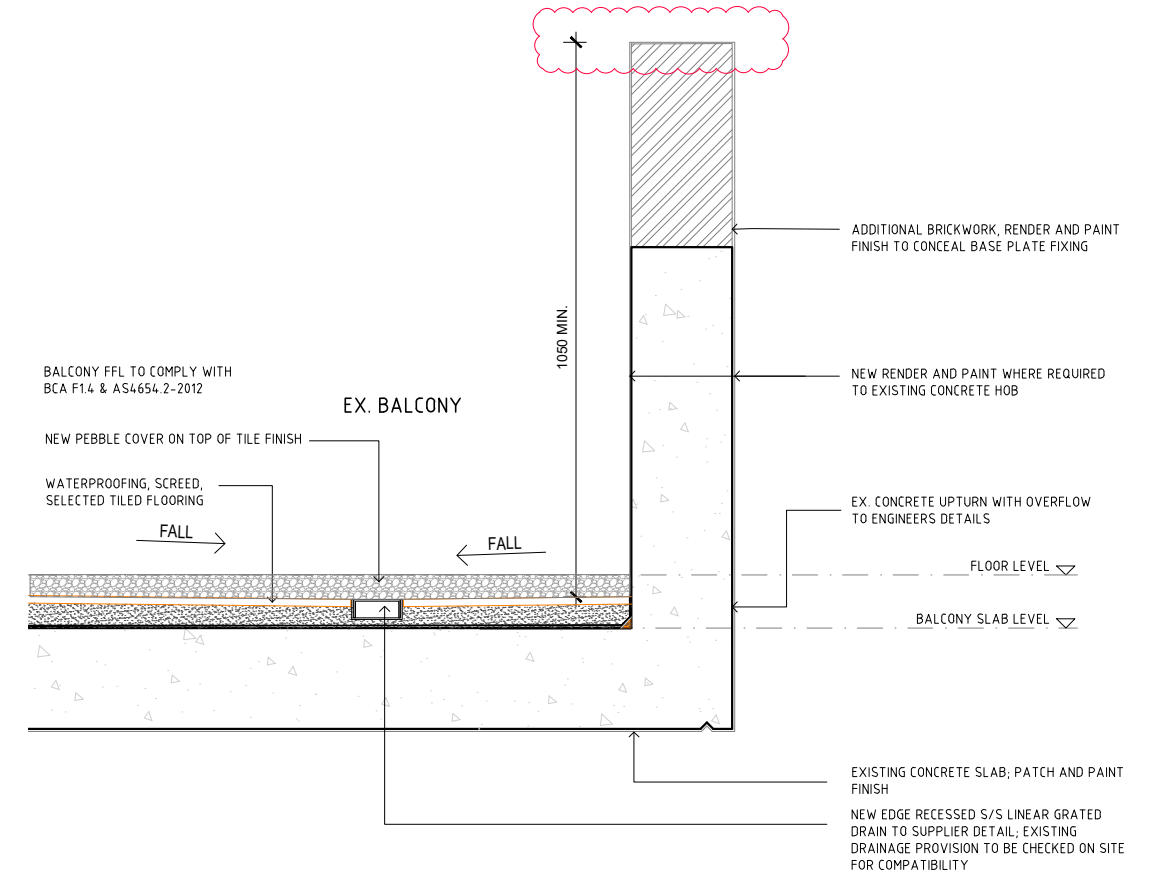




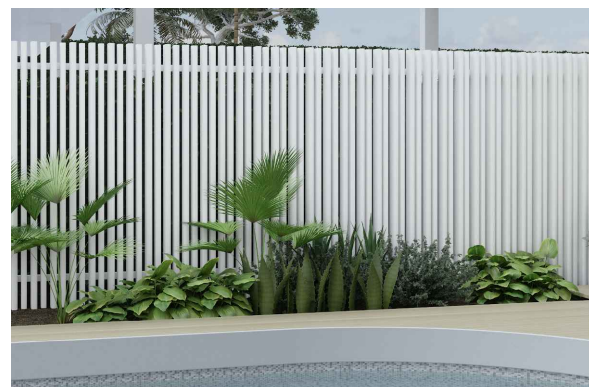
1 BL1 - TOP MOUNTED CHANNEL FIXING  
1:20



2 BL2 - SIDE PIN FIXED DETAIL  
1:20



3 BL3 - MASONRY LOW WALL  
1:20



4 BL4 - POWDERCOATED WHITE VERTICAL METAL LATTICE SCREEN  
NTS

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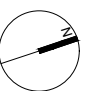
REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE
B	10/05/24	ADDITIONAL INFORMATION

PROJECT  
2 FOLLY POINT  
CAMMERAY

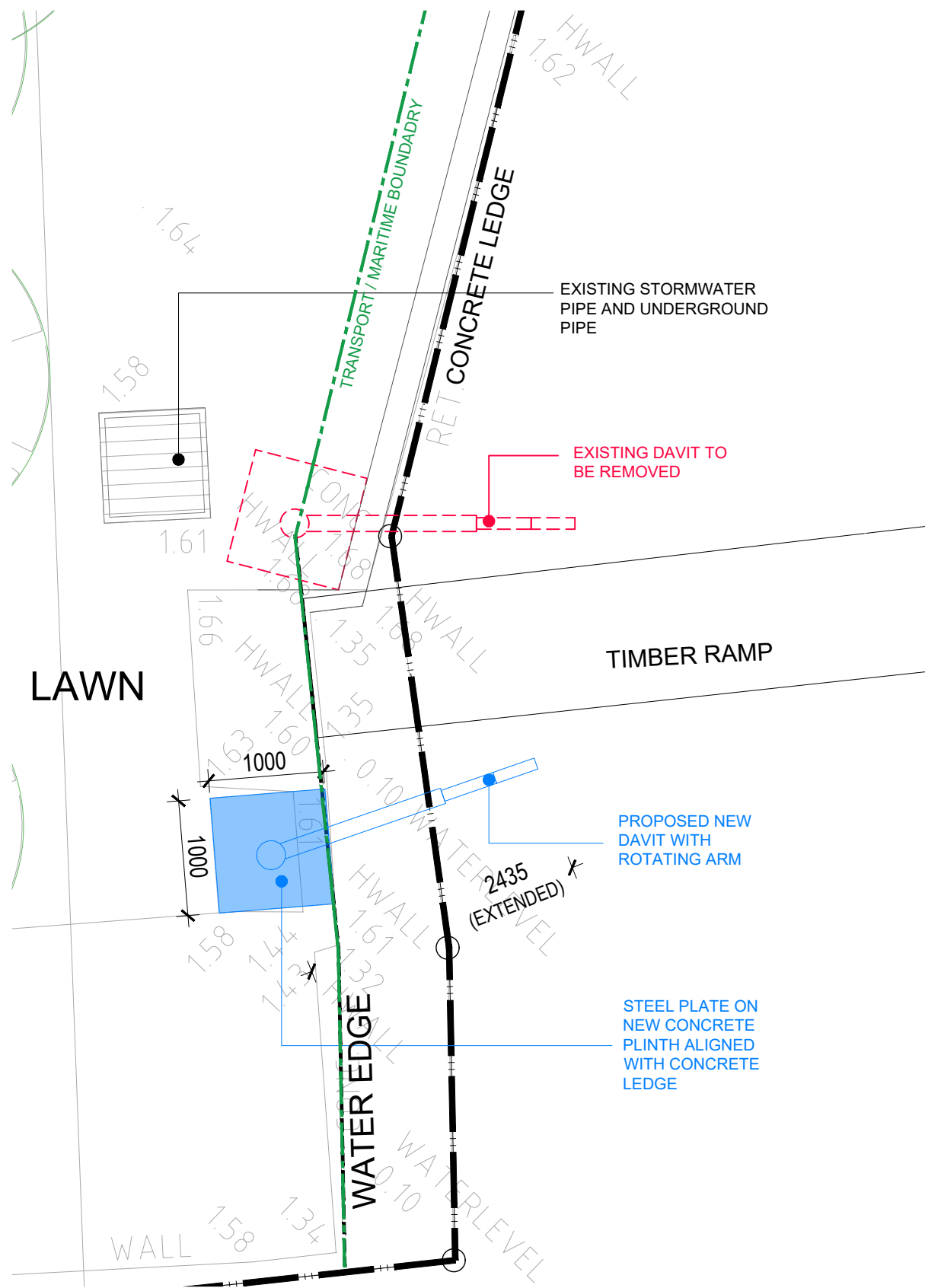


ARCHITECT  
CLIENT  
PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A602	DRAWING TITLE	BALUSTRADE DETAILS	
SCALE	1:50	PAPER SIZE	A3	REVISION B
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS S4.55







1 PLAN OF DAVIT  
1:50



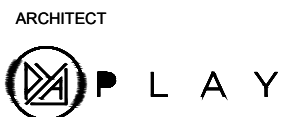
3 EXISTING DAVIT MODEL  
NTS



- NOTES
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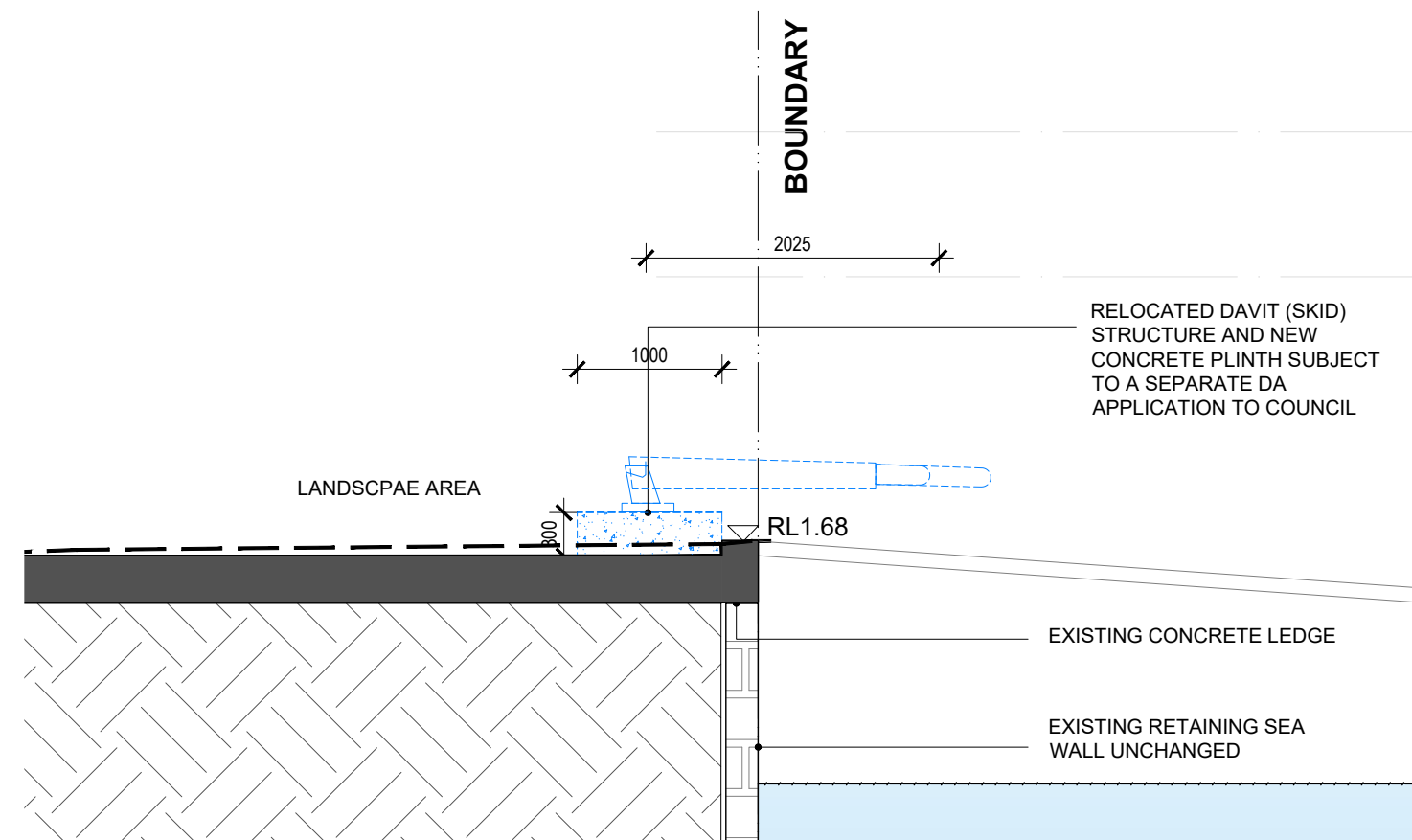
REV	DATE	DESCRIPTION
P1	15/10/23	COUNCIL ISSUE
P2	27/12/23	COUNCIL ISSUE
A	15/03/24	S4.55 ISSUE

PROJECT  
**2 FOLLY POINT  
CAMMERAY**



CLIENT  
PLAY CO PTY LTD  
ABN 206 135 521 86  
SUITE 6.14 55 MILLER STREET PYRMONT  
ACCOUNTS@PLAY-CO.COM.AU

2 DAVIT SIDE ELEVATION  
1:50



PROJECT NUMBER	P101	PROJECT ADDRESS	2 FOLLY POINT CAMMERAY	
DRAWING NUMBER	A710	DRAWING TITLE	DAVIT DRAWING	
SCALE	1:50	PAPER SIZE	A3	REVISION
DRAWN BY	RN	REVIEWED BY	NK	PROJECT STATUS
				S4.55

