

**NSLPP MEETING HELD ON 04/09/2024****Attachments:**

1. Site Plan
2. Architectural Plans
3. Landscape Plan

ADDRESS/WARD: 51 Pine Street, Cammeray**APPLICATION NO:** DA11/2024**PROPOSAL:** Alterations and additions to the existing semi-detached dwelling including new garage, studio, internal reconfiguration, and associated works and landscaping**PLANS REF:**

Plan No.	Rev	Description	Prepared by	Dated
DA103	DA-RFI	Site Plan	Andy's Home Design	31/05/2024
DA105	DA-RFI	Landscape Plan	Andy's Home Design	31/05/2024
DA106	DA-RFI	Excavation & Fill Plan	Andy's Home Design	31/05/2024
DA201	DA-RFI	Demolition Lower Ground Floor	Andy's Home Design	31/05/2024
DA202	DA-RFI	Demolition Ground Floor	Andy's Home Design	31/05/2024
DA203	DA-RFI	Demolition First Floor	Andy's Home Design	31/05/2024
DA204	DA-RFI	Demolition Roof	Andy's Home Design	31/05/2024
DA301	DA-RFI	Lower Ground Floor Plan	Andy's Home Design	31/05/2024
DA302	DA-RFI	Ground Floor Plan	Andy's Home Design	31/05/2024
DA303	DA-RFI	First Floor Plan	Andy's Home Design	31/05/2024
DA304	DA-RFI	Roof Plan	Andy's Home Design	31/05/2024
DA400	DA-RFI	Sections 1	Andy's Home Design	31/05/2024
DA401	DA-RFI	Sections 2	Andy's Home Design	31/05/2024
DA500	DA-RFI	North Elevation – Dwelling	Andy's Home Design	31/05/2024
DA501	DA-RFI	North Elevation – Studio	Andy's Home Design	31/05/2024
DA502	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA503	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA504	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA505	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA506	DA-RFI	South Elevation – Dwelling	Andy's Home Design	31/05/2024
DA507	DA-RFI	South Elevation - Garage	Andy's Home Design	31/05/2024
DA508	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA509	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA510	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA511	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA611	DA-RFI	Materials Section	Andy's Home Design	31/05/2024

OWNER: Lisa Croudace & Paul Herbet**APPLICANT:** Andrew Seller**AUTHOR:** Report of Jack Varka, Assessment Officer**DATE OF REPORT:** 16 August 2024**DATE LODGED:** 1 February 2024**DATE AMENDED:** 3 June 2024**RECOMMENDATION:** Approval

EXECUTIVE SUMMARY

This development application seeks consent for alterations and additions to the detached dwelling at 51 Pine Street, Cammeray.

The application is reported to the North Sydney Local Planning Panel for determination as the application seeks a variation to a development standard by more than 10%. In accordance with the Minister's Directions the application must be determined by the Local Planning Panel.

The subject site (Lot 102 DP 876636) is on the northern side of Pine Street and is generally rectangular in shape with a total site area of 250m². The site slopes down steeply to the north, with the existing carport located at street level above the subject dwelling. Currently located on the site is a two-storey semi-detached dwelling originally built in c.1923 with rendered brick walls on the northern and southern elevations, and a hipped red tiled roof with a dormer window on the eastern roof elevation.

Given the sites location adjacent to Plateau Heritage Conservation Area, Council's Heritage Officer considered the application and raised no objections to the proposed alterations and additions, as the works would not adversely impact upon the character of the conservation area.

It is proposed to remove tree T1 (*Plumeria sp. 6x5.5m*). The TPZ of T1 is located within the footprint of the proposed garage and studio structure. The proposal in its current form will result in the removal of the only mature tree within the front setback. Regardless of whether the garage and studio structure were to be approved or not, T1 is located in a highly constrained location and would be subject to significant pruning and damage during constructions phases. The likelihood of survival is unclear if it were to be retained in its current location.

Based on Councils Landscape Team's feedback, the ideal solution would be to transplant the tree to a new location within the front setback. T1 is a Frangipani tree which is a suitable species for relocation and the tree is in good health, despite its low retention value. The revised location would uphold Councils Landscape Team's inherent position of tree retention or like-for-like replacement.

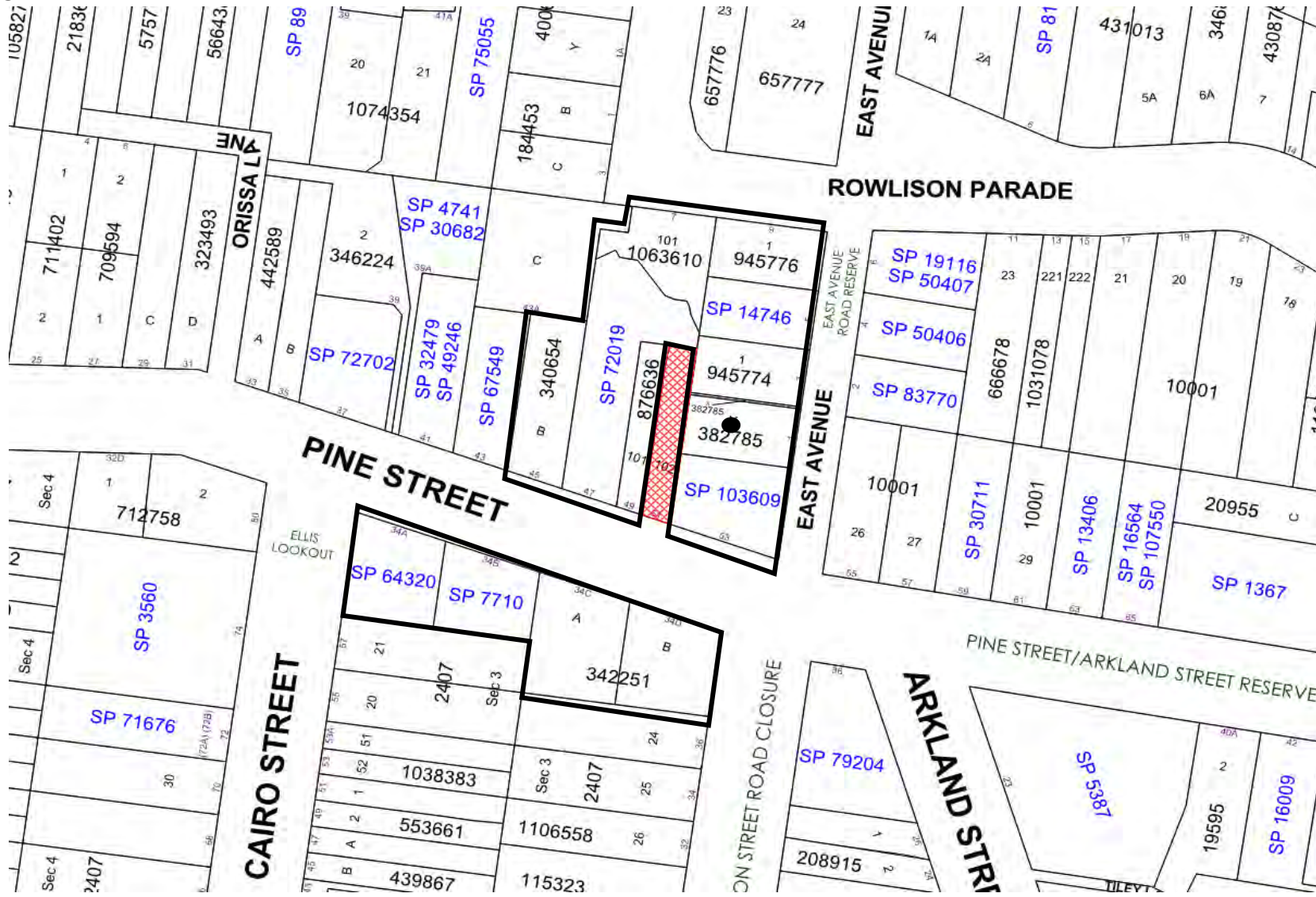
The subject site has a maximum permitted building height of 8.5m pursuant to sub-clause 4.3(2) in *NSLEP 2013*. The existing building exceeds the building height standard, with a maximum height of 10.46m. Whilst the proposal does not change the existing maximum height of the dwelling, the removal of existing dormers and construction of new dormers are located above the maximum building height of 8.5m.

The semi-detached dwelling will be more visually prominent from Pine Street through the addition of the garage structure which is relatively low in scale, will be composed of high-quality materials and additional landscaping, that will ensure that the visual impact of the structure is minimised within the streetscape. While the garage will add significant bulk to the streetscape elevation of the subject site, the structure has been carefully designed to match the approved garage at 49 Pine Street such that both sides of the semi-detached pair will present in near identical scales within the streetscape. The garage is also appropriately stepped along the street following the natural topography of the area.

On balance, with regards to amenity, view impacts, and bulk and scale, , the development is considered to be acceptable and generally compliant with Council's other controls in Part B of NSDCP 2013 and will not result in any other significant adverse impact upon the amenity of adjoining properties or the character of the adjoining area.

Following this assessment the development application is considered to be reasonable in the circumstances and is recommended for **approval** subject to conditions

LOCATION MAP



▨ Property/Applicant ● Submitters □ Properties Notified

DESCRIPTION OF PROPOSAL

The applicant is seeking development consent for the following works:

- Demolition of the existing carport structure including lower shed, internal ground floor configuration, existing dormer and roof form, and some rear external works;
- Removal of two trees within the front setback;
- Construction of a new garage structure at street level and lower studio space, new internal ground floor layout including open concept living, kitchen and dining, new rear balcony, and new first floor dormers of the eastern and northern elevations, and new front setback landscaping; and
- Lower ground floor is to be retained as existing.

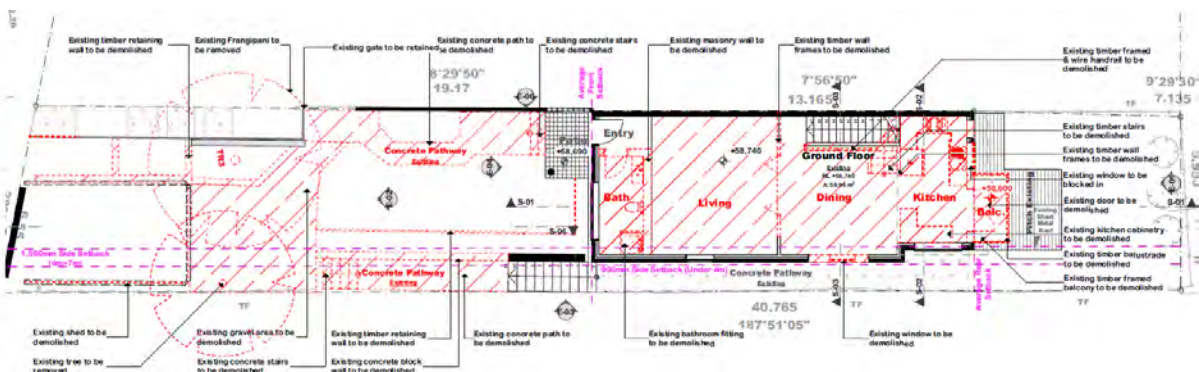


Figure 1: Ground Level Demolition Plan

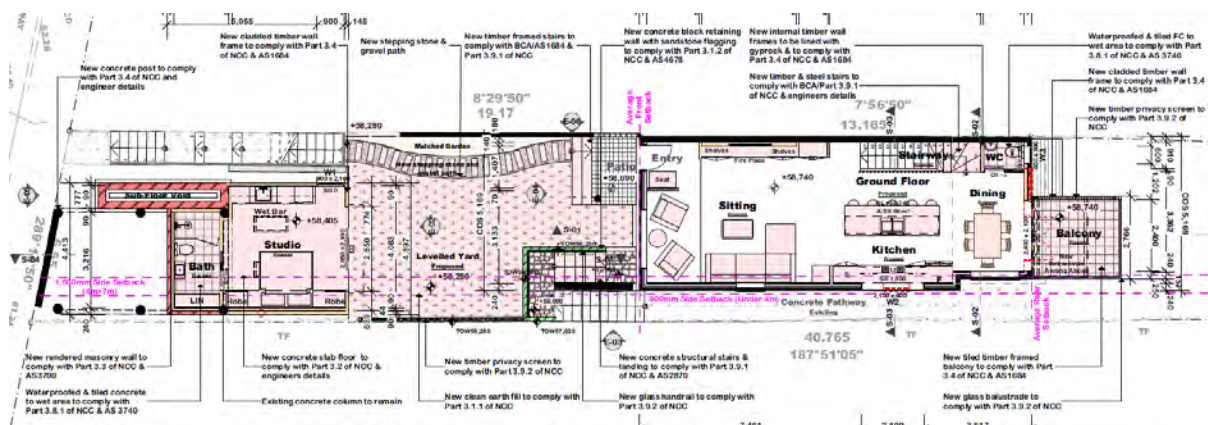


Figure 2: Ground Floor Plan

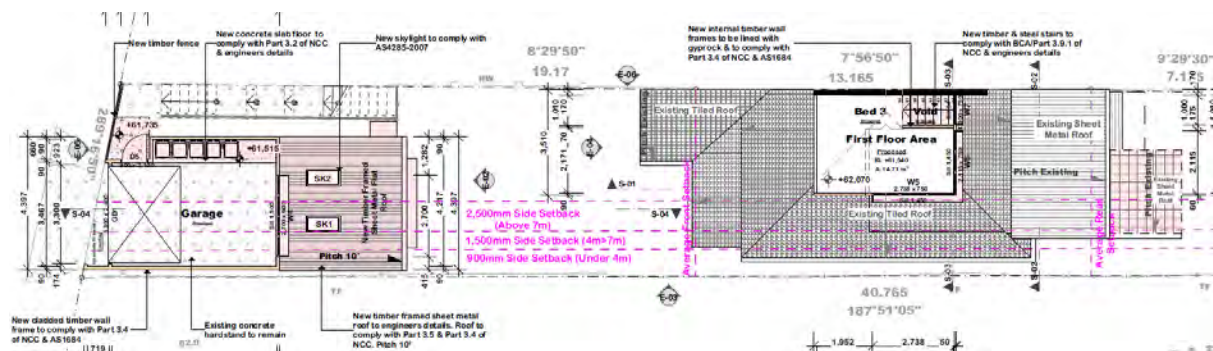


Figure 3: First Floor Plan

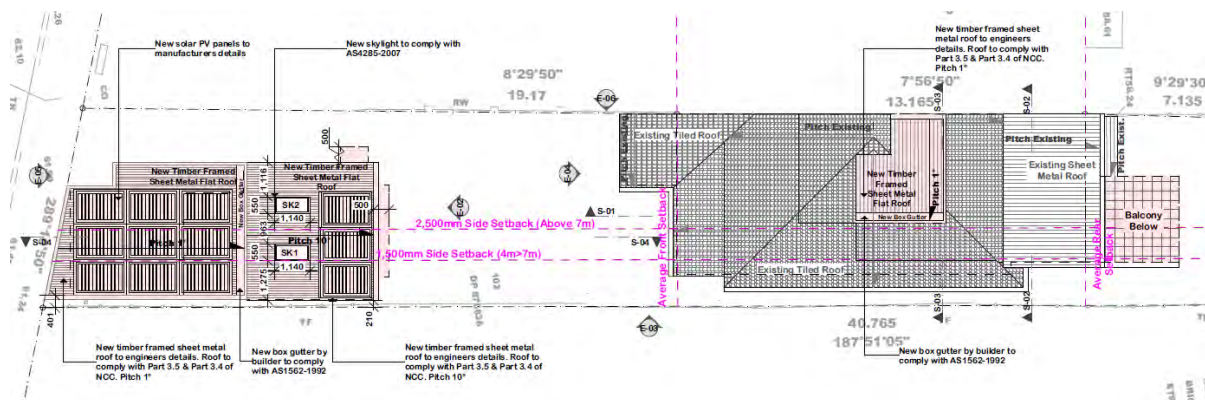


Figure 4: Roof Plan

Referral to NSLPP:

The application is reported to NSLPP for determination because the proposed alterations and additions includes works conducted that breach the building height standard of 8.5m for the site. The proposal includes the removal and replacement of existing dormers above the building height standard at a variation that exceeds more than 10% of the standard, being a 19% variation or 1.58m above the 8.5m maximum.

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R2 Low Density Residential
- Item of Heritage - No
- In Vicinity of Item of Heritage – No
- Conservation Area – No

Environmental Planning & Assessment Act 1979

SEPP (Biodiversity and Conservation) 2021

- Chapter 6 Water Catchments

SEPP (Sustainable Buildings) 2022

SEPP (Resilience and Hazards) 2021

- Chapter 4 Remediation of Land

SEPP (Transport and Infrastructure) 2021

- Chapter 2 Infrastructure

Integrated Development

POLICY CONTROLS

NSDCP 2013

- Bushland Buffer – Buffer Area A (100m)

North Sydney Local Infrastructure Contributions Plan

DESCRIPTION OF LOCALITY

The subject site (Lot 102 DP 876636) is on the northern side of Pine Street and is generally rectangular in shape with a total site area of 250m². The site slopes down steeply to the north, with the existing carport located at street level above the subject dwelling.

Currently existing on the site is a two-storey semi-detached dwelling originally built in c.1923 with rendered brick walls on the northern and southern elevations, and a hipped red tiled roof with a dormer window on the eastern roof elevation. The eastern elevation features original two-tone face brick, rough-hewn sandstone blockwork and timber windows. It is a mirror-image of its eastern semi-detached neighbour at No. 49 Pine Street. The dwelling has parking access via a metal carport structure above a cantilevered concrete parking space over a sandstone outcrop. The dwellings at Nos. 49-51 Pine Street are accessed via a shared concrete staircase with metal railings that leads down the site to their respective front gate and masonry boundary fence.

Surrounding development is primarily residential, comprising single-storey and two-storey dwellings. The entirety of Pine Street, and the immediate neighbourhood is zoned R2 Low Density Residential under the provisions of the *NSLEP 2013*.

It should be noted that car parking structures forward of the building line are a predominant feature of the street. The neighbouring property at 49 Pine Street has approval for a street front garage similar to that of the proposal.

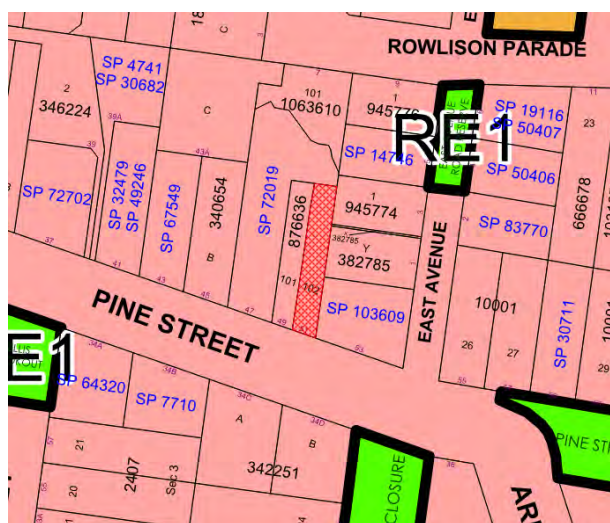


Figure 1: Zoning Map



Figure 2: Heritage Map

RELEVANT HISTORY

Previous Applications

1 February 2002: Development application DA879/01 was approved by Council for alterations and additions to the existing dwelling, including attic extension, new dormer window and rear ground floor level deck.

28 September 2023: Development application DA286/23 was returned by Council's DA Clearing House on the basis that no arborist report was provided and therefore was unable to be assessed.

Current application

- **1 February 2024:** Application was lodged with Council
- **16 February – 1 March 2024:** Application was notified
- **1 March 2024:** Site inspection was completed
- **10 May 2024:** Additional information was requested by Council, including the following:

- Revised site calculations plan
- Confirmation of the status and use of the proposed studio – whether it is to be used as a secondary dwelling
- Updated landscape plan and arborist report, based on the feedback from Council's Landscape Officer
- **3 June 2024:** Additional information was submitted by the applicant in response to Council's letter
- **14 June – 28 June 2024:** Amended application was renotified

REFERRALS

HERITAGE

The application has been referred to Council's Heritage Team who provided the following comments:

The existing Federation style dwelling at 51 Pine Street is not identified as a scheduled heritage item and is not located within a heritage conservation area conservation area. However, the site is adjacent to the northern boundary of the Plateau heritage conservation area. Being in the vicinity of the conservation area, the development needs to be assessed for any likely impacts on the character and heritage significance of the Plateau conservation area.

A site inspection was undertaken on 29 February 2024.

The assessment of the proposed alterations and additions at 51 Pine Street has been undertaken with reference to, NDCP 2013 Part B: s13.4 heritage in the vicinity of heritage items and to ensure the development meets the objectives of NSLEP 2013 Clause 5.10 (1)(a) and (b) Heritage conservation.

The impact from the roof addition is mitigated because it will mirror the approved roof addition at the attached dwelling 49 Pine Street [235/2020] whereby retaining the symmetry of the pair. Similarly, the impact from the proposed new form of the carparking area is minimal and will follow a compatible form with the garage update works proposed at 49 Pine Street.

The impact from these works on the character and significance of the Plateau conservation area will be negligible. There are no objections on heritage grounds.

With reference to the above, the scope of the proposed works will not adversely impact on the character or the significance of the Plateau conservation area. The proposal is supported on heritage grounds.

Planner's Comments:

Comments noted and accepted.

ENGINEERING

The application has been referred to Council's Development Engineers Team who provided the following comments:

The existing vehicular crossing is adequate and still in good shape and they can continue to use it. The applicant would have to keep existing boundary levels unchanged, which means that new garage floor levels must be set at the present boundary level. Council wouldn't allow any adjustments on current footpath boundary levels.

Planner's Comments:

Comments noted and accepted.

LANDSCAPING

The original application has been referred to Council's Landscape Team who provided the following comments:

Concerns are raised with regards the following:

- *bulk & scale/ visual impact from street*
- *claimed landscape compliance appears questionable/unlikely*
- *the only site tree shown within front setback (Plumeria sp. 6x5.5m) is to be removed - no replacement proposed*
- *unspecified additional tree within front setback (approximately 5x5m not shown on plans but will require removal)*
- *unassessed negative impact (extensive likely pruning) to canopy of neighbouring Michelia champaca (8x7m) in SE corner at 49 Pine Street*

An amended proposal addressing the above issues is required.

Council issued a RFI letter dated 10 May 2024 which included the above comments for consideration by the applicant. An amended proposed was submitted in response to Council's RFI which addressed the following:

- Updated site calculation plans - confirmed compliance with site coverage, landscape area, and unbuilt upon area
- Site tree within the front setback still to be removed, however partially retained through measures of 'cuttings' to be located within the front setback
- Updated arborist report – included unspecified tree for removal and required pruning

The amended application was subsequently re-referred to Council's Landscape Team who provided the following comments:

Landscape Team is not supportive of this proposal.

The arborist report is of little value other than confirming that the 2x site trees required for removal, do indeed require removal should the proposal be permitted.

The proposed planting of 3 x 3m cuttings from the existing Plumeria sp. to be removed (apparently at the suggestion of council's planners) is both problematic on a number of levels, and in no way compensates for the loss of the mature parent tree. There is insufficient space in the front setback for the planting of the 3 x cuttings as indicated (a point confirmed by the arborist). The successful removal, planting, and maintenance of such cuttings, requires horticultural knowledge and care – failure to observe such care will result in failure. Should the cuttings fail, (which can take some time), council has no recourse.

Planner's Comments:

The proposal in its current form will result in the removal the single mature frangipani tree within the front setback. The frangipani tree is located within the footprint of the proposed garage/studio structure, and regardless of whether this form was to be approved or not, the frangipani tree is located in a highly constrained location and would be subject to significant pruning and damage during constructions phases. It is unclear that if it were to be retained in its current location, whether or not it would survive.

Based on Councils Landscape Team's feedback, the ideal solution would be to transplant the tree to a new location within the front setback. Frangipani trees are suitable species for relocation and the tree is in good health, despite its low retention value. The revised location is considered to uphold Councils Landscape Team's inherent position of tree retention or like-for-like replacement.

The transplanted location of the frangipani tree within the front setback has been suitably conditioned.

EXTERNAL REFERRALS

AUSGRID

The application is integrated development and was required to be referred to Ausgrid under Chapter 2 Infrastructure of *State Environmental Planning Policy (Transport and Infrastructure) 2021*. Ausgrid provided the following comments:

The developer should refer to SafeWork NSW Document – Work Near Overhead Powerlines: Code of Practice. This document outlines the minimum separation requirements between electrical mains (overhead wires) and structures within the development site throughout the construction process. It is a statutory requirement that these distances be maintained throughout the construction phase.

Consideration should be given to the positioning and operating of cranes, scaffolding, and sufficient clearances from all types of vehicles that are expected be entering and leaving the site.

The "as constructed" minimum clearances to the mains must also be maintained. These distances are outlined in the Ausgrid Network Standard, NS220 Overhead Design Manual. This document can be sourced from Ausgrid's website at www.ausgrid.com.au.

It is the responsibility of the developer to verify and maintain minimum clearances onsite. In the event where minimum safe clearances are not able to be met due to the design of the development, the Ausgrid mains may need to be relocated in this instance. Any Ausgrid asset relocation works will be at the developer's cost.

Planner's Comments:

Comments noted and accepted. Standard conditions have been recommended.

SUBMISSIONS

Original Plans

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Bay Precinct notified between 16 February and 1 March 2024. In response to the notification Council received a total of two (2) submissions, from the same individual..

The following is a summary of issues raised in the submission:

- The property in question has already been the subject of significant development throughout 2023, which had a major impact on the pleasant enjoyment of our adjoining property throughout the year.
- The proposed development significantly exceeds the height restriction; despite the applicant's claims, it is clearly not in keeping with the locale or adjoining properties and a 4.6 exception does not apply.
- The extent of this very extensive DA 11/24 development, when combined with the 2023 development, significantly reduces the landscaped area and potentially breaches development guidelines in terms of the overall percentage of Buildings & Structures.

Amended Proposal

The applicant submitted amended plans that were renotified to adjoining properties, previous submitters and the precinct for 14 days between 14 June – 28 June 2024. Council received a further one (1) submission, from the same submitter as previous. The matters raised in submissions are listed below:

- The assessment completely fails to reference the adjoining properties at 1 East Avenue and 3 East Avenue, which are both also on the east boundary.
- The properties boundaries are very close and extremely sensitive to noise invasion. The concern is the new development will only exacerbate this type of issue and acoustic intrusion, and the overlooking rear dormer extension will significantly increase it.
- The rear development directly overlooks the rear living areas of both adjoining properties and significantly reduces visual privacy.

Planner's Comments:

The works referred to that were undertaken on the site in 2023 were conducted as exempt development, and not relevant to the subject application.

The exceedance of maximum building height is addressed further in this report, and the written variation request has been considered. The site coverage, landscaped area, and unbuilt upon areas are largely compliant with the North Sydney Development Control Plan 2013, with a minor non-compliance to site coverage (2% exceedance).

The proposal is not anticipated to create any substantial increase on the impact of acoustic or visual privacy. The proposed new rear balcony is in alignment with the neighbouring balcony at 49 Pine Street and is adequately setback from the rear and side boundary.

CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

SEPP (Biodiversity and Conservation) 2021

- **Chapter 2 – Vegetation in Non-Rural Areas**

The proposal meets the objectives of the SEPP because there would be no clearance of native vegetation, or any materials impacts on bushland in the vicinity of the subject site.

- **Chapter 10 - Sydney Harbour Catchment**

Having regard to the *SEPP (Biodiversity and Conservation) 2021* concerned with the Sydney Harbour Catchment and the Sydney Harbour Foreshores and Waterways Area DCP 2005, the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the site's location in Cammeray. As such, the development is acceptable having regard to the provisions contained within the above SEPP.

SEPP (Resilience and Hazards) 2021

- **Chapter 4 – Remediation of Land**

The provisions of SEPP (Resilience and Hazards) require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has only previously been used for residential purposes and as such is unlikely to contain any contamination; therefore, the requirements of the above SEPP have been satisfactorily addressed.

SEPP (Sustainable Buildings) 2022

The applicant has submitted a valid BASIX Certificate (A501413_03) to satisfy the requirements of the above SEPP.

NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

1. Permissibility

The subject site is Zoned R2 Low Density Residential under the provisions of the *NSLEP 2013*. The proposal involves alterations and additions to an existing dwelling which is a permissible form of development in the Zone R2 with consent from Council.

2. Objectives of the zone

The objectives of the Zone R2 are stated below:

- *To provide for the housing needs of the community within a low-density residential environment.*

- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for low density housing, including dual occupancies, if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The proposed development is characterised as local development for low density housing and will ensure that neighbouring residential is maintained to a high level without compromising the natural and heritage values of the area. As such, the proposal is aligned with the objectives of the zone.

3. Height of Building

The subject site has a maximum permitted building height of 8.5m pursuant to sub-clause 4.3(2) in *NSLEP 2013*. The existing building exceeds the building height standard, with a maximum height of 10.46m. Whilst the proposal does not change the existing maximum height of the dwelling, the removal of existing dormers and construction of new dormers that are located above the maximum building height of 8.5m and will be constructed to a maximum height of 10.08m are contained within the existing building envelope. The proposal results in an exceedance of the height standard of 1.58m which represents a 19% variation to the standard.

To justify the installation of the non-complying elements, a written request to vary the development standard made pursuant to Clause 4.6 in *NSLEP 2013* has been submitted and is assessed below.

4. Clause 4.6 - Contravention of a Development Standard

A written request to contravene the development standard for height has been submitted and has been considered below.

Clause 4.6(3)(a) Is compliance with the development standard unreasonable and unnecessary in the circumstances of the case?

The most common way to demonstrate that compliance with the development standard is unreasonable and unnecessary is to demonstrate that the objectives of the development standard are met notwithstanding the non-compliance. This is identified as test 1 in *Wehbe. Wehbe v. Pittwater Council [2007] NSWLEC 827 ("Wehbe")*.

- (1)(a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,*

The existing building is suitably sited within the gradient of the site. The proposal will continue to maintain the existing building envelope and does not negatively affect the subject building's relationship with the natural landforms of the site and overall topography of the area. The proposed dormers are not new and rather are a replacement and minor enlargement of existing the existing dormers. The proposed exceedance only relates to a small portion of the dwelling of which it's maximum height will not change.

(1)(b) to promote the retention and, if appropriate, sharing of existing views,

As the proposal is for the replacement of existing dormers that are already located above the building height standard, it is not anticipated that the works above the height standard will create any additional substantial bulk that would compromise existing neighbouring views towards to the north and north east. The subject dwelling is located substantially below street level and will not impact upon existing views or vistas from the public domain.

(1)(c) to maintain solar access to existing dwellings, public reserves, and streets, and to promote solar access for future development,

Current levels of solar access for the habitable rooms and private open areas of adjoining properties will not change as a result of the proposal given the north-oriented aspect of the subject site and adjoining properties. As a consequence, and as a result of retained side, front and rear setbacks, the primary living areas, and private open space for adjoining properties will continue to receive at minimum 3-hours sunlight access.

(1)(d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,

The proposal largely maintains existing privacy levels for adjoining properties, as the opening for the new dormer window within the roof is orientated over the rear boundary of the subject site to the north.

(1)(e) to ensure compatibility between development, particularly at zone boundaries,

The site is located within the R2 Low Density Residential zone and is entirely surrounded by other properties located in the R2 Zone. The development is consistent with the objectives of the R2 zone and surrounding development given that no excessive additional height, bulk, or scale is proposed.

(1)(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.

The proposed scale and density of the development is appropriate for the site and does not result in significant non-compliances with Council's controls. While the proposal will result in a non-compliance in building height by 1.58m, these works are located beneath the maximum ridge height of the building being 1.96m above the standard (at the ridgeline). As a consequence, the development does not create any additional height, bulk, or scale to the existing building and is compatible with that of surrounding dwellings without creating any significant environmental impacts.

(1)(g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.

On account of the slope of the subject site, the existing building is substantially lower in the streetscape. Notwithstanding this, the proposal does not affect the consistency of the existing building with this objective. The building envelope is retained as part of this application. The proposed dormers are located in replacement of existing dormers and will present in a similar form to that of the approved dormers at 49 Pine Street, being the other half of the semi-detached dwellings.

Clause 4.6(3)(b) Are there sufficient environmental planning grounds to justify the variation

The written request has provided various environmental planning grounds to justify the variation of the written request which are briefly summarised below.

- *Even though the proposal breaches the prescribed height standard the development will integrate seamlessly with the locality which is heavily dominated by multi-storey residential buildings.*
- *The residential amenity of neighbouring sites regarding solar access, visual privacy, acoustic privacy, outlook and structural integrity is protected by the proposal.*
- *A compliant proposal would unreasonably prevent the expansion of the dwelling to be able to take advantage of existing floorspace, height and the already constructed second floor.*
- *The proposal has been skilfully designed and undergone many revisions to mitigate any potential impacts on surrounding properties whilst still capturing the desired residential amenity that the site is entitled to.*

The 8.5m height limit for this site is variable in level given the existing natural fall and topography of the site. As a result, the non-compliance with the height limit only relates to the proposed dormers do not comprise the entirety of the proposed works, which do not in any case result in significant additional bulk or height to the existing building.

Furthermore, on assessment of the view impacts, bulk and scale, and privacy impacts, the development is considered to be acceptable and generally compliant with Council's other controls in Part B of NSDCP 2013 and will not result in any other significant adverse impact upon the amenity of adjoining properties or the character of the adjoining area. The proposal is therefore considered to be acceptable on merit within the site circumstances, with no significant adverse impacts to the amenity and privacy of neighbouring properties and is considered a reasonable improvement to the existing building.

Clause 4.6(4)(a)(i) Applicant's written request

The written request provided by the applicant adequately addresses the matters required by subclause (3) as discussed above.

5. Heritage Conservation

Given the site's location adjacent to Plateau Heritage Conservation Area, Council's Heritage Officer considered the application and raised no objections to the proposed alterations and additions.

The impact from the proposed dormers mirrors the approved roof additions approved for 49 Pine Street (DA235/2020) which retains the symmetry of the pair. Similarly, the impact from the proposed new form of the carparking area is minimal and will follow a compatible form with the approved garage works at 49 Pine Street.

The impact from these works on the character and significance of the Plateau conservation area will be negligible and will continue to maintain the heritage significance of the adjoining conservation area.

6. Earthworks

The majority of the proposed works to the dwelling are contained within the existing building footprint and would not alter the developments overall relationship with the topography of the site. The majority of earthworks on site will facilitate the new studio/rumpus and ensuite bathroom beneath the garage of up to 355mm in depth. While these works may involve minor demolition works of a sandstone rock outcrop, this outcrop is not visible due to the existing concrete carport above and is located within an existing storage area, which obscures it from the street level. Any potential works are not considered to have a significant impact upon the topography and natural fall of the site.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
1.2 Social Amenity		
Population Mix	YES	The proposed works will not alter the existing function of the dwelling. However, a condition should be imposed to ensure the studio is used in conjunction with the dwelling and is not sub-let.
Maintaining Residential Accommodation		
1.3 Environmental Criteria		
Topography	YES	<p>A majority of the works to the primary dwelling are internalised, with the exception of the new dormers, rear northern balcony, and garage and studio structure. Both the proposed balcony and dormers are to be constructed in replacement of the existing balcony and dormers and will generally maintain a similar built form across the site which will not alter the topography of the site.</p> <p>The majority of earthworks on site will occur to accommodate the new studio beneath the garage of up to 355mm in depth. These works involve the partial demolition of the sandstone rock outcrop, this outcrop is not visible due to the existing concrete carport above, which obscures it from the street level. Its removal is not considered to have a significant impact upon the topography and natural fall of the site.</p>
Bushland	YES	The site does not adjoin bushland but is located within the Bushland Buffer Zone A (100m). No bushland areas will be affected by the proposed works, and the landscaped context of the site will be enhanced through the conditioned additional landscaping within the front setback.
Views	YES	No views or vistas are being impacted by the proposal as the new works are of a reasonable scale and location.
Solar Access	YES	<p>Minor impacts are created to neighbouring properties to the east and west as a result of the new dormers and rear balcony, however these impacts are very minor, and are largely located away from neighbouring habitable rooms and private open spaces.</p> <p>Neighbouring properties continue to maintain a minimum of 3 hours solar access during the winter solstice.</p>

Acoustic and Visual Privacy	YES	<p>The proposal largely maintains existing privacy levels for adjoining properties, as the majority of primary openings (including the new dormer window within the roof) and rear balcony are orientated over the rear boundary of the subject site to the north. There would be no excessive or additional loss of privacy for both 1 and 3 East Avenue as the proposed balcony is constructed in replacement of an existing balcony. The proposed balcony will have a privacy screen along the western side towards 49 Pine Street to ensure privacy is maintained.</p> <p>The new studio openings underneath the garage will only overlook the existing southern elevation of the dwelling and will not result in any privacy impacts.</p> <p>There would be no excessive or additional loss of privacy for 49 Pine Street to the west as the proposed alterations and additions to the primary dwelling are largely internal.</p>
1.4 Quality built form		
Context	YES	<p>The semi-detached dwelling will be more visually prominent from Pine Street through the addition of the garage structure which is relatively low in scale and will be composed of high-quality materials and additional landscaping, that will ensure that the visual impact of the structure is minimised within the streetscape.</p> <p>While the garage will be within the front setback, this maintains the existing parking arrangement for the subject site, and is a direct match to the neighbouring approved garage structure at 49 Pine Street. The garage is consistent with the garages and carports within the front setbacks of numerous other properties along the northern side of Pine Street.</p> <p>The slope of the land is also largely maintained by the proposal with the only change being very minor excavation underneath the garage to create a studio room. This is acceptable as the excavation will not have a significant impact upon the site topography, or the natural perspective and sloop of the site as visible from Pine Street.</p>
Streetscape	YES	No footpaths, kerb, guttering or street trees will be impacted by these works.
Siting	YES	A majority of the proposed works are located within the existing footprint of the dwelling and will not affect the siting of the building. The alignment of the existing carport will be maintained by the garage facing Pine Street.
Side setback	YES	<p>The side setbacks of the primary dwelling are not proposed to change as part of this application.</p> <p>The location of the new garage aligns with the location of the existing carport and hardstand area. The new studio is located behind and below the garage, having no impact on the amenity of neighbouring properties at 53 Pine Street or 1 East Avenue, nor on the street. Further, the recent approval, DA235/20, at 49 Pine Street includes a studio approved with a nil side setback to its western side boundary. The proposal will therefore be consistent with the siting and scale of the approved garage and studio structure at 49 Pine Street.</p> <p>The front setback of the dwelling is not being altered by the proposed works and will be maintained as existing.</p>

<p>Front setback</p> <p>Rear setback</p>		<p>The existing rear setback is to minorly decrease as a result of the increased balcony depth; however, the rear alignment of the dwelling is to remain as existing. The proposed rear balcony is to align with the approved rear balcony at 49 Pine Street, with both structures providing adequate privacy screening.</p> <p>It should also be noted that for properties along this section of Pine Street, there is no consistency in rear building lines. As a result, the proposed works are consistent with adjoining properties within the meaning of Provision P5 of NSDCP 2013 and are considered to be acceptable in the site circumstances.</p>
<p>Form Massing Scale</p>	<p>YES</p>	<p>The proposed works are mostly consistent with the built form, massing, and scale within the area, and will not significantly alter the current footprint and scale of the dwelling. The new balcony and dormer windows will not be highly visible from the streetscape. And directly align with the approved forms at 49 Pine Street.</p> <p>While the garage will add significant bulk and scale to the streetscape elevation of the subject site, the structure has been carefully designed to match the approved garage at 49 Pine Street such that both sides of the semi-detached pair will present in near identical scales within the streetscape. The garage is also appropriately stepped along the street following the natural topography of the area.</p> <p>As a result, the new garage and studio will be consistent within the immediate context.</p>
<p>Built Form Character</p>	<p>YES</p>	<p>The proposed works to the Pine Street frontage elevation maintain the existing appearance of the dwelling and are consistent with the semi-detached dwelling at 49 Pine Street.</p> <p>The garage facing Pine Street has also been sensitively designed to minimise its visual impact within the locality and present in a similar manner to that of the approved garage at 49 Pine Street. The public domain views to Middle Harbour to the north-east will also be maintained and the garage will have no impact to this view.</p>
<p>Dwelling Entry</p>	<p>N/A</p>	<p>The dwelling entry on Pine Street will not be altered by the proposed works. The new fence adjacent to the garage will reinforce the strong sense of address provided by the existing dwelling entrance.</p>
<p>Roofs</p>	<p>YES</p>	<p>The roof form of the existing dwelling will be maintained. While the roof form of the rear balcony and attic level dormers window will have flat roofs. These will not be highly visible from the street and will not detract from the hipped roof shared between 49 and the subject site. Further, the approved dormers at 49 Pine Street are mirrored by the proposed dormers creating a uniform design.</p> <p>The garage on Pine Street will have a flat roof and will include raised solar panels. In the absence of a specified characteristic roof form within the Cammeray Neighbourhood, this roof is considered to be acceptable within the site circumstances and is consistent with other garages within the front setback on Pine Street.</p> <p>However, the raised mounted solar panels on the garage roof are not supported as these create additional and unnecessary bulk and height at the street elevation. It will be conditioned as such that these solar panels either be mounted flat and flush with the roof or be removed.</p>

Dormers	YES	<p>The proposed dormer will replace the two existing dormers on the eastern and north roof planes of the dwelling. The dormer will be clad in materials and colours to match the existing roof and will not create any excessive bulk and scale and will not dominate the existing roof of the dwelling. The height of the dormers will be less than the existing and its submissive size and scale mean that it will be a sympathetic addition to the existing dwelling and locality.</p> <p>The dormers are located above the building height standard, however, are considered appropriate in the context of the site as discussed previously.</p>
Materials	YES	<p>The proposed dormers will be clad in materials and colours to match the existing roof.</p> <p>The dark wood clad proposed for the garage structure at streetscape is not supported and as such will be conditioned to reflect a similar presentation to the approved garage at 49 Pine Street, which incorporates a sandstone clad design that integrates into the streetscape appearance.</p> <p>The primary dwelling will maintain its existing external appearance and materiality. The rear balcony will be constructed of a glass and metal balustrades, however, will not be visible from the streetscape and is therefore acceptable in this instance. No objection has been raised regarding the rear balcony materiality by Council's Heritage Officer.</p>
1.5 Quality Urban Environment		
Vehicle Access and Parking	YES	<p>The proposed garage will replace the existing raised concrete car space and metal carport currently on site. This garage is sensitively designed to ensure that its visual impact is minimised and integrated in a similar scale to the approved garage at 49 Pine Street.</p> <p>While the garage will be within the front setback, this maintains the existing parking arrangement for the subject site, and is consistent with the garages and carports within the front setbacks of numerous other properties along the northern side of Pine Street, such as at 11, 15, 17, 19, 21, 23, 27, 31, 35, 45, 49, 55 and 57 Pine Street.</p>
Site Coverage	NO (acceptable on merit)	<p>The site has an area of 250m², and is required to adhere to a site coverage of 50% of the total site area, or 125m².</p> <p>As existing, the site coverage is 105.3m² which represents 42% of site coverage. It is proposed to increase this to 129.5m², an exceedance of the control by 4.5m². As a result, the proposal is 2% non-compliant with respect to site coverage.</p> <p>The degree of exceedance is negligible and the site remains balanced and in keeping with the optimum capacity of the site with no over development. Despite the exceedance of site coverage, the site remains compliant with landscape area as discussed below.</p>

<p>Landscape Area</p>	<p>YES</p>	<table border="1" data-bbox="785 250 1391 586"> <thead> <tr> <th>Control</th> <th>Existing</th> <th>Proposed</th> <th>Compliance</th> </tr> </thead> <tbody> <tr> <td>Site coverage (50%)</td> <td>105.3m² (42%)</td> <td>129.5m² (52%)</td> <td>2% exceedance</td> </tr> <tr> <td>Landscaped area (30%)</td> <td>72.6m² (29%)</td> <td>76.4m² (30%)</td> <td>Complies</td> </tr> <tr> <td>Unbuilt-upon area (20%)</td> <td>72.1m² (28%)</td> <td>44.1m² (18%)</td> <td>Complies</td> </tr> </tbody> </table> <p>The proposal increases the landscape area of the site, although only minorly (by approximately 1% or 4m²) and is compliant with respect to the control.</p> <p>The existing unbuilt-upon area has an exceedance of 8% or 22.1m². However, as a result of the proposed garage and studio, 28m² (approximately 10%) of unbuilt upon area has been repurposed for landscape area and site coverage, which results in a better site balance, appropriately controls site density, and continues to provide useable landscape areas to the benefit of site amenity and streetscape character.</p>	Control	Existing	Proposed	Compliance	Site coverage (50%)	105.3m ² (42%)	129.5m ² (52%)	2% exceedance	Landscaped area (30%)	72.6m ² (29%)	76.4m ² (30%)	Complies	Unbuilt-upon area (20%)	72.1m ² (28%)	44.1m ² (18%)	Complies
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<p>Landscaping and Front Gardens</p>	<p>YES</p>	<p>No bushland areas will be affected by the proposed works, and the landscaped context of the site will be enhanced through a new planting scheme, and relocation of existing frangipani tree within the front setback.</p> <p>The proposal originally included provisions to remove two trees within the front setback which are located within the footprint of the garage and studio structure. No objection is raised to the removal of T2 which has low retention value and is not significant within the landscape context of the site.</p> <p>As noted previously, the removal of the substantial frangipani tree (T1) located adjacent the current carport, and the front stairs is not supported by Council's Landscape Officer. It is proposed to condition the relocation of T1 to an alternate location within the front setback such that it is not impacted by the construction of the new garage and studio structure.</p> <p>The front setback will continue to complement the existing landscape character of the area.</p>																
<p>1.6 Efficient Use of Resources</p>																		
<p>Energy Efficiency</p>	<p>YES</p>	<p>The applicant has submitted a valid BASIX Certificate (A501413_03) to satisfy the requirements of the Sustainable Buildings SEPP.</p>																

Cammeray Planning Area (Cammeray Neighbourhood)

Consideration has been given to the Character Statement for the Cammeray Planning Area in Part C of NSDCP 2013, particularly Section 4.2 (Cammeray Neighbourhood) where this site is located. The proposal is acceptable as the proposed works are sympathetic in form, massing and scale and built form character of the existing building on site and as visible from the street. The proposed garage will have no impact upon public domain views to Middle Harbour to the north east from Pine Street and will not impact upon view sharing for adjoining properties. The development is compatible with existing development in the neighbourhood, and therefore conforms to the relevant provisions in Part B in NSDCP 2013.

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to payment of contributions towards the provision of local infrastructure. The contributions payable has been calculated in accordance with Council's Contributions Plan as follows:

Contribution amounts payable

Applicable contribution type		
s7.12 contribution details	Development cost:	\$375,386
<i>(payment amount subject to indexing at time of payment)</i>	Contribution:	\$3,753

Conditions requiring the payment of contributions at the appropriate time are included in the attached conditions.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL

CONSIDERED

1.	Statutory Controls	Yes
2.	Policy Controls	Yes
3.	Design in relation to existing building and natural environment	Yes
4.	Landscaping/Open Space Provision	Yes
5.	Traffic generation and Carparking provision	Yes
6.	Loading and Servicing facilities	N/A
7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	N/A
9.	All relevant S4.15 considerations of <i>Environmental Planning and Assessment (Amendment) Act 1979</i>	Yes

SUBMITTERS CONCERNS

The application has been notified in accordance with Council's Community Consultation Plan with adjoining properties and the Bay Precinct notified between 16 February and 1 March 2024. In response to the notification Council received a total of two (2) submissions, however these were from one submitter. Both submissions were received from the same addressed.

The applicant submitted amended plans that were renotified to adjoining properties, previous submitters and the precinct for 14 days between 14 June – 28 June 2024. Council received a further one (1) submission being from the same submitter as previous.

Height and Scale

- *The proposed development significantly exceeds the height restriction; it is clearly not in keeping with the locale or adjoining properties and a 4.6 exception does not apply*
- *the extent of this very extensive DA 11/24 development, and significantly reduces the landscaped area and potentially breaches development guidelines in terms of the overall percentage of buildings & structures*

Privacy

- *The properties boundaries are very close and extremely sensitive to noise invasion*
- *The rear development directly overlooks the rear living areas of both adjoining properties and significantly reduces visual privacy*

The exceedance of maximum building height is addressed previously in this report, and is considered acceptable in this circumstance. The landscaped and unbuilt upon areas are compliant with the North Sydney Development Control Plan 2013, with a minor non-compliance to site coverage (2% exceedance), however this is a negligible variation.

The proposal is not anticipated to create any substantial increase on the impact of acoustic or visual privacy. The proposed new rear balcony is in alignment with the neighbouring balcony at 49 Pine Street and is adequately setback from the rear and side boundary.

PUBLIC INTEREST

The proposal would not result in any unreasonable impacts to the streetscape, Cammeray Neighbourhood area, and the heritage conservation area along the opposing side of Pine Street. The proposal maintains the existing low-density character of the locality by restricting the majority of the works internally to the primary dwelling. The construction of the garage and studio structure is appropriate considering the context of Pine Street and the adjoining approved garage and studio at 49 Pine Street. However, a condition should be imposed to ensure the studio is used in conjunction with the dwelling and is not sub-let. The proposal is acceptable in its impacts to neighbouring properties and therefore, would not be contrary to the public interest.

SUITABILITY OF THE SITE

The proposal involves residential development in a residential zone. The proposed works are wholly contained within the rear of the site and will not be readily visible from the public domain. The proposal does not pose any significant impacts to neighbouring dwellings and the streetscape. The proposal is considered to be suitable for the subject site.

HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?

The subject application was notified to adjoining properties and the Bays Precinct for 14 days where the issue of non-compliances and privacy were raised. The concerns in this regard have been addressed in this report and the appropriate conditions of consent have been recommended to maintain the amenity of adjoining properties.

CONCLUSION

The development application has been assessed against the relevant planning instruments and policies, in particular the *North Sydney Local Environmental Plan 2013* and the North Sydney Development Control Plan 2013, and generally found to be satisfactory.

The proposal maintains the existing low-density character of the site, with works largely conducted internally, and remains sympathetic to the context of the locality and in aligning the proposed garage and studio with a number of garages located along this section of Pine Street and to the neighbouring approved structure at 49 Pine Street.

Two (2) submissions were received (from the same submitter and address) raising concerns regarding proposed non-compliances with building height and site calculations, as well as maintaining existing acoustic and visual privacy. Both issues were considered as part of this report and the proposed development has been found to be satisfactory in this instance.

Having regard to the merits of the proposal, the application is recommended for approval subject to appropriate standard and site-specific conditions for the reasons provided below.

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF *ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979* (AS AMENDED)

THAT the North Sydney Local Planning Panel exercising the functions of Council assume the concurrence of the Secretary of The Department of Planning, Housing and Infrastructure and invoke the provisions of Clause 4.6 in *NSLEP 2013* with regards to the non-compliance with Clause 4.3 – maximum building height and grant consent to Development Application No. 11/2024 for alterations and additions to the existing semi-detached dwelling on land at 51 Pine Street, Cammeray subject to the following site specific and standard conditions:

Garage Structure Solar Panels

C19. The installation of proposed roof top solar panels at the street front garage structure are to mounted flat and flush with the roof line to avoid creating additional bulk along the Pine Street frontage.

(Reason: To ensure that the approved garage is compatible with the scale of surrounding development)

Garage Driveway Levels

C20. The new garage floor level is to be maintained at the existing RL and aligned to the present boundary level. Council will not allow any adjustments to the current footpath boundary levels as detailed in Condition C9.

Plans and specifications which document the proposed garage levels which comply with the requirements of this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

(Reason: To ensure that the interface between the property and public land remain consistent and uniform)

Use of Studio

12. The approved studio structure is to be used in conjunction to the primary dwelling. Nothing in this consent authorises the use of the studio premises other than as part of the primary dwelling's residence. The sub-letting of the studio premises is not permitted.

(Reason: To ensure that site density remains consistent with the locality)

JACK VARKA
ASSESSMENT OFFICER

ISOBELLA LUCIC
TEAM LEADER ASSESSMENTS

STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES

NORTH SYDNEY COUNCIL
CONDITIONS OF DEVELOPMENT APPROVAL
51 PINE STREET, CAMMERAY
DEVELOPMENT APPLICATION NO. 11/24

A. Conditions that Identify Approved Plans

Development in Accordance with Plans/Documentation

- A1. The development must be carried out in accordance with the following drawings endorsed with Council's approval stamp and other documentation listed in the table to this clause, or cited by other conditions, and as amended by other conditions of this consent.

Plan No.	Rev	Description	Prepared by	Dated
DA103	DA-RFI	Site Plan	Andy's Home Design	31/05/2024
DA105	DA-RFI	Landscape Plan	Andy's Home Design	31/05/2024
DA106	DA-RFI	Excavation & Fill Plan	Andy's Home Design	31/05/2024
DA201	DA-RFI	Demolition Lower Ground Floor	Andy's Home Design	31/05/2024
DA202	DA-RFI	Demolition Ground Floor	Andy's Home Design	31/05/2024
DA203	DA-RFI	Demolition First Floor	Andy's Home Design	31/05/2024
DA204	DA-RFI	Demolition Roof	Andy's Home Design	31/05/2024
DA301	DA-RFI	Lower Ground Floor Plan	Andy's Home Design	31/05/2024
DA302	DA-RFI	Ground Floor Plan	Andy's Home Design	31/05/2024
DA303	DA-RFI	First Floor Plan	Andy's Home Design	31/05/2024
DA304	DA-RFI	Roof Plan	Andy's Home Design	31/05/2024
DA400	DA-RFI	Sections 1	Andy's Home Design	31/05/2024
DA401	DA-RFI	Sections 2	Andy's Home Design	31/05/2024
DA500	DA-RFI	North Elevation – Dwelling	Andy's Home Design	31/05/2024
DA501	DA-RFI	North Elevation – Studio	Andy's Home Design	31/05/2024
DA502	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA503	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA504	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA505	DA-RFI	East Elevations	Andy's Home Design	31/05/2024
DA506	DA-RFI	South Elevation – Dwelling	Andy's Home Design	31/05/2024
DA507	DA-RFI	South Elevation - Garage	Andy's Home Design	31/05/2024
DA508	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA509	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA510	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA511	DA-RFI	West Elevation	Andy's Home Design	31/05/2024
DA611	DA-RFI	Materials Section	Andy's Home Design	31/05/2024

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

Plans on Site

- A2. A copy of all plans endorsed with Council's approval stamp, specifications and documents (including the plans, specifications and documents submitted and approved with the Construction Certificate) must be kept on site at all times so as to be readily available for perusal by any officer of Council or the Principal Certifier.

All documents kept on site in accordance with this condition must be provided to any officer of the Council or the Principal Certifier upon their request.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information and to ensure ongoing compliance)

C. *Prior to the Issue of a Construction Certificate (and ongoing, where indicated)***Dilapidation Survey Private Property (Neighbouring Buildings)**

- C1. A photographic survey and dilapidation report of adjoining property No. 49 Pine Street, Cammeray detailing the physical condition of the property, both internally and externally, including, but not limited to, such items as walls, ceilings, roof, structural members and other similar items, MUST BE submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The survey and report are to be prepared by an appropriately qualified person and a copy to be given to the owner of the adjoining property. A copy of the report is to be provided to Council, if Council is not the Principal Certifier, prior to the issue of any Construction Certificate.

All costs incurred in achieving compliance with this condition shall be borne by the person entitled to act on this Consent.

In the event that access for undertaking the photographic survey and dilapidation report is denied by an adjoining owner, the applicant MUST DEMONSTRATE, in writing, to the satisfaction of Council that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written concurrence must be obtained from Council in such circumstances.

Note: This documentation is for record keeping purposes only and may be used by an applicant or affected property owner to assist in any action required to resolve any dispute over damage to adjoining properties arising from the works. It is in the applicant's and adjoining owner's interest for it to be as full and detailed as possible.

(Reason: Proper management of records)

Structural Adequacy (Semi-detached and Terrace Buildings)

- C2. A report from an appropriately qualified and practising structural engineer, certifying the structural adequacy of the adjoining property No. 49 Pine Street, Cammeray which certifies the ability to withstand the proposed works and outlines any measures required to be implemented to ensure that no damage will occur to adjoining premises during the course of the works, must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The measures outlined in the certified report must be complied with at all times.

Under no circumstances shall the party or common wall be extended or altered without the prior written consent of the adjoining owner. Any such extension of the party wall shall be noted on title by way of appropriate easement or Section 88B instrument.

(Reason: To ensure the protection and structural integrity of adjoining properties, and that common law property rights are recognised)

Structural Adequacy of Existing Building

- C3. A report prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction shall be submitted to the Principal Certifier for approval prior to issue of any Construction Certificate. The certified report must also include all details of the methodology to be employed in construction phases to achieve the above requirements. The methodology in the certified report must be complied with at all times.

(Reason: To ensure the structural integrity of the building is maintained)

Skylight(s)

- C4. Skylight flashing(s) and frame(s) to be coloured to match the roof material. Skylight(s) to sit no higher than 100mm above roof plane when in a closed position. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The Principal Certifier must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition.

(Reason: To minimise the visual impact of the skylight(s) on the roof plane)

External Colours and Finishes

- C5. The external colours and finishes shall match those as existing and be compatible with surrounding development. A revised schedule of external colours and finishes must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate which details the following amendments:

- Elevations of the garage structure visible to Pine Street and/or the public domain is to be clad in sandstone

The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure that the completed colours and finishes of the works are compatible with surrounding development)

Reflectivity Index of Glazing

- C6. The glazing for windows, walls or roof finishes of the approved development must be factory pre-finished with low glare and reflectivity properties. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Note: The reflectivity index of glazing elements can be obtained from glazing manufacturers. Glass with mirrored or reflective foil finishes is unlikely to achieve compliance with this requirement.

(Reason: To ensure that excessive glare or reflectivity nuisance from glazing does not occur as a result of the development)

Roofing Materials - Reflectivity

- C7. Roofing materials must be factory pre-finished with low glare and reflectivity properties to be compatible with the colours of neighbouring buildings. The selected roofing material must not cause a glare nuisance or excessive reflectivity to adjoining or nearby properties. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure that excessive glare or reflectivity nuisance from roofing materials does not occur as a result of the development)

Work Zone

- C8. If a Work Zone is required a Work Zone permit is to be obtained from Council prior to the issue of any Construction Certificate.

Note: For major development an application for work zone permit must be considered by the North Sydney Local Traffic Committee.

Work Zones are provided specifically for the set down and pick up of materials and not for the parking of private vehicles associated with the site. Works Zones will generally not be approved where there is sufficient space on-site for the setting down and picking up of goods being taken to or from a construction site. If the Works Zone is approved by the Committee, the Applicant must obtain a written copy of the related resolution from the North Sydney Local Traffic Committee and submit a copy of this to the Principal Certifier to enable issue of the Construction Certificate.

Where approval of the 'Work Zone' is given by the Committee, the requirements of the Committee, including installation of the necessary 'Work Zone' signage and payment of any fees, must occur prior to commencement of any works on the site. Further, at the expiration of the Work Zone approval, the developer is required to remove the Work Zone signs and reinstate any previous signs, all at the developer's cost. The requirements imposed by the Committee on the Work Zone permit (or permits) must be complied with at all times.

(Reason: Amenity and convenience during construction)

Maintain Property Boundary Alignment Levels

- C9. Except where otherwise approved by Council, the property boundary alignment levels must match the levels which existed prior to the commencement of works. Plans and specifications which document existing and proposed levels adjacent to the site boundaries and which comply with the requirements of this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure interface between property and public land remains uniform)

Bond for Damage and Completion of Infrastructure Works - Stormwater, Kerb and Gutter, Footpaths, Vehicular Crossing and Road Pavement

- C10. Prior to the issue of any Construction Certificate, security deposit or bank guarantee must be provided to Council to the sum of \$3,000 to be held by Council for the payment of cost for any/all of the following:
- a) making good any damage caused to any property of the Council as a consequence of the doing of anything to which this consent relates,
 - b) completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and environmental controls) required in connection with this consent
 - c) remedying any defects in any such public work that arise within 6 months after the work is completed.

- d) Council reserves the right to retain all bonds on infrastructure works relating to the completion of required Infrastructure work for a 12-month defect liability period. Council may elect to provide a lesser period for minor residential work.

The security required by this condition and in the schedule contained later in these conditions must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

The security will be refundable following the expiration of six months from the issue of any final Occupation Certificate or completion of public work required to be completed (whichever is the latest) but only upon inspection and release by Council's Development Engineers or Manager of Development Services.

Council shall have full authority to make use of the bond for such restoration works as deemed necessary by Council in circumstances including the following:

- where the damage constitutes a hazard in which case Council may make use of the security immediately;
- the applicant has not repaired or commenced repairing damage within 48 hours of the issue by Council in writing of instructions to undertake such repairs or works;
- works in the public road associated with the development are to an unacceptable quality; and
- the Principal Certifier must ensure that security is provided to North Sydney Council prior to issue of any Construction Certificate.

(Reason: To ensure appropriate security for works on public land and an appropriate quality for new public infrastructure)

Tree Protection Measures to be shown on Construction Drawings

- C11. The tree protection measures contained in the arborist report prepared by Sydney Arborist dated 29/5/24, and TPMP for *Plumeria sp.* Relocation, as conditioned herein, shall be shown clearly on the Construction Certificate drawings. Plans and specifications showing the said tree protection measures must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure the construction plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure that appropriate tree protection measures are shown on construction drawings)

**51 PINE STREET, CAMMERAY
DEVELOPMENT APPLICATION NO. 11/24**

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Protection of Trees

- C12. The following tree(s) are required to be protected and retained as part of the development consent in accordance with AS 4970-2009 - Protection of trees on development sites:

Tree	Location	Height
<i>Plumeria sp.</i>	front setback of 51 Pine Street	6x5.5m
<i>Michelia champaca</i>	eastern boundary-front setback 49 Pine Street	8x7m
<i>Existing vegetation</i>	Rear setback of 51 Pine Street	var

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

Approval for Removal of Trees

- C13. The following tree(s) are approved for removal in accordance with the development consent:

Trees that are acceptable to remove	Location	Height
<i>Nyssa sylvatica</i>	front setback of 51 Pine Street	5x5m

Removal of any other tree on the site is not approved, excluding species exempt under Council's Tree Preservation Order.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

Pruning of Trees

- C14. All pruning works shall to the following tree(s) shall be undertaken under the guidance of an appropriately qualified arborist/tree surgeon in accordance with Australian Standard AS 4373-2007 - Pruning of Amenity Trees:

Trees that may Require Pruning	Location	Height
<i>Michelia champaca</i>	eastern boundary-front setback 49 Pine Street	8x7m

Canopy pruning shall be strictly limited to the minor branches within the red ellipse detailed on p.16 of the arborist report prepared by Sydney Arborist dated 29/5/24.

A report detailing the measures to be employed during construction shall be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate.

All measures required by the said report must be complied with at all times in the carrying out of the development.

(Reason: To ensure the protection and longevity of existing significant trees)

Section 7.12 Development Contributions

- C15. A monetary contribution pursuant to the provisions of Section 7.12 of *the Environmental Planning and Assessment Act 1979* is to be paid to Council, in accordance with the North Sydney Council's Contribution Plan, to provide for local infrastructure improvements.

Based on the cost of development at the date of determination, the total contribution payable to Council is \$3,753.00.

Indexation

The monetary contribution required under this consent will be indexed between the date of the grant of the consent and the date on which the contribution is paid the time of payment in accordance with quarterly movements in the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Bureau of Statistics.

Timing of Payment

The contribution must be paid to Council prior to issue of any Construction Certificate for any work approved by this consent.

A copy of the North Sydney Contribution Plan can be viewed at North Sydney Council's Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council's website at www.northsydney.nsw.gov.au.

(Reason: to provide for local infrastructure identified in the North Sydney Council Local Contributions Plan 2020)

Security Deposit/Guarantee Schedule

- C16. All fees and security deposits/ guarantees in accordance with the schedule below must be provided to Council prior to the issue of any Construction Certificate:

Security Deposit/Guarantee	Amount (\$)
Stormwater, Kerb/Gutter, Footpaths, Vehicular Crossing and Road Pavement	\$3,000.00
TOTAL BONDS	\$3,000.00

**51 PINE STREET, CAMMERAY
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Note: The following fees applicable

Fees	
Section 7.12 Development Contributions:	\$3,753.00
TOTAL FEES	\$3,753.00

(Reason: Compliance with the development consent)

BASIX Certificate

C17. Under clause 75 of the Environmental Planning and Assessment Regulation 2021, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. A501413_03 for the development are fulfilled. Plans and specifications complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

Amendments to the Landscape Plan

C18. The landscape plan must be amended as follows to provide an appropriate landscaped setting:

- The existing *Plumeria sp.* shall be transplanted in a central location within the turfed area of the front setback.
- The relocated *Plumeria sp.* shall be maintained for a 12-month period, by a qualified horticulturalist experienced in carrying out such transplanting. A TPMP prepared by a qualified horticulturalist detailing the removal, planting and maintenance of the tree shall be provided to council's LDO prior to CC.
- An additional 1 x *Elaeocarpus eumundii* (75L) shall be planted in the rear setback of 51 Pine Street.
- The *Backhousia citriodora* shown to be planted within the front setback of 51 Pine Street shall be 75L (minimum) pot size.
- Canopy pruning to the *Michelia champaca* located on the eastern boundary of the front setback of 49 Pine Street shall be strictly limited to the minor branches within the red ellipse detailed on p.16 of the arborist report prepared by Sydney Arborist dated 29/5/24.

An amended landscape plan complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the amended landscape plan and other plans and specifications submitted fully satisfy the requirements of this condition.

(Reason: To ensure residential amenity)

Garage Structure Solar Panels

- C19. The installation of proposed roof top solar panels at the street front garage structure are to mounted flat and flush with the roof line to avoid creating additional bulk along the Pine Street frontage.

(Reason: To ensure that the approved garage is compatible with the scale of surrounding development)

Garage Driveway Levels

- C20. The new garage floor level is to be maintained at the existing RL and aligned to the present boundary level. Council will not allow any adjustments to the current footpath boundary levels as detailed in Condition C9.

Plans and specifications which document the proposed garage levels which comply with the requirements of this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

(Reason: To ensure that the interface between the property and public land remain consistent and uniform)

D. Prior to the Commencement of any Works (and continuing where indicated)**Protection of Trees**

- D1. All trees that are specifically nominated to be retained by notation on plans or by condition as a requirement of this consent must be maintained and protected during demolition, excavation and construction on the site in accordance with AS4970-2009 (Protection of trees on development sites). A report containing recommendations, and methods of tree protection prepared by an appropriately qualified person must be provided to the Certifying Authority for approval by an appropriately qualified person prior to commencement of any works on the site. Any recommendations must be undertaken for the duration of works on the site

Sensitive construction techniques including hand excavation, pier & beam construction & flexible location of piers/footings shall be used within the TPZ of any protected tree. No roots greater than 40mm shall be cut. No stormwater or any other underground services shall be directed through the TPZ of any protected tree.

(Reason: To ensure compliance with the requirement to retain significant planting on the site)

Temporary Fences and Tree Protection

- D2. All protected trees that are specifically nominated as per condition C46 to be retained by notation on plans or by condition as a requirement of this consent must be tagged with luminous tape or the like for purposes of identification prior to demolition, excavation or construction works and must remain so for the duration of works on the site. No materials or builder's waste are to be stored in the vicinity of the nominated tree/trees at any time.

Appropriate fencing or barricades in accordance with AS4970-2009 (Protection of trees on development sites), not less than the distance shown in the schedule hereunder, must be installed to the satisfaction of the Certifying Authority prior to demolition or commencement of any works and must be maintained for the duration of the works: -

(Reason: To protect the trees to be retained on the site during construction works)

Commencement of Works' Notice

- D3. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence building work, demolition or excavation in accordance with this development consent.

(Reason: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

E. During Demolition and Building Work

Reuse of Sandstone

- E1. Sandstone blocks (if any) removed from the site are to be either stored for re-use on site or offered to Council in the first instance.

Note: The provisions of the Heritage Act may also apply to altering any sandstone elements on any site.

(Reason: To allow for preservation of cultural resources within the North Sydney Council area)

Parking Restrictions

- E2. Existing public parking provisions in the vicinity of the site must be maintained at all times during works. The placement of any barriers, traffic cones, obstructions or other device in the road shoulder or kerbside lane is prohibited without the prior written consent of Council. Changes to existing public parking facilities/restrictions must be approved by the North Sydney Local Traffic Committee. The Developer will be held responsible for any breaches of this condition and will incur any fines associated with enforcement by Council regulatory officers.

(Reason: To ensure that existing kerbside parking provisions are not compromised during works)

Road Reserve Safety

- E3. All public footways and roadways fronting and adjacent to the site must be maintained in a safe condition at all times during the course of the development works, with no obstructions caused to the said footways and roadways. Construction materials and plant must not be stored in the road reserve without approval of Council. A safe pedestrian circulation route and a pavement/route free of trip hazards must be maintained at all times on or adjacent to any public access ways fronting the construction site.

Where public infrastructure is damaged, repair works must be carried out in when and as directed by Council officers (at full Developer cost). Where pedestrian circulation is diverted on to the roadway or verge areas, clear directional signage and protective barricades must be installed in accordance with AS1742-3 (1996) "Traffic Control Devices for Work on Roads." **If pedestrian circulation is not satisfactorily maintained across the site frontage, and action is not taken promptly to rectify the defects, Council may undertake proceedings to stop work.**

(Reason: Public Safety)

Developer's Cost of Work on Council Property

- E4. The Developer or the person, company or other entity that is acting upon this consent, must bear the cost of all works associated with the development that occurs on Council's property, including the restoration of damaged areas.

(Reason: To ensure the proper management of public land and funds)

No Removal of Trees on Public Property

- E5. No trees on public property (footpaths, roads, reserves, etc.) unless specifically approved by this consent shall be removed or damaged during construction including for the erection of any fences, hoardings or other temporary works.

(Reason: Protection of existing environmental infrastructure and community assets)

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Protection of Trees

- E6. All trees required to be retained, as part of this consent must be protected from any damage during construction works in accordance with AS4970-2009. All recommendations contained within the tree report prepared by Sydney Arborist dated 29/5/24, and TPMP for the transplanted Plumeria as conditioned herein must be implemented for the duration of the works.

In the event that any tree required to be retained is damaged during works on the site, notice of the damage must be given to Council forthwith.

Notes:

- 1) If the nominated tree is damaged to a significant degree or removed from the site without prior written approval being obtained from Council, the issuing of fines or legal proceedings may be commenced for failure to comply with the conditions of this consent.
- 2) An application to modify this consent pursuant to Section 96 of the *Environmental Planning and Assessment Act 1979* will be required to address the non-compliance with any of the conditions of consent relating to the retention of nominated trees, and Council may require tree replenishment.

(Reason: Protection of existing environmental infrastructure and community assets)

Trees to be Removed

- E7. All trees on the site must be protected and retained save for those expressly identified below as being approved for removal:

Trees that are acceptable to remove	Location	Height
<i>Nyssa sylvatica</i>	front setback of 51 Pine Street	5x5m

(Reason: To ensure compliance with the terms of this development consent)

Special Permits

- E8. Unless otherwise specifically approved in writing by Council, all works, processes, storage of materials, loading and unloading associated with the development must occur entirely on the property.

The developer, owner or builder may apply for specific permits available from Council's Customer Service Centre for the undermentioned activities on Council's property. In the event that a permit is granted by Council for the carrying out of works, processes, storage of materials, loading and unloading associated with the development on Council's property, the development must be carried out in accordance with the requirements of the permit. A minimum of forty-eight (48) hours' notice is required for any permit:

1) **On-street mobile plant**

E.g., cranes, concrete pumps, cherry-pickers, etc., - restrictions apply to the hours of operation, the area of operation, etc. Separate permits are required for each occasion and each piece of equipment. It is the developer's, owner's and builder's responsibilities to take whatever steps are necessary to ensure that the use of any equipment does not violate adjoining property owner's rights.

(Reason: Proper management of public land)

2) **Hoardings**

Permits are required to erect Class A and Class B hoardings. If an 'A' Class hoarding is to alienate a section of Council's property, that section will require a permit for the occupation of Council's property.

(Reason: Proper management of public land)

3) **Storage of building materials and building waste containers (skips) on Council's property**

Permits to utilise Council property for the storage of building materials and building waste containers (skips) are required for each location. Failure to obtain the relevant permits will result in the building materials or building waste containers (skips) being impounded by Council with no additional notice being given. Storage of building materials and waste containers on open space reserves and parks is prohibited.

(Reason: Proper management of public land)

4) **Kerbside restrictions, construction zones**

Attention is drawn to the existing kerbside restrictions adjacent to the development. Should alteration of existing kerbside restrictions be required, or the provision of a construction zone, the appropriate application must be made and the fee paid to Council. Alternatives to such restrictions may require referral to Council's Traffic Committee and may take considerable time to be resolved. An earlier application is suggested to avoid delays in construction programs.

(Reason: Proper management of public land)

Construction Hours

- E9. Construction activities and works approved under this consent must be restricted to within the hours stipulated in the following table:

Location	Standard Construction Hours	
	Day	Hours
All zones	Monday - Friday	7.00 am - 5.00 pm
	Saturday	8.00 am - 1.00 pm
	Sunday, Public holiday	No work permitted

Construction activities for development approved under this consent must be carried out in accordance with the standard construction hours above, the EPA Noise Policy for Industry 2017 and any Construction Noise Management Plan required under this consent.

In the event of breach to the approved hours of construction Council take may take enforcement action under Part 9 of the EP&A Act 1979 and in accordance with Council's adopted Compliance and Enforcement Policy.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Out-of-hours' Work Permits

E10. Where it is necessary for works to occur outside those hours allowed by these conditions, an application may be made to Council's Customer Services Centre for a permit to carry out works outside of the approved hours. If a permit is issued the works approved must be carried out in accordance with any requirements specified in the permit. Permits will only be approved if **public safety is at risk**. Applications which seek a variation to construction hours solely to benefit the developer will require the lodgement and favourable determination of a modification application pursuant to the provisions of Section 4.55 of *the Environmental Planning and Assessment Act 1979*.

Notes:

- 1) Failure to obtain a permit for work outside of the approved hours will result in on the spot fines being issued, or Council pursuing any action required (including legal proceedings) to have the out of hours work cease, without prior warning.
- 2) Applications for out of hour's works should be lodged with Council no later than seven (7) calendar days prior to the date of the intended works.
- 3) Examples of activities for which permits may be granted include:
 - the erection of awnings,
 - footpath, road and other infrastructure works which cannot be carried out for public convenience reasons within normal hours,
 - the erection and removal of hoardings and site cranes, and
 - craneage of materials which cannot be done for public convenience reasons within normal working hours.
- 4) Examples of activities for which permits WILL NOT be granted include:
 - extended concrete pours
 - works which are solely to convenience the developer or client, and
 - catch up works required to maintain or catch up with a construction schedule.

- 5) Further information on permits can be obtained from the Council website at www.northsydney.nsw.gov.au.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Prohibition on Use of Pavements

- E11. Building materials must not be placed on Council's footpaths, roadways, parks or grass verges, (unless a permit is obtained from Council beforehand). A suitable sign to this effect must be erected adjacent to the street alignment.

(Reason: To ensure public safety and amenity on public land)

Plant and Equipment Kept Within Site

- E12. All plant and equipment used in the undertaking of the development/works, including concrete pumps, wagons, lifts, mobile cranes, hoardings etc, must be situated within the boundaries of the site (unless a permit is obtained from Council beforehand) and so placed that all concrete slurry, water, debris and the like must be discharged onto the building site, and is to be contained within the site boundaries.

Details of Council requirements for permits on public land for standing plant, hoardings, storage of materials and construction zones and the like are available on Council's website at www.northsydney.nsw.gov.au.

(Reason: To ensure public safety and amenity on public land)

F. Prescribed Conditions imposed under EP&A Act and Regulations and other relevant Legislation

National Construction Code

- F1. All building work must be carried out in accordance with the provisions of the National Construction Code.

(Reason: Prescribed - Statutory)

Home Building Act

- F2. 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) for which the *Home Building Act 1989* requires there to be a contract of insurance under Part 6 of that Act must not be carried out unless the Principal Certifier for the development to which the work relates has given North Sydney Council written notice of the contract of insurance being issued and of the following:

- a) in the case of work for which a principal contractor is required to be appointed:
- i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
- (b) in the case of work to be done by an owner-builder:
- (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress such that the information submitted to Council in accordance with this condition is out of date, work must cease, and no further work may be carried out unless the Principal Certifier for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

(Reason: Prescribed - Statutory)

Appointment of Principal Certifier (PC)

- F3. Building work, **demolition** or excavation in accordance with the development consent must not be commenced until the developer has appointed a Principal Certifier for the building work in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Construction Certificate

- F4. Building work, demolition or excavation in accordance with the development consent must not be commenced until a Construction Certificate for the relevant part of the building work has been issued in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Occupation Certificate

- F5. A person must not commence occupation or use of the whole or any part of a new building (new building includes an altered portion of, or an extension to, an existing building) unless an Occupation Certificate has been issued in relation to the building or part. Only the Principal Certifier appointed for the building work can issue an Occupation Certificate.

(Reason: Statutory)

Critical Stage Inspections

- F6. Building work must be inspected by the Principal Certifier on the critical stage occasions prescribed by the EP&A Act and its Regulations, and as directed by the appointed Principal Certifier.

(Reason: Statutory)

Commencement of Works' Notice

- F7. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence the erection of the building.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Excavation/Demolition

- F8. 1) All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
- 2) All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- 3) Demolition work must be undertaken in accordance with the provisions of AS2601- Demolition of Structures.

(Reason: To ensure that work is undertaken in a professional and responsible manner and protect adjoining property and persons from potential damage)

Protection of Public Places

- F9. 1) A hoarding and site fencing must be erected between the work site and adjoining public place.
- 2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- 3) The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- 4) Any such hoarding, fence or awning is to be removed when the work has been completed.
- 5) No access across public reserves or parks is permitted.

Note: Prior to the erection of any temporary fence or hoarding over property owned or managed by Council, written approval must be obtained. Any application needs to be accompanied by plans indicating the type of hoarding and its layout. Fees are assessed and will form part of any approval given. These fees must be paid prior to the approval being given. Approval for hoardings will generally only be given in association with approved building works, maintenance or to ensure protection of the public. An application form for a Hoarding Permit can be downloaded from Council's website.

(Reason: To ensure public safety and the proper management of public land)

Site Sign

- F10. 1) A sign must be erected in a prominent position on the site
- a) stating that unauthorised entry to the work site is prohibited;
- b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
- c) showing the name, address and telephone number of the Principal Certifier for the work.
- 2) Any such sign must be maintained while to building work or demolition work is being carried out but must be removed when the work has been completed.

(Reason: Prescribed - Statutory)

G. Prior to the Issue of an Occupation Certificate

Damage to Adjoining Properties

- G1. All precautions must be taken to prevent any damage likely to be sustained to adjoining properties. Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.

(Reason: To ensure adjoining owner's property rights are protected)

Certification of Tree Condition

- G2. Prior to the issue of an Occupation Certificate, a report prepared by an appropriately qualified person (being an arborist or the like) must be submitted to the Principal Certifier, describing the health of the tree(s) specifically nominated below: -

Tree	Location	Height
<i>Michelia champaca</i>	eastern boundary-front setback 49 Pine Street	8x7m
<i>Plumeria sp.</i>	front setback of 51 Pine Street	6x5.5m
<i>Existing vegetation</i>	Rear setback of 51 Pine Street	var
1 x <i>Elaeocarpus eumundii</i>	Rear setback of 51 Pine Street	75l
1 x <i>Backhousia citriodora</i>	front setback of 51 Pine Street	75l

The report must detail the condition and health of the nominated tree(s) upon completion of the works and shall certify that the tree(s) has/have not been significantly damaged during the works on the site, and has/have reasonable prospects for survival.

(Reason: To ensure compliance with the terms of this consent)

BASIX Completion Certificate

- G3. In accordance with Section 45 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, prior to issuing a final occupation certificate the Principal Certifier must provide a BASIX completion Certificate.

(Reason: To ensure compliance with the Regulations)

Landscaping (to be completed on receipt of amended drawings)

- G4. The landscaping shown in the amended landscape plan as detailed under Condition C17 must be completed prior to the issue of any Occupation Certificate.

(Reason: To ensure compliance)

Damage to Adjoining Properties

- G5. On completion of the development the subject of this consent and prior to the issue of the Occupation Certificate, a report is to be prepared by an appropriately qualified consultant and is to be provided to the Principal Certifier (and a copy to Council if it is not the Principal Certifier) certifying:
- a) whether any damage to adjoining properties has occurred as a result of the development;
 - b) the nature and extent of any damage caused to the adjoining property as a result of the development;
 - c) the nature and extent of works required to rectify any damage caused to the adjoining property as a result of the proposed development;
 - d) the nature and extent of works carried out to rectify any damage caused to the adjoining property as a result of the development; and
 - e) the nature and extent of any agreements entered into for rectification of any damage caused to the adjoining property as a result of the development.

The report and certification must reference the dilapidation survey and reports required to be provided to the Principal Certifier in accordance with this consent.

A copy of the report and certification required by this condition must be submitted to Council with the Final Occupation Certificate. All costs incurred in achieving compliance with this condition shall be borne by the developer.

(Reason: To record the condition of adjoining properties prior to completion of the development and to facilitate claims against damage)

Verification Statement (External Finishes and Materials)

- G6. Prior to the issue of any Occupation Certificate, a verification statement from a qualified designer or architect (preferably the original designer), must be submitted to Council and the Principal Certifier certifying that the external finishes and materials are in accordance with the approved schedule of finishes and materials identified in this consent.

"qualified designer" means a person registered as an architect in accordance with the Architects Act 2003 cf 50(1A) EP&A Regs 2000.

(Reason: To ensure the design quality and finishes for residential flat development)

I. Ongoing/Operational Conditions

Maintenance of Approved Landscaping

- I1. The owner of the premises at 51 Pine Steet is to maintain the landscaping approved by this consent generally in accordance with approved plans as modified by conditions C11, C13, & C17.

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Any replacement plants required shall be advanced in growth and be selected to maintain the anticipated mature height, canopy density and nature of those plant species as originally approved.

(Reason: To ensure maintenance of the amenity, solar access and views of adjoining properties)

Use of Studio

12. The approved studio structure is to be used in conjunction to the primary dwelling. Nothing in this consent authorises the use of the studio premises other than as part of the primary dwelling's residence. The sub-letting of the studio premises is not permitted.

(Reason: To ensure that site density remains consistent with the locality)



Project #5 I

Development Application Alts & Adds

for
LISA CROUDACE & PAUL HERBERT
at
51 PINE STREET CAMMERAY NSW 2062

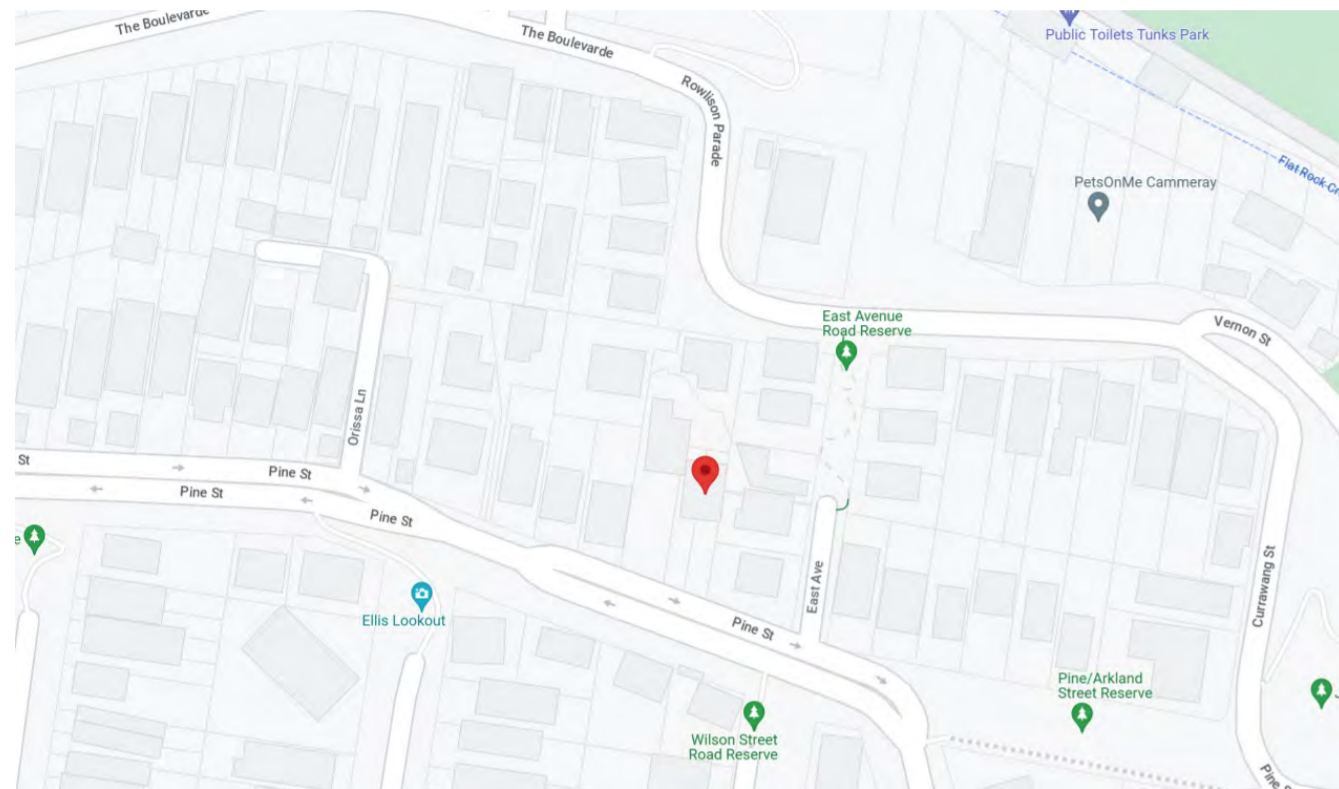
Andy's Home Design PTY LTD

Director: Andy Seller

ABN: 32 624 682 024

0430-592-043

info@andyshome.design



Location View



Satellite View Of Suburb



Existing Street View



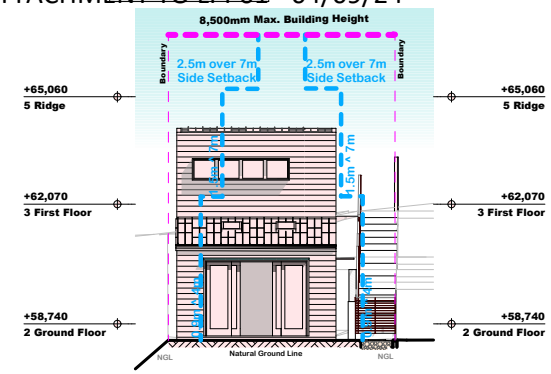
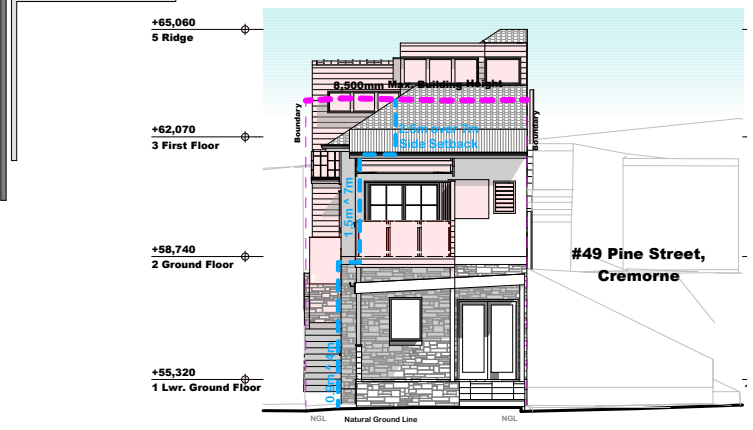
Proposed Street View

DRAWING No.	DESCRIPTION	Issued Date
DA101	A4 Notification Plan	31/05/2024 2:53 PM
DA102	Site Survey	31/05/2024 2:53 PM
DA103	Site Plan, Analysis & Roof Plan	31/05/2024 2:53 PM
DA104	Calculations Plan	31/05/2024 2:53 PM
DA105	Landscape Plan	31/05/2024 2:53 PM
DA106	Excavation & Fill Plan	31/05/2024 2:53 PM
DA107	Site Management & Stormwater Concept Plan	31/05/2024 2:53 PM
DA201	Exist/Demo Lwr. Ground Floor	31/05/2024 2:53 PM
DA202	Exist/Demo Ground Floor	31/05/2024 2:53 PM
DA203	Exist/Demo First Floor	31/05/2024 2:53 PM
DA204	Exist/Demo Roof	31/05/2024 2:53 PM
DA301	Lwr. Ground Floor	31/05/2024 2:53 PM
DA302	Ground Floor	31/05/2024 2:53 PM
DA303	First Floor	31/05/2024 2:53 PM
DA304	Roof Plan	31/05/2024 2:53 PM
DA400	Sections 1	31/05/2024 2:53 PM
DA401	Sections 2	31/05/2024 2:53 PM
DA500	North Elevations - Dwelling	31/05/2024 2:53 PM
DA501	North Elevations - Studio	31/05/2024 2:53 PM
DA502	East Elevations	31/05/2024 2:53 PM
DA503	East Elevations	31/05/2024 2:53 PM
DA504	East Elevations	31/05/2024 2:53 PM
DA505	East Elevations	31/05/2024 2:53 PM
DA506	South Elevations - Dwelling	31/05/2024 2:53 PM
DA507	South Elevations - Garage	31/05/2024 2:53 PM
DA508	West Elevations	31/05/2024 2:53 PM

DRAWING No.	DESCRIPTION	Issued Date
DA509	West Elevations	31/05/2024 2:53 PM
DA510	West Elevations	31/05/2024 2:53 PM
DA511	West Elevations	31/05/2024 2:53 PM
DA605	Perspectives - External 1	31/05/2024 2:53 PM
DA606	Perspectives - External 2	31/05/2024 2:53 PM
DA607	Perspectives - External 3	31/05/2024 2:53 PM
DA608	Perspectives - External 4	31/05/2024 2:53 PM
DA609	Perspectives - External 5	31/05/2024 2:53 PM
DA610	Perspectives - Cut Aways	31/05/2024 2:53 PM
DA611	Material Selection	31/05/2024 2:53 PM
DA612	Commitments & Standards	31/05/2024 2:53 PM
DA613	BASIX Commitments	31/05/2024 2:53 PM
DA614	Schedules	31/05/2024 2:53 PM
DA616	Diagram 1 - 9am - Winter Solstice	31/05/2024 2:53 PM
DA617	Diagram 2 - 12pm - Winter Solstice	31/05/2024 2:53 PM
DA618	Diagram 3 - 3pm - Winter Solstice	31/05/2024 2:53 PM
DA619	Wall Elevation 1 - 9am - Winter Solstice	31/05/2024 2:53 PM
DA620	Wall Elevation 2 - 12pm - Winter Solstice	31/05/2024 2:53 PM
DA621	Wall Elevation 3 - 3pm - Winter Solstice	31/05/2024 2:53 PM
DA622	Wall Elevation 4 - 9am - Winter Solstice	31/05/2024 2:53 PM
DA623	Wall Elevation 5 - 12pm - Winter Solstice	31/05/2024 2:53 PM
DA624	Wall Elevation 6 - 3pm - Winter Solstice	31/05/2024 2:53 PM
DA625	Wall Elevation 7 - 9am - Winter Solstice	31/05/2024 2:53 PM
DA626	Wall Elevation 8 - 12pm - Winter Solstice	31/05/2024 2:53 PM
DA627	Wall Elevation 9 - 3pm - Winter Solstice	31/05/2024 2:53 PM

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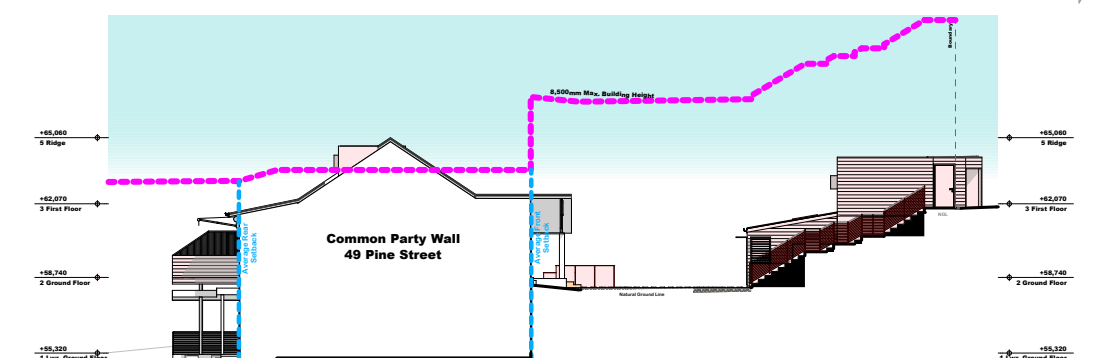
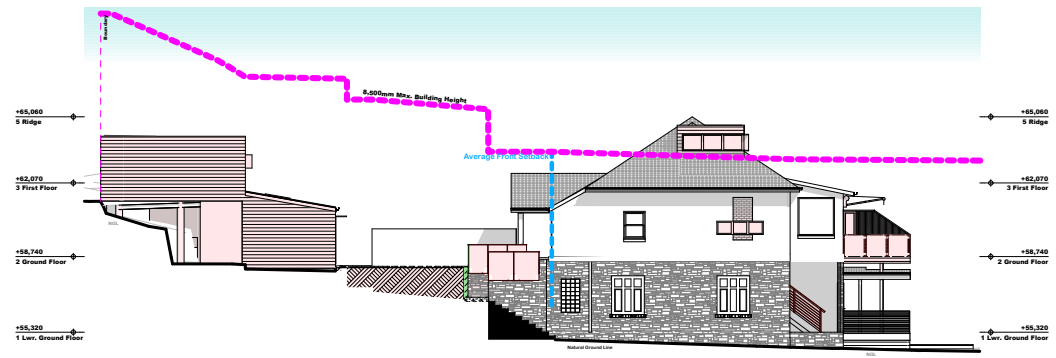
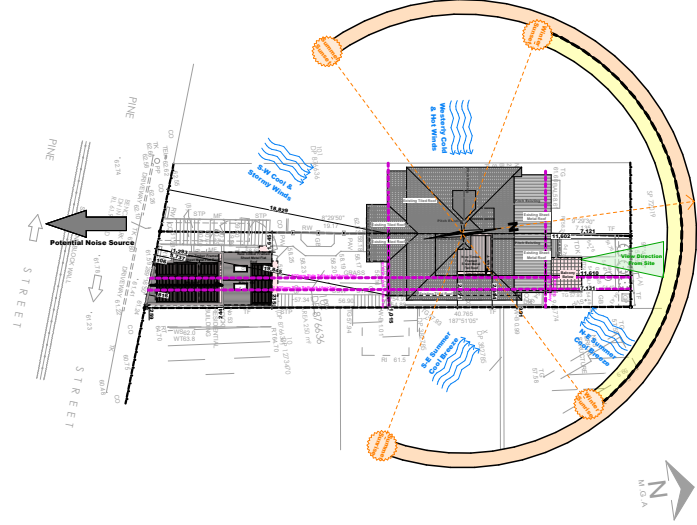
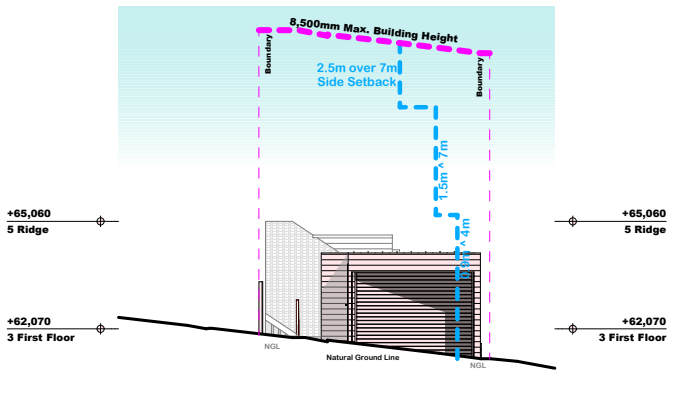
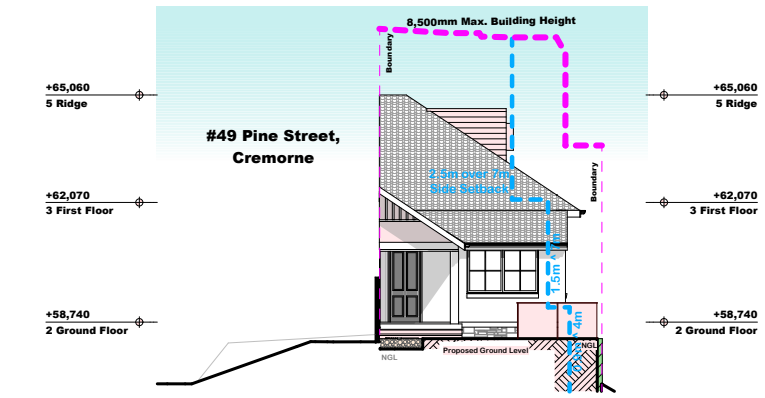
Revision #	Change Name	Date
01		28/06/2022
DA		11/09/2023
DA2		22/01/2024
DA - RFI		31/05/2024



Development Application - Project 51 - Alterations & Additions
51 Pine Street, Cammeray 2062, NSW
North Sydney Council

Site Area = 250m²

Planning Controls	Applied/Required	Existing	Proposed	Lot 102 - DP 876636	Compliance
NSLSP					
Min. Lot Size	450m ²	250m ²	Remains as is		Yes
Height of buildings	8.5m	10.460m	10.080m		No
Land Zone	R2- Low density residential	R2			Yes
Floor space ratio	N/A				
Heritage	N/A				
Acid sulfate soils	N/A				
Flood Risk	N/A				
Landslip Risk	N/A				
Coastline Hazard	N/A				
NSDCP					
Landscape Open Space	Min. 30% of site area for lot size 230-499m ²	69.51m ² (28%)	74.45m ² (30%)		Yes
Private Open Space	40m ² Min. for lot size 230-499m ² . Min. 4m dimension	43.19m ²	43.19m ²		Yes
Un-built Upon	Max. 20% of site area(50m ²)	70.36m ² (28%)	41.84m ² (17%)		Yes
Setbacks:					
Front	Refer to site plan	18.829m	18.829m		Yes
Side	Refer to elevations	0.991m	0.991m		Yes
Rear	Refer to site plan	7.121m	7.121m		Yes



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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

PROJECT NORTH

Andy's Home Design PTY LTD
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0430-592-043
info@andyshome.design

DRAWING TITLE:

SITE PLANS
A4 Notification Plan

SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | *Checked*
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RFI

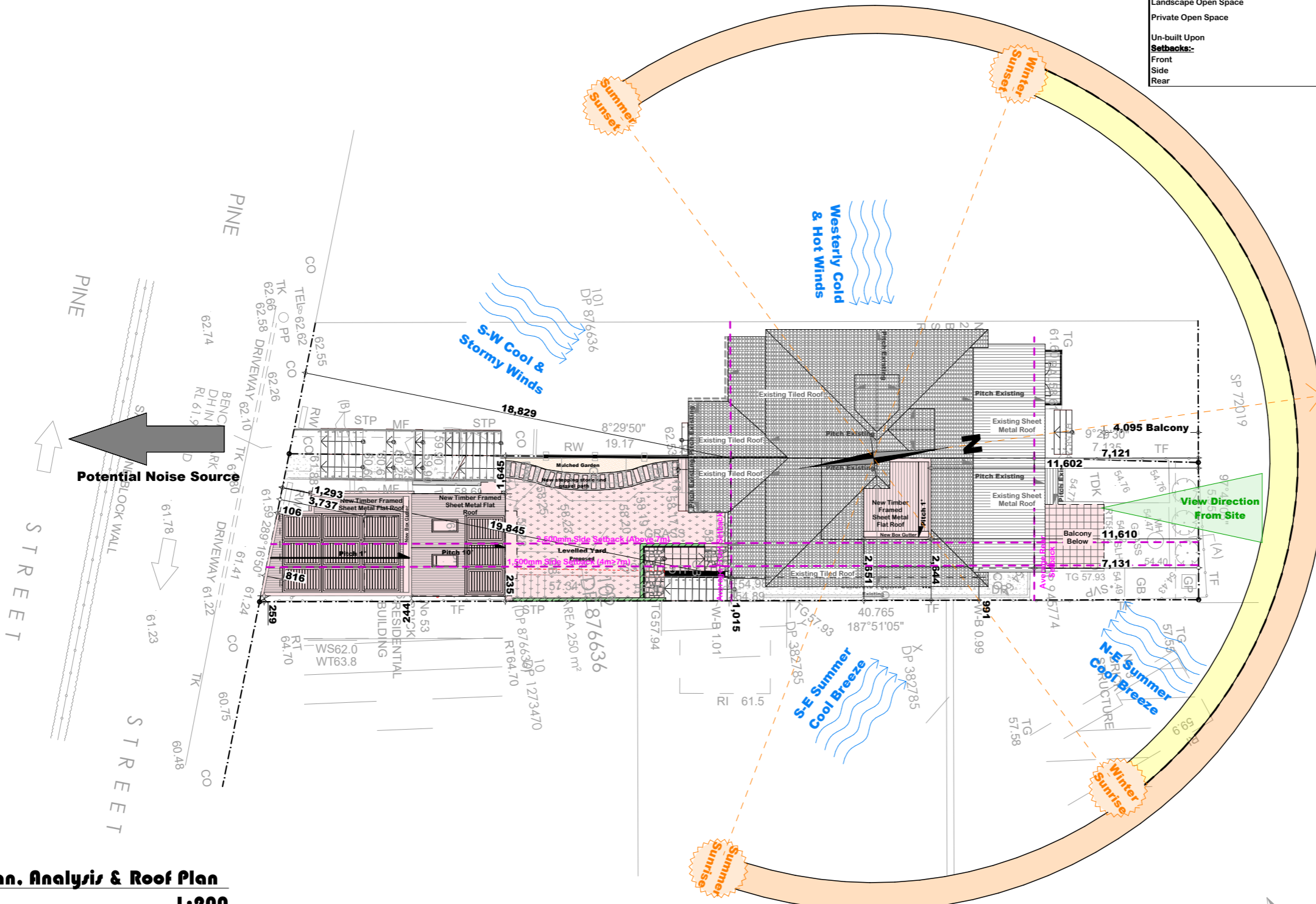
PROJECT NAME: Project #51
DRAWING NO.: DA101

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Development Application - Project 51 - Alterations & Additions				
51 Pine Street, Cammeray 2062, NSW				
North Sydney Council				
Site Area = 250m ²		Lot 102 - DP 876636		
Planning Controls	Applied/Required	Existing	Proposed	Compliance
NSLEP				
Min. Lot Size	450m ²	250m ²	Remains as is	Yes
Height of buildings	8.5m	10.460m	10.080m	No
Land Zone	R2- Low density residential	R2		Yes
Floor space ratio	N/A			
Heritage	N/A			
Acid sulfate soils	N/A			
Flood Risk	N/A			
Landslip Risk	N/A			
Coastline Hazard	N/A			
NSDCP				
Site Coverage	Max. 50% of site area / 125m ²	105.30m ² (42%)	129.48m ² (52%)	No
Landscape Open Space	Min. 30% of site area / 75m	72.65m ² (28%)	76.45m ² (31%)	Yes
Private Open Space	Min. 40m ²	43.19m ²	43.19m ²	Yes
Un-built Upon	Max. 20% of site area / 50m ²	72.34m ² (28%)	44.07m ² (18%)	Yes
Setbacks:-				
Front	Refer to site plan	18.829m	18.829m	Yes
Side	Refer to elevations	0.991m	0.991m	Yes
Rear	Refer to site plan	7.121m	7.121m	Yes



Six Maps Location Plan

This Drawing is strictly for the purpose of the -
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Site Plan, Analysis & Roof Plan
 I:200

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LEGEND

PROJECT NORTH

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DRAWING TITLE:
 SITE PLANS
Site Plan, Analysis & Roof Plan

SITE:
 LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Andy Sellar |
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: USA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - RF1



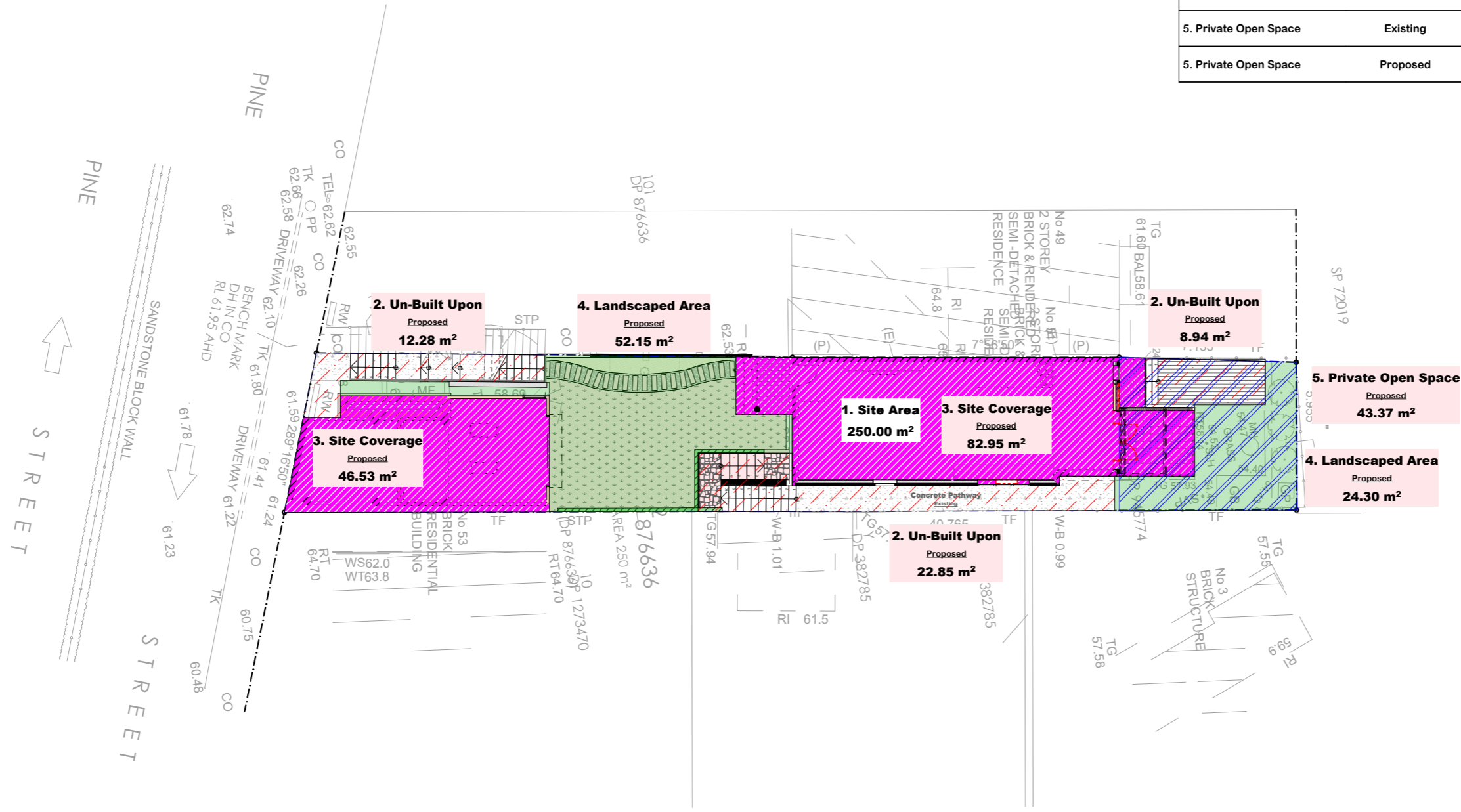
PROJECT NAME:
 Project #5 I

DRAWING NO.
 DA103

Calcs. Plan Legend



Site & Landscape Calculations				
Surface Type	Status	Surface Area (m ²)	% Calculations	Compliance
1. Site Area		250.00		
2. Un-Built Upon	Existing	72.34	28% (Max. 20% of site area /50m ²)	Existing Non-compliance
2. Un-Built Upon	Proposed	44.07	18%	Yes
3. Site Coverage	Existing	105.30	42% (Max. 50% of site area/ 125m ²)	
3. Site Coverage	Proposed	129.48	52%	No
4. Landscaped Area	Existing	72.65	28% (Min. 30% of site area/75m ²)	Existing Non-compliance
4. Landscaped Area	Proposed	76.45	31%	Yes
5. Private Open Space	Existing	43.19	Min. 40m ²	
5. Private Open Space	Proposed	43.37	Min. 40m ²	Yes



Calcs. Plan
1:200
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DRAWING TITLE:
SITE PLANS
Calculations Plan
SITE:
101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

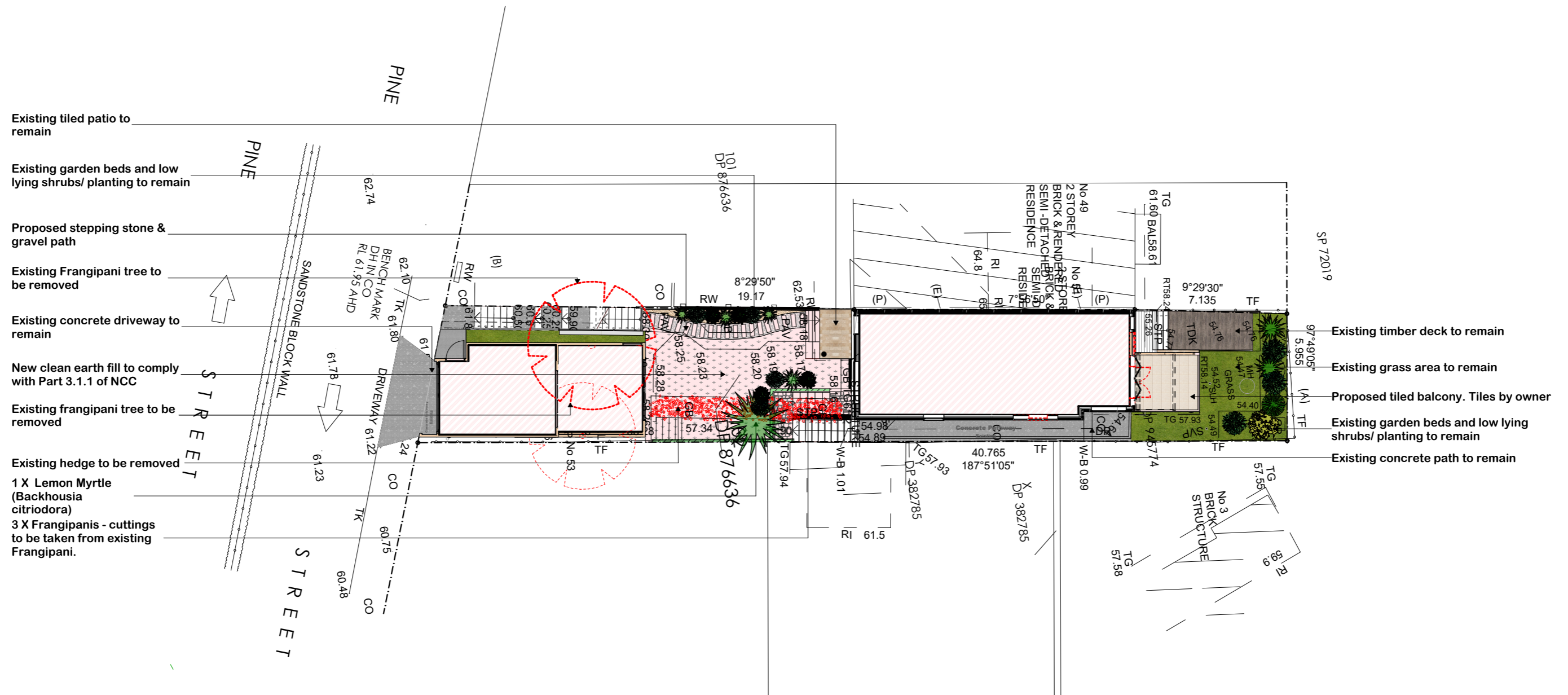
Drawn | Checked
Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AHD0622
Revision NO.: DA - RFI



PROJECT NAME:
Project #5 I
DRAWING NO.:
DA104

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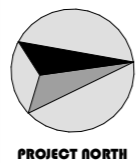
- Existing tiled patio to remain
- Existing garden beds and low lying shrubs/ planting to remain
- Proposed stepping stone & gravel path
- Existing Frangipani tree to be removed
- Existing concrete driveway to remain
- New clean earth fill to comply with Part 3.1.1 of NCC
- Existing frangipani tree to be removed
- Existing hedge to be removed
- 1 X Lemon Myrtle (Backhousia citriodora)
- 3 X Frangipanis - cuttings to be taken from existing Frangipani.



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landscape Plan
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DRAWING TITLE:
 SITE PLANS
landscape Plan
SITE:
 51 PINE STREET CAMMERAY NSW 2062

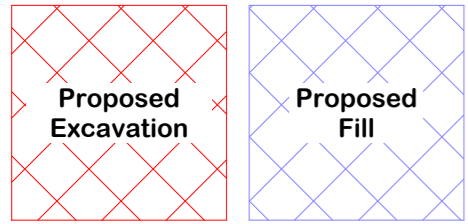
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 Publish Date:
 Project Status
 Client
 Project NO.
 Revision NO.

Andy Seller |
 31/05/2024
 Development Application
 USA CROUDACE & PAUL HERBERT
 51AHD0622
 DA - RFI



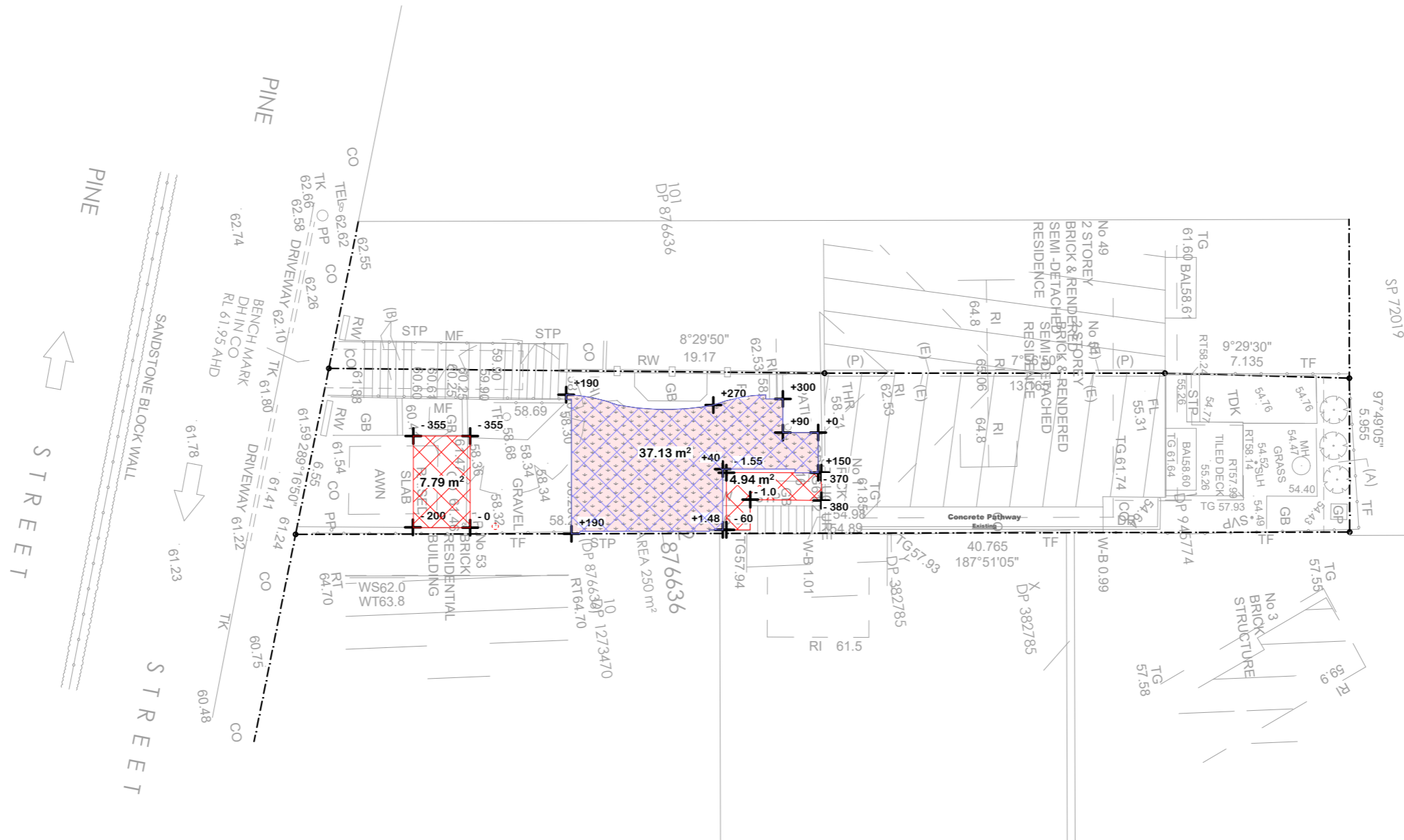
PROJECT NAME:
 Project #51
DRAWING NO.
 DA105

Exc. & Fill Plan Legend



Approx. Excavation (m³) = 8m³
Max. Cut Height = 1.55m

Approx. Fill (m³) = 11.27m³
Max. Fill Height = 1.48m

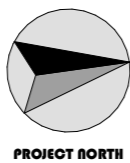


Excavation & Fill Plan

1:200

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DRAWING TITLE: SITE PLANS
Excavation & Fill Plan
SITE: 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
Publish Date:
Project Status
Client
Project NO.
Revision NO.

Andy Seller |
31/05/2024
Development Application
USA CROUDACE & PAUL HERBERT
51AHD0622
DA - RFI



PROJECT NAME: Project #5 I
DRAWING NO. DA106

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On-site Practices:

All trenches must be filled immediately after services are laid. Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry must not be washed into stormwater system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

Stockpiles:

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission. All Stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over all stockpiles. If required provide diversion drain a bank around stockpiles

Gutter Protection:

Provide protection to downhill grate in gutter by means of sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated back to the site for disposal

Dust Control:

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required. Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles

Sediment Note:

- #1 - All erosion and sediment control measures to be inspected and maintained daily by site supervisor
- #2 - Minimise disturbed areas, remove excess soil from excavated areas as soon as possible
- #3 - All material stockpiles to be clear from drains, gutters and footpaths or within sediment fence area
- #4 - Drainage to be connected to stormwater as soon as possible. If stored on site, it must be filtered before being released in stormwater system or waterways
- #5 - Roads and foot paths to be swept daily

Site Management Legend

Bin Types

Green waste	Green waste	Garbage waste	Paper waste	Plastic/ container waste
-------------	-------------	---------------	-------------	--------------------------

Site entry for waste collection & material supply

Sediment control barrier

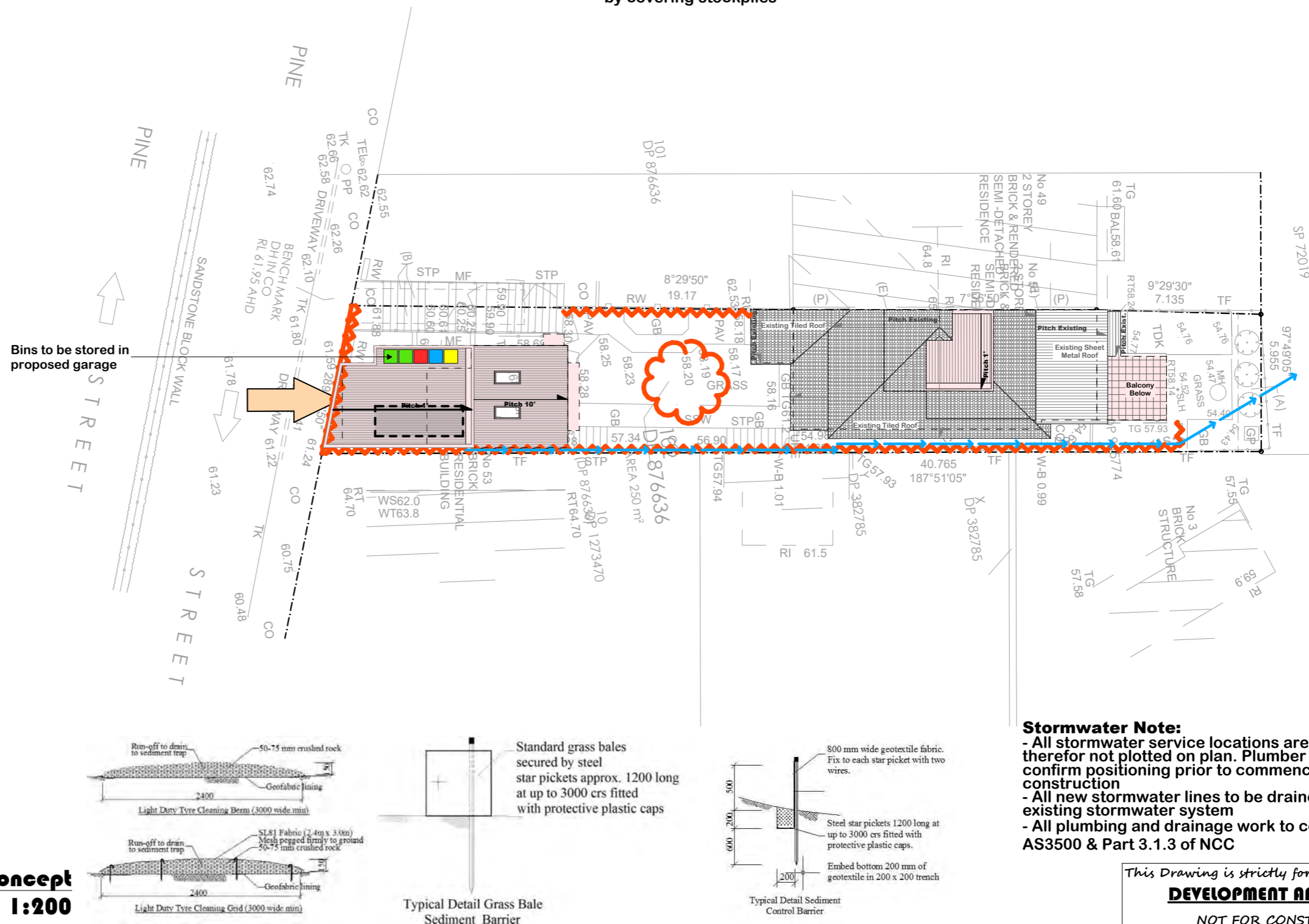
Temporary site safety fence

Approx. Line of Stormwater Drainage

Approx.. material storage

Covered	Uncovered
---------	-----------

Waste stockpile



Stormwater Note:
 - All stormwater service locations are assumed and therefore not plotted on plan. Plumber to locate and confirm positioning prior to commencement of construction
 - All new stormwater lines to be drained into the existing stormwater system
 - All plumbing and drainage work to comply with AS3500 & Part 3.1.3 of NCC

This Drawing is strictly for the purpose of the -
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Site Management & Stormwater Concept
 I:200
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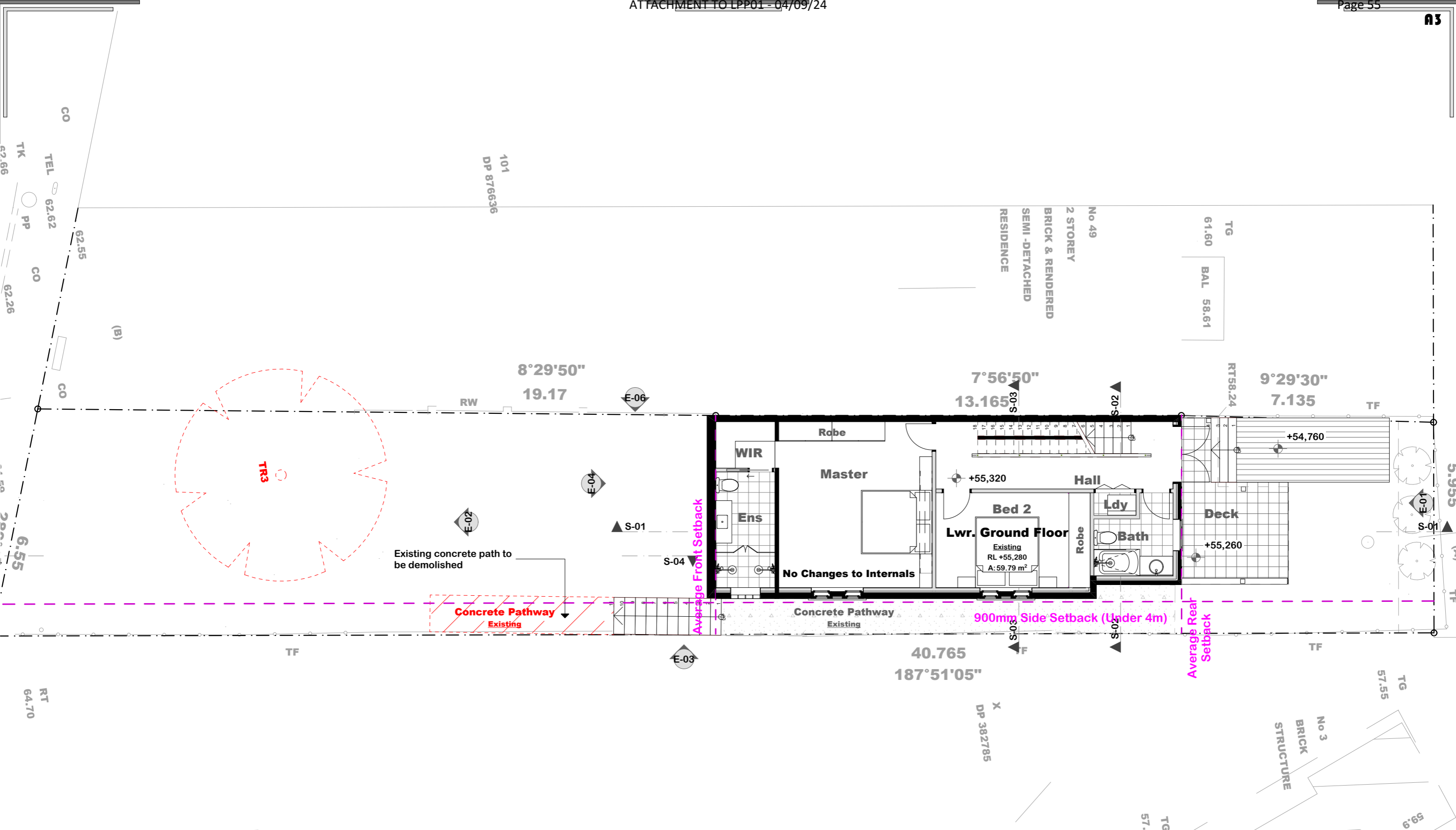
NOTE
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DRAWING TITLE: SITE PLANS
Site Management & Stormwater Concept Plan
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: LISA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - RFI

PROJECT NAME: **Project #5 I**
 DRAWING NO: **DA107**



Demolition Of Structures
 Exist/Demo lwr. Ground floor
 Scale: 1:100
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Demolition Waste
 All demolition work to be carried out in accordance with the provisions of AS 2601-2001: Demolition of Structures and LGA requirements

Noise Management
 Noise emission during building and demolition works to comply with relevant provisions of the Protections of the Environmental Operations Act 1997 & The Noise Control Manual by The EPA.

This Drawing is strictly for the purpose of the -
DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

PROJECT NORTH

Andy's Home Design PTY LTD
 Director: Andy Sellar
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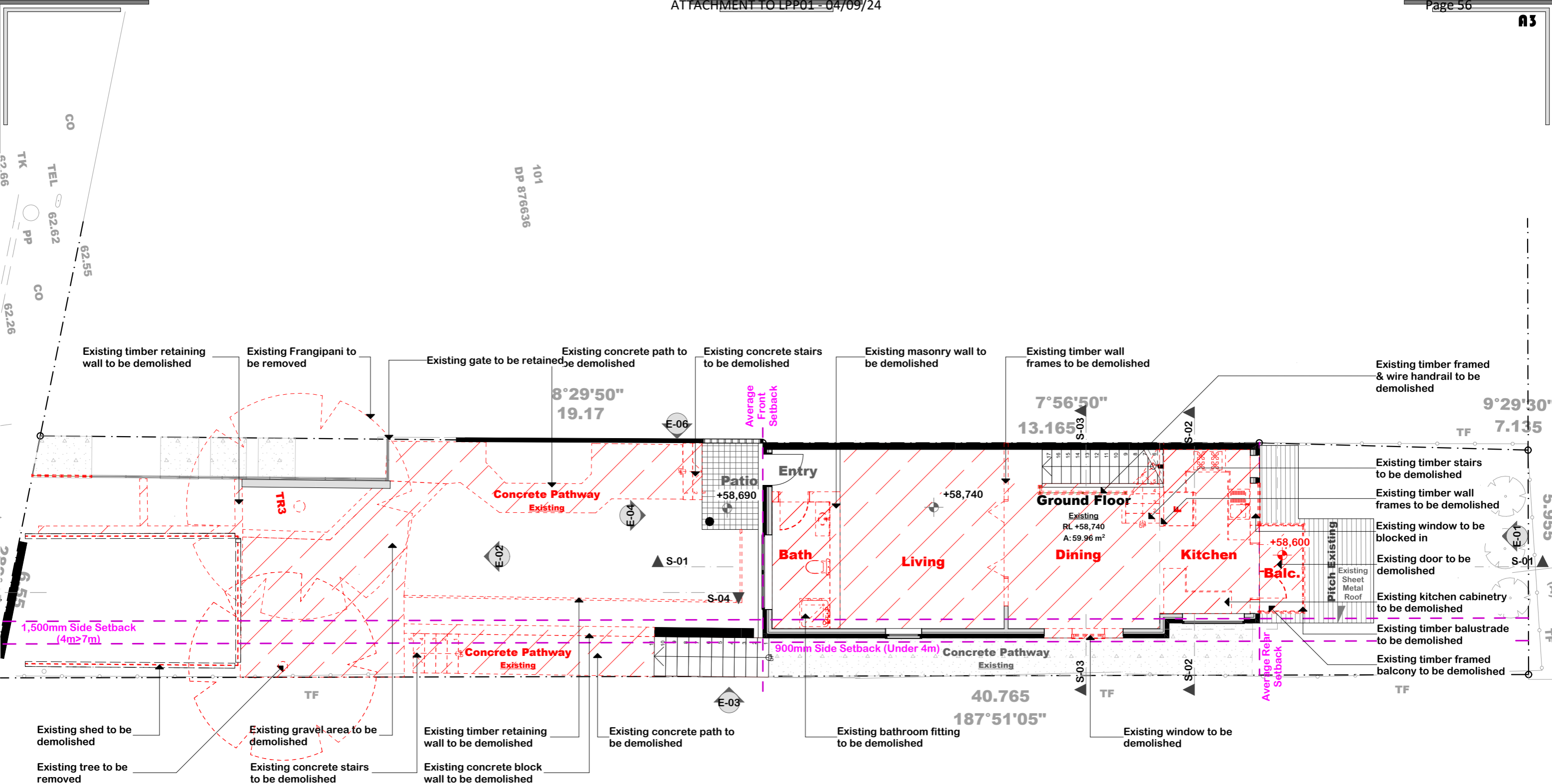
DRAWING TITLE: EXIST/DEMO PLANS
Exist/Demo lwr. Ground floor

SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked: Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RFI

PROJECT NAME: Project #5 I
DRAWING NO.: DA201

ANDY'S HOME DESIGN



Exist/Demo Ground Floor
1:100
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Demolition Of Structures

All demolition work to be carried out in accordance with the provisions of AS 2601-2001: Demolition of Structures and LGA requirements

Demolition Waste

All demolition waste to be carried out in Green Waste & Timber to local waste management centre. Concrete, tile & rock waste to be crushed and recycled at nearest recycle center. All metals to waste recycle center. Windows, doors & hardware to 2nd hand building suppliers.

Noise Management

Noise emission during building and demolition works to comply with relevant provisions of the Protections of the Environmental Operations Act 1997 & The Noise Control Manual by The EPA.

This Drawing is strictly for the purpose of the -
DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

LEGEND

PROJECT NORTH

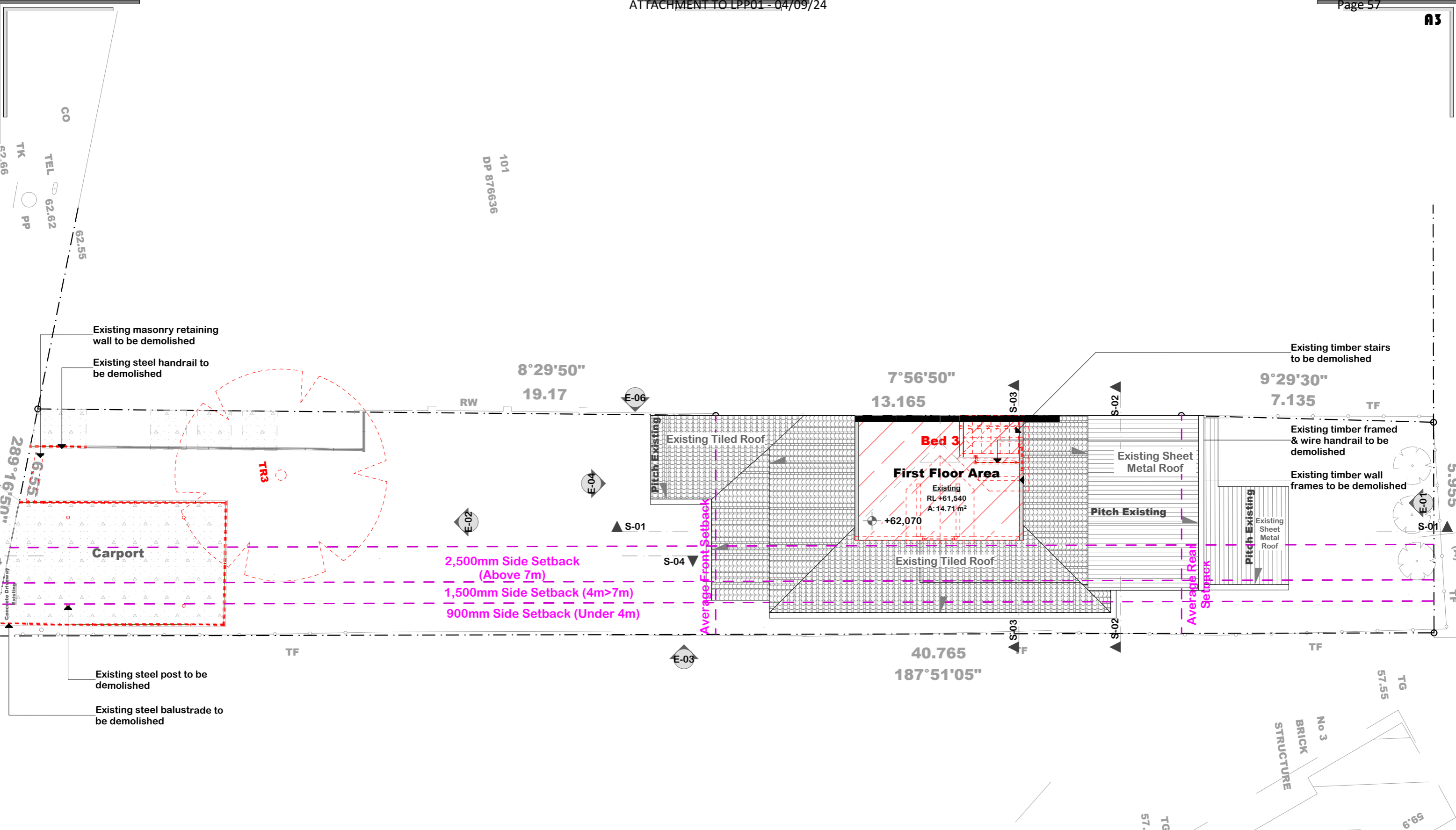
Andy's Home Design PTY LTD
 Director: Andy Sellar
 ABN: 32 624 682 024
 0430-592-043
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DRAWING TITLE: EXIST/DEMO PLANS
Exist/Demo Ground floor

SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked: Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO: 51AND0622
Revision NO: DA - RF1

PROJECT NAME: Project #5 I
DRAWING NO: DA202



Exist/Demo first floor
1:100
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Demolition Of Structures

All demolition work to be carried out in accordance with the provisions of AS 2601-2001: Demolition of Structures and LGA requirements

Demolition Waste

All demolition work to be carried out in Green Waste & Timber to local waste management centre. Concrete, tile & rock waste to be crushed and recycled at the nearest recycle center. All metals to waste recycle center. Windows, doors & hardware to 2nd hand building suppliers.

Noise Management

Noise emission during building and demolition works to comply with relevant provisions of the Protections of the Environmental Operations Act 1997 & The Noise Control Manual by The EPA.

This Drawing is strictly for the purpose of the -
DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

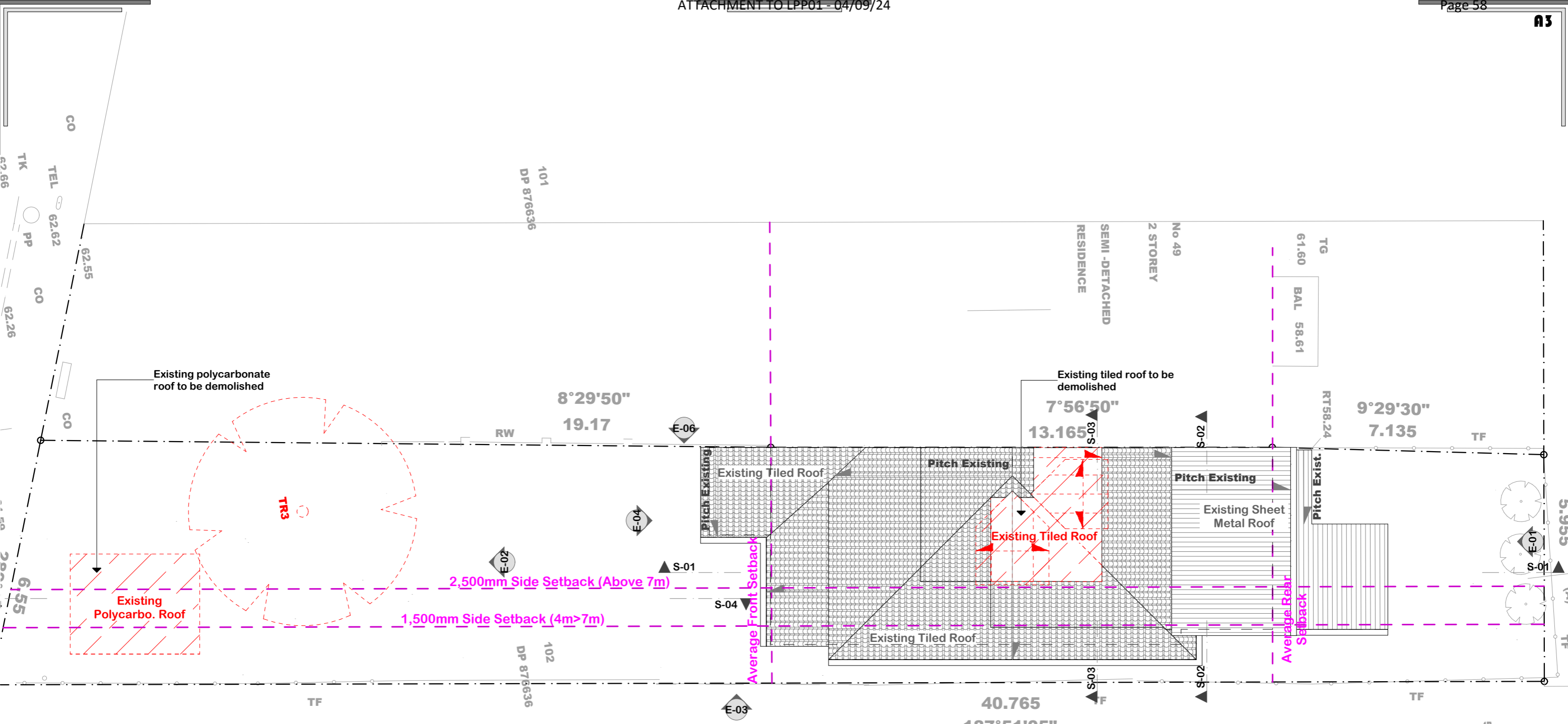
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 Director: Andy Sellar
 ABN: 32 624 682 024
 0430-592-043
 info@andyshome.design

DRAWING TITLE: EXIST/DEMO PLANS
Exist/Demo first floor
SITE: 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked: Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RF1

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PROJECT NAME: Project #5 I
DRAWING NO.: DA203



Demolition Of Structures

All demolition work to be carried out in accordance with the provisions of AS 2601-2001: Demolition of Structures and LGA requirements

Demolition Waste

In Green Waste & Timber to local waste management centre. Concrete, tile & rock waste to be crushed and recycled at nearest recycle center. All metals to waste recycle center. Windows, doors & hardwares to 2nd hand building suppliers.

Noise Management

Noise emission during building and demolition works to comply with relevant provisions of the Protections of the Environmental Operations Act 1997 & The Noise Control Manual by The EPA.

This Drawing is strictly for the purpose of the - **DEVELOPMENT APPLICATION** NOT FOR CONSTRUCTION

Exist/Demo Roof
1:100
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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

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 0430-592-043
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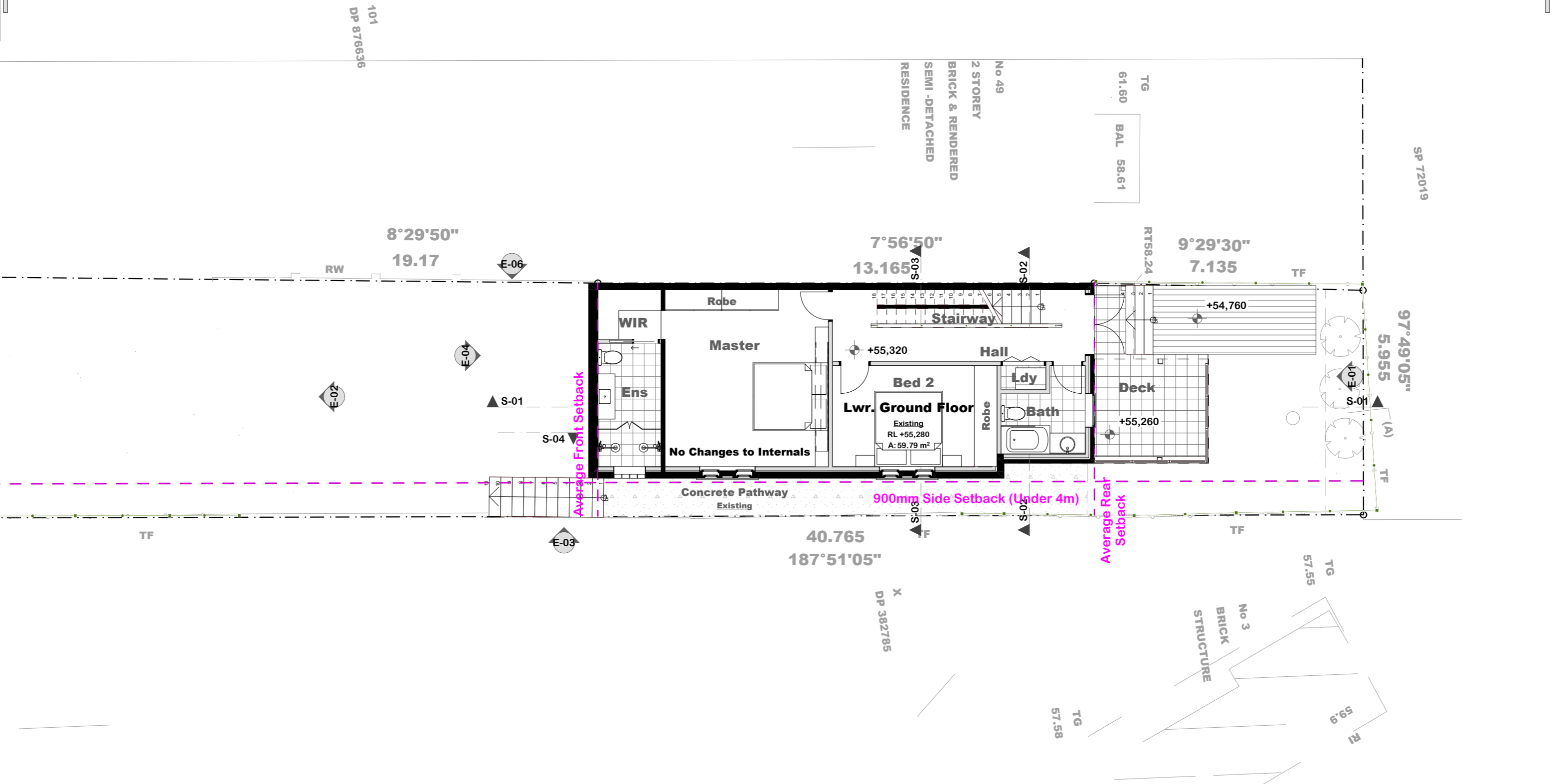
DRAWING TITLE: EXIST/DEMO PLANS
Exist/Demo Roof
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked: Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AHD0622
Revision NO.: DA - RF1

ANDY'S HOME DESIGN

PROJECT NAME: Project #5 I
DRAWING NO.: DA204

ROOM NAME	Bath	Bed 2	Deck	Ens	Hall	Ldy	Master	Stairway	WIR
MEASURED AREA	4.26	11.68	19.35	5.49	8.37	0.75	20.54	3.90	2.19
STATUS	Existing	Existing	Existing	Existing	Existing	Existing	Existing	Existing	Existing



lwr. Ground floor
1:100
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****No Changes to be made on the Lower Ground Floor level****

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LEGEND

Andy's Home Design PTY LTD
 Director: Andy Sellar
 ABN: 32 624 682 024
 0430-592-043
 info@andyshome.design

DRAWING TITLE:
PLANS
lwr. Ground floor

SITE:
 LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

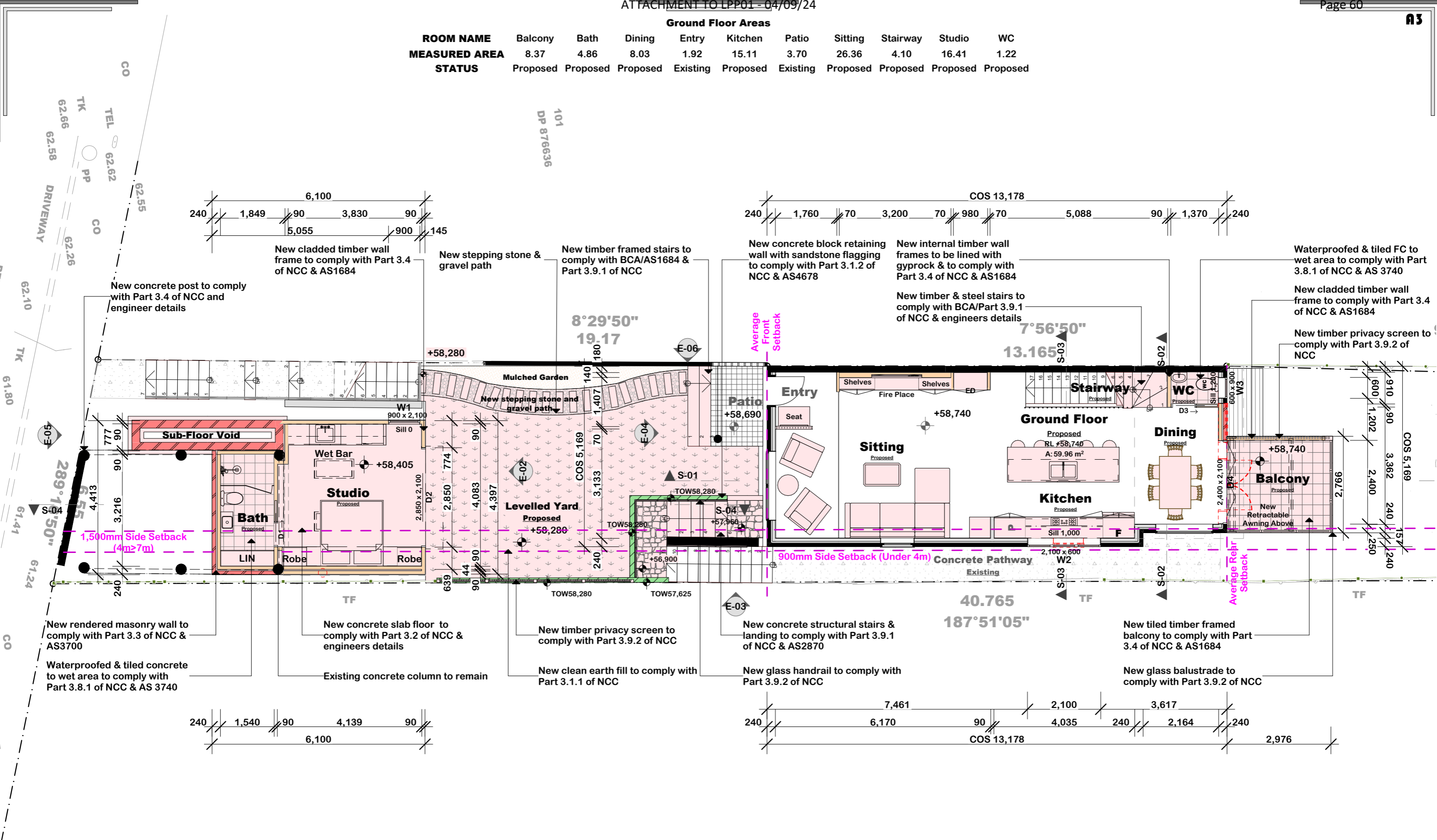
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Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AHD0622
Revision NO.: DA - RF1



PROJECT NAME:
Project #5 I

DRAWING NO.:
DA301

ROOM NAME	Balcony	Bath	Dining	Entry	Kitchen	Patio	Sitting	Stairway	Studio	WC
MEASURED AREA	8.37	4.86	8.03	1.92	15.11	3.70	26.36	4.10	16.41	1.22
STATUS	Proposed	Proposed	Proposed	Existing	Proposed	Existing	Proposed	Proposed	Proposed	Proposed

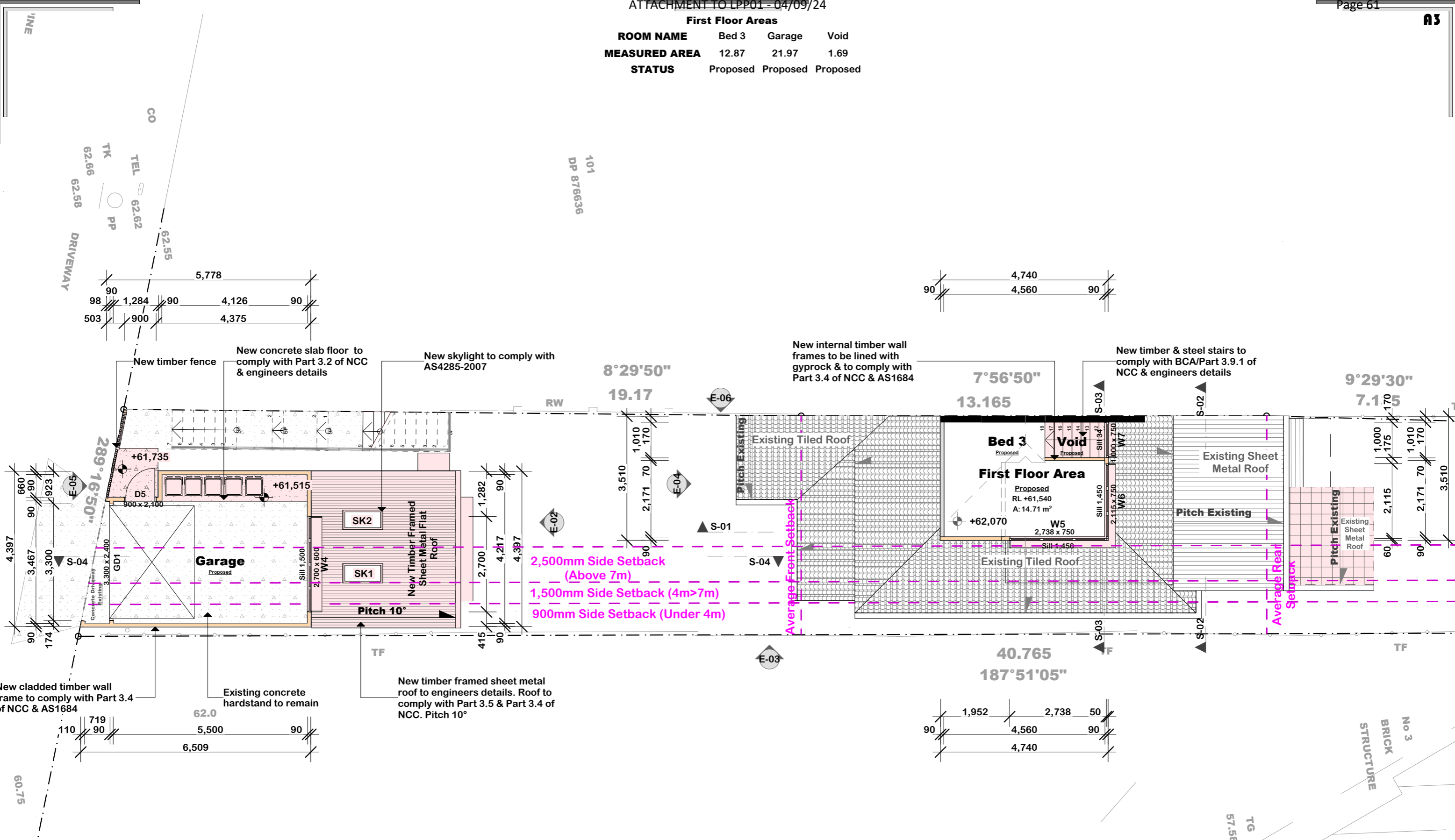


Ground floor
I:100
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<p>LEGEND</p> <p>Proposed (Pink)</p> <p>Demolition (Red dashed)</p> <p>Existing/ Remains as is (White)</p> <p>Existing (Grey)</p> <p>Masonry (Red hatched)</p> <p>Concrete (Blue hatched)</p> <p>Timber (Yellow hatched)</p> <p>Concrete Block (Green hatched)</p> <p>Roof Above (Blue)</p> <p>Structure Above/ Below (Blue dashed)</p>	<p>PROJECT NORTH</p>	<p>Andy's Home Design PTY LTD</p> <p>Director: Andy Sellar</p> <p>ABN: 32 624 682 024</p> <p>0430-592-043</p> <p>info@andyshome.design</p>	<p>DRAWING TITLE:</p> <p>PLANS</p> <p>Ground floor</p> <p>SITE:</p> <p>LOT 102 D.P. 876636</p> <p>51 PINE STREET CAMMERAY NSW 2062</p>	<p>Drawn Checked</p> <p>Publish Date:</p> <p>Project Status</p> <p>Client</p> <p>Project NO.</p> <p>Revision NO.</p>	<p>Andy Sellar </p> <p>31/05/2024</p> <p>Development Application</p> <p>LISA CROUDACE & PAUL HERBERT</p> <p>51AHD0622</p> <p>DA - RF1</p>	<p>PROJECT NAME:</p> <p>Project #5 I</p> <p>DRAWING NO.</p> <p>DA302</p>

First Floor Areas			
ROOM NAME	Bed 3	Garage	Void
MEASURED AREA	12.87	21.97	1.69
STATUS	Proposed	Proposed	Proposed

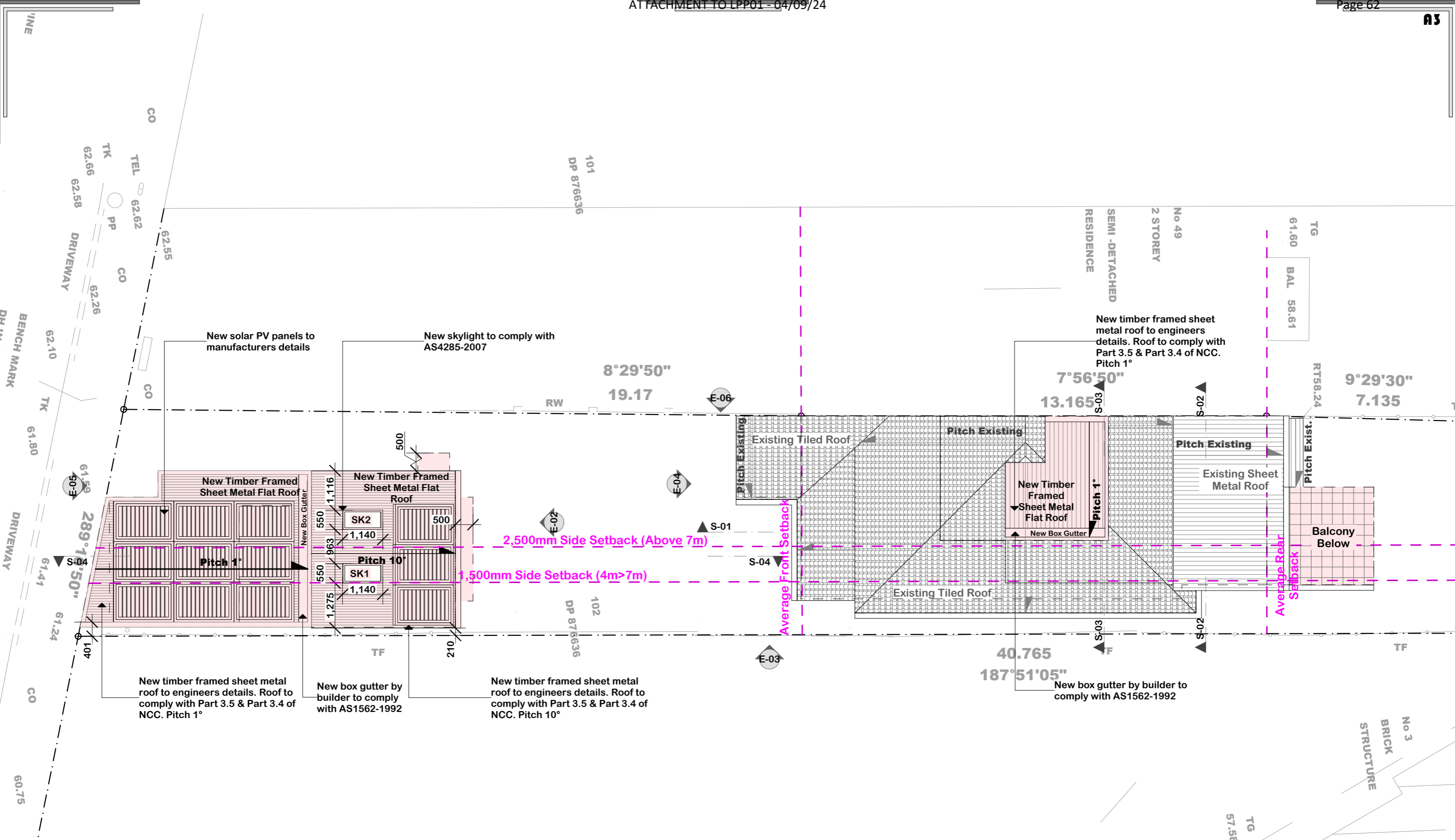


First floor
1:100

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<p>LEGEND</p> <ul style="list-style-type: none"> Proposed (Pink) Demolition (Red dashed) Existing/ Remains as is (White) Existing (Grey) Masonry (Red hatched) Concrete (Green hatched) Roof Above (Blue hatched) Demolished (Red dashed) Timber (Orange hatched) Concrete Block (Green hatched) Structure Above/ Below (Blue hatched) 	<p>Andy's Home Design PTY LTD Director: Andy Sellar ABN: 32 624 682 024 0430-592-043 info@andyshome.design</p>	<p>DRAWING TITLE: PLANS First floor</p> <p>SITE: 51 PINE STREET CAMMERAY NSW 2062</p>	<p>Drawn Checked Publish Date: 31/05/2024 Project Status: Development Application Client: USA CROUDACE & PAUL HERBERT Project NO: 51AND0622 Revision NO: DA - RF1</p>		<p>PROJECT NAME: Project #5 I</p> <p>DRAWING NO. DA303</p>
--	--	--	---	--	--



Ridge
1:100

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LEGEND

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DRAWING TITLE:
PLANS
Roof Plan

SITE:
 LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RF1



PROJECT NAME:
Project #5 I

DRAWING NO.:
DA304

New timber framed sheet metal roof to engineers details. Roof to comply with Part 3.5 & Part 3.4 of NCC. Pitch 1°

Existing tiled roof

New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

Existing timber wall frames

Existing timber floor frame

New timber & steel stairs to comply with BCA/Part 3.9.1 of NCC & engineers details

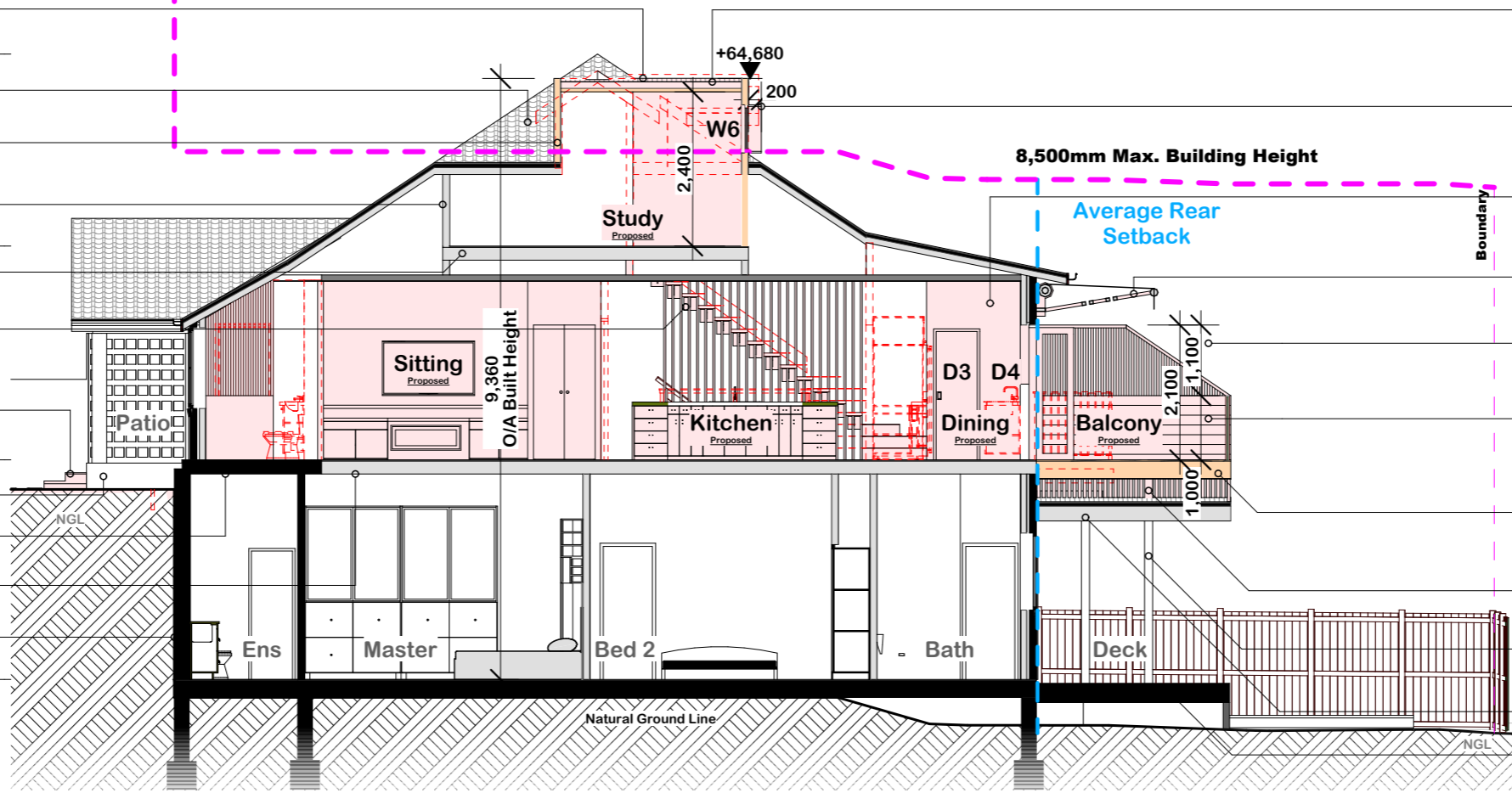
New timber framed stairs to comply with BCA/AS1684 & Part 3.9.1 of NCC

Existing concrete patio

Existing concrete floor

Existing timber floor frame

Existing masonry wall



New box gutter by builder to comply with AS1562-1992

New aluminium window shade device to BASIX requirements & manufacturers specifications

New internal timber wall frames to be lined with gyprock & to comply with Part 3.4 of NCC & AS1684

New retractable awning to manufacturers specifications

New timber privacy screen to comply with Part 3.9.2 of NCC

New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

New tiled timber framed balcony to comply with Part 3.4 of NCC & AS1684

New 125x125 timber post to comply with Part 3.4 of NCC & AS1684

Existing timber post

Existing sheet metal roof

Existing concrete deck

S-01
I-Section
1:100

New solar PV panels to manufacturers details

New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

Existing tiled roof

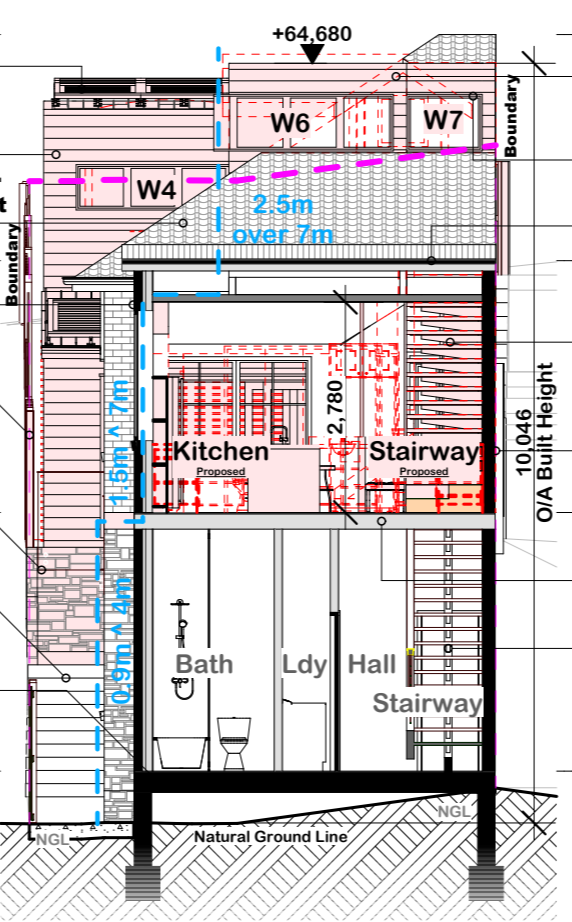
Existing masonry wall

New timber privacy screen to comply with Part 3.9.2 of NCC

New concrete block retaining wall with sandstone flagging to comply with Part 3.1.2 of NCC & AS4678

Existing concrete stairs

Existing concrete floor



New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

New aluminium window shade device to BASIX requirements & manufacturers specifications

Existing sheet metal roof

New timber & steel stairs to comply with BCA/Part 3.9.1 of NCC & engineers details

Existing masonry party-wall

Existing timber floor frame

Existing timber stairs

S-02
I-Section
1:100

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LEGEND

Existing	Masonry	Concrete	Roof Above
Demolished	Timber	Concrete Block	Structure Above/ Below

PROJECT NORTH

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DRAWING TITLE: **SECTIONS**
Sections I

SITE: **51 PINE STREET CAMMERAY NSW 2062**

Drawn | Checked
Publish Date: 31/05/2024
Project Status
Client
Project NO.
Revision NO.

Andy Sellar |
31/05/2024
Development Application
USA CROUDACE & PAUL HERBERT
51AHD0622
DA - RF1



PROJECT NAME: **Project #5 I**

DRAWING NO. **DA400**

New solar PV panels to manufacturers details

+65,060
5 Ridge

New box gutter by builder to comply with AS1562-1992

8,500mm Max. Building Height

New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

+62,070
3 First Floor

Existing timber ceiling frame

New timber privacy screen to comply with Part 3.9.2 of NCC

Existing masonry wall

New concrete block retaining wall with sandstone flagging to comply with Part 3.1.2 of NCC & AS4678

Existing concrete path

+55,320
1 Lwr. Ground Floor

New timber framed sheet metal roof to engineers details. Roof to comply with Part 3.5 & Part 3.4 of NCC. Pitch 1°

New FRL 60/60/60 masonry party-wall to underside of roof lining to comply with Part 3.7.2.4 of NCC

New internal timber wall frames to be lined with gyprock & to comply with Part 3.4 of NCC & AS1684

New timber & steel stairs to comply with BCA/Part 3.9.1 of NCC & engineers details

Existing masonry party-wall

Existing timber stairs

+58,740
2 Ground Floor

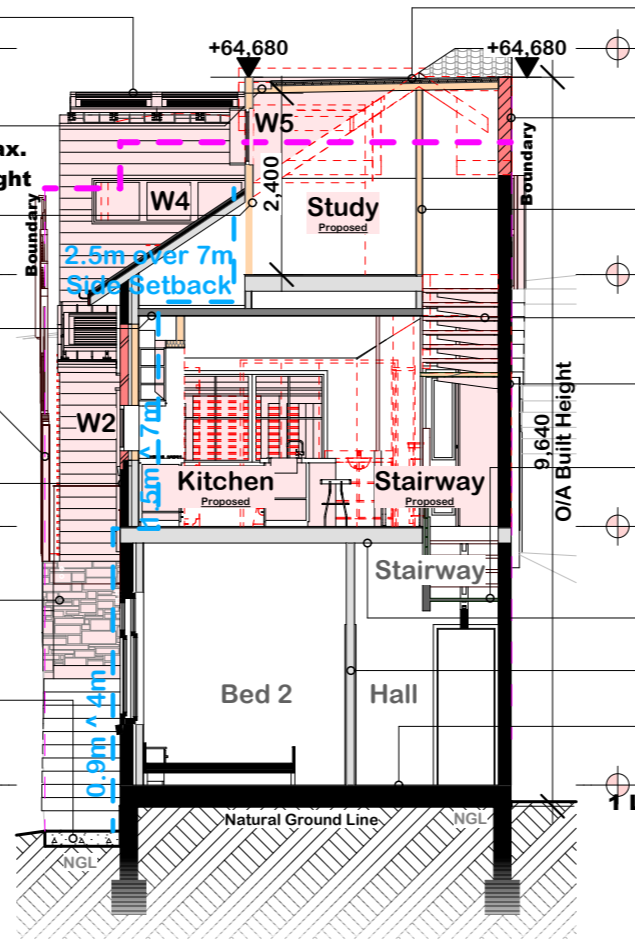
Existing timber floor frame

Existing timber wall frames

Existing concrete floor

S-Section
1:100

S-03



8,500mm Max. Building Height

New internal timber wall frames to be lined with gyprock & to comply with Part 3.4 of NCC & AS1684

New skylight to comply with AS4285-2007

+65,060
5 Ridge

New timber framed sheet metal roof to engineers details. Roof to comply with Part 3.5 & Part 3.4 of NCC. Pitch 10°

New timber privacy screen to comply with Part 3.9.2 of NCC

+62,070
3 First Floor

New concrete slab floor and footings to comply with Part 3.2 of NCC and engineers details

New glass handrail to comply with Part 3.9.2 of NCC

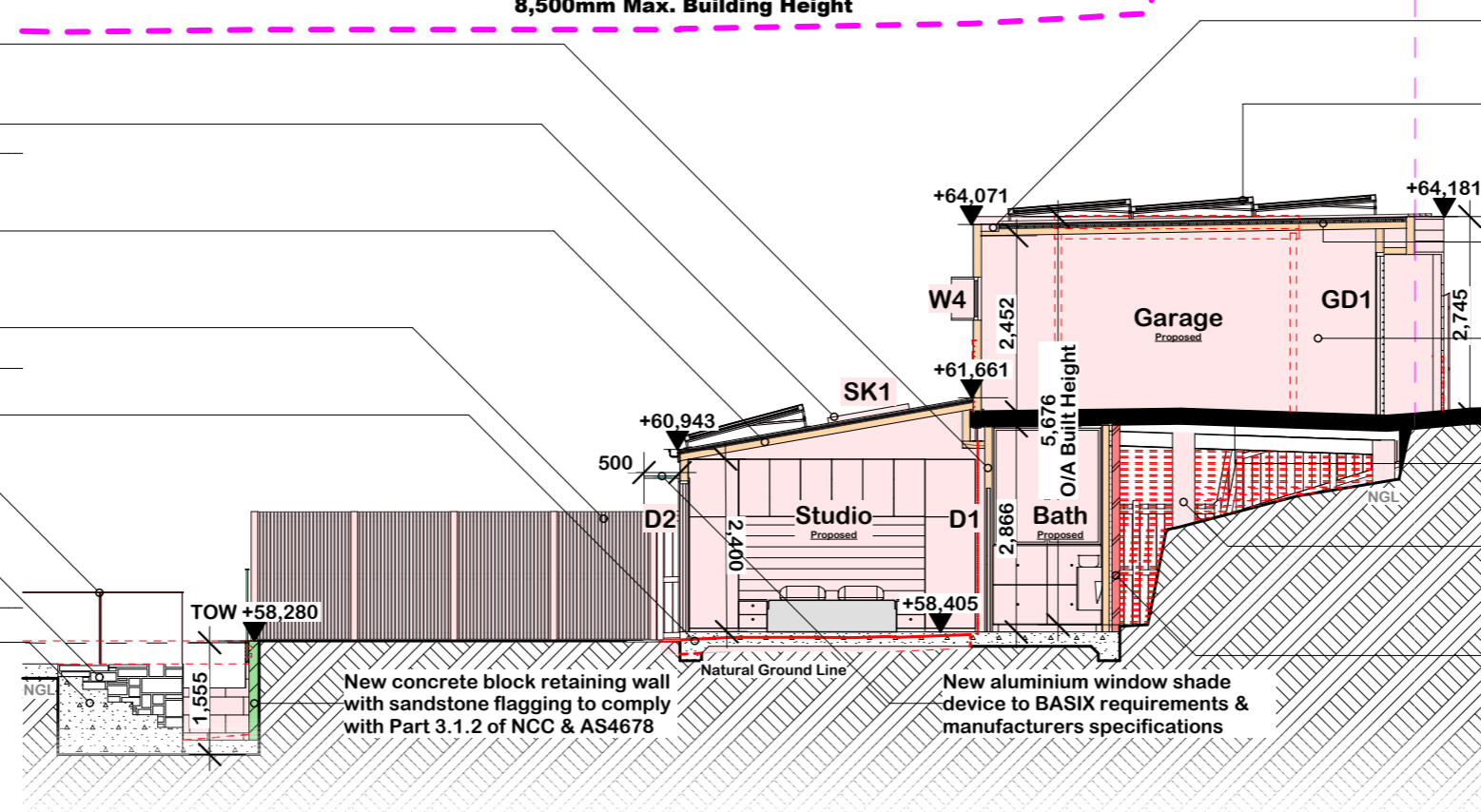
Existing concrete block retaining wall

+58,740
2 Ground Floor

New concrete structural stairs & landing to comply with Part 3.9.1 of NCC & AS2870

L-Section
1:100

L-04



New box gutter by builder to comply with AS1562-1992

New solar PV panels to manufacturers details

+65,060
5 Ridge

New timber framed sheet metal roof to engineers details. Roof to comply with Part 3.5 & Part 3.4 of NCC. Pitch 1°

New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684

+62,070
3 First Floor

Existing concrete hardstand

New concrete post to comply with Part 3.4 of NCC and engineer details

+58,740
2 Ground Floor

New rendered masonry wall to comply with Part 3.3 of NCC & AS3700

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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

PROJECT NORTH

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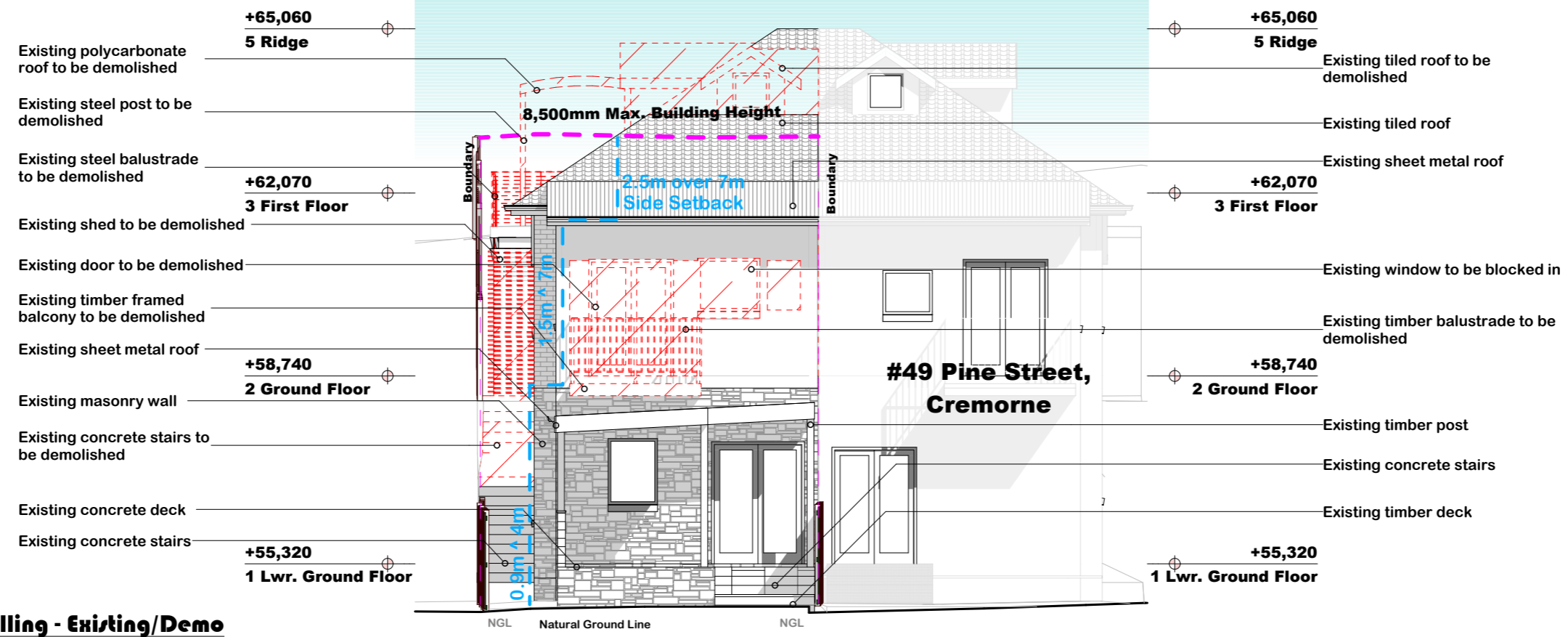
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SECTIONS
Section 2

SITE:
LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

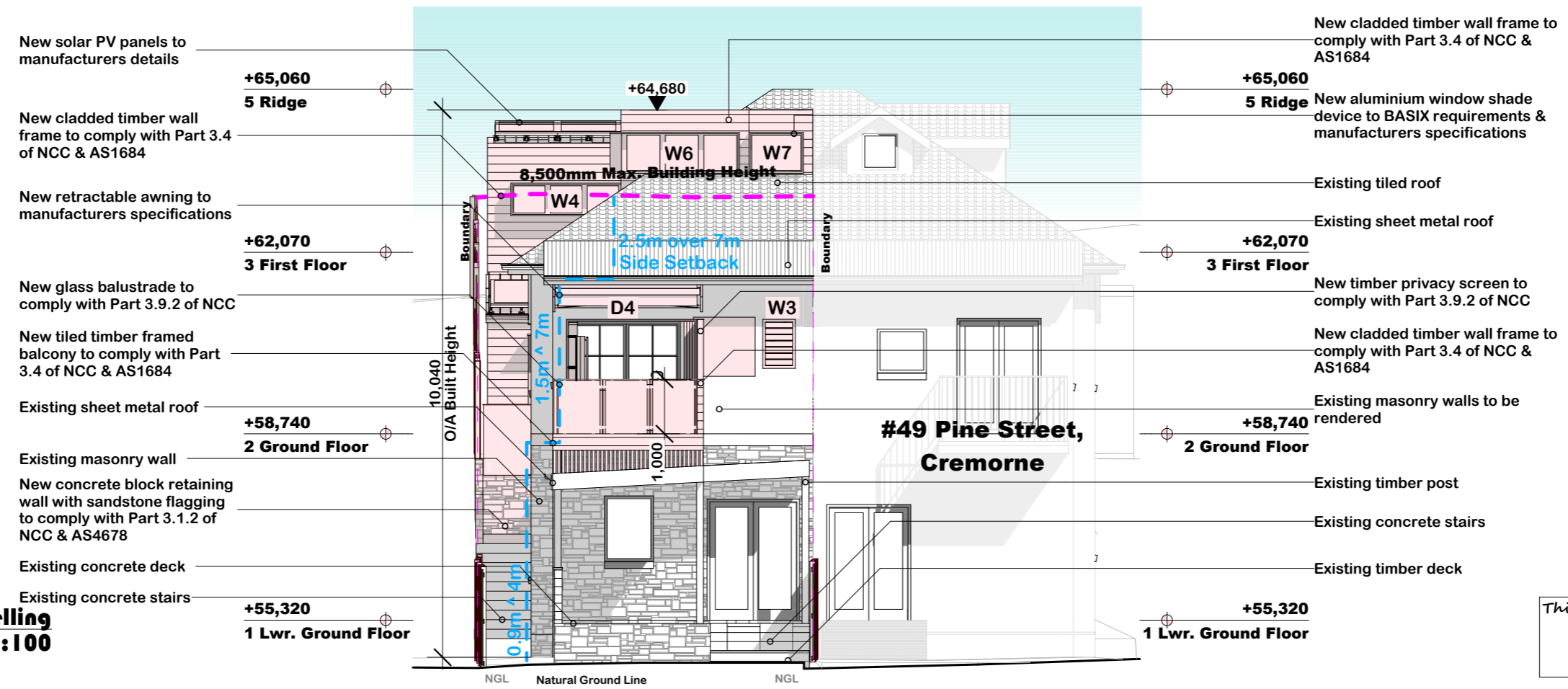
Drawn | Checked
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: USA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - RF1

ANDY'S HOME DESIGN

PROJECT NAME: Project #5 I
 DRAWING NO: DA401



E-01 North Elevation - Dwelling - Existing/Demo
1:100



E-01 North Elevation - Dwelling
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

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DRAWING TITLE:
ELEVATIONS
North Elevations - Dwelling

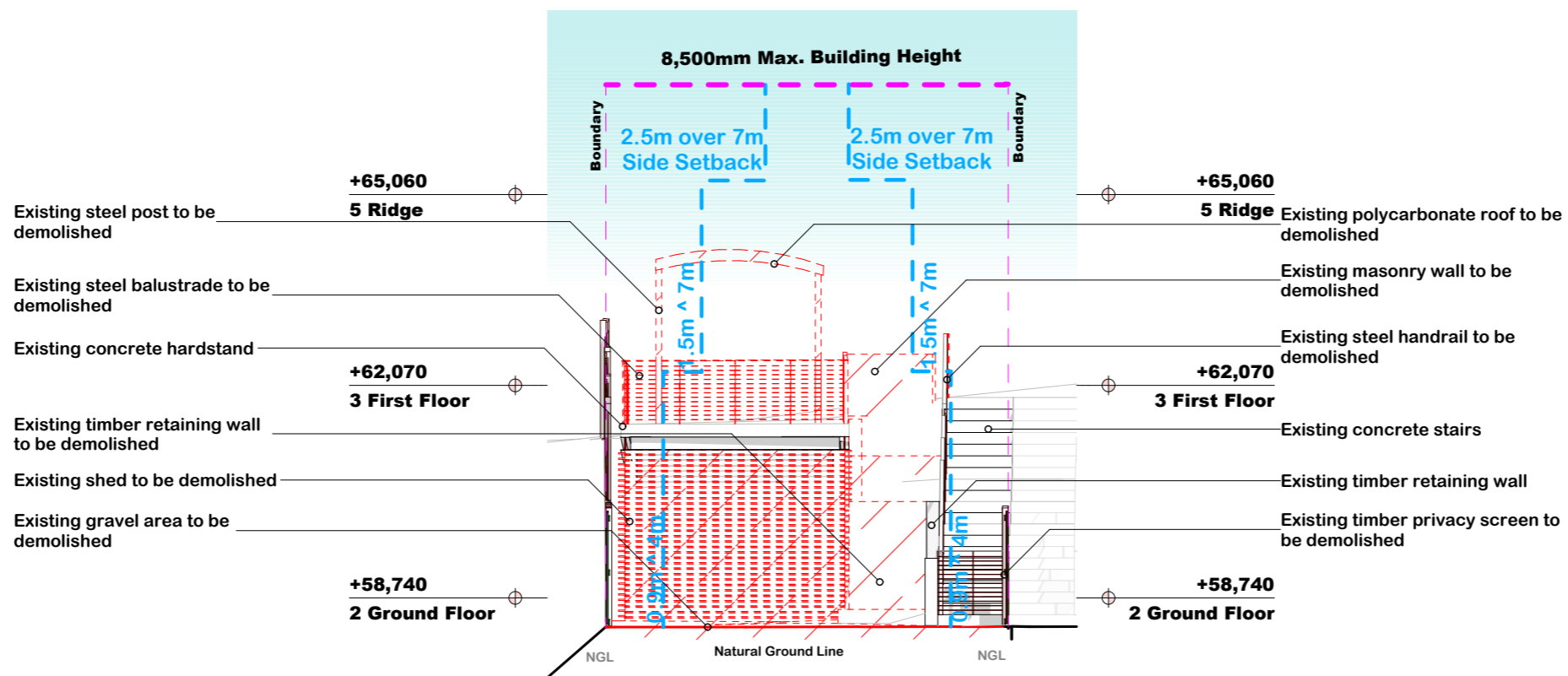
SITE:
 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn / Checked: Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AHD0622
Revision NO.: DA - Rf1

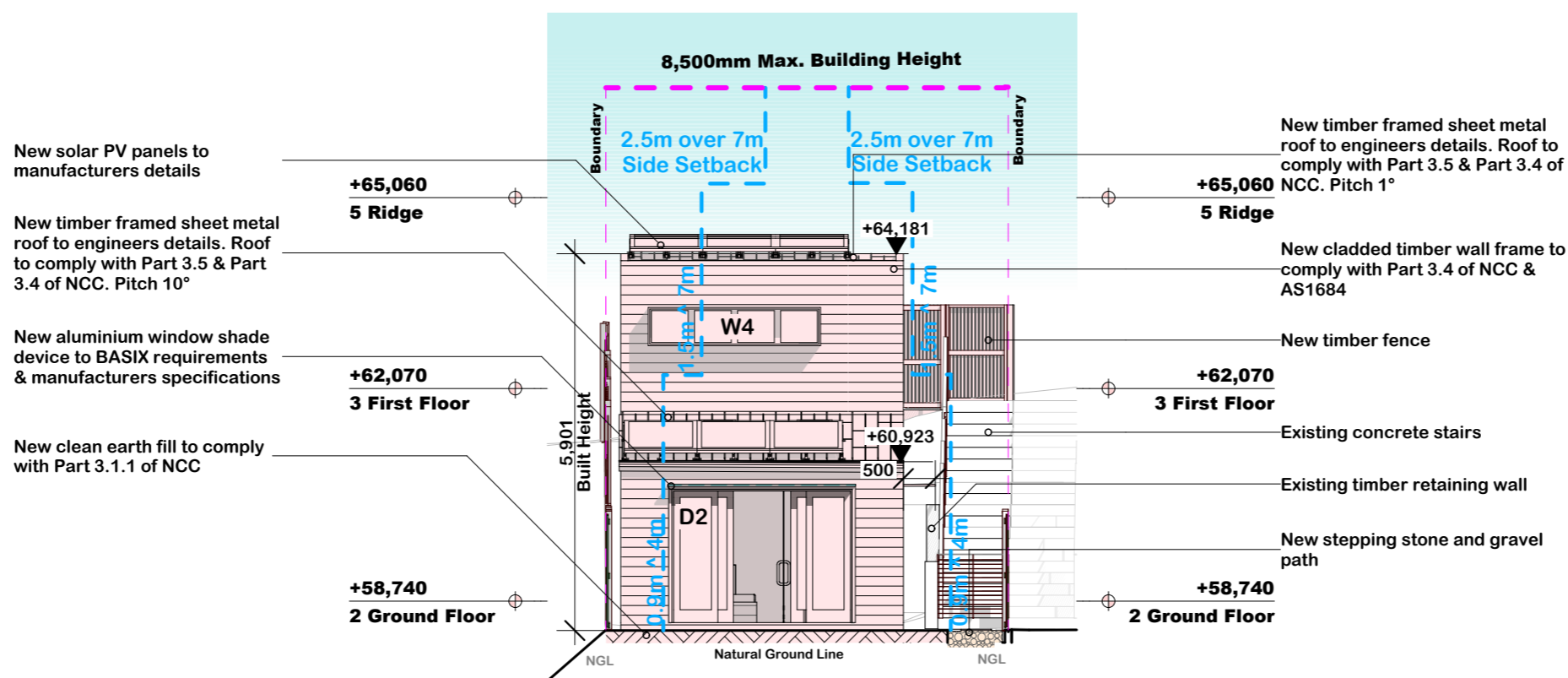


PROJECT NAME:
Project #5 I

DRAWING NO.:
DA500



E-02 North Elevation - Studio - Existing/Demo
1:100



E-02 North Elevation - Studio
1:100

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LEGEND

Existing	Masonry	Concrete	Existing/ Remains as is
Demolished	Timber	Concrete Block	Roof Above
			Structure Above/ Below

PROJECT NORTH

Andy's Home Design PTY LTD
 Director: Andy Sellar
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 0430-592-043
 info@andyshome.design

DRAWING TITLE: ELEVATIONS
North Elevations - Studio

SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

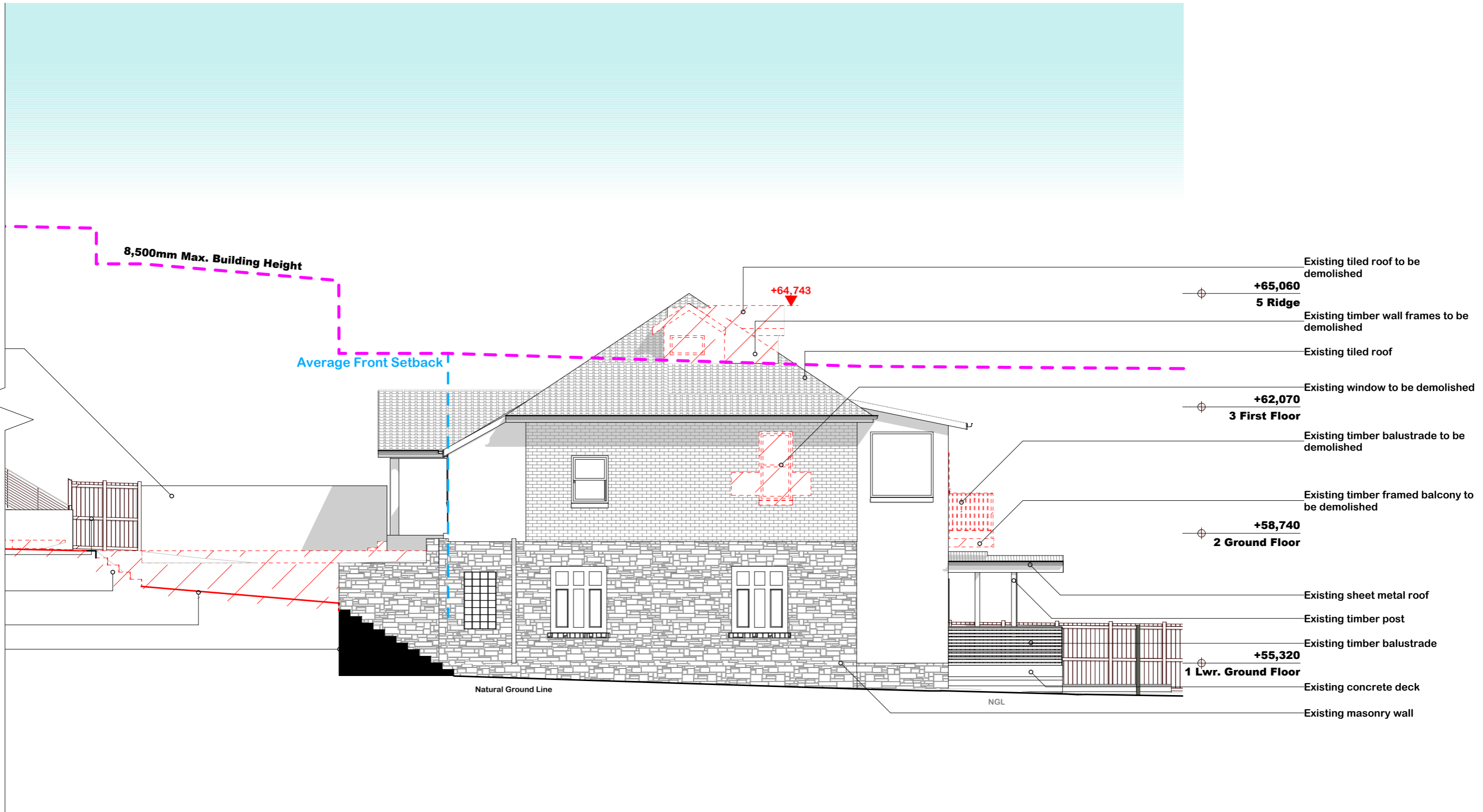
Drawn Checked	Andy Sellar
Publish Date:	31/05/2024
Project Status	Development Application
Client	LISA CROUDACE & PAUL HERBERT
Project NO.	51AND0622
Revision NO.	DA - RF1



PROJECT NAME:
Project # 5 I

DRAWING NO.
DA501

Continue on DA503



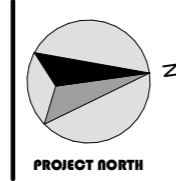
E-03 East Elevation - Existing/Demo
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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info@andyshome.design

DRAWING TITLE:
ELEVATIONS
East Elevations

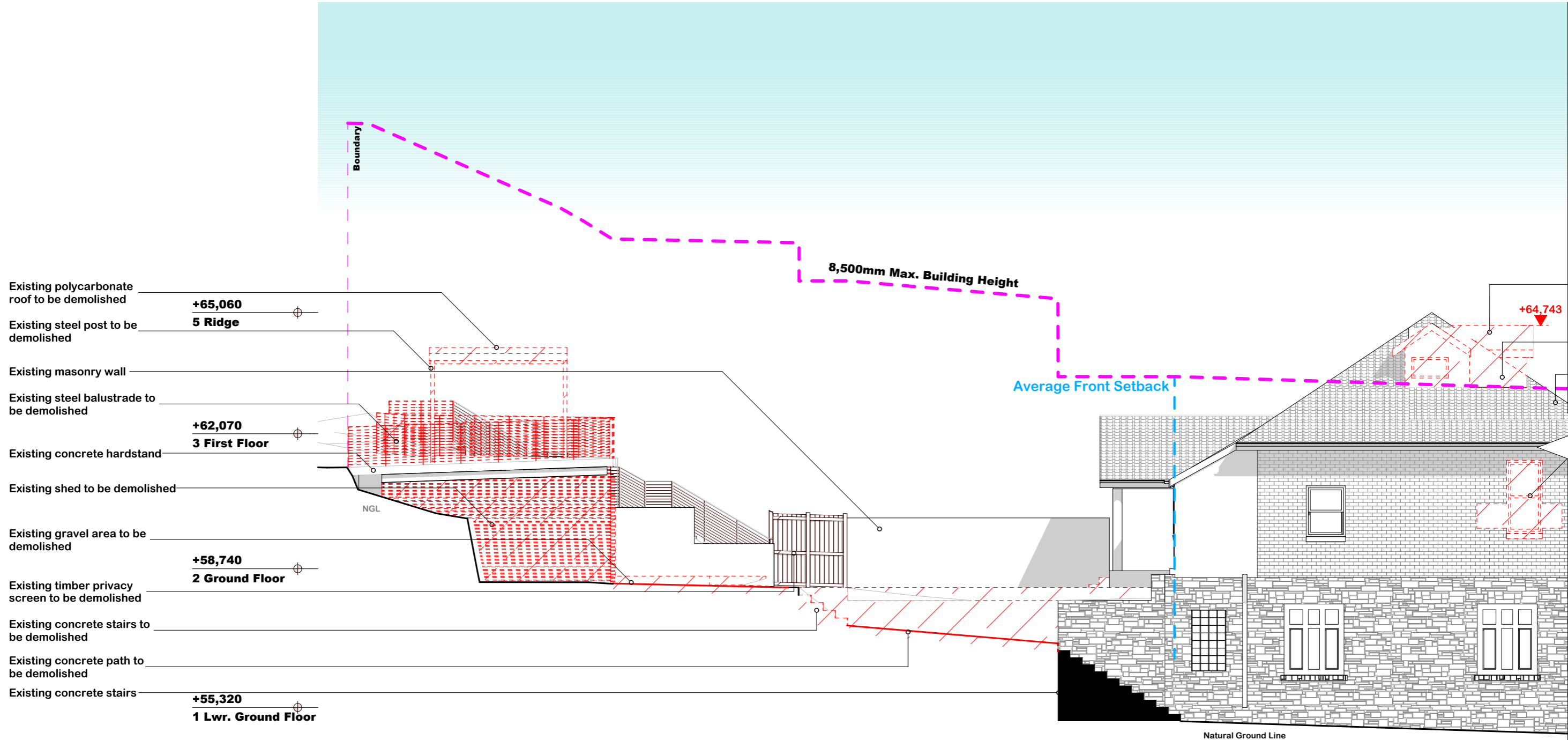
SITE:
LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

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Andy Sellar |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AHD0622
Revision NO.: DA - RF1



PROJECT NAME:
Project #5 I

DRAWING NO.:
DA502



Continue on DA502

E-03 East Elevation - Existing/Demo
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE: **ELEVATIONS**
East Elevations

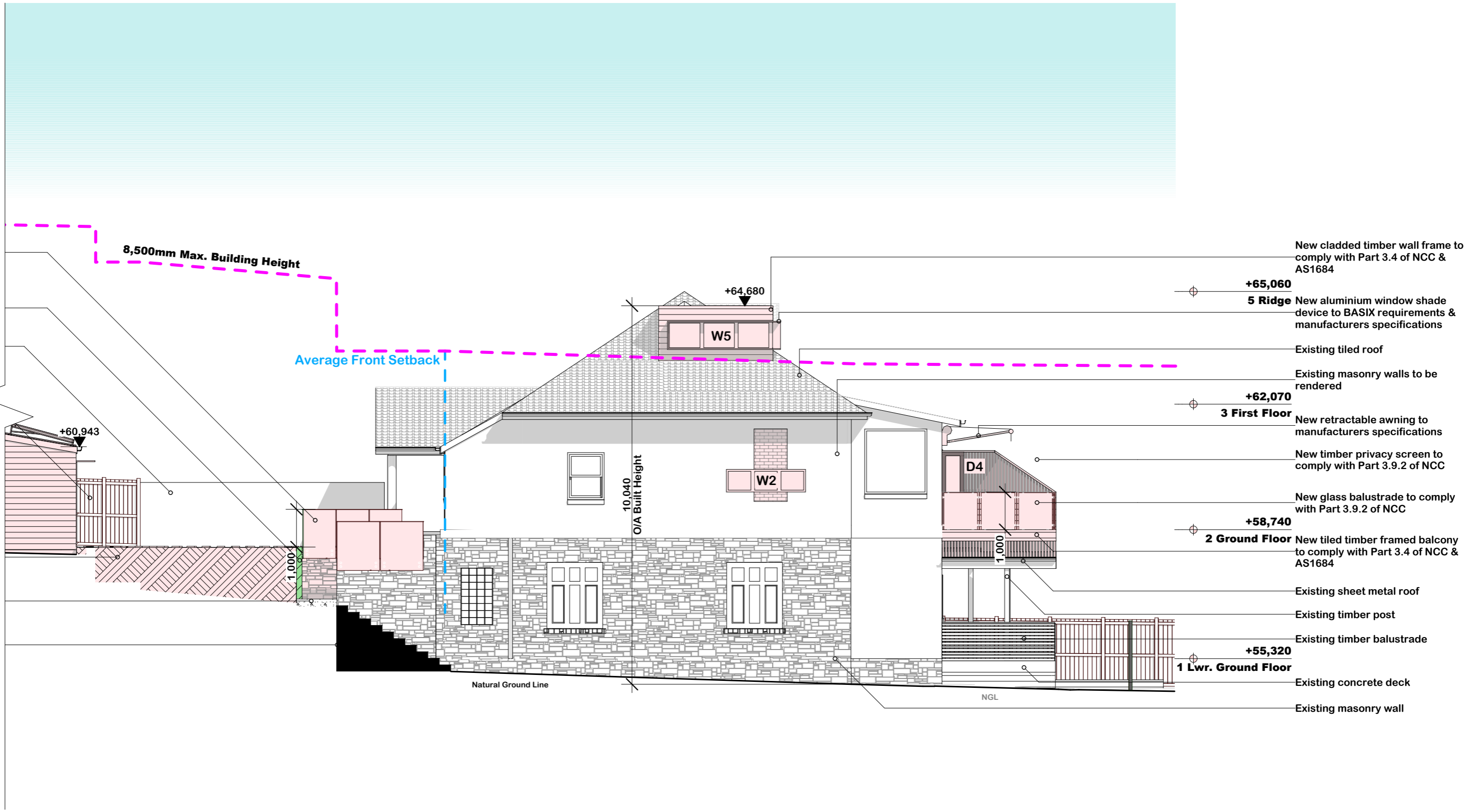
SITE: **51 PINE STREET CAMMERAY NSW 2062**

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Project Status: **Development Application**
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Project NO.: **51AHD0622**
Revision NO.: **DA - RF1**



PROJECT NAME: **Project #5 I**
DRAWING NO.: **DA503**

Continue on DA505



E-03 East Elevation
1:100

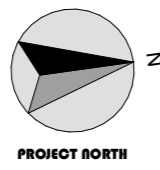
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LEGEND

Existing	Masonry	Concrete	Roof Above
Demolished	Timber	Concrete Block	Structure Above/ Below

Proposed (Pink box)
Demolition (Red dashed box)
Existing/ Remains as is (White box)



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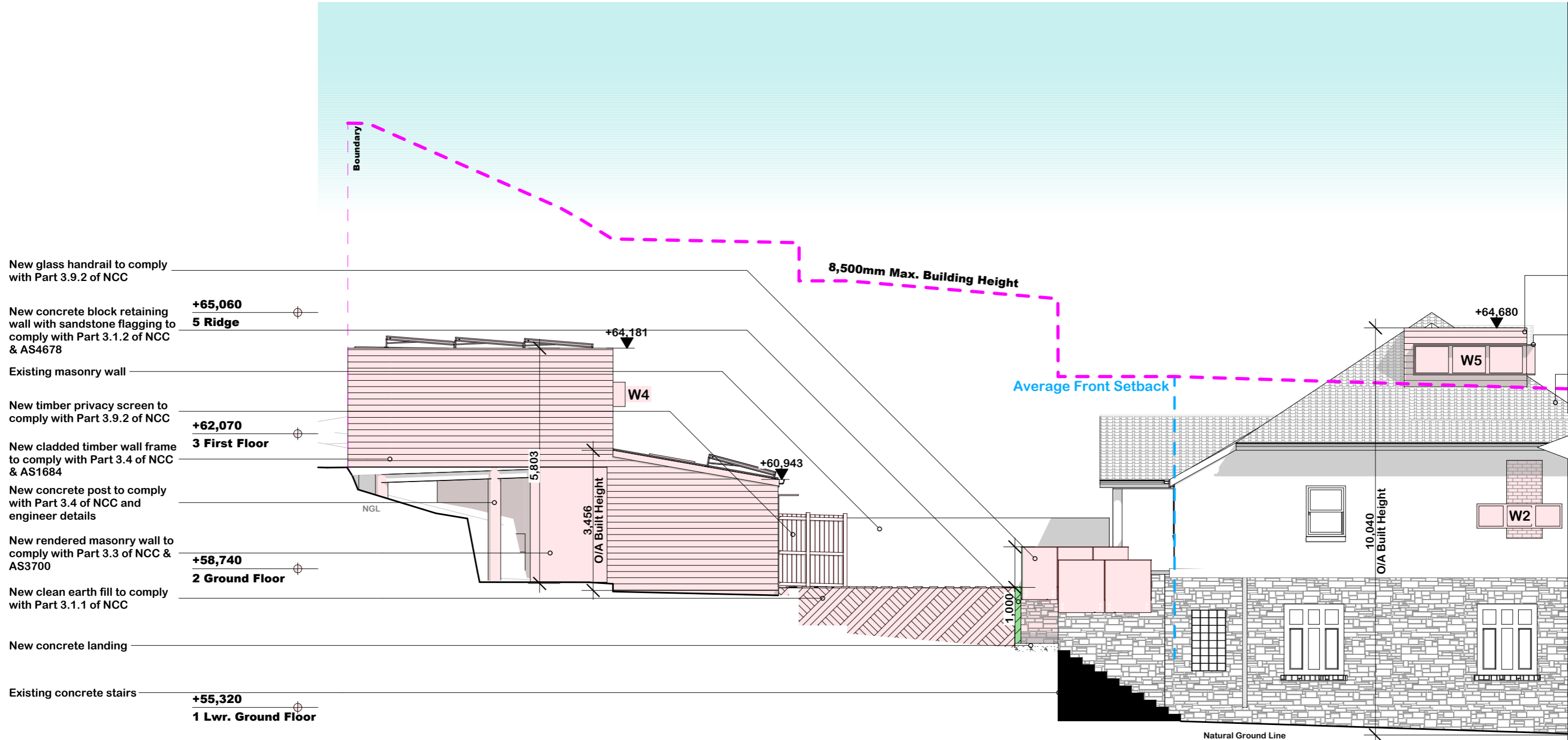
DRAWING TITLE: **ELEVATIONS
East Elevations**

SITE: **LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062**

Drawn | Checked: **Andy Sellar**
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 Project Status: **Development Application**
 Client: **ISA CROUDACE & PAUL HERBERT**
 Project NO.: **51AHD0622**
 Revision NO.: **DA - RFI**



PROJECT NAME: **Project #5 I**
 DRAWING NO.: **DA504**



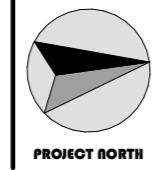
E-03 East Elevation
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE:
ELEVATIONS
East Elevations

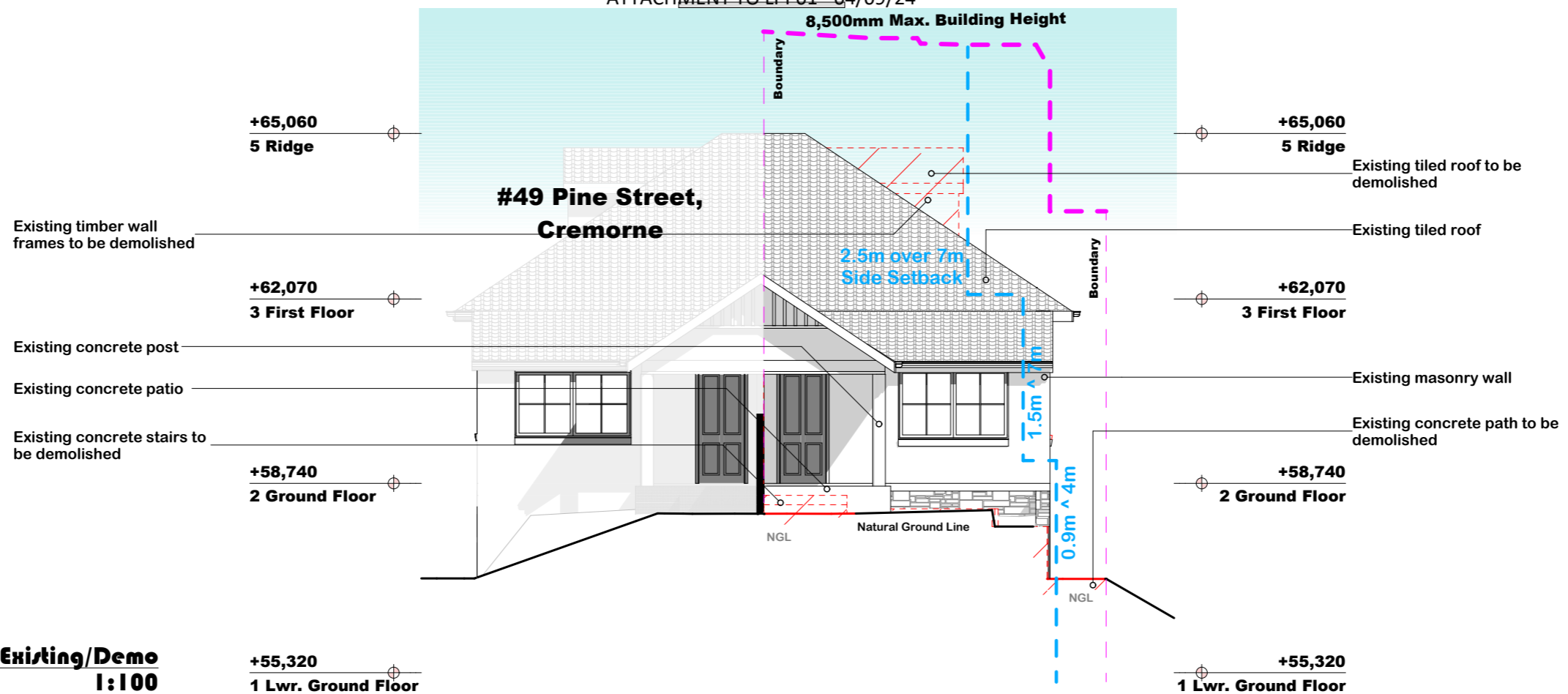
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Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RF1

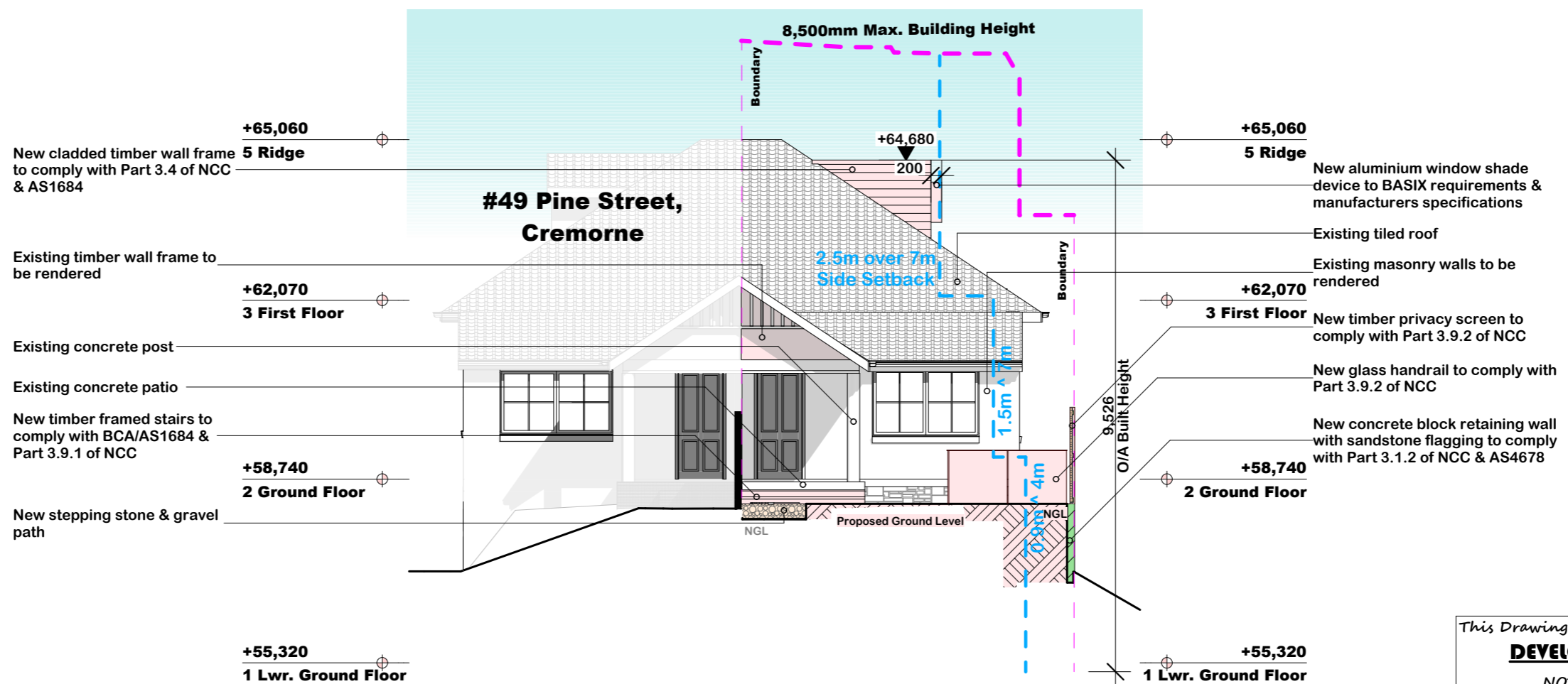


PROJECT NAME:
Project #5 I

DRAWING NO.:
DA505



E-04 South Elevation - Dwelling - Existing/Demo 1:100



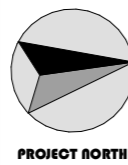
E-04 South Elevation - Dwelling 1:100

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LEGEND

Existing	Masonry	Concrete	Existing/ Remains as is
Demolished	Timber	Concrete Block	Roof Above
			Structure Above/ Below



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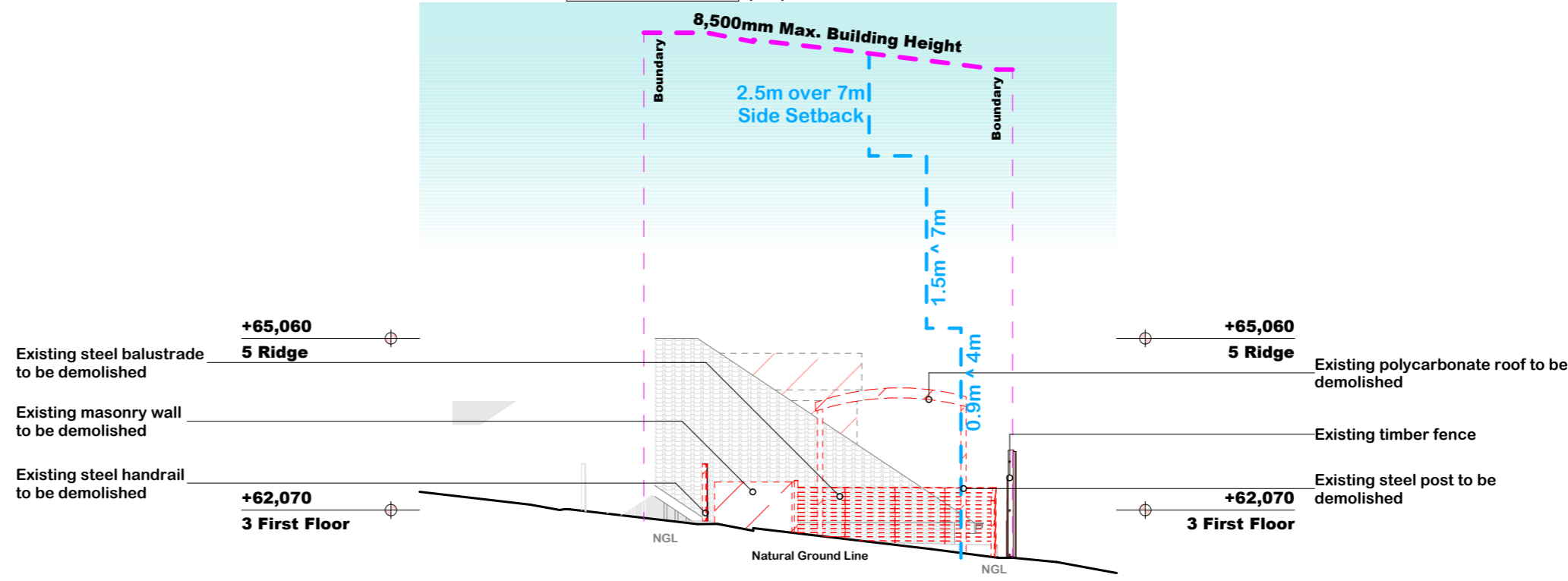
DRAWING TITLE: ELEVATIONS
South Elevations - Dwelling

SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

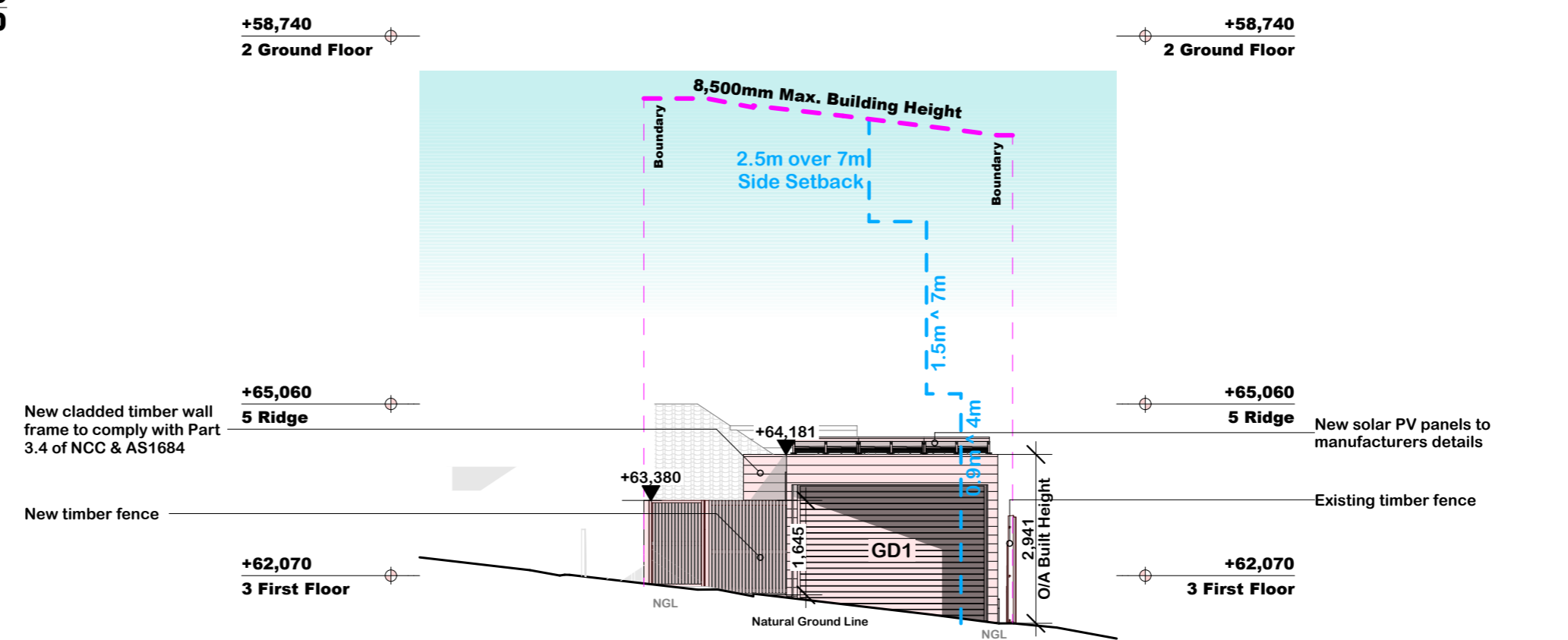
Drawn | Checked
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: USA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - RF1



PROJECT NAME: **Project #5 I**
 DRAWING NO: **DA506**



E-05 South Elevation - Garage - Existing/Demo
1:100



E-05 South Elevation - Garage
1:100

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LEGEND

Existing	Masonry	Concrete	Roof Above
Demolished	Timber	Concrete Block	Structure Above/ Below

PROJECT NORTH

Andy's Home Design PTY LTD
 Director: Andy Sellar
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DRAWING TITLE: **ELEVATIONS**
South Elevations - Garage

SITE: IOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

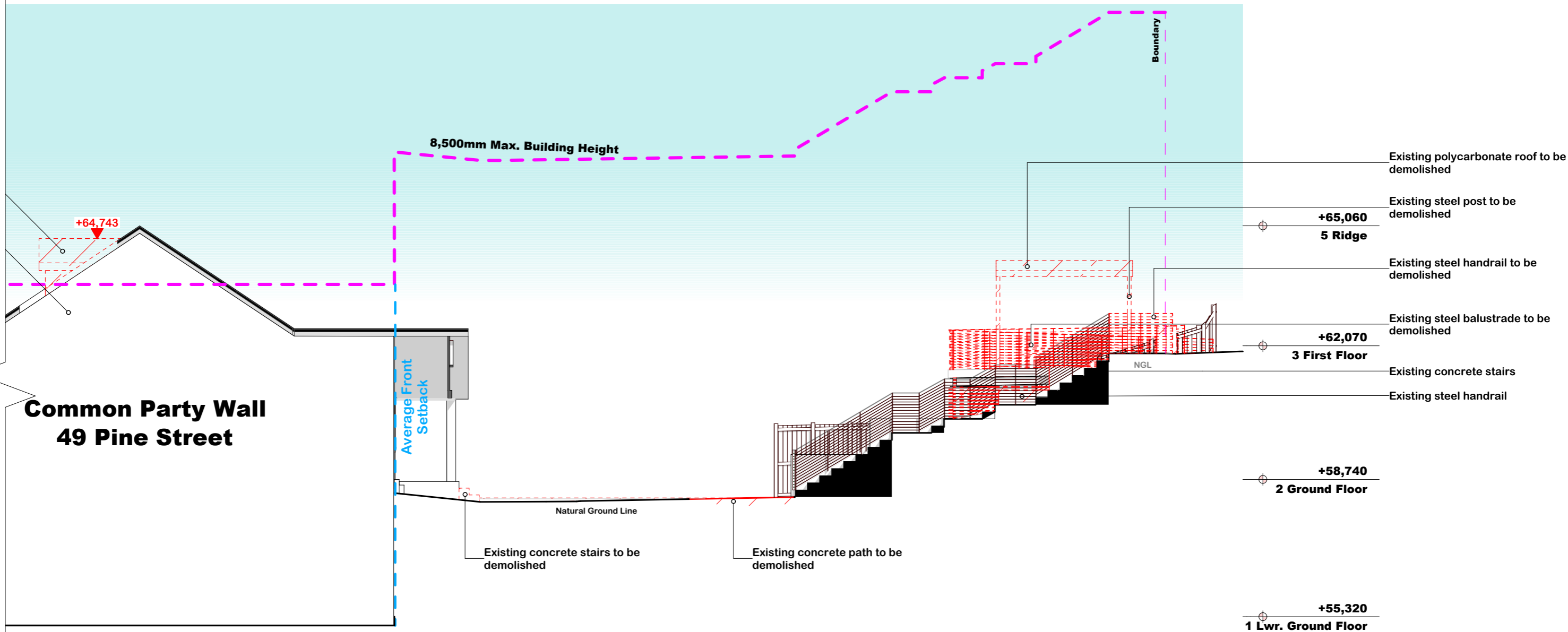
Drawn | Checked
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: USA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - RF1

PROJECT NAME: **Project #51**

DRAWING NO: **DA507**

ANDY'S HOME DESIGN

Continue on DA509



**Common Party Wall
49 Pine Street**

Average Front
Setback

8,500mm Max. Building Height

+64,743

Natural Ground Line

Existing concrete stairs to be demolished

Existing concrete path to be demolished

Existing polycarbonate roof to be demolished

Existing steel post to be demolished

Existing steel handrail to be demolished

Existing steel balustrade to be demolished

Existing concrete stairs

Existing steel handrail

+65,060
5 Ridge

+62,070
3 First Floor

+58,740
2 Ground Floor

+55,320
1 Lwr. Ground Floor

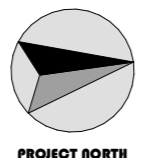
**E-06 West Elevation - Existing/Demo
1:100**

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE: **ELEVATIONS
West Elevations**

SITE: **51 PINE STREET CAMMERAY NSW 2062**

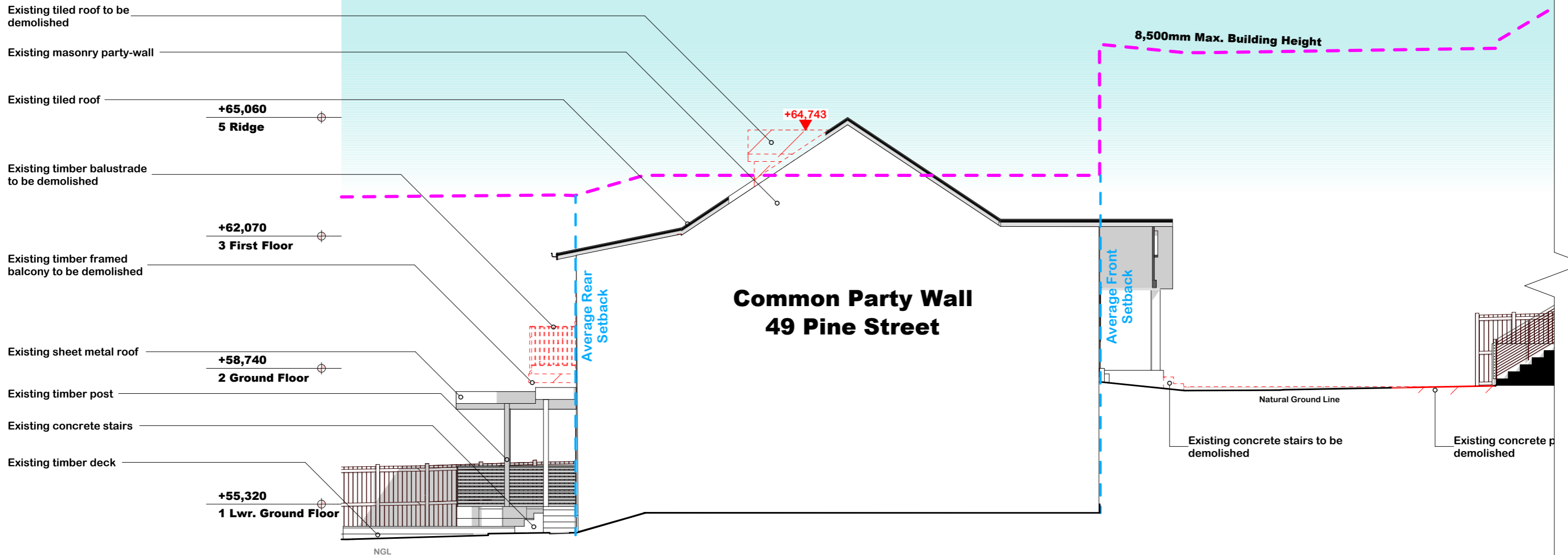
Drawn | Checked
Publish Date: 31/05/2024
Project Status
Client
Project NO.
Revision NO.

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31/05/2024
Development Application
ISA CROUDACE & PAUL HERBERT
51AHD0622
DA - RF1



PROJECT NAME: **Project #5 I**

DRAWING NO. **DA508**



Continue on DA508

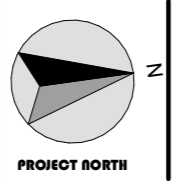
E-06 West Elevation - Existing/Demo
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE:
ELEVATIONS
West Elevations

SITE:
 LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

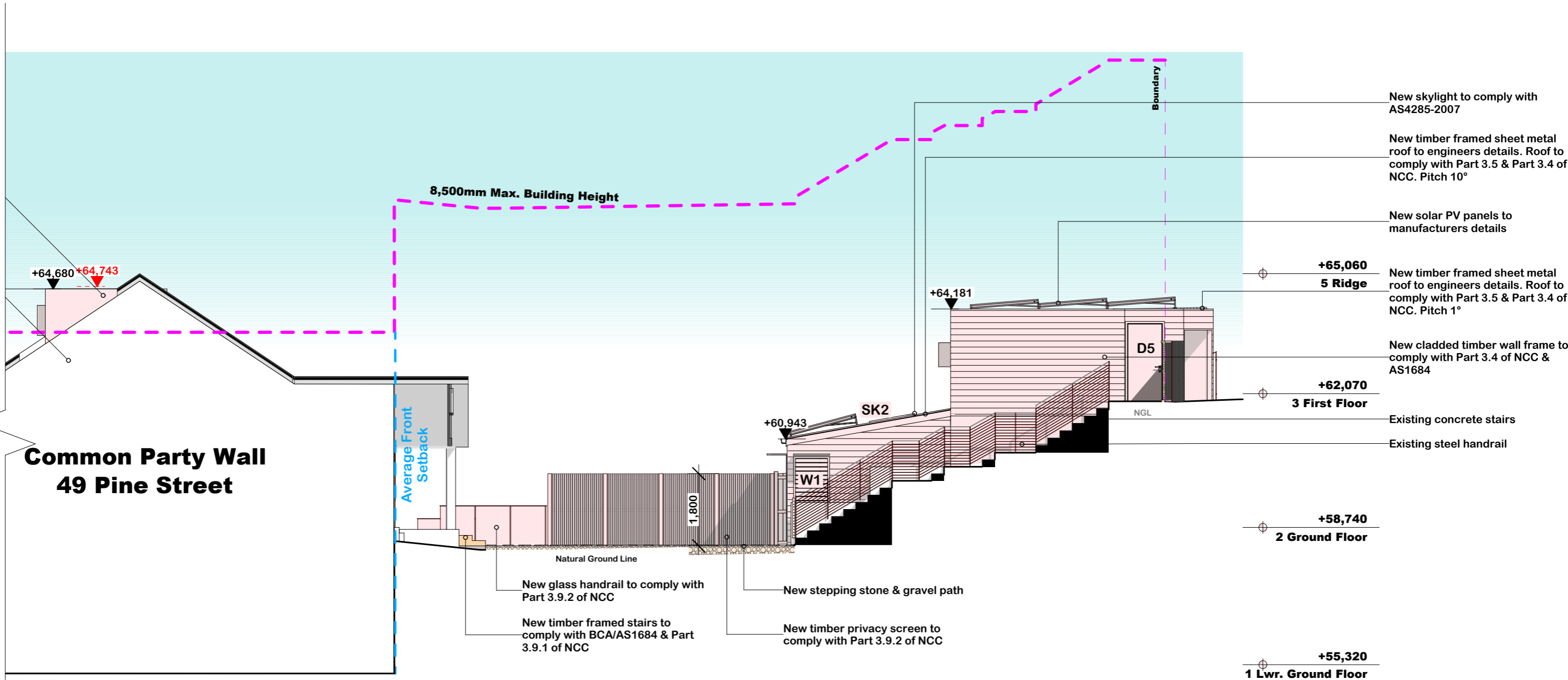
Drawn | Checked
 Andy Seller |
Publish Date: 31/05/2024
Project Status: Development Application
Client: USA CROUDACE & PAUL HERBERT
Project NO.: 51AND0622
Revision NO.: DA - RF1



PROJECT NAME:
Project # 5 I

DRAWING NO.:
DA509

Continue on DA511



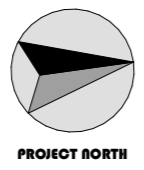
E-06 West Elevation
1:100

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE:
ELEVATIONS
West Elevations

SITE:
LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

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Revision NO.

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PROJECT NAME:
Project # 5 I

DRAWING NO.
DA510

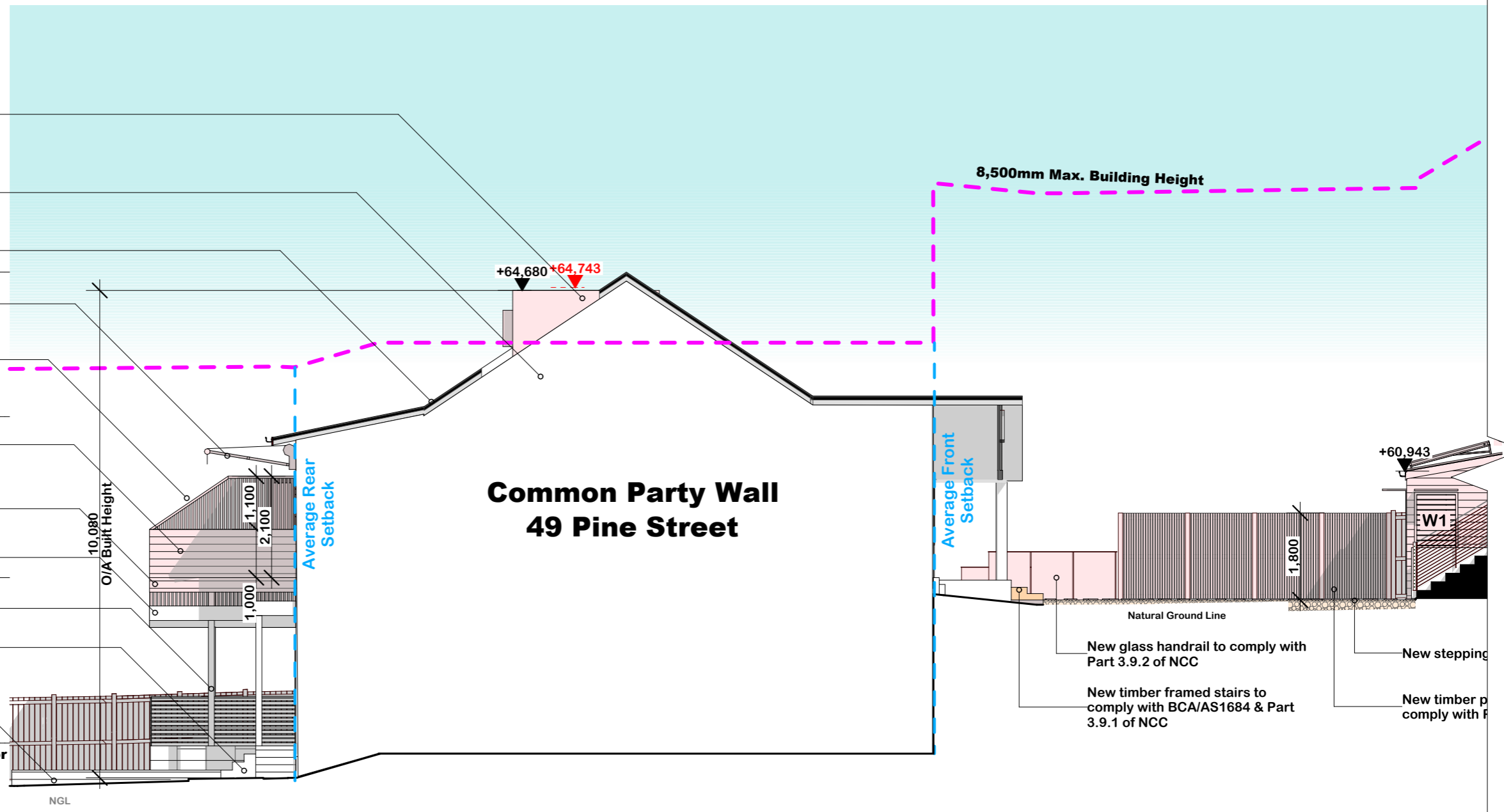
- New FRL 60/60/60 masonry party-wall to underside of roof lining to comply with Part 3.7.2.4 of NCC
- Existing masonry party-wall
- Existing tiled roof
- New retractable awning to manufacturers specifications
- New timber privacy screen to comply with Part 3.9.2 of NCC
- New cladded timber wall frame to comply with Part 3.4 of NCC & AS1684
- New tiled timber framed balcony to comply with Part 3.4 of NCC & AS1684
- Existing sheet metal roof
- Existing timber post
- Existing concrete stairs
- Existing timber deck

+65,060
5 Ridge

+62,070
3 First Floor

+58,740
2 Ground Floor

+55,320
1 Lwr. Ground Floor



**Common Party Wall
49 Pine Street**

Continue on DA510

**E-06 West Elevation
1:100**

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LEGEND

Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below

PROJECT NORTH

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DRAWING TITLE:
**ELEVATIONS
 West Elevations**

SITE:
 LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

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PROJECT NAME:
Project #5 I

DRAWING NO.:
DA511

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3D Perspective 1 - Existing



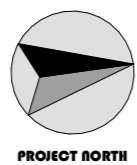
3D Perspective 1

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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE: **CONCEPT PRESENTATION Perspectives - External 1**
 SITE: **LOT 102 D.P. 876636 51 PINE STREET CAMMERAY NSW 2062**

Drawn Checked	Andy Seller
Publish Date:	31/05/2024
Project Status	Development Application
Client	LISA CROUDACE & PAUL HERBERT
Project NO.	51AHD0622
Revision NO.	DA - RF1



PROJECT NAME: **Project #5 I**
 DRAWING NO. **DA605**



3D Perspective 2 - Existing



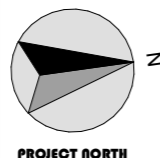
3D Perspective 2

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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE: **CONCEPT PRESENTATION Perspectives - External 2**
 SITE: IOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn Checked	Andy Seller
Publish Date:	31/05/2024
Project Status	Development Application
Client	LISA CROUDACE & PAUL HERBERT
Project NO.	51AHD0622
Revision NO.	DA - RFI



PROJECT NAME: **Project #51**
 DRAWING NO. **DA606**



3D Perspective 3 - Existing

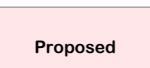
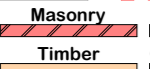

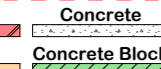
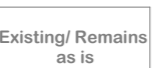

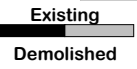
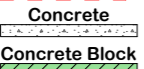



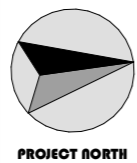
3D Perspective 3

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LEGEND

 Existing	 Demolished	 Masonry	 Demolition	 Concrete	 Roof Above
 Timber	 Concrete Block	 Structure Above/ Below			



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DRAWING TITLE: CONCEPT PRESENTATION
Perspectives - External 3
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

<i>Drawn Checked</i>	Andy Seller
<i>Publish Date:</i>	31/05/2024
<i>Project Status</i>	Development Application
<i>Client</i>	LISA CROUDACE & PAUL HERBERT
<i>Project NO.</i>	51AHD0622
<i>Revision NO.</i>	DA - Rf1



PROJECT NAME:
Project #5 I
DRAWING NO.
DA607



3D Perspective 4 - Existing



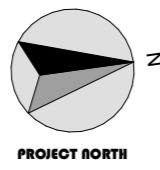
3D Perspective 4

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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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 Director: Andy Sellar
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DRAWING TITLE: **CONCEPT PRESENTATION Perspectives - External 4**

SITE: **LOT 102 D.P. 876636**
51 PINE STREET CAMMERAY NSW 2062

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 Publish Date: **31/05/2024**
 Project Status: **Development Application**
 Client: **USA CROUDACE & PAUL HERBERT**
 Project NO.: **51AHD0622**
 Revision NO.: **DA - RF1**



PROJECT NAME: **Project #5 I**
 DRAWING NO.: **DA608**



3D Perspective 5

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DRAWING TITLE: CONCEPT PRESENTATION
Perspectives - External 5
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked Andy Sellar |
Publish Date: 31/05/2024
Project Status Development Application
Client USA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - Rf1



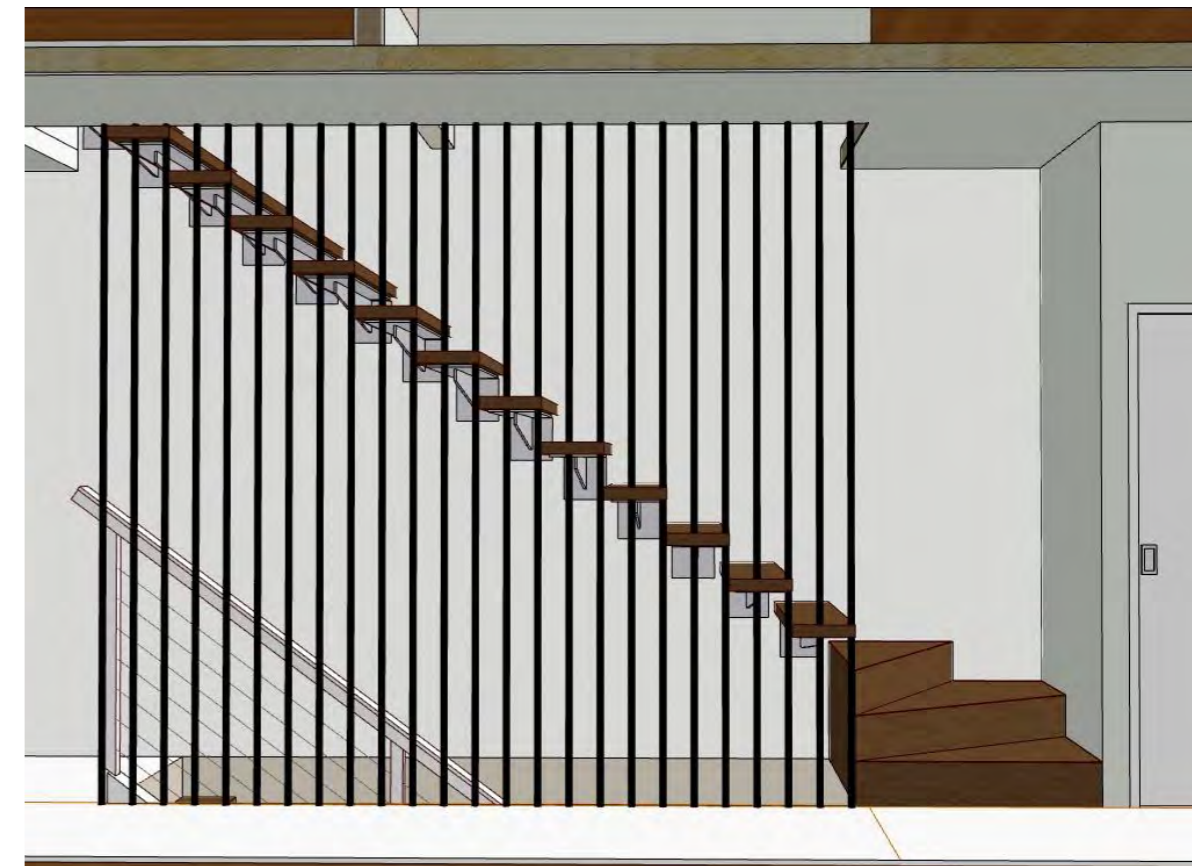
PROJECT NAME:
Project # 5 I
DRAWING NO.
DA609



lounge Detail



Studio



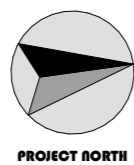
Stair Detail

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LEGEND

Proposed	Demolition	Existing/ Remains as is
Existing	Masonry	Concrete
Demolished	Timber	Concrete Block
		Roof Above
		Structure Above/ Below



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DRAWING TITLE: **CONCEPT PRESENTATION Perspectives - Cut Aways**
 SITE: **LOT 102 D.P. 876636 51 PINE STREET CAMMERAY NSW 2062**

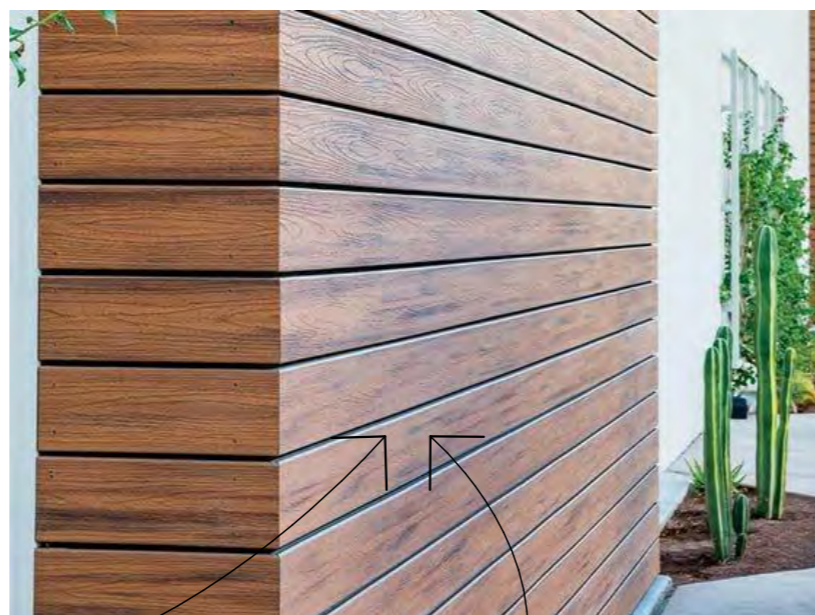
Drawn | Checked: **Andy Seller**
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 Project Status: **Development Application**
 Client: **USA CROUDACE & PAUL HERBERT**
 Project NO.: **51AHD0622**
 Revision NO.: **DA - RF1**



PROJECT NAME: **Project #5 I**
 DRAWING NO.: **DA610**



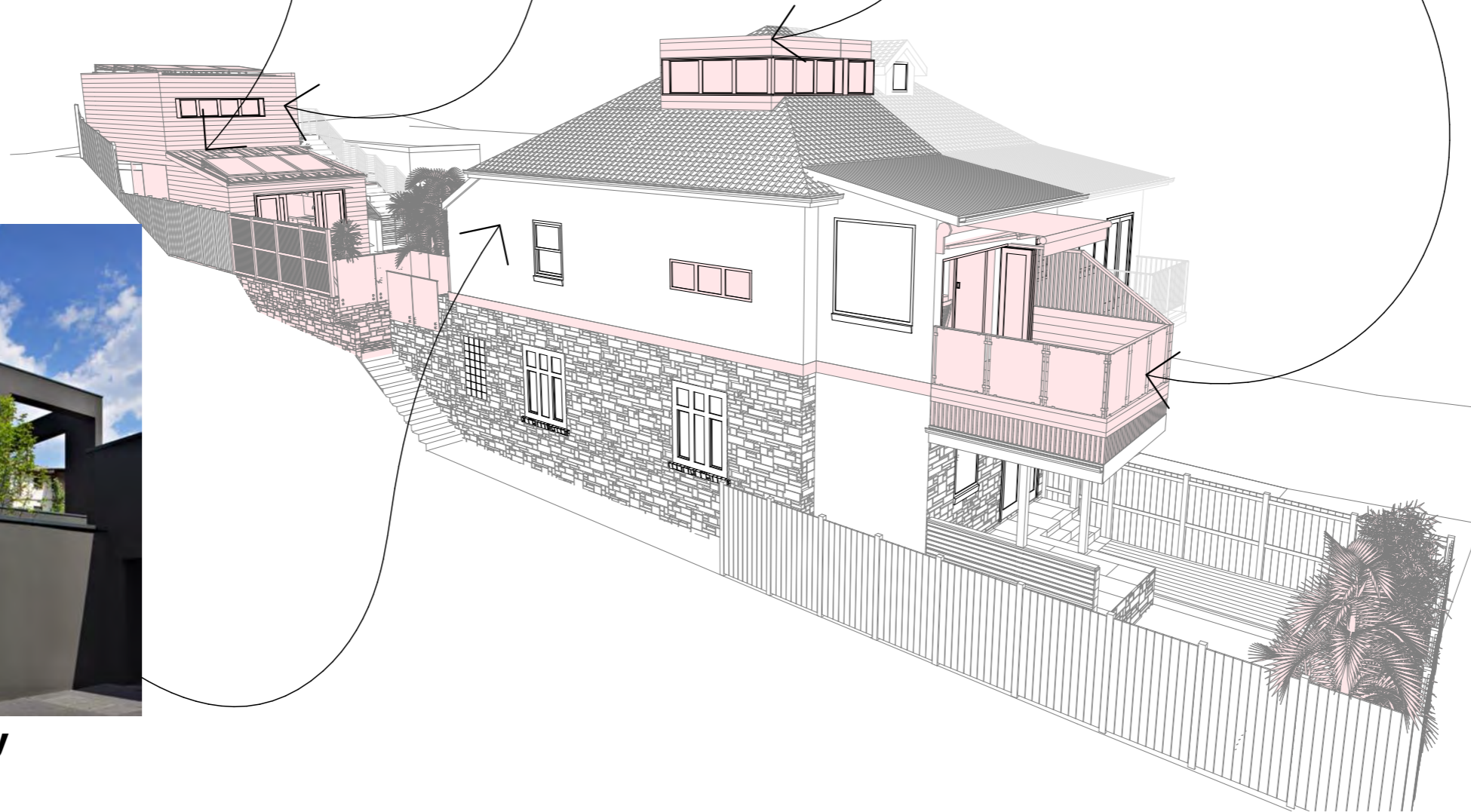
Sheet Metal Roofing



Timber Wall Cladding



Glass Balustrade

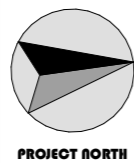


Rendered Masonry

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DRAWING TITLE: **CONCEPT PRESENTATION
Material Selection**
SITE: **51 PINE STREET CAMMERAY NSW 2062**
LOT 102 D.P. 876656








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51AHD0622
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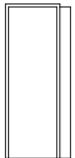

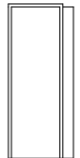


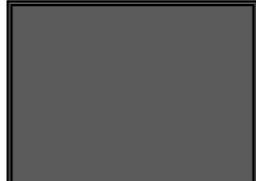
PROJECT NAME:
Project #5 I
DRAWING NO.
DA611

Window Schedule

Number	W1	W2	W3	W4	W5	W6	W7
W x H	900x2,100	2,100x600	600x900	2,700x600	2,738x750	2,115x750	1,000x750
Sill Height	0	1,000	1,200	1,500	1,450	1,450	34
Window Opening Surface Area (BASIX)	1.89	1.26	0.54	1.62	2.05	1.59	0.75
View from Opening Side							



Window Schedule

Door Schedule

Number	D1	D2	D3	D4	D5	GD1
W x H	720x2,040	2,850x2,100	720x2,040	2,400x2,100	900x2,100	3,300x2,400
Door Opening Surface Area (BASIX)	1.47	5.99	1.47	5.04	1.89	7.92
View from Opening Side						

Door Schedule

Skylight Schedule

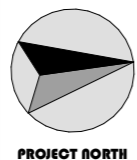
NAME	SK1	SK2
Skylight Opening W x H Size	550x1,140	550x1,140
Skylight Opening Area	0.63	0.63
2D Plan Preview		

Skylight Schedule

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DRAWING TITLE: CONCEPT PRESENTATION Schedules
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn / Checked Andy Seller |
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Project Status Development Application
Client USA CROUDACE & PAUL HERBERT
Project NO. 51AND0622
Revision NO. DA - RF1

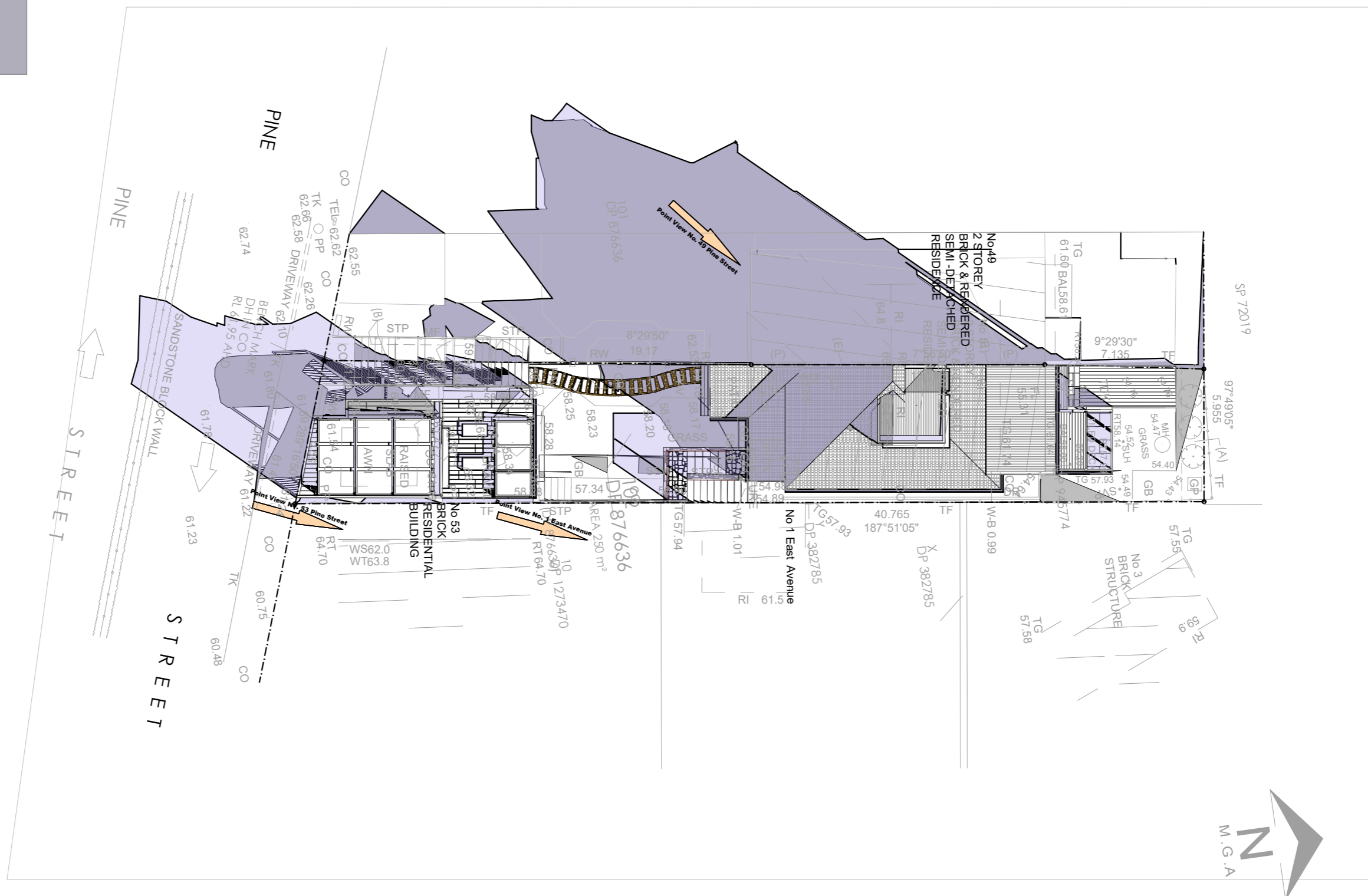
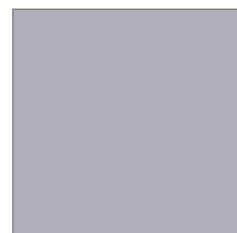
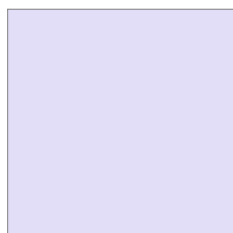


PROJECT NAME: Project #5 I
DRAWING NO. DA614

Legend

New Additional Shadow Cast

Existing Shadow Cast



4 SHADOW PLAN 21 JUN at 0900h
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PROJECT NORTH

Andy's Home Design PTY LTD
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 info@andyshome.design

DRAWING TITLE: SHADOW PLANS
Diagram 1 - 9am - Winter Solstice

SITE: 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

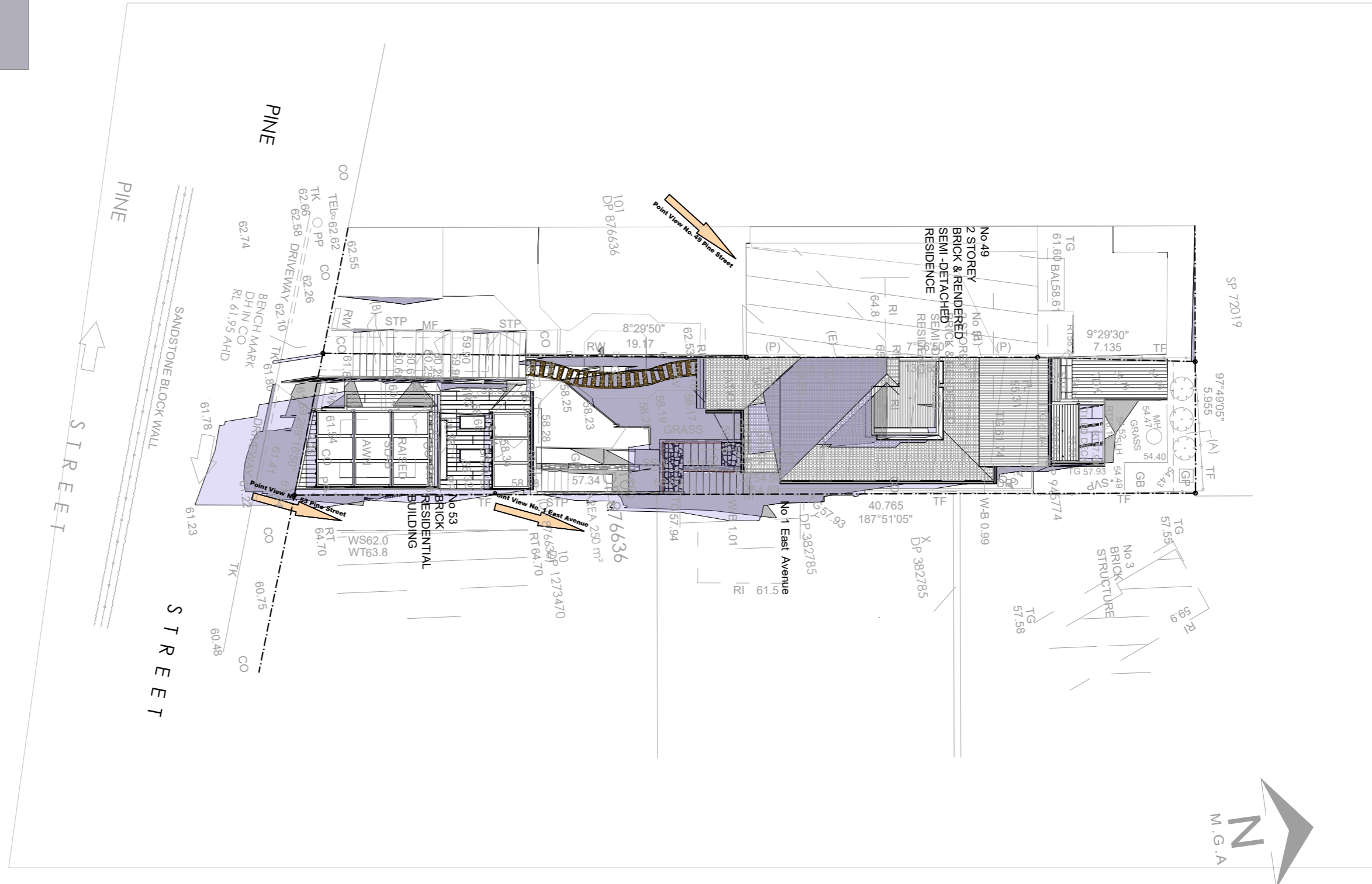
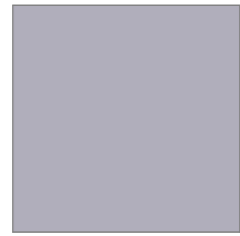
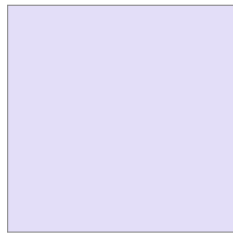
Drawn | Checked Andy Seller |
Publish Date: 31/05/2024
Project Status Development Application
Client USA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - Rf1

PROJECT NAME: Project #5 I
DRAWING NO. DA616

Legend

New Additional Shadow Cast

Existing Shadow Cast



5 SHADOW PLAN 21 JUN at 1200h
1:200
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DRAWING TITLE: SHADOW PLANS
Diagram 2 - 12pm - Winter Solstice
SITE: 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked Andy Seller |
Publish Date: 31/05/2024
Project Status Development Application
Client USA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - Rf1

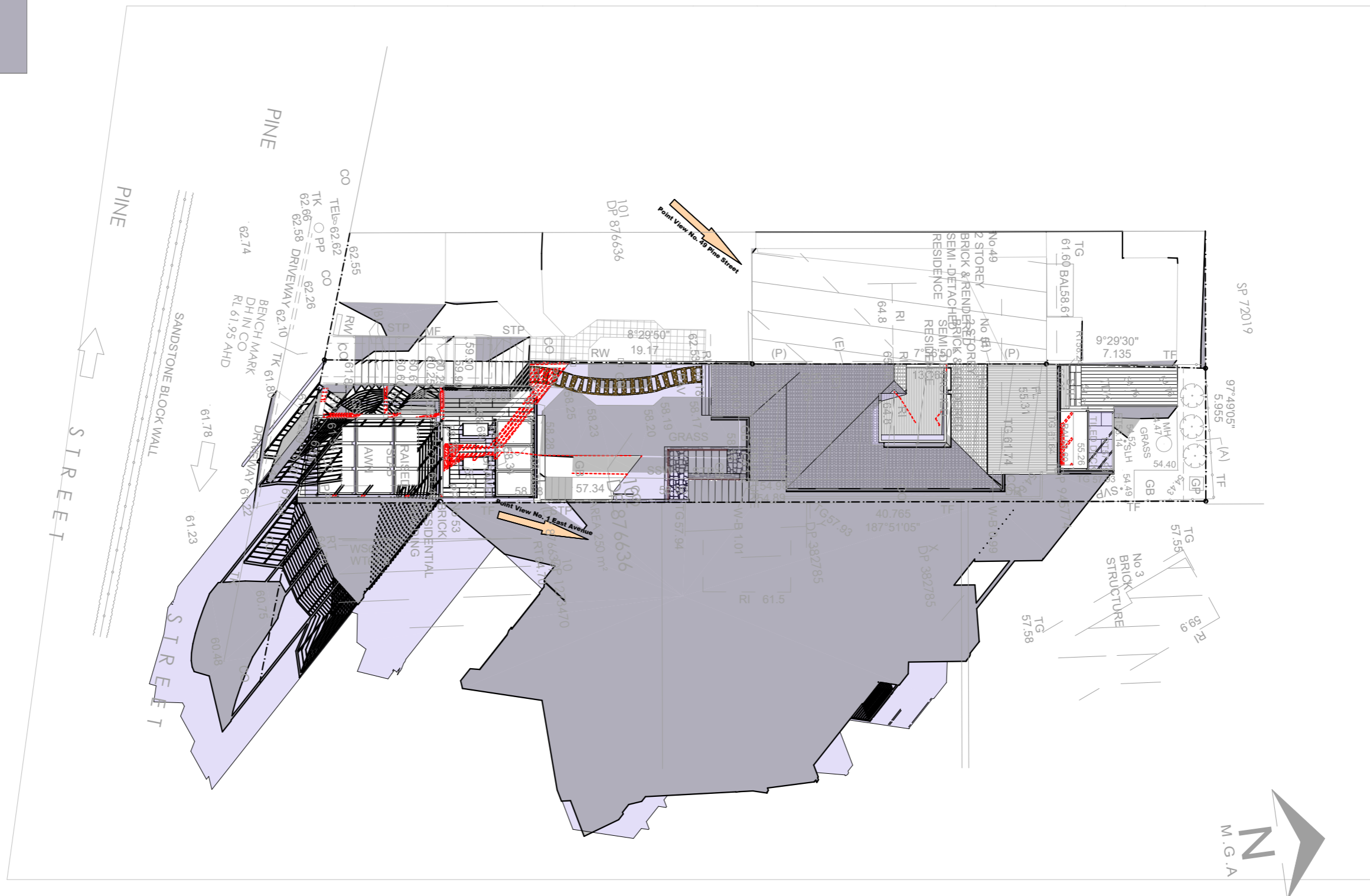
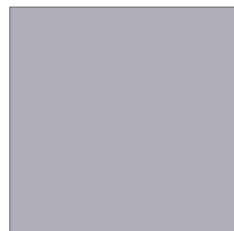
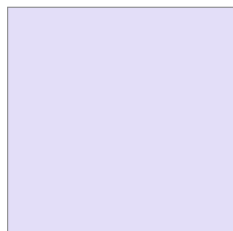


PROJECT NAME: Project #5 I
DRAWING NO. DA617

Legend

New Additional Shadow Cast

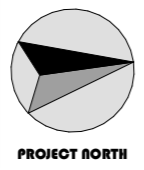
Existing Shadow Cast



6 SHADOW PLAN 21 JUN at 1500h
 © Andy's Home Design Pty Ltd 1:200

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Andy's Home Design PTY LTD
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DRAWING TITLE: SHADOW PLANS
Diagram 3 - 3pm - Winter Solstice
 SITE: 101 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Publish Date: 31/05/2024
 Project Status: Development Application
 Client: USA CROUDACE & PAUL HERBERT
 Project NO: 51AHD0622
 Revision NO: DA - Rf1

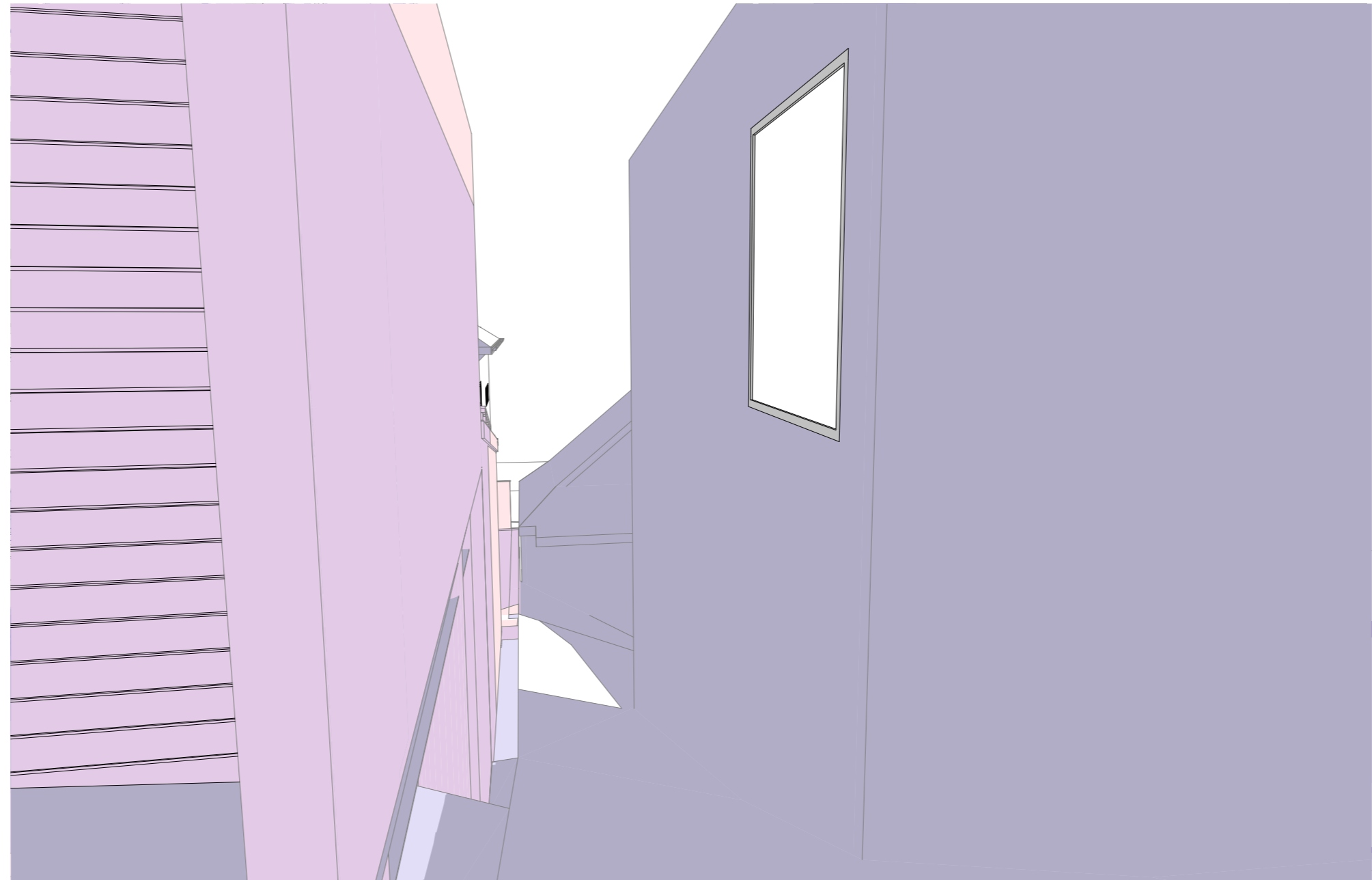
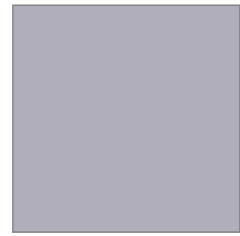
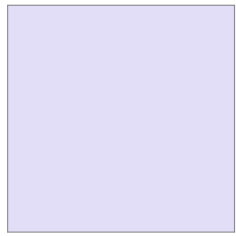


PROJECT NAME: **Project #5 I**
 DRAWING NO: **DA618**

Legend

New Additional Shadow Cast

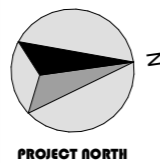
Existing Shadow Cast



Wall Elevation 21 June at 0900h - No. 53 Pine Street
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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 1 - 9am - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked Andy Seller |
Publish Date: 31/05/2024
Project Status Development Application
Client LISA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - RF1

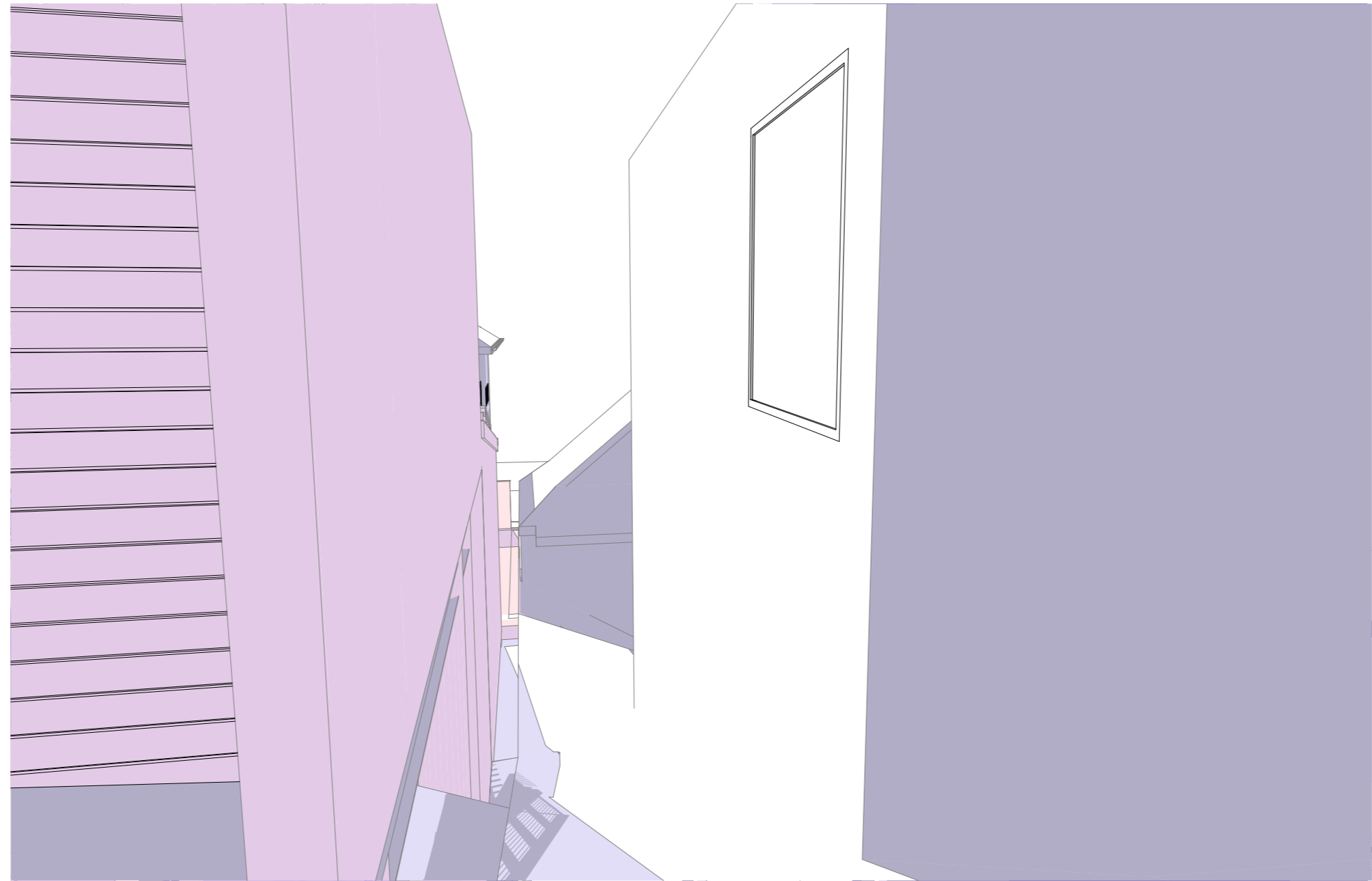
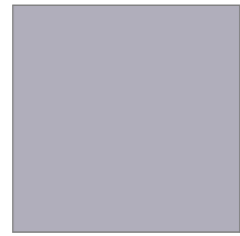
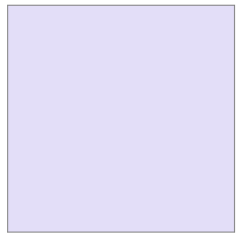


PROJECT NAME:
Project #51
DRAWING NO.
DA619

Legend

New Additional Shadow Cast

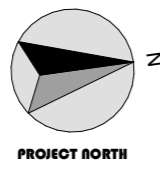
Existing Shadow Cast



Wall Elevation 21 June at 1200h - No. 53 Pine Street
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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 2 - 12pm - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

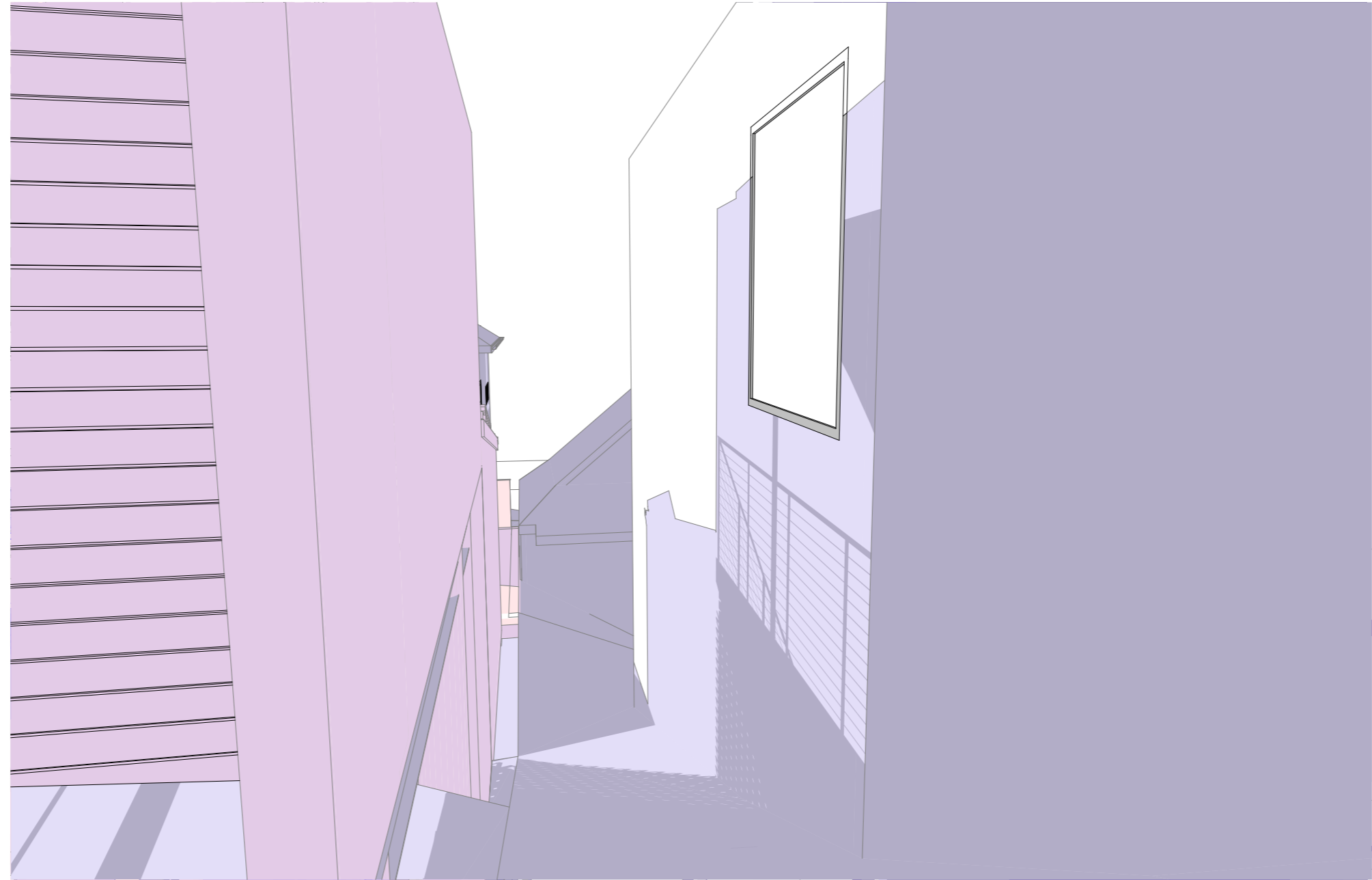
Drawn | Checked Andy Seller |
Publish Date: 31/05/2024
Project Status Development Application
Client LISA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - Rf1



PROJECT NAME: Project #51
DRAWING NO. DA620

Legend

New Additional Shadow Cast	Existing Shadow Cast

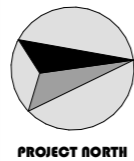


Wall Elevation 21 June at 1500h - No. 53 Pine Street
1:200

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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 3 - 3pm - Winter Solstice
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Publish Date:
 Project Status
 Client
 Project NO.
 Revision NO.

Andy Seller |
 31/05/2024
 Development Application
 LISA CROUDACE & PAUL HERBERT
 51AHD0622
 DA - RFI

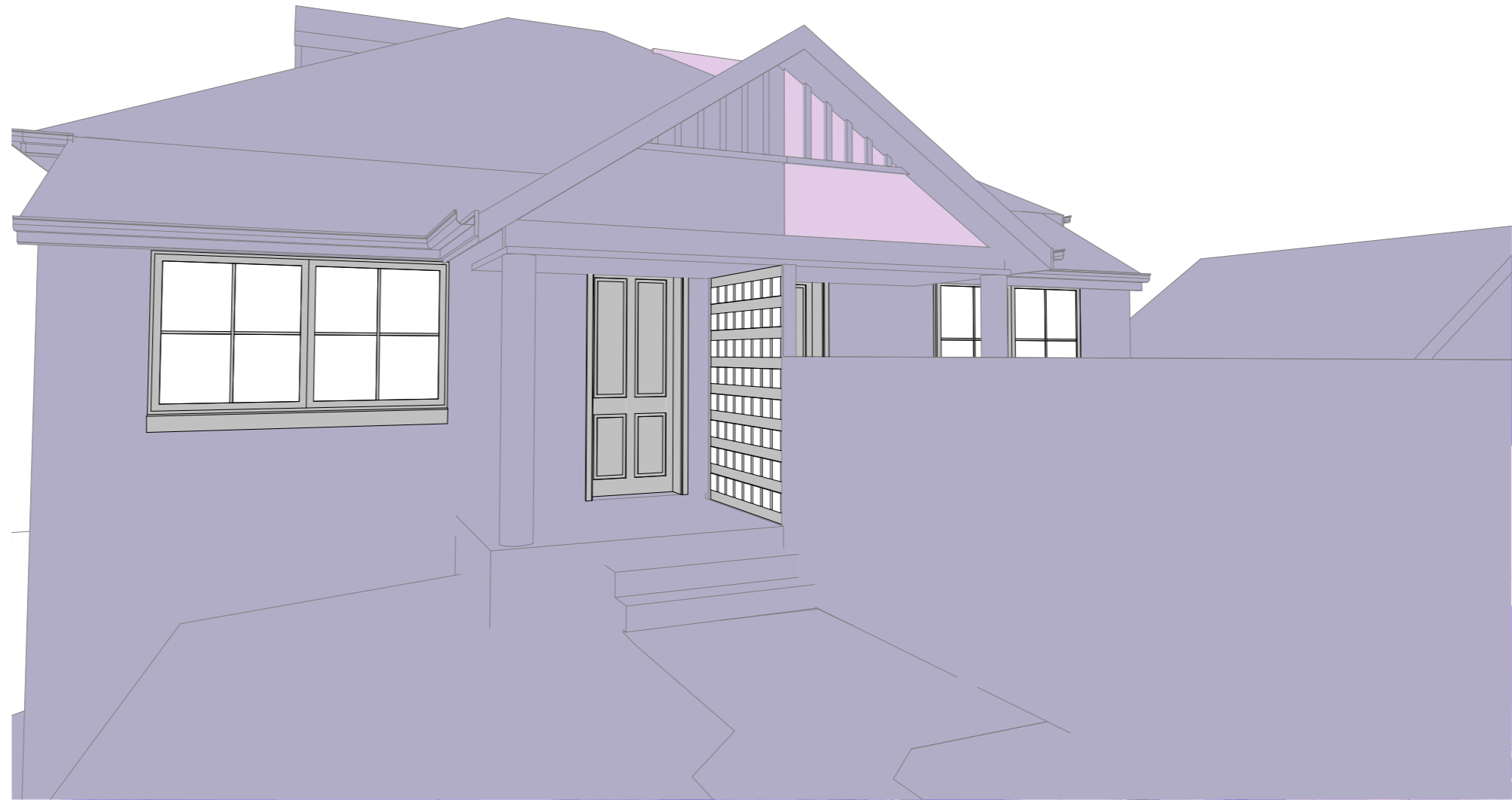
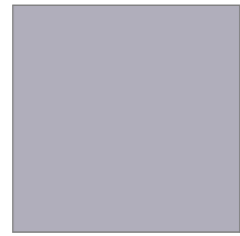
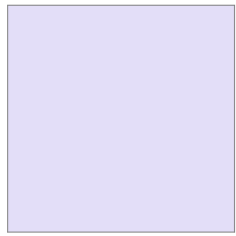


PROJECT NAME:
Project #51
DRAWING NO.
DA621

Legend

New Additional Shadow Cast

Existing Shadow Cast

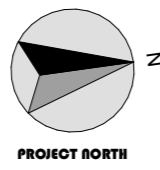


Wall Elevation 21 June at 0900h - No. 49 Pine Street
1:200

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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 4 - 9am - Winter Solstice
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

Drawn / Checked Andy Sellar |
Publish Date: 31/05/2024
Project Status Development Application
Client LISA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - Rf1

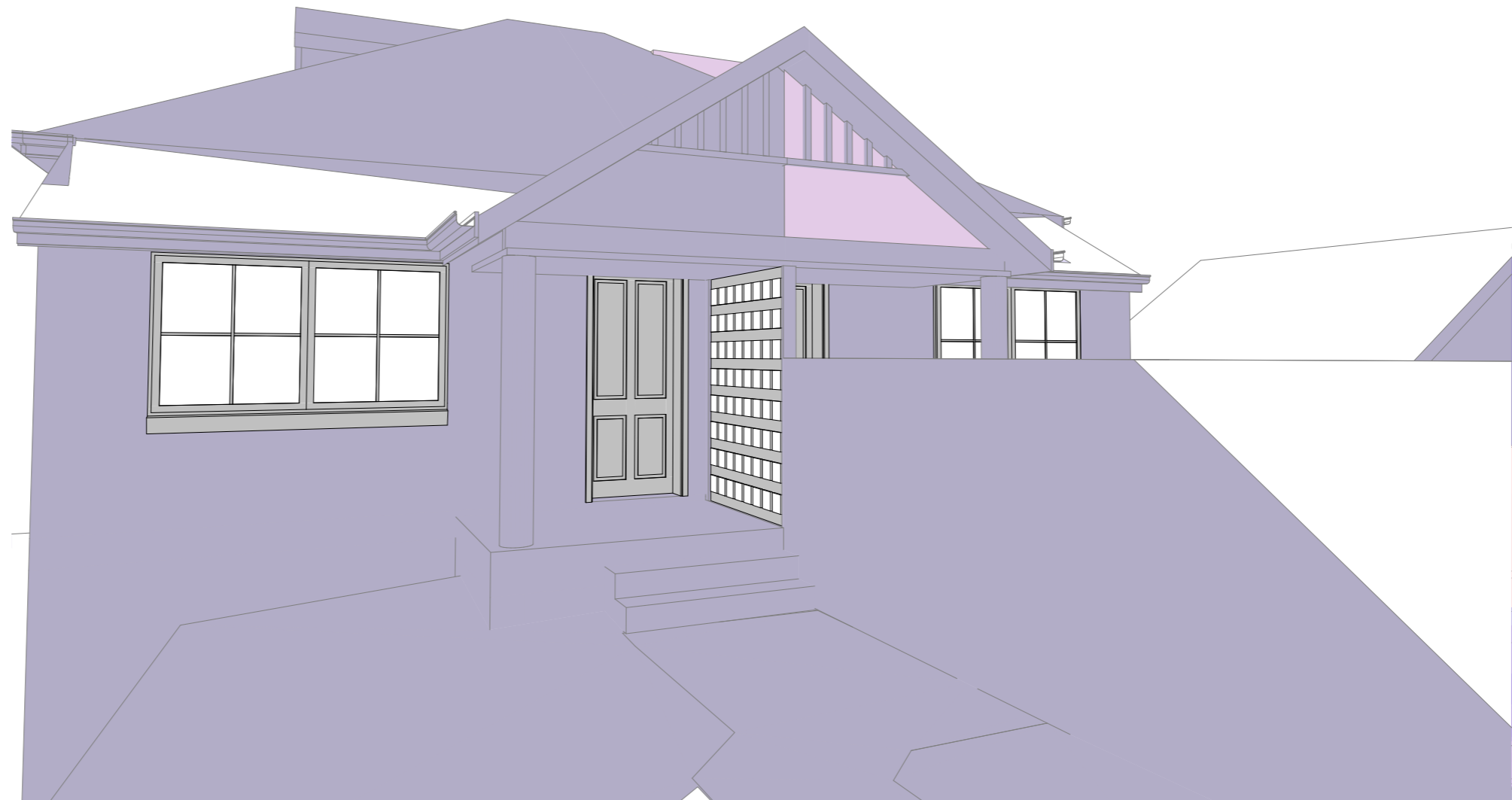
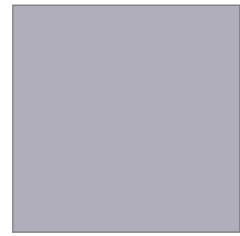
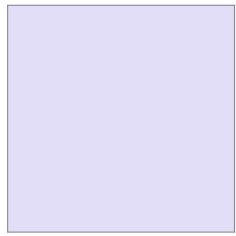


PROJECT NAME: Project #51
DRAWING NO. DA622

Legend

New Additional Shadow Cast

Existing Shadow Cast

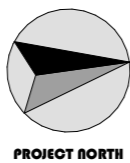


Wall Elevation 21 June at 1200h - No. 49 Pine Street
1:200

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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 5 - 12pm - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
Publish Date:
Project Status
Client
Project NO.
Revision NO.

Andy Sellar |
31/05/2024
Development Application
LISA CROUDACE & PAUL HERBERT
51AHD0622
DA - Rf1

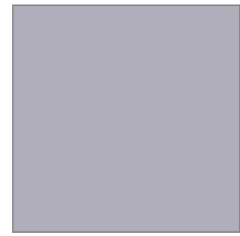
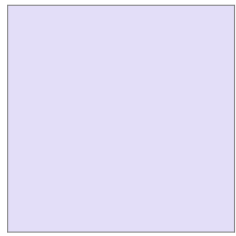


PROJECT NAME:
Project #51
DRAWING NO.
DA623

Legend

New Additional Shadow Cast

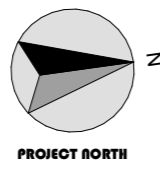
Existing Shadow Cast



Wall Elevation 21 June at 1500h - No. 49 Pine Street
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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 6 - 3pm - Winter Solstice
SITE: LOT 102 D.P. 876636
51 PINE STREET CAMMERAY NSW 2062

<i>Drawn / Checked</i>	Andy Sellar
<i>Publish Date:</i>	31/05/2024
<i>Project Status</i>	Development Application
<i>Client</i>	LISA CROUDACE & PAUL HERBERT
<i>Project NO.</i>	51AHD0622
<i>Revision NO.</i>	DA - Rf1

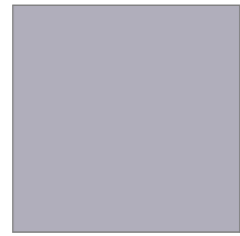
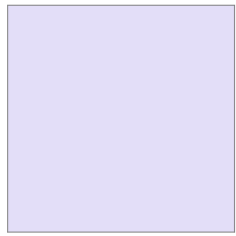


PROJECT NAME:
Project # 51
DRAWING NO.
DA624

Legend

New Additional Shadow Cast

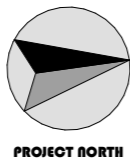
Existing Shadow Cast



Wall Elevation 21 June at 0900h - No. 1 East Avenue
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 I:200

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Andy's Home Design PTY LTD
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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 7 - 9am - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked Andy Seller |
Publish Date: 31/05/2024
Project Status Development Application
Client LISA CROUDACE & PAUL HERBERT
Project NO. 51AHD0622
Revision NO. DA - RF1

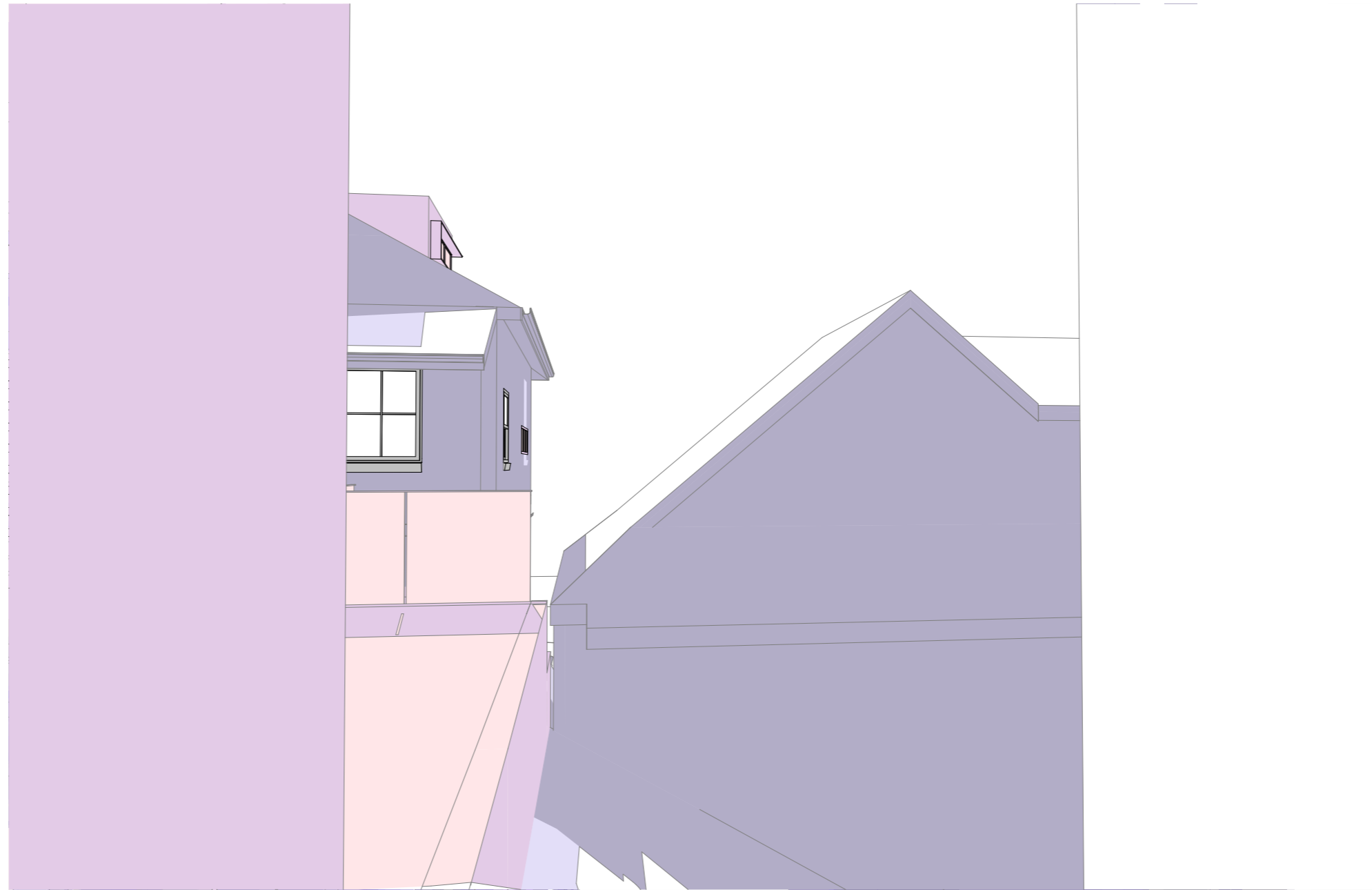
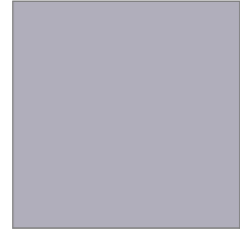
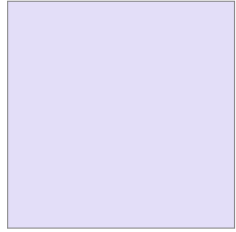


PROJECT NAME:
Project #51
DRAWING NO.
DA625

Legend

New Additional Shadow Cast

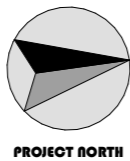
Existing Shadow Cast



Wall Elevation 21 June at 1200h - No. 1 East Avenue
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DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 8 - 12pm - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
Publish Date:
Project Status
Client
Project NO.
Revision NO.

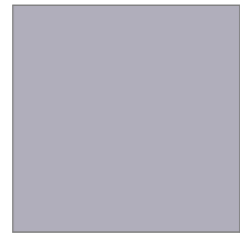
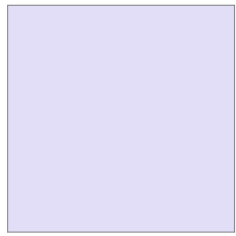
Andy Seller |
 31/05/2024
 Development Application
 LISA CROUDACE & PAUL HERBERT
 51AHD0622
 DA - RFI



PROJECT NAME:
Project #51
DRAWING NO.
DA626

New Additional Shadow Cast

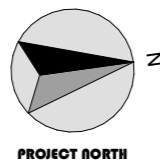
Existing Shadow Cast



Wall Elevation 21 June at 1500h - No. 1 East Avenue
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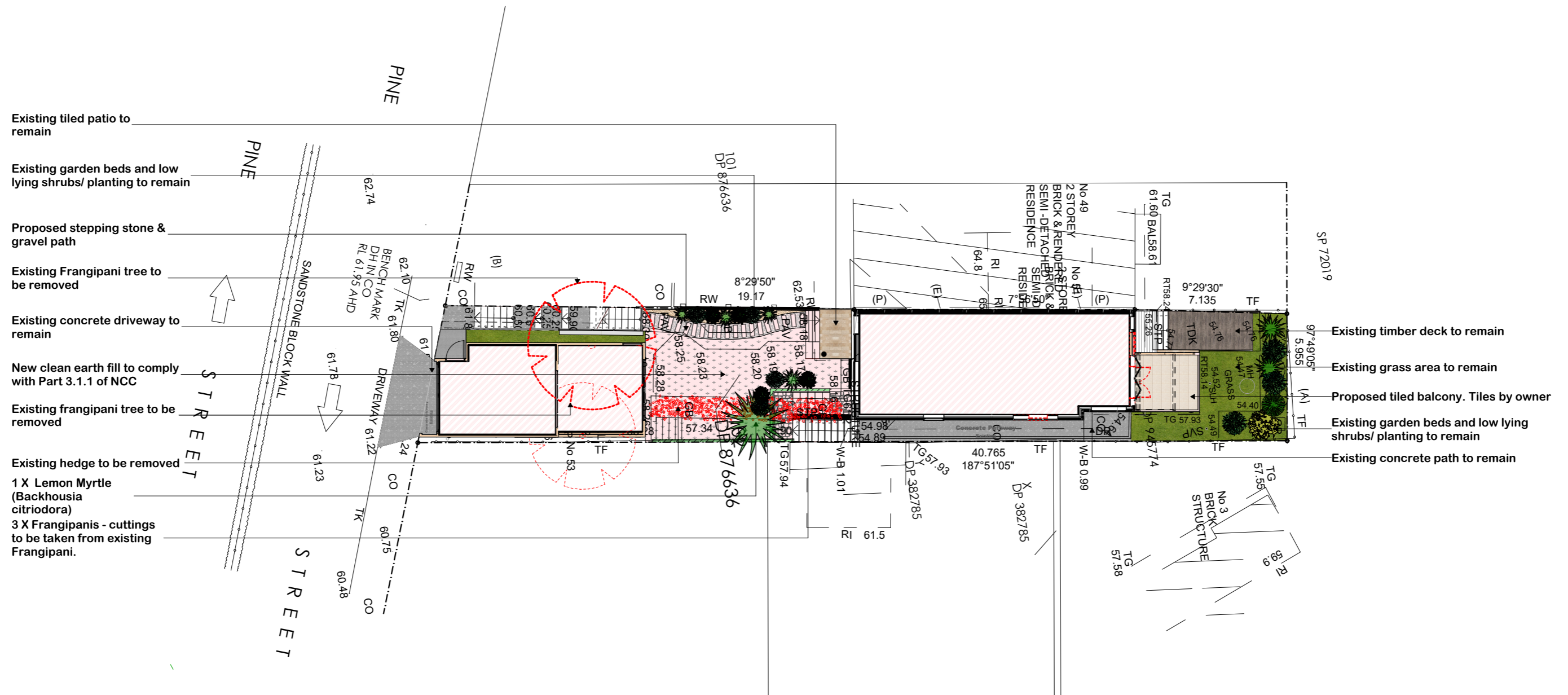
DRAWING TITLE: CONCEPT PRESENTATION
Wall Elevation 9 - 3pm - Winter Solstice
SITE: LOT 102 D.P. 876656
51 PINE STREET CAMMERAY NSW 2062

Drawn / Checked
Publish Date:
Project Status
Client
Project NO.
Revision NO.

Andy Seller |
 31/05/2024
 Development Application
 LISA CROUDACE & PAUL HERBERT
 51AHD0622
 DA - RFI



PROJECT NAME:
Project #51
DRAWING NO.
DA627



landscape Plan
1:200
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Andy's Home Design PTY LTD
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DRAWING TITLE:
 SITE PLANS
 landscape Plan
SITE:
 51 PINE STREET CAMMERAY NSW 2062

Drawn | Checked
 Andy Seller |
Publish Date:
 31/05/2024
Project Status
 Development Application
Client
 USA CROUDACE & PAUL HERBERT
Project NO.
 51AHD0622
Revision NO.
 DA - RFI

PROJECT NAME:
 Project #51
DRAWING NO.
 DA105



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