

**NSLPP MEETING HELD ON 02/10/2024****Attachments:**

1. Site Plan
2. Architectural Plans

ADDRESS/WARD: 11 Hipwood Street, North Sydney**APPLICATION NO:** DA 60/2024**PROPOSAL:** Alterations and additions to the heritage dwelling, including partial demolition of the rear section of the dwelling and construction of rear extension**PLANS REF:**

Plan No.	Rev	Description	Prepared by	Dated
2311-P-00	B	Site Plan	Benn and Penna	08/07/24
2311-P-01	B	Lower Ground Plan		08/07/24
2311-P-02	B	Ground Floor Plan		08/07/24
2311-P-03	B	First Floor Plan		08/07/24
2311-P-04	B	Roof Plan		08/07/24
2311-P-05	B	Section A		08/07/24
2311-P-06	B	Section B		08/07/24
2311-P-07	B	North Elevation		08/07/24
2311-P-08	B	South Elevation		08/07/24
2311-P-09	B	East Elevation		08/07/24
2311-P-10	B	West Elevation		08/07/24
2311-X-00	B	Landscape Concept Plan		08/07/24
2311-X-01	B	Materials Finishes	08/07/24	

OWNER: Brad and Louise Lowe**APPLICANT:** Brad and Louise Lowe C/- Benn and Penna Architects**AUTHOR:** Report of Jack Varka, Assessment Officer**DATE OF REPORT:** 11/09/2024**DATE LODGED:** 24/04/2024**RECOMMENDATION:** Approval

EXECUTIVE SUMMARY

This development application seeks consent for alterations and additions to the heritage dwelling at 11 Hipwood Street, North Sydney.

The application is reported to the North Sydney Local Planning Panel for determination as the application relates to the partial demolition of a heritage item. In accordance with the Minister's Directions the application must be determined by the Local Planning Panel.

The subject site is legally known as Lot 1 in DP 795137. The site is a heritage item (I0856 'Newton') with local significance however is not located within a heritage conservation area. The dwelling on site is a two storey (with attic rooms) late Victorian Free Classical style house set on a terraced block to the corner of Hipwood Street and Kiara Close. The house is reasonably intact to its original form, layout and detail but has been partly altered and modernised internally at the rear.

Council's Heritage Officer raised no objections to the proposed alterations and additions, subject to conditions. The new works will be acceptably submissive in form, massing, and scale. The front primary rooms will be retained as well as the existing facades.

It is proposed to remove trees T1 & T4. The removal of T1 is supported however, it is proposed to remove T4 and plant an exact replacement (being the replacement of the same size, species, and location) as the proposed stormwater drainage plan proposes a major encroachment into the TPZ. This seems unnecessary and excessive for the purpose of the proposed stormwater drainage. T4 has retention value in that it's a heritage species that provides amenity to the existing private open space to the dwelling, and its location is ideal continue providing enhanced amenity to the proposed private open space. It is therefore conditioned to relocate the stormwater drainage in favour of retaining T4 as existing.

Notification of the proposal has attracted one (1) submission from the neighbouring property at 2 Kiara Close. Concerns were raised regarding the impact on solar access and the creation of excessive bulk close to the rear boundary. An inspection of the neighbouring property was conducted on 31 May 2024. It was clear on inspection that the proposed rear extension of the subject dwelling was very close the rear boundary and would create significant additional bulk and height at the side boundary of 2 Kiara Close. Furthermore, on review of the submitted solar diagrams, it was determined that the proposal would create an unacceptable impact to solar access to the private open space and primary habitable rooms.

The applicant provided additional information which reduced the pitch of the proposed extension roof form. The proposal is, as a result, now compliant with 1.3.7 of the NSDCP 2013 and it is clear from the amended solar diagrams that solar access to the private open space and primary habitable rooms has been largely retained, whilst also simultaneously reducing excessive bulk at the common boundary between the two properties.

Following this assessment the development application is considered to be reasonable in the circumstances and is recommended for **approval** subject to conditions.

DESCRIPTION OF PROPOSAL

The applicant seeks NSLPP approval for development application DA60/2024 for alterations and additions to the existing heritage dwelling. The proposal is described as follows:

- Vegetation removal (T1 a Magnolia and T4 a Frangipani, shown dashed red)
- Retention of trees T2 (Chinese Tallow), T3 (Bull Bay Magnolia) and T5 (x 2 Fan Palm)
- Replacement of the existing deteriorated front entrance hallway tiles with similar tile, including the central pattern, border pattern and colour
- Demolition of the rear wing including existing kitchen, water closet and rear patio/private open space
- Enlarged opening to the stair hall
- Reconfiguration of the rear store, ensuite and robe to form a laundry and powder room
- New doors to the rear wall
- New doors (x 2) from the dining room to the open plan family and kitchen
- Construction of a new rear extensions to comprise an open plan kitchen and family room with direct connection to southern outdoor private open space and eastern side entry
- The addition is in painted brick, has a metal roof with a central traditionally pitched ridge and a lower connection at the eaves of the main house.
- Bathroom refit at the first floor level
- New French doors (replacing an existing window) to a curved Juliet balcony with metal balustrade to the south in first floor level bedroom
- New pitched rear metal roof with two new skylights
- Provision of 2 x skylights within the existing rear roof form
- Reconfiguration of the southern courtyard to comprise an outdoor private open space with BBQ area and new circular awning
- New deck and steps to the verandah with an open pergola frame above
- Extension of the existing front verandah to connect to new outdoor private open space
- New landscaping including permeable pavers and perimeter screen planters to the east, south and north
- Works to the predominant lower ground floor store, front yard, boundary fencing and the garage are not included as part of this application

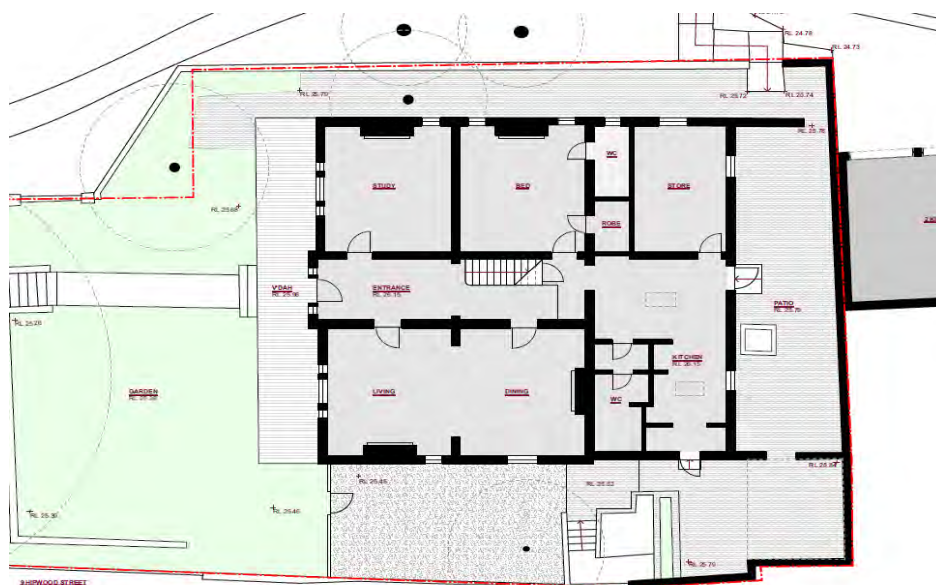


Figure 2: Existing Ground Floor Plan

STATUTORY CONTROLS

North Sydney LEP 2013

- Zoning – R3 Low Density Residential
- Item of Heritage – Yes; item nos. I0856
- In Vicinity of Item of Heritage – Yes
 - I0859 – 1 Kiara Close
 - I0770 – 9 Anderson Avenue
- Conservation Area – No

Environmental Planning & Assessment Act 1979

Environmental Planning and Assessment Regulation 2021

SEPP (Biodiversity and Conservation) 2021

- Chapter 6 Water Catchments

SEPP (Resilience and Hazards) 2021

- Chapter 4 Remediation of Land

SEPP (Transport & Infrastructure) 2021

- Chapter 2 – Infrastructure

SEPP (Sustainable Buildings) 2022

Local Development

POLICY CONTROLS

NORTH SYDNEY DCP 2013

North Sydney Local Infrastructure Contributions Plan 2020

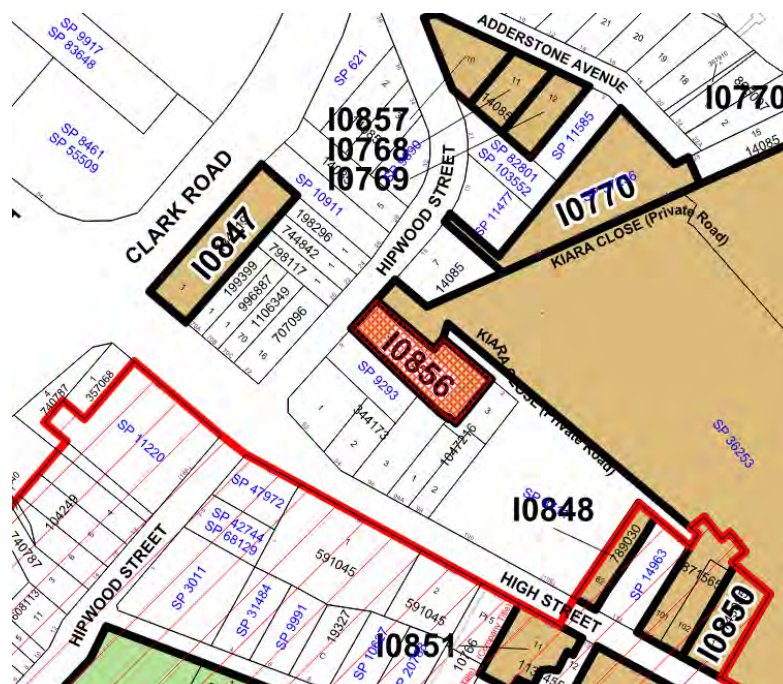


Figure 5: Heritage Map

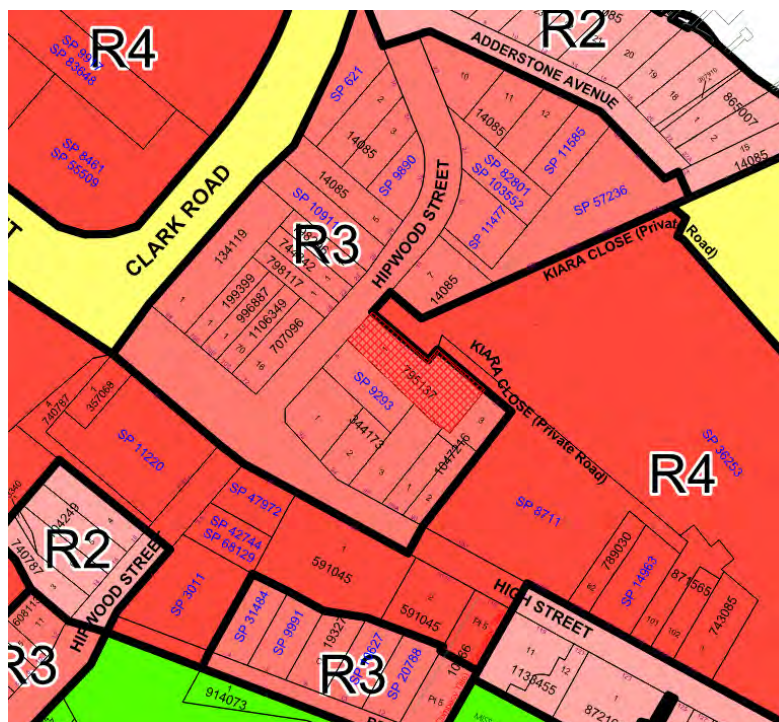


Figure 6: Zoning Map

DESCRIPTION OF LOCALITY

The subject site is legally known as Lot 1 in DP 795137. The site is located on a corner allotment with frontage to both Hipwood Street and Kiara Close. The site is a heritage item (I0856 'Newton') with local significance however is not located within a heritage conservation area. The nearest cross streets to Hipwood Street are Adderstone Avenue to the north and High Street to the south. The subject site is a square allotment with a frontage width of 12.2m to Hipwood Street.

The site is located within the visual catchment of a heritage item (I0859 1 Kiara Close and 118-138 High Street – Gas Works remains HMAS Platypus).

The subject site is located within an area of mixed densities with no consistent built form or predominant zoning. The locality does include areas of higher-density residential development, such as townhouses and residential flat buildings, however the immediate area is generally characterised by one or two storey dwellings that are generally both free-standing and attached.

The site falls approximately 5m from its rear boundary to its Hipwood Street boundary. The dwelling on site is a two storey (with attic rooms) late Victorian Free Classical style house set on a terraced block to the corner of Hipwood Street and Kiara Close. The house is reasonably intact to its original form, layout and detail but has been partly altered and modernised internally at the rear.

RELEVANT HISTORY

A subdivision of the Crown grants in this part of North Sydney was undertaken in the early 1850s by Frederick Parbury. Parbury's subdivision formed 42 villa allotments on the south side of the peninsula, and it formed High Street and incorporated the earlier Whaling Road. The area north of High Street and east of Hipwood Street, which included the subject site, was sold to John James Slade (1837-1893) for £1,334. By 1878 Slade was forced by his creditors to sell his real estate, which was purchased by Mrs Thomasine Fisher.

In early 1882 Thomas Frederick Loxton purchased Lots 1, 2 & 3 of Mrs Fisher's subdivision for a total of £820. Within this property in 1882 was erected 'Newton' at No. 11 Hipwood Street.

Previous applications

- According to Council records, the subject site has not been the subject of any development applications.

Current Application

- **24 April 2024** – Application was lodged with North Sydney Council
- **1 May 2024** – The application was internally referred to Heritage, Landscape, and Engineering Officers for commentary.
- **1 May 2024** – Site inspection was undertaken with Heritage Officer.
- **11 June 2024** – RFI was issued requesting design amendments to the proposed additional roof form.
- **15 July 2024** – Formal RFI response was received on the NSW Planning Portal.

INTERNAL REFERRALS

HERITAGE

The application has been referred to Council's Heritage Team who provided the following comments:

HERITAGE STATUS

The subject property is a heritage item; however, it is not located within a conservation area. The dwelling is designed in the Victorian style with a symmetrical facade, a central projecting portico flanked by Ground Floor verandahs and an Italianate style tower. It is constructed from rendered brick and stone with a slate roof. The dwelling is very intact and has minor alterations and additions at the rear. All four of the front rooms are very intact. The front hallway has an original tessellated tile floor that requires conservation as there are missing tiles, damaged tiles and an uneven surface.

It is located in the vicinity of the heritage listed former gasworks and HMAS Sub-base Platypus that was used as a torpedo factory and submarine base. This site has since been re-developed into high density housing in the Post Modern style with the heritage buildings adapted into community and office spaces.

ASSESSMENT

The proposed works are generally considered to satisfy clause 5.10 of the NSLEP 2013 in that the development will not be visible from the public domain, will be submissive in scale and form to the original dwelling and will not require the removal of significant fabric. The proposed balcony and enlarged door opening on the South-West Elevation will have minor impact and a condition below is recommended below to minimise the impact.

With regard to Part B Section 13 of NSDCP 2013, the following controls are of note:

- *13.5.1 Protecting Heritage Significance - O1 Ensure that new work is designed and sited so as to not detrimentally impact upon the heritage significance of the heritage item and its setting. The proposed works will reduce the extent of setting (garden) at the rear. No objection is made in this instance however, as the property has only a rear courtyard and it is the front and side setbacks that provide significance to the setting of the dwelling.*
- *13.5.1 Protecting Heritage Significance - O3 Ensure significant features of heritage items are retained and that development is sympathetic to these features with particular regard to bulk, form, style, character, scale, setbacks and materials. The proposed works will retain the primary form, roof, tower and verandahs. The character of the dwelling will be retained when viewed from the front garden and the public domain.*
- *13.5.2 Form, Massing, Scale- O2 To maintain and promote the original built form of the heritage item as viewed from the public domain. The primary form will remain clearly legible when viewed from Kiara Close and Hipwood Street.*
- *13.5.2 Form, Massing, Scale- P5 Additions should be submissive in bulk and scale in comparison to the original building form (i.e. additions should generally be smaller in footprint and lessor in height than the original building form). The proposal is compliant.*
- *13.5.4 Roofs- P1 Retain hierarchy of roof forms, with dominant forms maintained on the primary facades. The primary roof form will remain evident. The proposed new roof form will be pitched. The difference in the roof pitches of the new roof planes on the addition will not be readily perceived from the public domain or from within the property.*
- *13.5.6 Interiors- O1 To ensure that significant interior elements are retained and preserved. The four primary front rooms and hallway will be retained with their decorative features. The property owner advised that works to the tessellated tile floor are required as the hallway floor will be re-levelled and this, accompanied by the number of damaged tiles and missing tiles, may require its replacement. It is recommended that further information be submitted or that a condition be applied as per below.*
- *13.5.6 Interiors - P7 Ensure new openings have similar dimensions or are compatible with existing openings, such as width and height of double doors. The proposed two new door openings into the Dining Room will have an acceptable level of impact as the fireplace and mantle piece will be retained.*
- *13.9.1 Skylights, Solar Panels. satellite Dishes - O1 To ensure that skylights, solar panels and satellite dishes do not detrimentally impact upon the significance of heritage items and heritage conservation areas. The proposed skylight be acceptably located at the rear of the dwelling.*
- *13.9.3 Verandahs and Balconies - P5 The design, proportions and detailing of new balconies is to relate to the style, detail and period of the building, and any characteristic elements of the conservation area identified in the relevant character area statement (refer to Part C of the DCP). The proposed new Juliet balcony is acceptable subject to the installation of a visually light weight balustrade as conditioned below.*

- *13.9.4 Materials and Colours -O1 To ensure that materials and finishes are consistent with the characteristic elements of the heritage item or heritage conservation areas. Conditions are recommended below to ensure compliance with this condition. The proposed new roof will utilise standing seam metal roof sheeting. No objection is raised, as the property is NOT located in a conservation area with a character statement with defined materials.*

RECOMMENDATIONS

The proposed works to the heritage item are considered to be acceptable subject to the application of the following conditions:

- *A3 No Demolition of Extra Fabric*
- *A4 External Finishes*

External finishes and materials must be in accordance with the submitted schedule dated 18 March 2024, prepared by Benn & Penna on the drawing numbered 2311-X-01 Revision A, registered at Council on 21 March 2024, unless modified by Council in writing or by condition of consent.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information.)

- *C2 Colours, Finishes, Materials (Heritage Items)*
- *C3 Skylight*
- *E5 Removal of Extra Fabric*
- *C19 Heritage Requirements*

The following heritage requirements are to be met:

- a) The colour of the new brickwork is to be visually submissive to the exterior paint colour of the original building.*
- b) new sandstone where required for repairs is to match the existing sandstone blockwork in dimension, texture and colour.*
- c) new windows and doors on the original Victorian dwelling are to be timber framed.*
- d) All new external timber work shall have a painted finish not a stained/oiled finish.*
- e) The new balustrade to the proposed Juliet balcony on the South-West Elevation shall be a metal palisade balustrade. A glazed or a solid balustrade is not acceptable.*
- f) The exterior colour scheme is to match the existing scheme or any new scheme, shall either be a traditional colour scheme appropriate to the Victorian period dwelling or shall use neutral tones.*
- g) Any new tessellated tiles in the hallway may be conserved where possible or may be replaced with unglazed tessellated tiles of a similar or matching colour to the existing floor tiles and shall utilise the existing overall pattern and design. (Apply if amended plans are not received.)*
- h) No consent is given or implied for the removal of ceilings, ceiling roses, cornices, fireplaces or mantle pieces in the four front rooms and hallway.*

- i) *Existing joinery is to be retained in the four front rooms and hallway, except where the two new doors are proposed, or where previously replaced. New skirting boards in the four front rooms and hallway shall match the original Victorian profile.*

(Reason: To retain the heritage significance of the dwelling.)

Planner's Comments:

Council's Heritage officer's comments are concurred with. Subsequently the conditions are recommended within the conditions.

ENGINEERING

The application has been referred to Council's Development Engineers Team who provided the following comments:

On the submitted stormwater plan, they have indicated that the stormwater from the property will be discharged through the wall into Kiara Close. This cannot happen. Stormwater as usual, must be discharged to the kerb in Kiara Close.

Pipelines within the footpath area shall be hot dipped galvanized steel rectangular hollow section with a minimum wall thickness of 4.0 millimetres and a section height of 100 millimetres.

You may impose a potential infrastructure bond in the amount of \$3,500.00.

Planner's Comments:

Noted and accepted. The stormwater drainage was resolved as part of the amended submission in response to Council's RFI. All stormwater now drains to the street frontage at Hipwood Street.

LANDSCAPING

The application has been referred to Council's Environmental Health Team who provided the following comments:

Despite plans showing retention of mature T4 Plumeria sp. (6x5m), a characteristic heritage planting, the arborist report prepared by Arborliz dated 26/06/24 has confirmed that proposed South West works will require the removal of this tree. While the arborist suggests replacement planting with a mature specimen, it is considered unlikely that a suitably advanced plant of this slow growing species will be able to be sourced and successfully planted into the constricted space available. The South West area of the site shall be amended such that pipework is rerouted outside the SRZ of this tree, or surface mounted (strapped to side of building) should gradient allow.

The survey prepared by Waterview Surveying dated 30/11/23 suggests that the splayed 'boundary wall across the northern corner of the site actually encloses a triangle of public land. This land is the location of T3 Magnolia grandiflora (8x6m). Should this tree be found to be planted on council land, a further tree bond of \$8,000 shall be applied (resulting in a total tree bond of \$18,000. Please adjust conditions to reflect this should this be the case.

Required Amendments

- *SW shall be amended such that pipework is rerouted outside the SRZ of T4 Plumeria sp. (6x5m) and other protected trees, or surface mounted (strapped to side of building) should gradient allow.*

Planner's Comments:

The proposed removal and exact replacement of T4 (being the replacement of the same size, species, and location) seems unnecessary and excessive for the purpose of the proposed stormwater drainage.

T4 has retention value in that it's a heritage species that provides amenity to the existing private open space to the dwelling, and its location is ideal continue providing enhanced amenity to the proposed private open space.

Further, tree T3 is located on the subject site, therefore no additional bond required.

As such, Council endorses the Landscape Officer's recommendation to relocate or reconfigure the stormwater at this location in favour of an exact replacement.

EXTERNAL REFERRALS

Ausgrid

The application has been referred to Ausgrid under Section 2.48 of *SEPP (Transport and Infrastructure) 2021*. Ausgrid has provided the following comments:

*Ausgrid Underground Cables are in the vicinity of the development
Special care should be taken to ensure that driveways and any other construction activities do not interfere with existing underground cables located in the footpath or adjacent roadways.*

It is recommended that the developer locate and record the depth of all known underground services prior to any excavation in the area. Information regarding the position of cables along footpaths and roadways can be obtained by contacting Before You Dig Australia (BYDA) In addition to BYDA the proponent should refer to the following documents to support safety in design and construction:

SafeWork Australia – Excavation Code of Practice.

Ausgrid's Network Standard NS156 which outlines the minimum requirements for working around Ausgrid's underground cables.

The following points should also be taken into consideration.

Ausgrid cannot guarantee the depth of cables due to possible changes in ground level from previous activities after the cables were installed. Should ground levels change above Ausgrid's underground cables in areas such as footpaths and driveways, Ausgrid must be notified, and written approval provided prior to the works commencing.

Should ground anchors be required in the vicinity of Ausgrid underground cables, the anchors must not be installed within 300mm of any cable, and the anchors must not pass over the top of any cable.

Ausgrid Overhead Powerlines are in the vicinity of the development

The developer should refer to SafeWork NSW Document – Work Near Overhead Powerlines: Code of Practice. This document outlines the minimum separation requirements between electrical mains (overhead wires) and structures within the development site throughout the construction process. It is a statutory requirement that these distances be maintained throughout the construction phase.

Consideration should be given to the positioning and operating of cranes, scaffolding, and sufficient clearances from all types of vehicles that are expected be entering and leaving the site.

The "as constructed" minimum clearances to the mains must also be maintained. These distances are outlined in the Ausgrid Network Standard, NS220 Overhead Design Manual. This document can be sourced from Ausgrid's website at www.ausgrid.com.au.

It is the responsibility of the developer to verify and maintain minimum clearances onsite. In the event where minimum safe clearances are not able to be met due to the design of the development, the Ausgrid mains may need to be relocated in this instance. Any Ausgrid asset relocation works will be at the developer's cost.

New Driveways - Proximity to Existing Poles

Proposed driveways shall be located to maintain a minimum clearance of 1.5m from the nearest face of the pole to any part of the driveway, including the layback, this is to allow room for future pole replacements. Ausgrid should be further consulted for any deviation to this distance.

Planner's Comments:

Noted and accepted.

SUBMISSIONS

On 10 May 2024, Council notified adjoining properties and the Hayes Precinct of the proposed development seeking comment between 10 May and 24 May 2024. Council received one (1) submission.

The issues raised in the submission are summarised below and addressed later herein.

Basis for Submission

- As one of the owners and resident of 2 Kiara Close, my family and I are concerned about the loss of solar access and amenity to our primary living spaces (both internal and external) as a result of the adjacent proposed development.
- The bulk of the proposed addition to our north, along with proposed roof height, will rob us of what little sun we have in winter. The winter sunshine is highly valuable to our health and amenity of our only outdoor open space. Further, the reduction of our solar access in the afternoons of both March and September, will greatly affect the passive heating we value in our internal living spaces.
- Concerned is also raised in the scale of the proposed wall (close to our boundary) and pitched roof facing our living areas will impact our outlook. We believe the size and proximity of the wall will feel imposing and claustrophobic. I hope a solution can be achieved that does not affect what sunlight we have.

Planner's Comments:

An inspection of the neighbouring property at 2 Kiara Close was conducted on 31 May 2024. It was clear on inspection that the proposed rear extension of the subject dwelling was very close the rear boundary and would create significant additional bulk and height at the side boundary of 2 Kiara Close.

Furthermore, on review of the submitted solar diagrams, it was clear that the proposal would create an unacceptable impact to solar access to the private open space and primary habitable rooms of 2 Kiara Close, as shown in the figure below. The private open space was restricted to approximately 2 hours of sun between approximately 11am and 1pm. As a result, the proposed extension of the subject dwelling would result in a non-compliance to 1.3.7 of the NSDCP 2013.

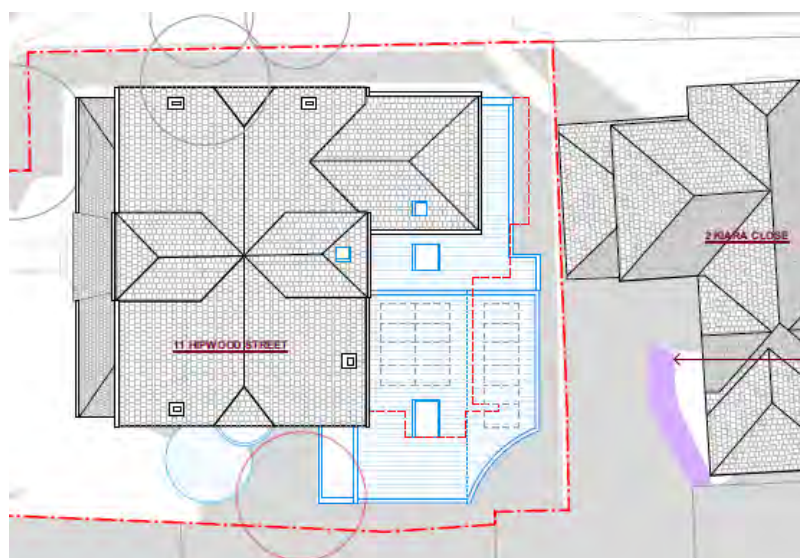


Figure 7: Original Proposed Overshadowing (21 June 12pm)

An RFI letter was issued by Council on 11 June 2024 seeking consideration for design refinements in the proposed roof form of the rear extension, which was the primary component contributing to the overshadowing and solar impacts to the neighbouring site at 2 Kiara Close.

With assistance from Council, an acceptable solution was resolved which reduced the pitch of the proposed extension roof form, as shown in the figure below. The proposal is, as a result, now compliant with 1.3.7 of the NSDCP 2013 and it is clear from the amended solar diagrams that solar access to the private open space and primary habitable rooms of 2 Kiara Close has been largely retained. The proposal also still benefits from improved internal amenity in having vaulted ceilings albeit at a reduced scale over the original design.

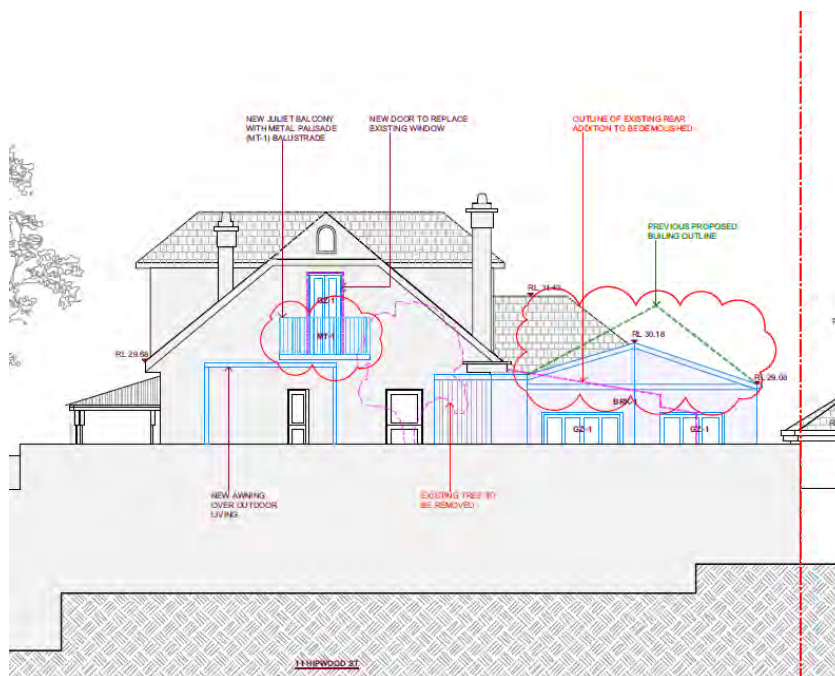


Figure 8: Original and Amended Extension Roof Form

CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

SEPP (Biodiversity and Conservation) 2021 Chapter 10 – Sydney Harbour Catchment

Having regard to the *SEPP (Biodiversity and Conservation) 2021* concerned with the Sydney Harbour Catchment and the Sydney Harbour Foreshores and Waterways Area DCP 2005, the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the site's location in Neutral Bay. As such, the development is acceptable having regard to the provisions contained within the above *SEPP 2021* and the Sydney Harbour Foreshores and Waterways DCP 2005.

SEPP (Resilience and Hazards) 2021 Chapter 4 – Remediation of Land

The provisions of *SEPP (Resilience and Hazards) 2021* require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has only previously been used for residential purposes and as such is unlikely to contain any contamination; therefore, the requirements of the above *SEPP* have been satisfactorily addressed.

SEPP (Transport & Infrastructure) 2021
Chapter 2 – Infrastructure

Having regard to *SEPP (Transport and Infrastructure) 2021*, the proposal was referred to Ausgrid under S2.48 as the development was assessed to potentially affect the electricity transmission or distribution network. Ausgrid raised no objection to the development application.

SEPP (Sustainable Buildings) 2022

A valid BASIX Certificate (*No. A1740215 dated 18 March 2024*) has been submitted with the application to satisfy the aims of the SEPP.

NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

1. Permissibility

The proposed works can be defined as alterations and additions to an existing dwelling and are permissible in the zone with development consent.

2. Objectives of the zone

The objectives for the R3 zone are stated below:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for medium density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To provide for a suitable visual transition between high density residential areas and lower density residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The proposal seeks to improve the amenity of the occupants of the dwelling and meet their day-to-day housing needs. The proposed development is for alterations and additions which maintains the high level of amenity enjoyed in the locality. As such, the proposal is aligned with the objectives of the R3 zone.

Heritage Conservation

The subject site is listed as a Heritage Item/located in a Conservation Area under Schedule 5 in *NSLEP 2013*, so the following planning objectives apply to the site:

- (a) *to conserve the environmental heritage of North Sydney,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, and views,*
- (c) *to conserve archaeological sites,*
- (d) *to conserve Aboriginal objects and Aboriginal places of heritage significance.*

The proposal will retain the primary building form and primary façade. The new rear extension works have been designed to be submissive in form, massing, and scale. The proposed extension works will not be readily visible from the streetscape. The front primary rooms are to be retained. With demolition and construction proposed to a portion of the dwelling that is already serving as an extension to the primary dwelling. As a result, the proposal acceptably maintains the existing significance of the dwelling and site by retaining the street front appear and internal fabric and is therefore satisfactory with regards to Clause 5.10.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
1.2 Social Amenity		
Population Mix Maintaining Residential Accommodation	Yes	The proposal would not change the population mix and the level of residential accommodation available within the locality and would not affect the supply of affordable housing and housing for seniors or people with disabilities.
1.3 Environmental Criteria		
Topography	Yes	The topography of the site slopes from the rear to the front boundary, with minor excavation works proposed as part of the rear extension for standard footings and site works. The proposed extension does not require any cut of fill. No removal is proposed of rock outcrops, overhangs, boulders, sandstone platforms, or sandstone retaining walls.
Views	Yes	The proposed extension is limited to a single storey built form. Partial view lines exist from the subject site to the south and south west towards the Sydney Harbour Bridge from the first floor level. The tallest portion of the dwelling, being the existing front portion, is to be maintained as existing. There are no changes to the maximum building height. No adverse view loss impact will arise from the public domain or to neighbouring sites.
Solar Access <ul style="list-style-type: none"> More than 3 hours between 9am – 3pm 	Yes	Due to the orientation of the subject site and the topographical nature of the neighbouring allotment at 2 Kiara Close (being located substantially below the subject site), the solar access received for the rear of the subject site and immediate adjacent neighbours at 2 Kiara Close is generally very limited as existing. on review of the submitted solar diagrams, the proposal would create an unacceptable impact to solar access to the private open space and primary habitable rooms of 2 Kiara Close. The private open space and habitable rooms were restricted to approximately 2 hours of sun between approximately 11am and 1pm. As a result, the proposed extension of the subject dwelling would result in a non-compliance to 1.3.7 of the NSDCP 2013 in restricting solar access to less than 2 hours on 21 June.

		<p>An RFI letter was issued by Council on 11 June 2024 seeking consideration for design refinements in the proposed roof form of the rear extension, which was the primary component contributing to the overshadowing and solar impacts to the neighbouring site at 2 Kiara Close.</p> <p>An amended and reduced pitch of the proposed extension roof form results in compliance with 1.3.7 of the NSDCP 2013 and the amended solar diagrams show that solar access to the private open space and primary habitable rooms of 2 Kiara Close has been largely retained on 21 June.</p>
Acoustic Privacy	Yes	<p>The proposed living area is located centrally within the dwelling, which is a reasonable expectation when considering the dwelling's heritage status. The neighbouring sites at 2 Kiara Close is unavoidably closely located due to the orientation of the subdivision pattern, and provide rear facing living spaces.</p> <p>The existing location of the living room and proposed location of the family room will not impact any noise-sensitive locations of adjacent dwellings, such as bedrooms.</p>
Visual Privacy	Yes	<p>New windows are proposed on the rear and side elevations of the extension. There will be minimal visual privacy impacts resulting from these windows as they are located at the ground floor and will be obscured by existing fencing and landscaping along the side and rear boundaries. As such, the visual privacy of neighbouring sites will be maintained.</p> <p>In addition, but not relied on, hedge planting is proposed along the rear boundary to increase the privacy protection to both the subject site and neighbouring sites.</p>
1.4 Quality built form		
Context	Yes	The proposed alterations and additions respond to the constraints of the site by limiting impacts upon listed heritage item and neighbouring sites.
Streetscape	No changes	There are no proposed changes to the streetscape as part of this application.
Siting	Yes	<p>The proposed built form reflects the siting of the existing dwelling and respects the pattern and scale of development along both Hipwood Street and Kiara Close.</p> <p>The site will maintain its two storey presentation to the streetscape.</p>
Setback – Side	Yes	<p>Northern Side Boundary</p> <p>The proposed extension will maintain the existing side setback to the northern side boundary of 1.4m.</p> <p>Southern Side Boundary</p> <p>The proposed extension will create additional bulk and increase the building footprint to the southern side boundary. The proposal will have a minimum side setback of 900mm to the south. As the extension is only single storey at the ground floor level, the side setback is compliant.</p>

Dwelling Entry	No changes	No changes are proposed to the dwelling entry and will maintain its existing configuration and appearance.
Roofs	Yes	<p>The proposed extension will be constructed with a corrugated pitched roof form which is a characteristic form of the heritage dwelling and the context of the surrounding area and neighbouring dwellings.</p> <p>The amended roof extension reduces overshadowing and solar access impacts to the neighbouring property at 2 Kiara Close. The primary roof form possessed by the original portion of the dwelling is to be retained as existing and maintain its presentation to the streetscape.</p> <p>It should be noted that a pitched roof of the extension was supported by Council's Heritage Officer.</p>
Materials	Yes	<p>The colours and materials are proposed to match the existing dwelling. As per the colours and materials schedule, external walls are to be painted face brick and colour matched.</p> <p>Similarly, the proposed roof is to be constructed of corrugated iron and will be coloured such that it is subservient to the heritage dwelling.</p>

1.5 Quality Urban Environment

Site Coverage	No (acceptable on merit)	<p>The proposed site coverage is 294.6m² which represents 42.4% of the site. The maximum site coverage permitted is 277.6m². The site has an existing site coverage of 276m²</p> <p>The proposal is non-compliant in this regard, with an exceedance of 2.4% of the control. This is generally considered a minor exceedance and fairly negligible with respect to the proposed development.</p> <p>The increase in site coverage results in the decrease of unbuilt upon area, in which portions of the rear private open space is largely converted to site coverage.</p> <p>The site will maintain a consistent balance in capacity and density and maintains its character of the neighbourhood.</p>
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Landscape Area	Yes	<table border="1"> <thead> <tr> <th>Control</th> <th>Existing</th> <th>Proposed</th> <th>Compliance</th> </tr> </thead> <tbody> <tr> <td>Site coverage</td> <td>276m² (40%)</td> <td>294.6m² (42%)</td> <td>No (acceptable on merit)</td> </tr> <tr> <td>Landscaped area</td> <td>258.7m² (37%)</td> <td>318.1m² (46%)</td> <td>Yes</td> </tr> <tr> <td>Unbuilt-upon area</td> <td>159.3m² (23%)</td> <td>81.3m² (12%)</td> <td>Yes</td> </tr> </tbody> </table>				Control	Existing	Proposed	Compliance	Site coverage	276m ² (40%)	294.6m ² (42%)	No (acceptable on merit)	Landscaped area	258.7m ² (37%)	318.1m ² (46%)	Yes	Unbuilt-upon area	159.3m ² (23%)	81.3m ² (12%)	Yes
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		Unbuilt-upon area	159.3m ² (23%)	81.3m ² (12%)	Yes																
<p>Landscaped Area</p> <p>A landscaped area of 318.m² is proposed, which represents 46% of the total site area. The proposal covert large portions of unbuilt upon area, particularly along the northern side boundary and along the rear setback, to landscape area, which introduces soft landscaped areas and screening planting provisions.</p>																					
<p>Unbuilt Upon Area</p> <p>The existing unbuilt upon area is non-compliant and currently represents 23% of site area (159.3m²). The proposal will reduce this area to 81.3m² being 12% of the site area.</p>																					

		Significant portions of unbuilt upon area is to be converted in both site coverage and landscape area along the northern side setback, and within the rear setback.
Landscaping	Yes	<p>The site is not identified as located within the Bushland Buffer.</p> <p>Two (2) trees are proposed to be removed. Both trees are required to be removed due to the building and stormwater infrastructure works, however it is proposed to have an exact replacement of T4, as detailed previously in this report.</p> <p>As recommended by Council's Landscape Development Officer, it is conditioned that T4 be retained and the stormwater infrastructure works be rerouted to prevent the unnecessary measures proposed in removing and replacing T4.</p> <p>The recommendation to retain T2, T3 and T5 is concurred with and is suitably conditioned. No other changes are proposed to any other vegetation or trees on site or within the immediate streetscape.</p>

Neutral Bay Planning Area – Part C of NSDCP 2013

The subject site is located within the Neutral Neighbourhood of the Neutral Bay Planning Area. The neighbourhood is characterised predominantly by residential accommodation, passive and active recreational spaces, and small-scale commercial activities. The southern portion of the Area generally falls to the foreshores of Sydney Harbour.

The desired future character for the area is to maintain the low-density residential accommodation in the form of dwelling houses, semi-detached houses, and dual occupancies. Development should be carefully designed to follow the topography of the land, with buildings on sloping sites.

The proposal maintains the existing low-density character of the immediate locality by restricting the extension works to a single storey. The proposal does not alter the character of the site and maintains its presentation to the streetscape as a freestanding dwelling. The subject site slopes from the rear to the front boundary. The proposed extension is sited such that it minimises the perception of excessive bulk and scale and reduces any adverse amenity impacts to neighbouring sites.

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is subject to payment of contributions towards the provision of local infrastructure. The contributions payable has been calculated in accordance with Council's Contributions Plan as follows:

Contribution amounts payable

Applicable contribution type		
s7.12 contribution details	Development cost:	\$1,203,400
<i>(payment amount subject to indexing at time of payment)</i>	Contribution:	\$10,203

Conditions requiring the payment of contributions at the appropriate time are included in the attached conditions.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	N/A
6. Loading and Servicing facilities	N/A
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8. Site Management Issues	Yes
9. All relevant S4.15 considerations of <i>Environmental Planning and Assessment (Amendment) Act 1979</i>	Yes

SUBMITTERS CONCERNS

The application was notified to adjoining properties. Council received one (1) submission where the following matters were raised:

Impact upon neighbouring solar access and excessive bulk and scale

- *Loss of solar access and amenity to primary living spaces (both internal and external) as a result of the adjacent proposed development.*
- *Concerned is also raised in the scale of the proposed wall (close to side boundary) and pitched roof facing living areas will impact our outlook. The size and proximity of the wall will feel imposing and claustrophobic.*

An inspection of the neighbouring property at 2 Kiara Close was conducted on 31 May 2024. It was clear on inspection that the proposed rear extension of the subject dwelling was very close the rear boundary and would create significant additional bulk and height at the side boundary of 2 Kiara Close.

An acceptable solution was resolved which reduced the pitch of the proposed extension roof form. The proposed solar access to the private open space and primary habitable rooms of 2 Kiara Close has been largely retained whilst simultaneously reducing bulk at the boundary.

PUBLIC INTEREST

The proposal would not result in any unreasonable impacts to the streetscape, Neutral Neighbourhood area, and the heritage status of the site. The proposal maintains the existing low-density character of the locality by restricting the extension works to a single storey located at the rear of the property. The proposal is acceptable in its impacts to neighbouring properties and therefore, would not be contrary to the public interest.

SUITABILITY OF THE SITE

The proposal involves residential development in a residential zone. The proposed works are wholly contained within the rear of the site and will not be readily visible from the public domain. The proposal does not pose any significant impacts to neighbouring dwellings and the streetscape. The proposal is considered to be suitable for the subject site.

HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?

The subject application was notified to adjoining properties and the Hayes Precinct for 14 days where the issue of solar access and building bulk were raised. The concerns in this regard have been addressed in this report and the appropriate conditions of consent have been recommended to maintain the amenity of adjoining properties.

CONCLUSION

The development application has been assessed against the relevant planning instruments and policies, in particular the *North Sydney Local Environmental Plan 2013* and the *North Sydney Development Control Plan 2013*, and generally found to be satisfactory.

The proposal maintains the existing low-density character and its heritage significance of the locality by restricting the extension works to a single storey form towards the rear of the site which will not be readily visible from the streetscape.

One (1) unique submission was received raising concerns regarding to solar access and building bulk impacts. The proposal was amended as a result, in response to Council's RFI, which reduced the proposed roof extension height and scale, which largely maintains solar access and reduced bulk to the neighbouring property. Whilst still providing improved internal amenity to occupants.

Having regard to the merits of the proposal, the application is recommended for approval subject to appropriate standard and site-specific conditions for the reasons provided below.

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF *ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979* (AS AMENDED)

THAT the North Sydney Local Planning Panel exercising the functions of Council as the consent authority grant consent to Development Application No. 60/2024 for alterations and additions to the existing heritage dwelling on land at 11 Hipwood Street, North Sydney subject to the following site specific and standard conditions:

Heritage Requirements

C19. The following heritage requirements are to be met:

- a) The colour of the new brickwork is to be visually submissive to the exterior paint colour of the original building.
- b) New sandstone where required for repairs is to match the existing sandstone blockwork in dimension, texture and colour.
- c) New windows and doors on the original Victorian dwelling are to be timber framed.
- d) All new external timber work shall have a painted finish not a stained/oiled finish.
- e) The new balustrade to the proposed Juliet balcony on the South-West Elevation shall be a metal palisade balustrade. A glazed or a solid balustrade is not acceptable.
- f) The exterior colour scheme is to match the existing scheme or any new scheme, shall either be a traditional colour scheme appropriate to the Victorian period dwelling or shall use neutral tones.
- g) Any new tessellated tiles in the hallway may be conserved where possible or may be replaced with unglazed tessellated tiles of a similar or matching colour to the existing floor tiles and shall utilise the existing overall pattern and design. (Apply if amended plans are not received.)
- h) No consent is given or implied for the removal of ceilings, ceiling roses, cornices, fireplaces or mantle pieces in the four front rooms and hallway.
- i) Existing joinery is to be retained in the four front rooms and hallway, except where the two new doors are proposed, or where previously replaced. New skirting boards in the four front rooms and hallway shall match the original Victorian profile.

(Reason: To retain the heritage significance of the dwelling)

Tree Protection

C20. To ensure the protection of all trees to be retained, the following measures are to be undertaken:

- a) All documentation for the Construction Certificate application must show the site trees to be retained, and retention of the adjoining trees, with their positions and diameters of trunks and crowns (canopies) to be clearly and accurately shown in relation to all levels of the proposed development.
- b) All plans and correspondences must refer to the required compliance with the approved Tree Protection and Management Plan, and clearly show the assigned number of each tree on site, adjoining and Council land.

- c) A Consulting Arboriculturist (“the project arboriculturist”), who holds a minimum Australian Qualification Framework Level 5 in Arboriculture, is a registered consulting member of a nationally recognised arboricultural organisation or association, and who does not remove or prune trees in the North Sydney local government area, shall be engaged before work commences for the duration of site preparation, demolition, construction and landscaping.
- d) The project arboriculturist shall inspect, monitor, supervise, provide recommendations and written reports and certification relating to protection of the trees and compliance with the conditions of consent.
- e) The contact details of the project arboriculturist shall be advised to council before work commences and maintained up to date for the duration of works. If a new project arborist is appointed details of the new project arborist shall be notified to council within 7 days.

(Reason: Tree protection measures.)

Project Arborist Engaged

D4. A project arborist to be engaged:

- The project arboriculturist shall inspect tree protection measures and certify in writing to the Principal Certifying Authority the measures comply with the approved Tree Protection Plan and as directed by the project arboriculturist before work commences.
- The project arboriculturist shall provide guidance and oversight of tree protection and management to ensure that the stability and ongoing viability of trees being retained is not compromised.
- The project arboriculturist must contact the tree pruning contractor and Council’s Tree Management Officer (giving at least 2 working days’ notice) to arrange a joint site meeting, prior to commencing any pruning, to determine the exact location and extent of pruning that is permissible, with the tree pruning contractor to comply with any instructions issued by Council, acting reasonably.
- Any pruning must be undertaken by a practicing arborist with a minimum Australian Qualification Framework Level 3 in arboriculture, in accordance with the principles of the Australian Standard AS 4373-2007 ‘Pruning of Amenity Trees,’ and the NSW Work Cover Code of Practice for the Amenity Tree Industry (1998), as well as any instructions issued on site by Council, acting reasonably.
- The practicing arborist must keep a log of dates and times of when they attended the site, the type of works that were performed, and must form part of the certification required prior to Occupation.

(Reason: Tree protection measures.)

Protection of Public Trees

D5. The following tree(s) are required to be protected and retained as part of the development consent in accordance with AS 4970-2009 – Protection of trees on development sites:

Tree	Location	Protection
T5 (2x) <i>Washingtonia</i> sp. & various underplanting (to 10x4m)	Kerbside bed adjacent to 11 Hipwood Street - Kiara Cl frontage	1.8m high steel mesh tree protection fencing, enclosing bed

Trunk protection to be installed by first wrapping the stem of the tree in hessian or like material then strapping timber battens over the top. It is recommended that timber battens with the dimensions of length 2000mm, width 75mm and depth 50mm are used. The battens are not to be directly screwed or nailed into the tree.

1.8m high steel mesh tree protection fencing shall be erected such that any unprotected section of council verge within TPZ of protected trees shall be completely enclosed.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: Protection of existing environmental and community assets.)

JACK VARKA
ASSESSMENT OFFICER

ISOBELLA LUCIC
TEAM LEADER ASSESSMENTS

STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES

NORTH SYDNEY COUNCIL
CONDITIONS OF DEVELOPMENT APPROVAL
11 HIPWOOD STREET, NORTH SYDNEY
DEVELOPMENT APPLICATION NO. 60/24

A. Conditions that Identify Approved Plans

Development in Accordance with Plans/Documentation

- A1. The development must be carried out in accordance with the following drawings endorsed with Council's approval stamp and other documentation listed in the table to this clause, or cited by other conditions, and as amended by other conditions of this consent.

Plan No.	Rev	Description	Prepared by	Dated
2311-P-00	B	Site Plan	Benn and Penna	08/07/24
2311-P-01	B	Lower Ground Plan		08/07/24
2311-P-02	B	Ground Floor Plan		08/07/24
2311-P-03	B	First Floor Plan		08/07/24
2311-P-04	B	Roof Plan		08/07/24
2311-P-05	B	Section A		08/07/24
2311-P-06	B	Section B		08/07/24
2311-P-07	B	North Elevation		08/07/24
2311-P-08	B	South Elevation		08/07/24
2311-P-09	B	East Elevation		08/07/24
2311-P-10	B	West Elevation		08/07/24
2311-X-00	B	Landscape Concept Plan		08/07/24
2311-X-01	B	Materials Finishes		08/07/24

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

Plans on Site

- A2. A copy of all plans endorsed with Council's approval stamp, specifications and documents (including the plans, specifications and documents submitted and approved with the Construction Certificate) must be kept on site at all times so as to be readily available for perusal by any officer of Council or the Principal Certifier.

All documents kept on site in accordance with this condition must be provided to any officer of the Council or the Principal Certifier upon their request.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information and to ensure ongoing compliance)

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No Demolition of Extra Fabric

- A3. Alterations to, and demolition of the existing building shall be limited to that documented on the approved plans.

(Reason: To ensure compliance with the approved development)

External Finishes and Materials

- A4. External finishes and materials must be in accordance with the submitted schedule dated 18 March 2024, prepared by Benn & Penna on the drawing numbered 2311-X-01, Revision A, registered at Council on 21 March 2024, unless otherwise modified by Council in writing. Or by condition of consent.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

C. *Prior to the Issue of a Construction Certificate (and ongoing, where indicated)***Structural Adequacy of Existing Building**

- C1. A report prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction shall be submitted to the Principal Certifier for approval prior to issue of any Construction Certificate. The certified report must also include all details of the methodology to be employed in construction phases to achieve the above requirements. The methodology in the certified report must be complied with at all times.

(Reason: To ensure the structural integrity of the building is maintained)

Colours, Finishes and Materials (Heritage Items)

- C2. A traditional palette of finishes, materials and colour schemes must be selected for the new building works appropriate to the architectural style of the original building and submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition prior to the release of the Construction Certificate.

(Reason: To ensure that exterior colours, finishes and materials are sympathetic to the significance of the heritage item.)

Skylight(s)

- C3. Skylight flashing(s) and frame(s) to be coloured to match the roof material. Skylight(s) to sit no higher than 100mm above roof plane when in a closed position. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The Principal Certifier must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition.

(Reason: To minimise the visual impact of the skylight(s) on the roof plane)

Reflectivity Index of Glazing

- C4. The glazing for windows, walls or roof finishes of the approved development must be factory pre-finished with low glare and reflectivity properties. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Note: The reflectivity index of glazing elements can be obtained from glazing manufacturers. Glass with mirrored or reflective foil finishes is unlikely to achieve compliance with this requirement.

(Reason: To ensure that excessive glare or reflectivity nuisance from glazing does not occur as a result of the development)

Roofing Materials - Reflectivity

- C5. Roofing materials must be factory pre-finished with low glare and reflectivity properties to be compatible with the colours of neighbouring buildings. The selected roofing material must not cause a glare nuisance or excessive reflectivity to adjoining or nearby properties. Plans and specifications which comply with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure that excessive glare or reflectivity nuisance from roofing materials does not occur as a result of the development)

Work Zone

- C6. If a Work Zone is required a Work Zone permit is to be obtained from Council prior to the issue of any Construction Certificate.

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Note: For major development an application for work zone permit must be considered by the North Sydney Local Traffic Committee.

Work Zones are provided specifically for the set down and pick up of materials and not for the parking of private vehicles associated with the site. Works Zones will generally not be approved where there is sufficient space on-site for the setting down and picking up of goods being taken to or from a construction site. If the Works Zone is approved by the Committee, the Applicant must obtain a written copy of the related resolution from the North Sydney Local Traffic Committee and submit a copy of this to the Principal Certifier to enable issue of the Construction Certificate.

Where approval of the 'Work Zone' is given by the Committee, the requirements of the Committee, including installation of the necessary 'Work Zone' signage and payment of any fees, must occur prior to commencement of any works on the site. Further, at the expiration of the Work Zone approval, the developer is required to remove the Work Zone signs and reinstate any previous signs, all at the developer's cost. The requirements imposed by the Committee on the Work Zone permit (or permits) must be complied with at all times.

(Reason: Amenity and convenience during construction)

Maintain Property Boundary Alignment Levels

- C7. Except where otherwise approved by Council, the property boundary alignment levels must match the levels which existed prior to the commencement of works. Plans and specifications which document existing and proposed levels adjacent to the site boundaries and which comply with the requirements of this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure interface between property and public land remains uniform)

Bond for Damage and Completion of Infrastructure Works - Stormwater, Kerb and Gutter, Footpaths, Vehicular Crossing and Road Pavement

- C8. Prior to the issue of any Construction Certificate, security deposit or bank guarantee must be provided to Council to the sum of \$3,500.00 to be held by Council for the payment of cost for any/all of the following:
- a) making good any damage caused to any property of the Council as a consequence of the doing of anything to which this consent relates,
 - b) completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and environmental controls) required in connection with this consent

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- c) remedying any defects in any such public work that arise within 6 months after the work is completed.
- d) Council reserves the right to retain all bonds on infrastructure works relating to the completion of required Infrastructure work for a 12-month defect liability period. Council may elect to provide a lesser period for minor residential work.

The security required by this condition and in the schedule contained later in these conditions must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

The security will be refundable following the expiration of six months from the issue of any final Occupation Certificate or completion of public work required to be completed (whichever is the latest) but only upon inspection and release by Council's Development Engineers or Manager of Development Services.

Council shall have full authority to make use of the bond for such restoration works as deemed necessary by Council in circumstances including the following:

- where the damage constitutes a hazard in which case Council may make use of the security immediately;
- the applicant has not repaired or commenced repairing damage within 48 hours of the issue by Council in writing of instructions to undertake such repairs or works;
- works in the public road associated with the development are to an unacceptable quality; and
- the Principal Certifier must ensure that security is provided to North Sydney Council prior to issue of any Construction Certificate.

(Reason: To ensure appropriate security for works on public land and an appropriate quality for new public infrastructure)

Tree Bond for Public Trees

- C9. Prior to the issue of any construction certificate, security in the sum of \$10,000.00 must be provided to Council for the protection of trees in public places, including the making good of any damage caused to such trees. The security is to be provided in accordance with the Schedule below.

The security required by this condition and in the schedule contained later in these conditions must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

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The security will be refundable following the expiration of 6 months from the issue of any final Occupation Certificate but only upon inspection and release by Council's Landscape Development Officer.

If any tree is removed or damaged Council may deduct from this security the reasonable cost of replacement with a tree of the same species and to a similar stage of growth it would have attained at the completion of the work.

In the case of any tree, which cannot be replaced with a similar specimen, the security for that tree will be forfeited to Council and used to provide replacement street plantings.

SCHEDULE

Tree Species	Location	Bond
T5 (2x) <i>Washingtonia</i> sp. & various underplanting (to 10x4m)	Kerbside bed adjacent to 11 Hipwood Street - Kiara Close frontage	\$10,000

(Reason: Protection of existing environment public infrastructure, community assets and significant trees)

Tree Protection Measures to be shown on Construction Drawings

C10. The tree protection measures contained in the arborist report prepared by Arborliz, dated 26 June 2024, as amended by conditions contained herein, shall be shown clearly on the Construction Certificate drawings. Plans and specifications showing the said tree protection measures must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure the construction plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure that appropriate tree protection measures are shown on construction drawings)

Protection of Trees

C11. The following tree(s) are required to be protected and retained as part of the development consent in accordance with AS 4970-2009 - Protection of trees on development sites:

Tree	Location	Height
T2 <i>Triadica sebifera</i> (pics suggest <i>C.camphora</i>)	Western setback-11 Hipwood Street	12x16m
T3 <i>Magnolia grandiflora</i>	Northern splay-11 Hipwood Street	8x6m
T4 <i>Plumeria</i> sp.	NE setback -11 Hipwood Street	6x5m
T5 (2x) <i>Washingtonia</i> sp. & various underplanting	Kerbside bed adjacent to 11 Hipwood Street - Kiara Cl frontage	To 10x4m
<i>Existing vegetation</i>	Western setback-11 Hipwood Street	var

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Plans and specifications complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

Approval for Removal of Trees

C12. The following tree(s) are approved for removal in accordance with the development consent:

Trees that are acceptable to remove	Location	Height
<i>T1 Magnolia x soulangeana</i>	Southern boundary-11 Hipwood Street	6x5m

Removal or pruning of any other tree on the site is not approved, excluding species exempt under Council's Tree Preservation Order.

Any tree(s) shown as being retained on the approved plans (regardless of whether they are listed in the above schedule or not) must be protected and retained in accordance with this condition.

(Reason: Protection of existing environmental and community assets)

Pruning of Trees

C13. All pruning works shall to the following tree(s) shall be undertaken under the guidance of an appropriately qualified arborist/tree surgeon in accordance with Australian Standard AS 4373-2007 - Pruning of Amenity Trees:

Trees that may Require Pruning	Location	Height
<i>nil</i>		

No canopy pruning shall be permitted to any protected tree.

A report detailing the measures to be employed during construction shall be submitted to the Principal Certifier for approval prior to the issue of any Construction Certificate.

All measures required by the said report must be complied with at all times in the carrying out of the development.

(Reason: To ensure the protection and longevity of existing significant trees)

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Section 7.12 Development Contributions

- C14. A monetary contribution pursuant to the provisions of Section 7.12 of *the Environmental Planning and Assessment Act 1979* is to be paid to Council, in accordance with the North Sydney Council's Contribution Plan, to provide for local infrastructure improvements.

Based on the cost of development at the date of determination, the total contribution payable to Council is \$10,203.00.

Indexation

The monetary contribution required under this consent will be indexed between the date of the grant of the consent and the date on which the contribution is paid the time of payment in accordance with quarterly movements in the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Bureau of Statistics.

Timing of Payment

The contribution must be paid to Council prior to issue of any Construction Certificate for any work approved by this consent.

A copy of the North Sydney Contribution Plan can be viewed at North Sydney Council's Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council's website at www.northsydney.nsw.gov.au.

(Reason: to provide for local infrastructure identified in the North Sydney Council Local Contributions Plan 2020)

Security Deposit/Guarantee Schedule

- C15. All fees and security deposits/ guarantees in accordance with the schedule below must be provided to Council prior to the issue of any Construction Certificate:

Security Deposit/Guarantee	Amount (\$)
Street Tree Bond (on Council Property)	\$10,000.00
Infrastructure Bond	\$3,500.00
TOTAL BONDS	\$13,500.00

Note: The following fees applicable

Fees	
Section 7.12 Development Contributions:	\$10,203.00
TOTAL FEES	\$10,203.00

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The security required by the above schedule must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

(Reason: Compliance with the development consent)

BASIX Certificate

C16. Under clause 75 of the Environmental Planning and Assessment Regulation 2021, it is a condition of this development consent that all the commitments listed in BASIX Certificate No. A1740215 for the development are fulfilled. Plans and specifications complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate. The Principal Certifier must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the proposed development will meet the Government's requirements for sustainability and statutory requirements)

Amendments to the Landscape Plan

C17. The landscape plan must be amended as follows to provide an appropriate landscaped setting:

- Stormwater Plan shall be amended such that pipework is rerouted outside the SRZ of T4 *Plumeria sp.* (6x5m) and other protected trees, or surface mounted (strapped to side of building) should gradient allow.

An amended landscape plan complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate. The Principal Certifier must ensure that the amended landscape plan and other plans and specifications submitted fully satisfy the requirements of this condition.

(Reason: To ensure residential amenity)

Arborist to be Commissioned

C18. An experienced consulting arborist with minimum qualification of AQF Level 5 must be commissioned to assist the design development and contract documentation for the approved development. The commissioned arborist must oversee construction works on the site for their duration, must ensure all tree protection measures are implemented and maintained at all times during demolition and construction and must undertake regular inspections of works in progress and provide advice to the developer in relation to tree matters.

Written details of the engagement of the experienced arborist must be submitted to the Principal Certifier prior to the issue of any Construction Certificate.

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Note: This condition, and any advice given by the consulting arborist, should not be construed as authorising the carrying of development with/ otherwise than in accordance with the development consent.

(Reason: To ensure that all matters relating to trees are resolved and recorded using best practice)

Heritage Requirements

C19. The following heritage requirements are to be met:

- a) The colour of the new brickwork is to be visually submissive to the exterior paint colour of the original building.
- b) New sandstone where required for repairs is to match the existing sandstone blockwork in dimension, texture and colour.
- c) New windows and doors on the original Victorian dwelling are to be timber framed.
- d) All new external timber work shall have a painted finish not a stained/oiled finish.
- e) The new balustrade to the proposed Juliet balcony on the South-West Elevation shall be a metal palisade balustrade. A glazed or a solid balustrade is not acceptable.
- f) The exterior colour scheme is to match the existing scheme or any new scheme, shall either be a traditional colour scheme appropriate to the Victorian period dwelling or shall use neutral tones.
- g) Any new tessellated tiles in the hallway may be conserved where possible or may be replaced with unglazed tessellated tiles of a similar or matching colour to the existing floor tiles and shall utilise the existing overall pattern and design. (Apply if amended plans are not received.)
- h) No consent is given or implied for the removal of ceilings, ceiling roses, cornices, fireplaces or mantle pieces in the four front rooms and hallway.
- i) Existing joinery is to be retained in the four front rooms and hallway, except where the two new doors are proposed, or where previously replaced. New skirting boards in the four front rooms and hallway shall match the original Victorian profile.

(Reason: To retain the heritage significance of the dwelling)

Tree Protection

C20. To ensure the protection of all trees to be retained, the following measures are to be undertaken:

- a) All documentation for the Construction Certificate application must show the site trees to be retained, and retention of the adjoining trees, with their positions and diameters of trunks and crowns (canopies) to be clearly and accurately shown in relation to all levels of the proposed development.
- b) All plans and correspondences must refer to the required compliance with the approved Tree Protection and Management Plan, and clearly show the assigned number of each tree on site, adjoining and Council land.

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- c) A Consulting Arboriculturist (“the project arboriculturist”), who holds a minimum Australian Qualification Framework Level 5 in Arboriculture, is a registered consulting member of a nationally recognised arboricultural organisation or association, and who does not remove or prune trees in the North Sydney local government area, shall be engaged before work commences for the duration of site preparation, demolition, construction and landscaping.
- d) The project arboriculturist shall inspect, monitor, supervise, provide recommendations and written reports and certification relating to protection of the trees and compliance with the conditions of consent.
- e) The contact details of the project arboriculturist shall be advised to council before work commences and maintained up to date for the duration of works. If a new project arborist is appointed details of the new project arborist shall be notified to council within 7 days.

(Reason: Tree protection measures.)

D. Prior to the Commencement of any Works (and continuing where indicated)

Protection of Trees

- D1. All trees that are specifically nominated to be retained by notation on plans or by condition as a requirement of this consent must be maintained and protected during demolition, excavation and construction on the site in accordance with AS4970-2009 (Protection of trees on development sites). A report containing recommendations, and methods of tree protection prepared by an appropriately qualified person must be provided to the Principal Certifier for approval by an appropriately qualified person prior to commencement of any works on the site. Any recommendations must be undertaken for the duration of works on the site.

Sensitive construction techniques including hand excavation, pier & beam construction & flexible location of piers/footings shall be used within the TPZ of any protected tree. No roots greater than 40mm shall be cut. No stormwater or any other underground services shall be directed through the TPZ of any protected tree

(Reason: To ensure compliance with the requirement to retain significant planting on the site)

Temporary Fences and Tree Protection

- D2. All protected trees on-site that are specifically nominated as per condition C11 to be retained by notation on plans or by condition as a requirement of this consent must be tagged with luminous tape or the like for purposes of identification prior to demolition, excavation or construction works and must remain so for the duration of works on the site. No materials or builder’s waste are to be stored in the vicinity of the nominated tree/trees at any time.

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Appropriate fencing or barricades in accordance with AS4970-2009 (Protection of trees on development sites), not less than the distance shown in the schedule hereunder, must be installed to the satisfaction of the Principal Certifier prior to demolition or commencement of any works and must be maintained for the duration of the works.-

(Reason: To protect the trees to be retained on the site during construction works)

Commencement of Works' Notice

D3. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence building work, demolition or excavation in accordance with this development consent.

(Reason: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Project Arborist Engaged

D4. A project arborist to be engaged:

- The project arboriculturist shall inspect tree protection measures and certify in writing to the Principal Certifying Authority the measures comply with the approved Tree Protection Plan and as directed by the project arboriculturist before work commences.
- The project arboriculturist shall provide guidance and oversight of tree protection and management to ensure that the stability and ongoing viability of trees being retained is not compromised.
- The project arboriculturist must contact the tree pruning contractor and Council's Tree Management Officer (giving at least 2 working days' notice) to arrange a joint site meeting, prior to commencing any pruning, to determine the exact location and extent of pruning that is permissible, with the tree pruning contractor to comply with any instructions issued by Council, acting reasonably.
- Any pruning must be undertaken by a practicing arborist with a minimum Australian Qualification Framework Level 3 in arboriculture, in accordance with the principles of the Australian Standard AS 4373-2007 'Pruning of Amenity Trees,' and the NSW Work Cover Code of Practice for the Amenity Tree Industry (1998), as well as any instructions issued on site by Council, acting reasonably.
- The practicing arborist must keep a log of dates and times of when they attended the site, the type of works that were performed, and must form part of the certification required prior to Occupation.

(Reason: Tree protection measures.)

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Protection of Public Trees

- D5. The following tree(s) are required to be protected and retained as part of the development consent in accordance with AS 4970-2009 – Protection of trees on development sites:

Tree	Location	Protection
T5 (2x) <i>Washingtonia</i> sp. & various underplanting (to 10x4m)	Kerbside bed adjacent to 11 Hipwood Street - Kiara CI frontage	1.8m high steel mesh tree protection fencing, enclosing bed

Trunk protection to be installed by first wrapping the stem of the tree in hessian or like material then strapping timber battens over the top. It is recommended that timber battens with the dimensions of length 2000mm, width 75mm and depth 50mm are used. The battens are not to be directly screwed or nailed into the tree.

1.8m high steel mesh tree protection fencing shall be erected such that any unprotected section of council verge within TPZ of protected trees shall be completely enclosed.

Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: Protection of existing environmental and community assets.)

E. During Demolition and Building Work

Reuse of Sandstone

- E1. Sandstone blocks (if any) removed from the site are to be either stored for re-use on site or offered to Council in the first instance.

Note: The provisions of the Heritage Act may also apply to altering any sandstone elements on any site.

(Reason: To allow for preservation of cultural resources within the North Sydney Council area)

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Parking Restrictions

- E2. Existing public parking provisions in the vicinity of the site must be maintained at all times during works. The placement of any barriers, traffic cones, obstructions or other device in the road shoulder or kerbside lane is prohibited without the prior written consent of Council. Changes to existing public parking facilities/restrictions must be approved by the North Sydney Local Traffic Committee. The Developer will be held responsible for any breaches of this condition and will incur any fines associated with enforcement by Council regulatory officers.

(Reason: To ensure that existing kerbside parking provisions are not compromised during works)

Road Reserve Safety

- E3. All public footways and roadways fronting and adjacent to the site must be maintained in a safe condition at all times during the course of the development works, with no obstructions caused to the said footways and roadways. Construction materials and plant must not be stored in the road reserve without approval of Council. A safe pedestrian circulation route and a pavement/route free of trip hazards must be maintained at all times on or adjacent to any public access ways fronting the construction site.

Where public infrastructure is damaged, repair works must be carried out in when and as directed by Council officers (at full Developer cost). Where pedestrian circulation is diverted on to the roadway or verge areas, clear directional signage and protective barricades must be installed in accordance with AS1742-3 (1996) "Traffic Control Devices for Work on Roads." **If pedestrian circulation is not satisfactorily maintained across the site frontage, and action is not taken promptly to rectify the defects, Council may undertake proceedings to stop work.**

(Reason: Public Safety)

Temporary Disposal of Stormwater Runoff

- E4. During construction, stormwater runoff must be disposed in a controlled manner that is compatible with the erosion and sediment controls on the site. Immediately upon completion of any impervious areas on the site (including roofs, driveways, paving) and where the final drainage system is incomplete, the necessary temporary drainage systems must be installed to reasonably manage and control runoff as far as the approved point of stormwater discharge. Such ongoing measures must be to the satisfaction of the Principal Certifier.

(Reason: Stormwater control during construction)

Removal of Extra Fabric

- E5. Should any portion of the existing building, trees, or curtilage of the site which is indicated on the approved plans to be retained be damaged for whatever reason, all the works in the area of the damaged portion are to cease and written notification of the damage is to be given to Council forthwith. No work is to resume until the written approval of Council to do so is obtained. Failure to comply with the provisions of this condition may result in the Council taking further action including legal proceedings if necessary.

(Reason: To ensure compliance with the terms of this development consent)

Dust Emission and Air Quality

- E6. The following must be complied with at all times:
- (a) Materials must not be burnt on the site.
 - (b) Vehicles entering and leaving the site with soil or fill material must be covered.
 - (c) Dust suppression measures must be carried out to minimise wind-borne emissions in accordance with the NSW Department of Housing's 1998 guidelines - Managing Urban Stormwater: Soils and Construction.
 - (d) Odour suppression measures must also be carried out where appropriate so as to prevent nuisance occurring at adjoining properties.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

Noise and Vibration

- E7. The works must be undertaken in accordance with the "Interim Construction Noise Guideline" published by the NSW Environment Protection Authority, to ensure excessive levels of noise and vibration do not occur so as to minimise adverse effects experienced on any adjoining land.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

No Work on Public Open Space

- E8. No work can be undertaken within adjoining public lands (i.e., Parks, Reserves, Roads etc) without the prior written consent of Council. In this regard the developer is to liaise with Council prior to the commencement of any design works or preparation of a Construction and Traffic Management Plan.

(Reason: Protection of existing public infrastructure and land and to ensure public safety and proper management of public land)

Protection of Trees

- E9. All trees required to be retained, as part of this consent must be protected from any damage during construction works in accordance with AS4970-2009. All recommendations contained within the tree report prepared by Arborliz dated 26 June 2024, as amended by conditions contained herein, must be implemented for the duration of the works.

In the event that any tree required to be retained is damaged during works on the site, notice of the damage must be given to Council forthwith.

Notes:

If the nominated tree is damaged to a significant degree or removed from the site without prior written approval being obtained from Council, the issuing of fines or legal proceedings may be commenced for failure to comply with the conditions of this consent. An application to modify this consent pursuant to Section 4.55 of *the Environmental Planning and Assessment Act 1979* will be required to address the non-compliance with any of the conditions of consent relating to the retention of nominated trees, and Council may require tree replenishment.

(Reason: Protection of existing environmental infrastructure and community assets)

Trees to be Removed

- E10. All trees on the site must be protected and retained save for those expressly identified below as being approved for removal:

Trees that are acceptable to remove	Location	Height
<i>T1 Magnolia x soulangeana</i>	Southern boundary-11 Hipwood Street	6x5m

(Reason: To ensure compliance with the terms of this development consent)

Special Permits

- E11. Unless otherwise specifically approved in writing by Council, all works, processes, storage of materials, loading and unloading associated with the development must occur entirely on the property.

The developer, owner or builder may apply for specific permits available from Council's Customer Service Centre for the undermentioned activities on Council's property. In the event that a permit is granted by Council for the carrying out of works, processes, storage of materials, loading and unloading associated with the development on Council's property, the development must be carried out in accordance with the requirements of the permit. A minimum of forty-eight (48) hours' notice is required for any permit:

1) On-street mobile plant

E.g., cranes, concrete pumps, cherry-pickers, etc., - restrictions apply to the hours of operation, the area of operation, etc. Separate permits are required for each occasion and each piece of equipment. It is the developer's, owner's and builder's responsibilities to take whatever steps are necessary to ensure that the use of any equipment does not violate adjoining property owner's rights.

(Reason: Proper management of public land)

2) Hoardings

Permits are required to erect Class A and Class B hoardings. If an 'A' Class hoarding is to alienate a section of Council's property, that section will require a permit for the occupation of Council's property.

(Reason: Proper management of public land)

3) Storage of building materials and building waste containers (skips) on Council's property

Permits to utilise Council property for the storage of building materials and building waste containers (skips) are required for each location. Failure to obtain the relevant permits will result in the building materials or building waste containers (skips) being impounded by Council with no additional notice being given. Storage of building materials and waste containers on open space reserves and parks is prohibited.

(Reason: Proper management of public land)

4) Kerbside restrictions, construction zones

Attention is drawn to the existing kerbside restrictions adjacent to the development. Should alteration of existing kerbside restrictions be required, or the provision of a construction zone, the appropriate application must be made and the fee paid to Council. Alternatives to such restrictions may require referral to Council's Traffic Committee and may take considerable time to be resolved. An earlier application is suggested to avoid delays in construction programs.

(Reason: Proper management of public land)

Construction Hours

E12. Construction activities and works approved under this consent must be restricted to within the hours stipulated in the following table:

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Location	Standard Construction Hours	
	Day	Hours
All zones	Monday - Friday	7.00 am - 5.00 pm
	Saturday	8.00 am - 1.00 pm
	Sunday, Public holiday	No work permitted

Construction activities for development approved under this consent must be carried out in accordance with the standard construction hours above, the EPA Noise Policy for Industry 2017 and any Construction Noise Management Plan required under this consent.

In the event of breach to the approved hours of construction Council take may take enforcement action under Part 9 of the EP&A Act 1979 and in accordance with Council's adopted Compliance and Enforcement Policy.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Out-of-hours' Work Permits

E13. Where it is necessary for works to occur outside those hours allowed by these conditions, an application may be made to Council's Customer Services Centre for a permit to carry out works outside of the approved hours. If a permit is issued the works approved must be carried out in accordance with any requirements specified in the permit. Permits will only be approved if **public safety is at risk**. Applications which seek a variation to construction hours solely to benefit the developer will require the lodgement and favourable determination of a modification application pursuant to the provisions of Section 4.55 of *the Environmental Planning and Assessment Act 1979*.

Notes:

- 1) Failure to obtain a permit for work outside of the approved hours will result in on the spot fines being issued, or Council pursuing any action required (including legal proceedings) to have the out of hours work cease, without prior warning.
- 2) Applications for out of hour's works should be lodged with Council no later than seven (7) calendar days prior to the date of the intended works.
- 3) Examples of activities for which permits may be granted include:
 - the erection of awnings,
 - footpath, road and other infrastructure works which cannot be carried out for public convenience reasons within normal hours,
 - the erection and removal of hoardings and site cranes, and
 - craneage of materials which cannot be done for public convenience reasons within normal working hours.
- 4) Examples of activities for which permits WILL NOT be granted include:
 - extended concrete pours
 - works which are solely to convenience the developer or client, and

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- catch up works required to maintain or catch up with a construction schedule.
- 5) Further information on permits can be obtained from the Council website at www.northsydney.nsw.gov.au.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Plant and Equipment Kept Within Site

E14. All plant and equipment used in the undertaking of the development/works, including concrete pumps, wagons, lifts, mobile cranes, hoardings etc, must be situated within the boundaries of the site (unless a permit is obtained from Council beforehand) and so placed that all concrete slurry, water, debris and the like must be discharged onto the building site, and is to be contained within the site boundaries.

Details of Council requirements for permits on public land for standing plant, hoardings, storage of materials and construction zones and the like are available on Council's website at www.northsydney.nsw.gov.au.

(Reason: To ensure public safety and amenity on public land)

F. *Prescribed Conditions imposed under EP&A Act and Regulations and other relevant Legislation*

National Construction Code

F1. All building work must be carried out in accordance with the provisions of the National Construction Code.

(Reason: Prescribed - Statutory)

Home Building Act

F2. 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) for which the *Home Building Act 1989* requires there to be a contract of insurance under Part 6 of that Act must not be carried out unless the Principal Certifier for the development to which the work relates has given North Sydney Council written notice of the contract of insurance being issued and of the following:

- a) in the case of work for which a principal contractor is required to be appointed:
 - i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or

- (b) in the case of work to be done by an owner-builder:
- (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress such that the information submitted to Council in accordance with this condition is out of date, work must cease, and no further work may be carried out unless the Principal Certifier for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

(Reason: Prescribed - Statutory)

Appointment of Principal Certifier (PC)

- F3. Building work, **demolition** or excavation in accordance with the development consent must not be commenced until the developer has appointed a Principal Certifier for the building work in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Construction Certificate

- F4. Building work, demolition or excavation in accordance with the development consent must not be commenced until a Construction Certificate for the relevant part of the building work has been issued in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Occupation Certificate

- F5. A person must not commence occupation or use of the whole or any part of a new building (new building includes an altered portion of, or an extension to, an existing building) unless an Occupation Certificate has been issued in relation to the building or part. Only the Principal Certifier appointed for the building work can issue an Occupation Certificate.

(Reason: Statutory)

Commencement of Works' Notice

F6. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence the erection of the building.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Protection of Public Places

- F7. 1) A hoarding and site fencing must be erected between the work site and adjoining public place.
- 2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- 3) The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- 4) Any such hoarding, fence or awning is to be removed when the work has been completed.
- 5) No access across public reserves or parks is permitted.

Note: Prior to the erection of any temporary fence or hoarding over property owned or managed by Council, written approval must be obtained. Any application needs to be accompanied by plans indicating the type of hoarding and its layout. Fees are assessed and will form part of any approval given. These fees must be paid prior to the approval being given. Approval for hoardings will generally only be given in association with approved building works, maintenance or to ensure protection of the public. An application form for a Hoarding Permit can be downloaded from Council's website.

(Reason: To ensure public safety and the proper management of public land)

Site Sign

- F8. 1) A sign must be erected in a prominent position on the site
- a) stating that unauthorised entry to the work site is prohibited;
- b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and

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- c) showing the name, address and telephone number of the Principal Certifier for the work.
- 2) Any such sign must be maintained while to building work or demolition work is being carried out but must be removed when the work has been completed.

(Reason: Prescribed - Statutory)

G. Prior to the Issue of an Occupation Certificate

Certification of Tree Condition

- G1. Prior to the issue of an Occupation Certificate, a report prepared by an appropriately qualified person (being an arborist or the like) must be submitted to the Principal Certifier, describing the health of the tree(s) specifically nominated below: -

Tree	Location	Height
T2 <i>Triadica sebifera</i> (pics suggest <i>C.camphora</i>)	Western setback-11 Hipwood Street	12x16m
T3 <i>Magnolia grandiflora</i>	Northern splay-11 Hipwood Street	8x6m
T4 <i>Plumeria sp.</i>	NE setback -11 Hipwood Street	6x5m
T5 (2x) <i>Washingtonia sp.</i> & various underplanting	Kerbside bed adjacent to 11 Hipwood Street - Kiara Cl frontage	To 10x4m
Existing vegetation	Western setback-11 Hipwood Street	var

The report must detail the condition and health of the nominated tree(s) upon completion of the works and shall certify that the tree(s) has/have not been significantly damaged during the works on the site and has/have reasonable prospects for survival.

(Reason: To ensure compliance with the terms of this consent)

BASIX Completion Certificate

- G2. In accordance with Section 45 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, prior to issuing a final occupation certificate the Principal Certifier must provide a BASIX completion Certificate.

(Reason: To ensure compliance with the Regulations)

Landscaping

- G3. The landscaping shown in the amended landscape plan, required to be prepared under Condition C17 must be completed prior to the issue of any Occupation Certificate.

(Reason: To ensure compliance)

Unpaved Verge

- G4. The unpaved verge area must be constructed or reconstructed and planted with an appropriate species of grass prior to completion of the works at no cost to Council.

(Reason: To ensure that community assets are presented in accordance with reasonable community expectations)

I. Ongoing/Operational Conditions**Maintenance of Approved Landscaping**

- I1. The owner of the premises at 11 Hipwood Street is to maintain the landscaping approved by this consent generally in accordance with approved plans as modified by Conditions C11 and C17.

Any replacement plants required shall be advanced in growth and be selected to maintain the anticipated mature height, canopy density and nature of those plant species as originally approved.

(Reason: To ensure maintenance of the amenity, solar access and views of adjoining properties)

DEVELOPMENT APPLICATION

ADDRESS : 11 HIPWOOD ST, NORTH SYDNEY 2060

**ARCHITECTURAL DRAWINGS**

EXISTING BUILDING		REVISION
2311-E-00	EXISTING SITE PLAN	B
2311-E-01	EXISTING BASEMENT PLAN	B
2311-E-02	EXISTING GROUND PLAN	B
2311-E-03	EXISTING LEVEL 01 PLAN	B
2311-E-04	EXISTING ROOF PLAN	B
2311-E-05	EXISTING NORTH ELEVATION	B
2311-E-06	EXISTING SOUTH ELEVATION	B
2311-E-07	EXISTING EAST ELEVATION	B
2311-E-08	EXISTING WEST ELEVATION	B
2311-E-09	EXISTING SECTION A	B
2311-E-10	EXISTING SECTION B	B
PROPOSED BUILDING		
2311-P-00	SITE PLAN	B
2311-P-01	BASEMENT PLAN	B
2311-P-02	GROUND PLAN	B
2311-P-03	LEVEL 01 PLAN	B
2311-P-04	ROOF PLAN	B
2311-P-05	NORTH ELEVATION	B
2311-P-06	SOUTH ELEVATION	B
2311-P-07	EAST ELEVATION	B
2311-P-08	WEST ELEVATION	B
2311-P-09	SECTION A	B
2311-P-10	SECTION B	B
2311-S-00	SHADOW DIAGRAMS JUNE	B
2311-S-01	SHADOW DIAGRAMS JUNE	B
2311-S-02	SHADOW DIAGRAMS JUNE	B
2311-S-03	SHADOW DIAGRAMS MARCH	B
2311-S-04	SHADOW DIAGRAMS MARCH	B
2311-S-05	SHADOW DIAGRAMS MARCH	B
2311-S-06	SHADOW DIAGRAMS SEPT	B
2311-S-07	SHADOW DIAGRAMS SEPT	B
2311-S-08	SHADOW DIAGRAMS SEPT	B
2311-X-00	LANDSCAPE PLAN	B
2311-X-01	MATERIALS & FINISHES SCHEDULE	B
2311-X-02	COUNCIL CONTROL SUMMARY	B

CONSULTANT DRAWINGS

SURVEY : WATERVIEW SURVEYING SERVICES	A
PLANNER : LPDS	A
STORMWATER : HARRISON AND MORRIS	B
BASIX : NA (BY BENN + PENNA)	A
LANDSCAPE : NA (BY BENN + PENNA)	B
HERITAGE : JOHN OULTRAM HERITAGE & DESIGN	A
GEOTECH : MORROW GEOTECHNICS	A

PLANNING CONTROL SUMMARY (LEP / BASIX)

LEP CONTROLS
SITE COVERAGE:
SITE COVERAGE, EXISTING : 38.9%
SITE COVERAGE, PROPOSED : 40%
SITE COVERAGE, LEP CONTROL : 40%
LANDSCAPED AREA/UNBUILT UPON AREA:
LANDSCAPED AREA, EXISTING : 31.3%
UNBUILT UPON AREA, EXISTING : 26.3%
LANDSCAPED AREA, PROPOSED : 36.5%
UNBUILT UPON AREA, PROPOSED : 17.9%
LANDSCAPED AREA, LEP CONTROL : 40%
UNBUILT UPON AREA, LEP CONTROL : 20%
PRIVATE OPEN SPACE:
PRIVATE OPEN SPACE, EXISTING : 93.7M ²
PRIVATE OPEN SPACE, PROPOSED : 55.3M ²
PRIVATE OPEN SPACE, LEP CONTROL : 50M ²
BASIX
RAINWATER
N/A
HOT WATER SYSTEM
N/A
INSULATION
FLOOR : SLAB ON GROUND : NIL INSULATION
SUSPENDED FLOOR W ENCLOSED SUBFLOOR, CONCRETE : R0.70 (DOWN)
EXTERNAL WALL : CAVIITY BRICK : NIL INSULATION
RAKED CEILING, PITCHED/SKILLION ROOF : FRAMED CONSTRUCTION : R3 (UP) INSULATION
FLAT CEILING, FLAT ROOF : FRAMED CONSTRUCTION : R3 (UP) INSULATION
GLAZED DOORS & WINDOWS
STANDARD ALUMINIUM, SINGLE CLEAR (OR U-VALUE: 7.63, SHGC: 0.75)
IMPROVED ALUMINIUM, SINGLE PYROLYTIC LOW E (OR U-VALUE: 4.48, SHGC: 0.46)
SKYLIGHTS
TIMBER, LOW E INTERNAL/ARGON FILL/CLEAR EXTERNAL (OR U-VALUE: 2.5, SHGC: 0.456)

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- █ INDICATES PROPOSED
- █ INDICATES EXISTING
- KEY BUILDING SETOUT

- PREVAILING WINTER WINDS
- PREVAILING SUMMER WINDS
- SUNLIGHT
- TRAFFIC NOISE

24 HIPWOOD STREET

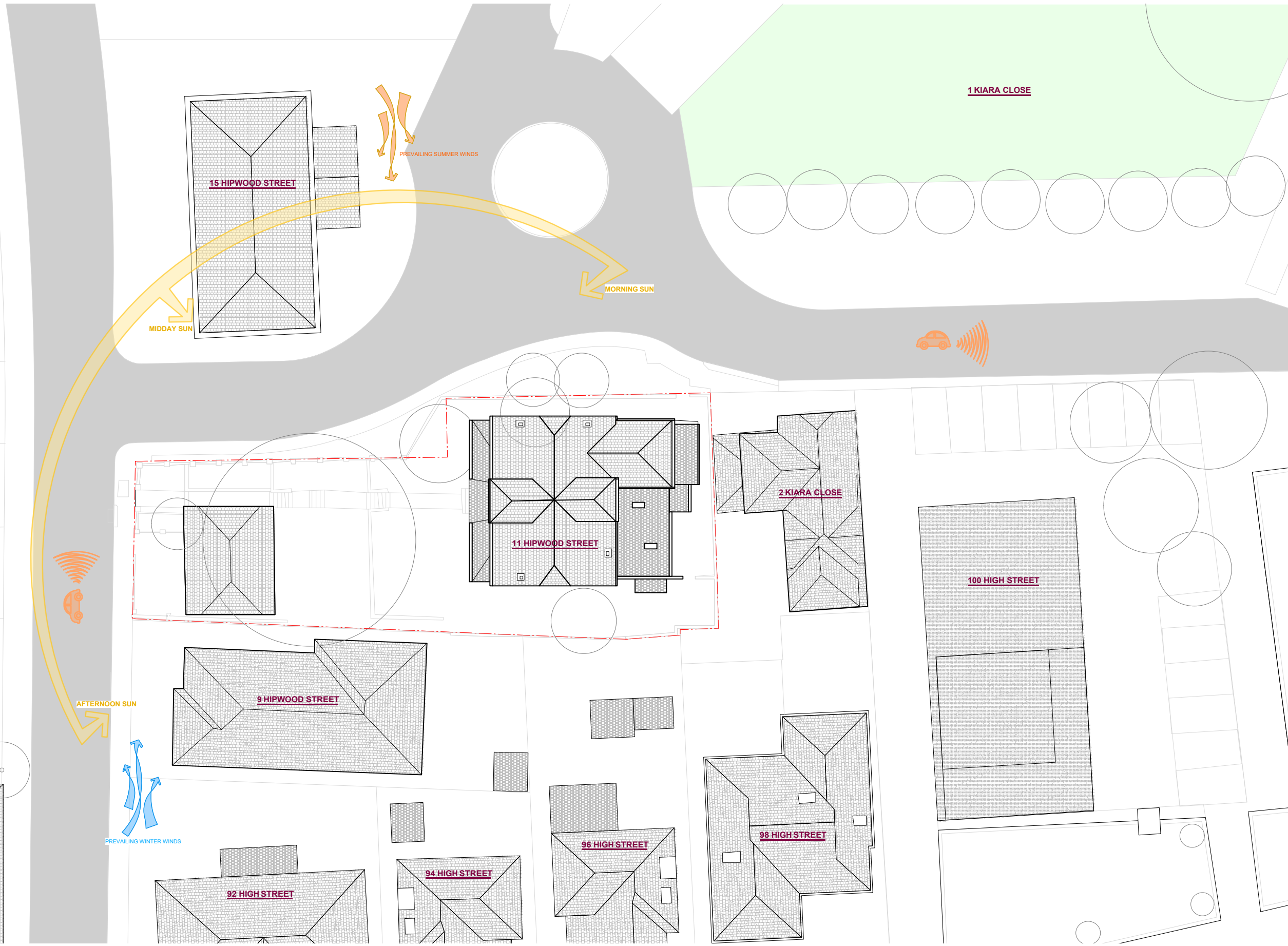
22 HIPWOOD STREET

20 HIPWOOD STREET

70B HIGH STREET

70C HIGH STREET

72 HIGH STREET



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

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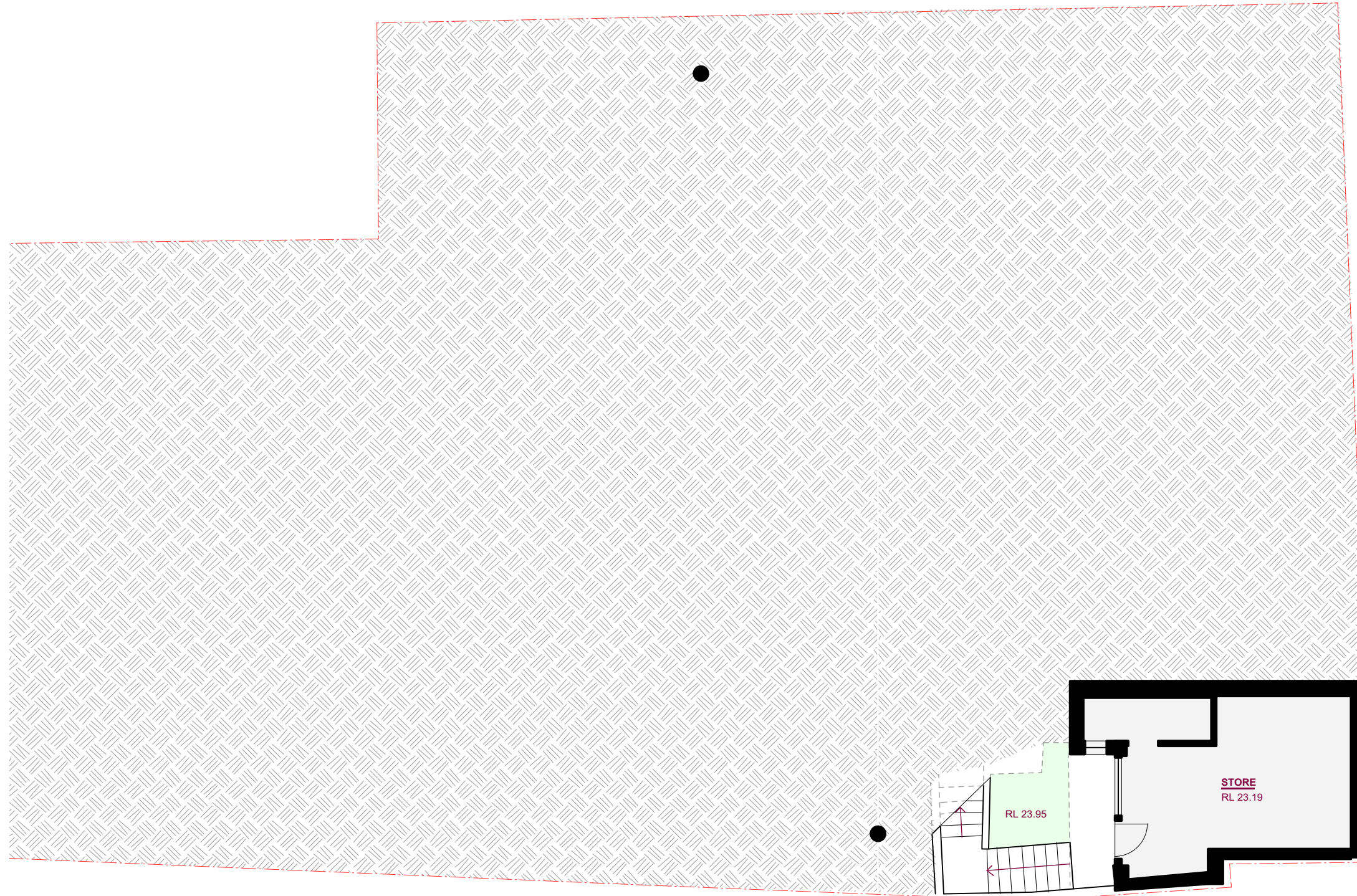
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DRAWING NAME EXISTING SITE PLAN	2311-E-00	REVISION B	

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

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 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

DRAWING NAME

EXISTING LOWER GROUND PLAN

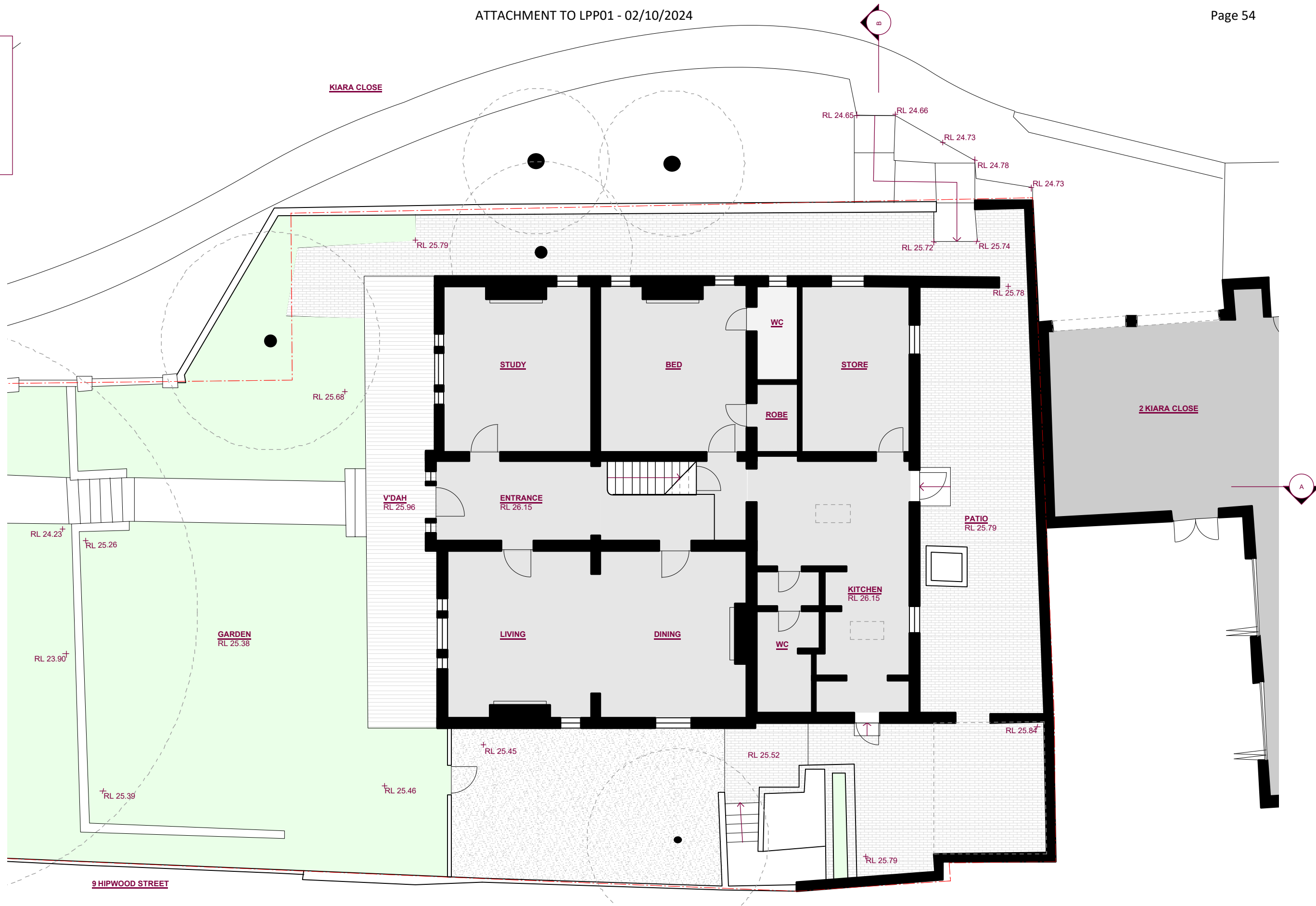
2311-E-01

REVISION

B

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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DRAWING NAME

EXISTING GROUND FLOOR PLAN

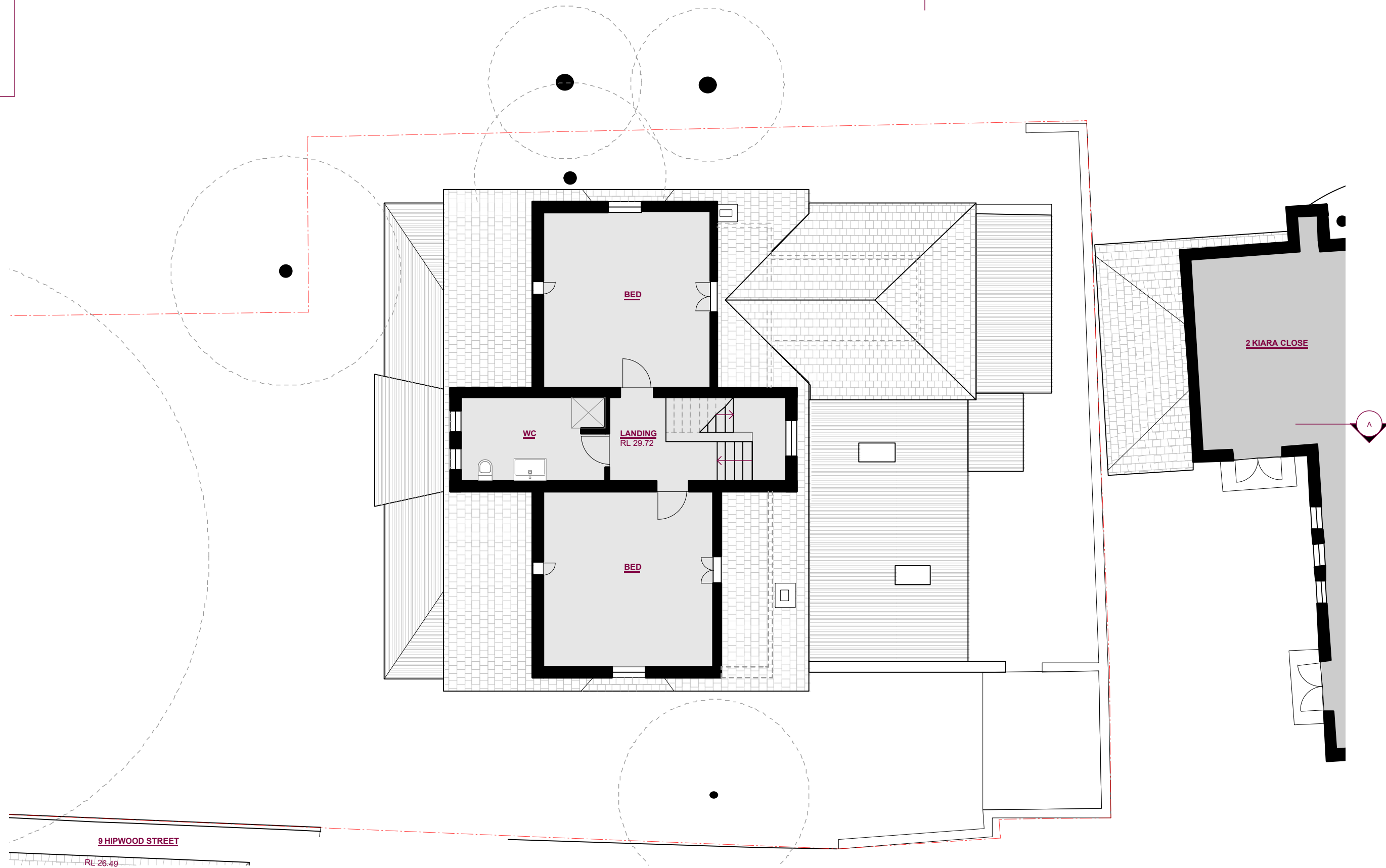
2311-E-02

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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NORTH



SCALE

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DRAWING NAME

EXISTING FIRST FLOOR PLAN

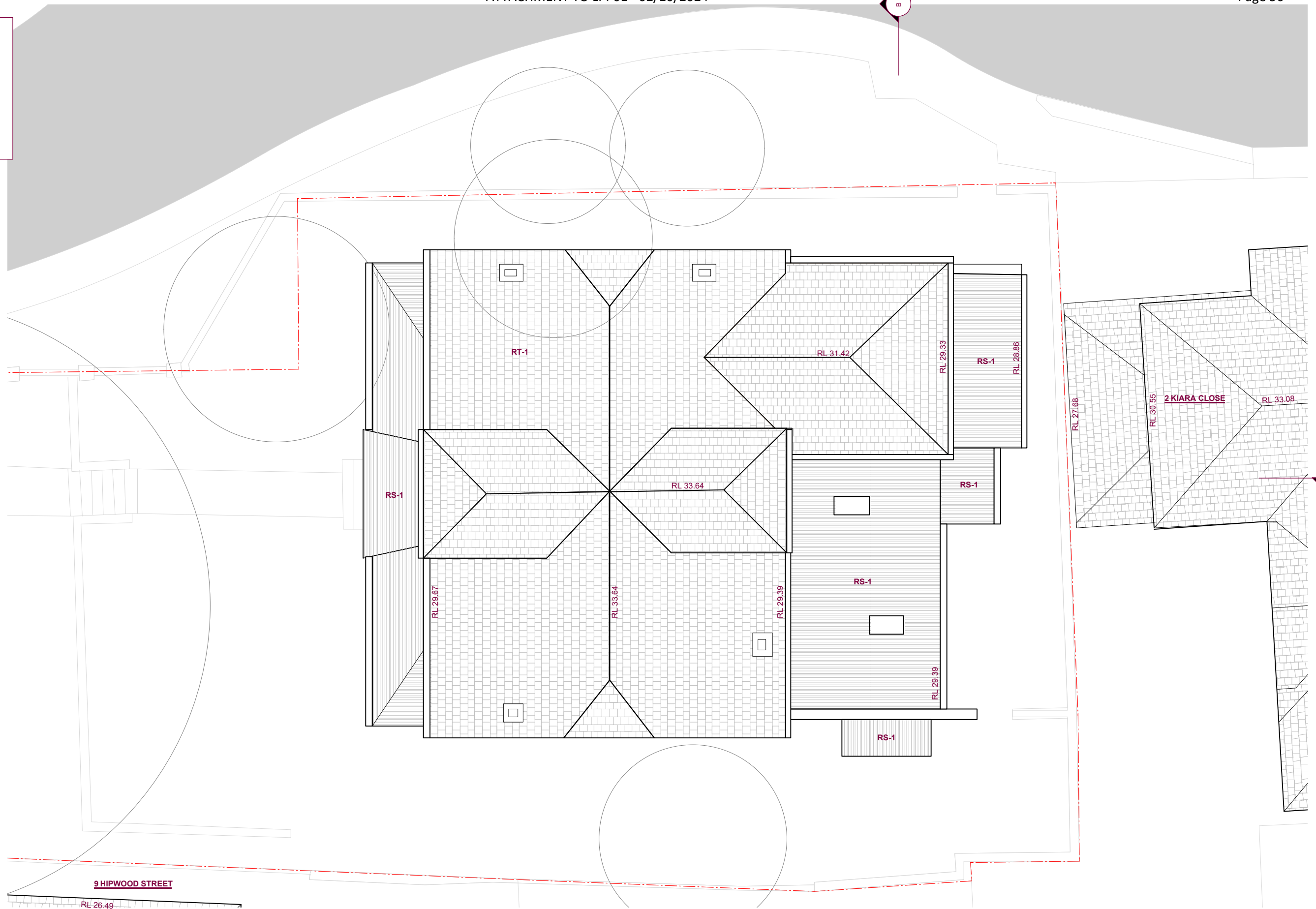
2311-E-03

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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DRAWING NAME

EXISTING ROOF PLAN

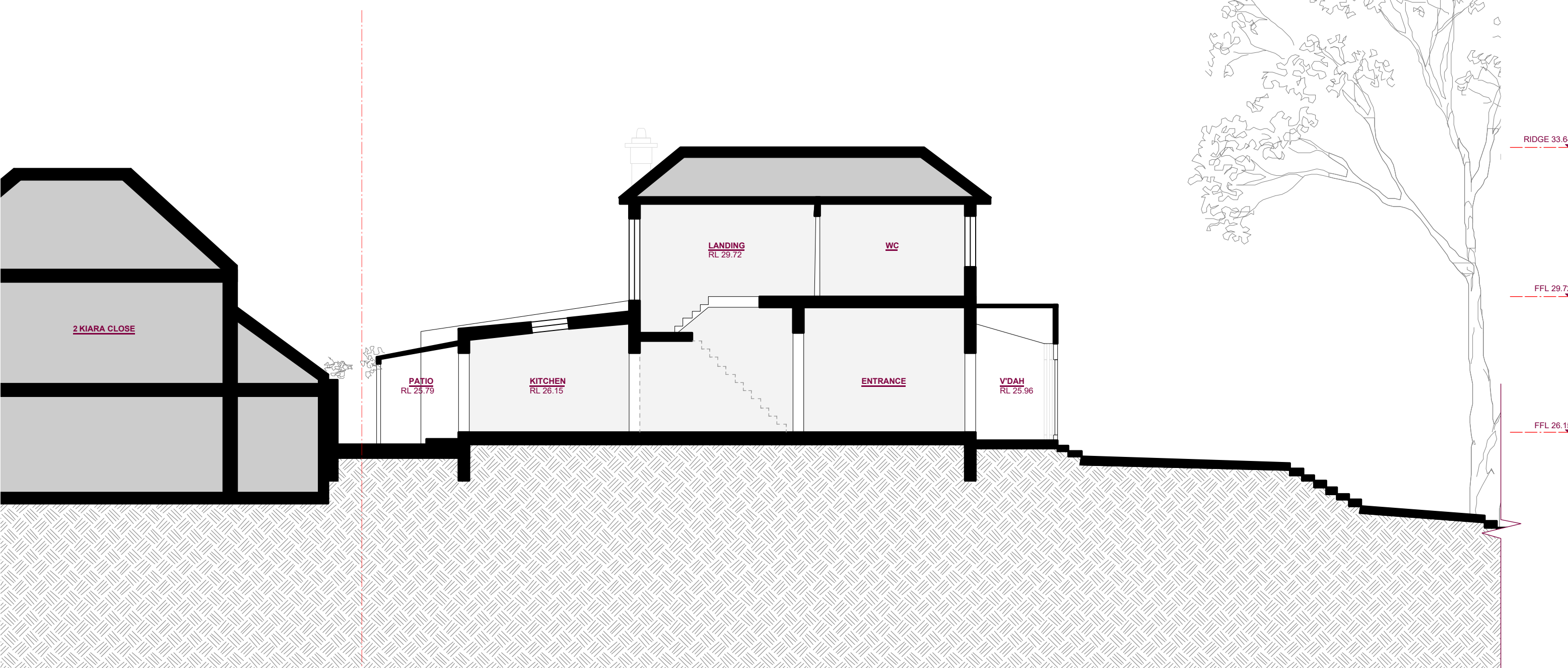
2311-E-04

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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EXISTING SECTION A

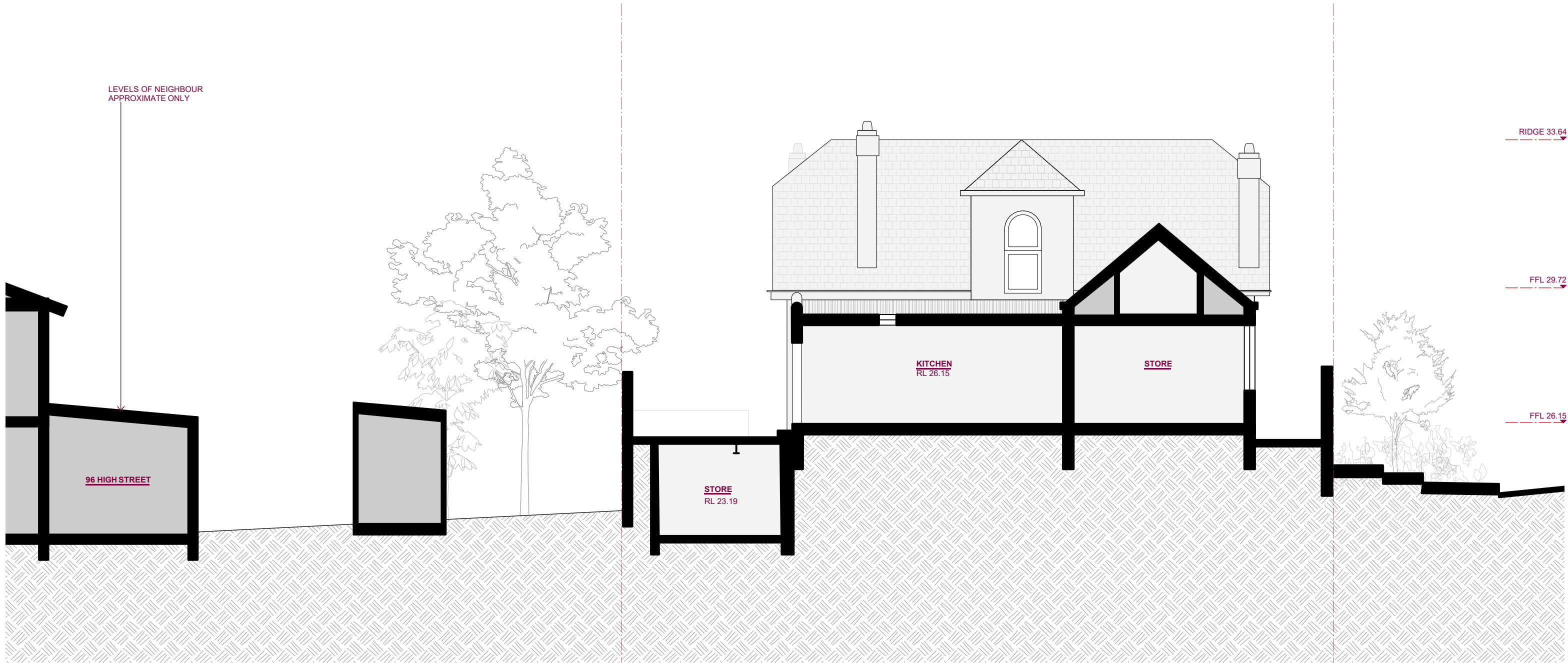
2311-E-05

REVISION

B

LEGEND

- - - - BOUNDARY LINE
- - - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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SCALE

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DRAWING NAME

EXISTING SECTION B

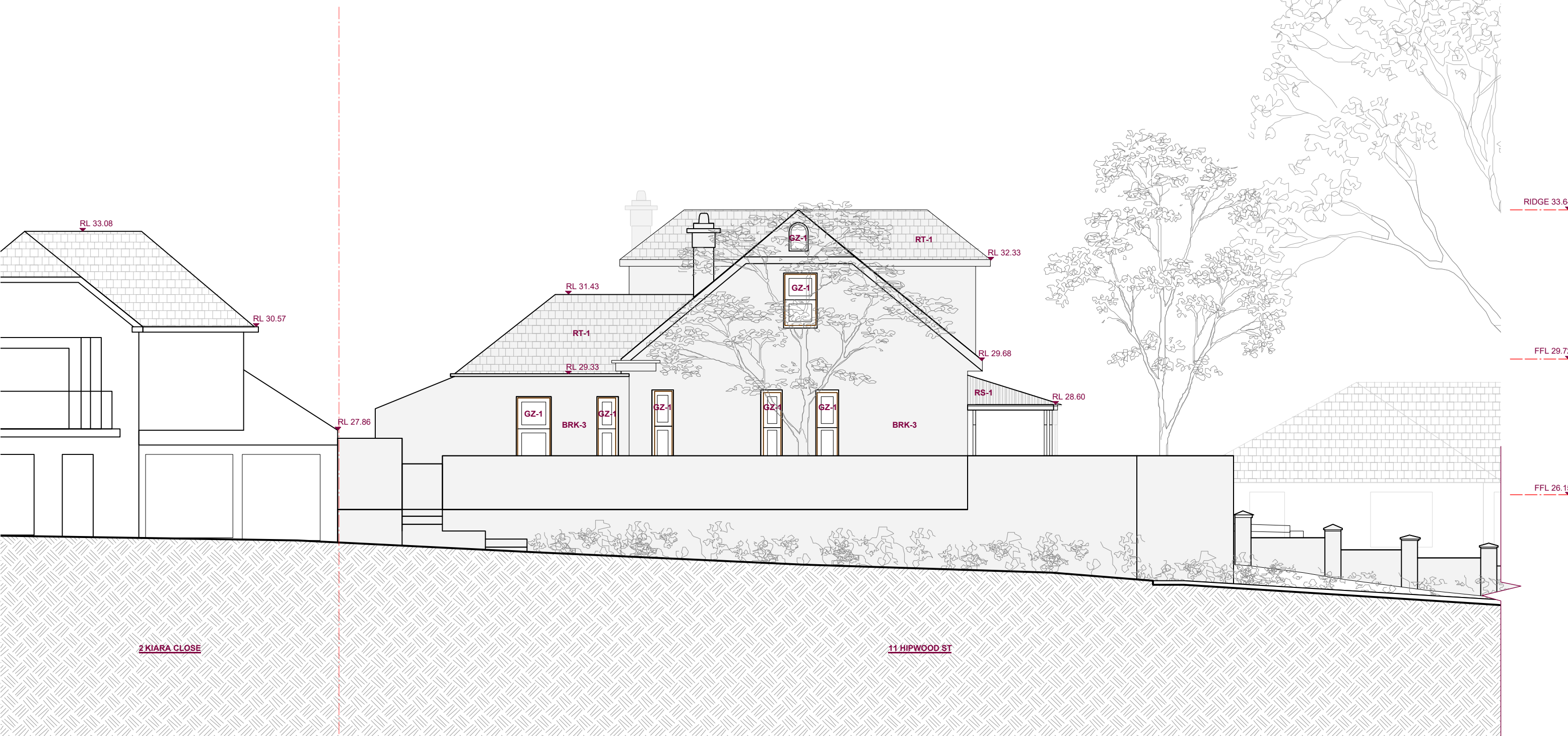
2311-E-06

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- █ INDICATES PROPOSED
- █ INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

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BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
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FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

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 NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

DRAWING NAME

EXISTING NORTH ELEVATION

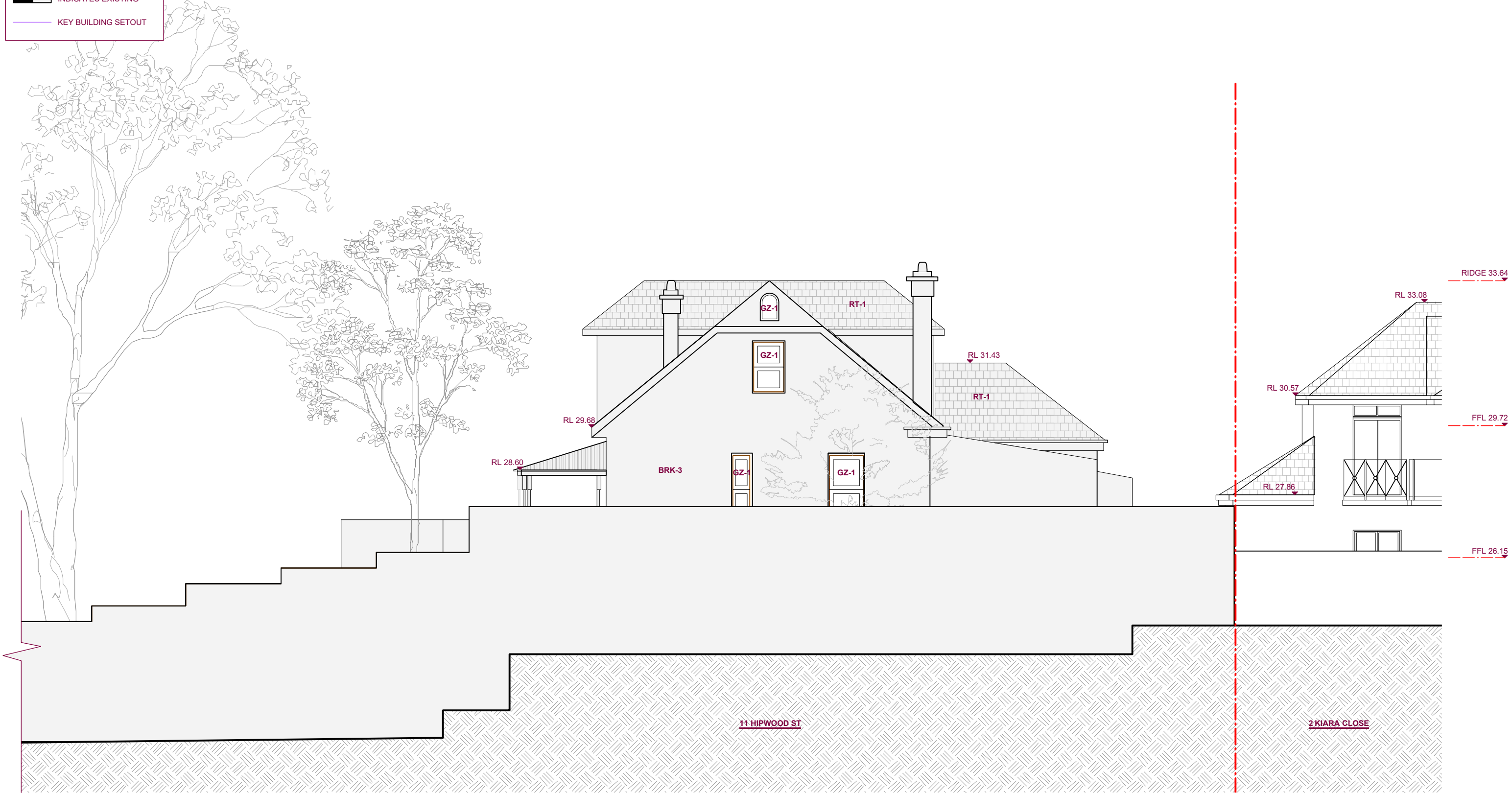
2311-P-07

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
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GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

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LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

DRAWING NAME

EXISTING SOUTH ELEVATION

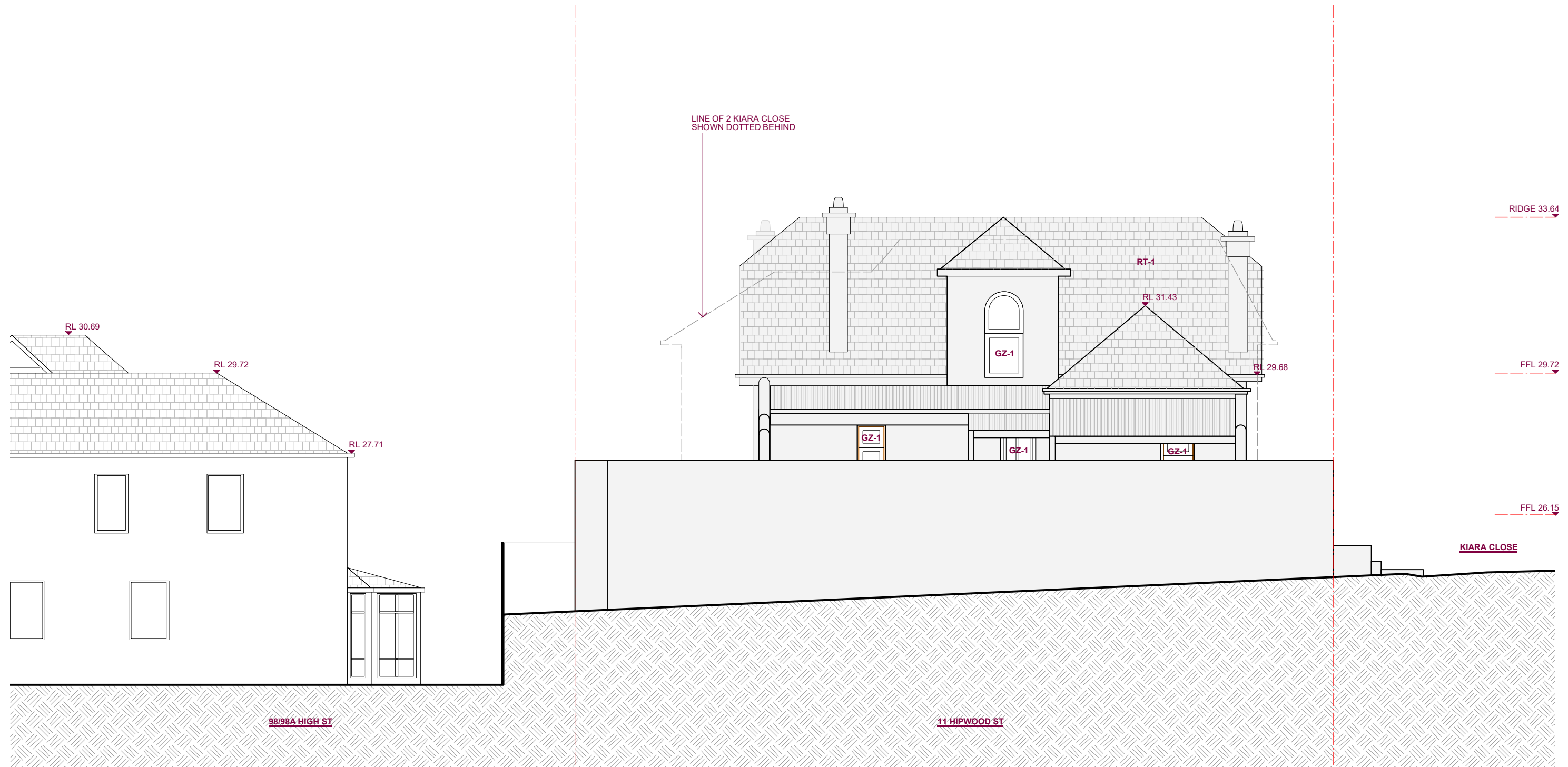
2311-P-08

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

- | | |
|------------------------|--------------------------|
| AC-1 AIR CONDITIONING | GUTR-1 GUTTER |
| BRK-1 BRICK | MT-1 METAL BALUSTRADE |
| BRK-2 BRICK (PAINTED) | PAVE-1 PAVING |
| BRK-3 RENDERED MASONRY | RS-1 ROOF SHEET |
| CONC CONCRETE | RS-2 ROOF SHEET (WALL) |
| DP-1 DOWNPIPE | RT-1 ROOF TILE |
| FC-1 FIBRECEMENT SHEET | SR-1 SCREEN (FIXED) |
| GZ-1 GLAZING (CLEAR) | SR-2 SCREEN (ADJUSTABLE) |
| GZ-2 GLAZING (FROSTED) | TC-1 TIMBER CLADDING |

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LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

DRAWING NAME

EXISTING EAST ELEVATION

2311-P-09

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

DRAWING NAME

EXISTING WEST ELEVATION

2311-P-09

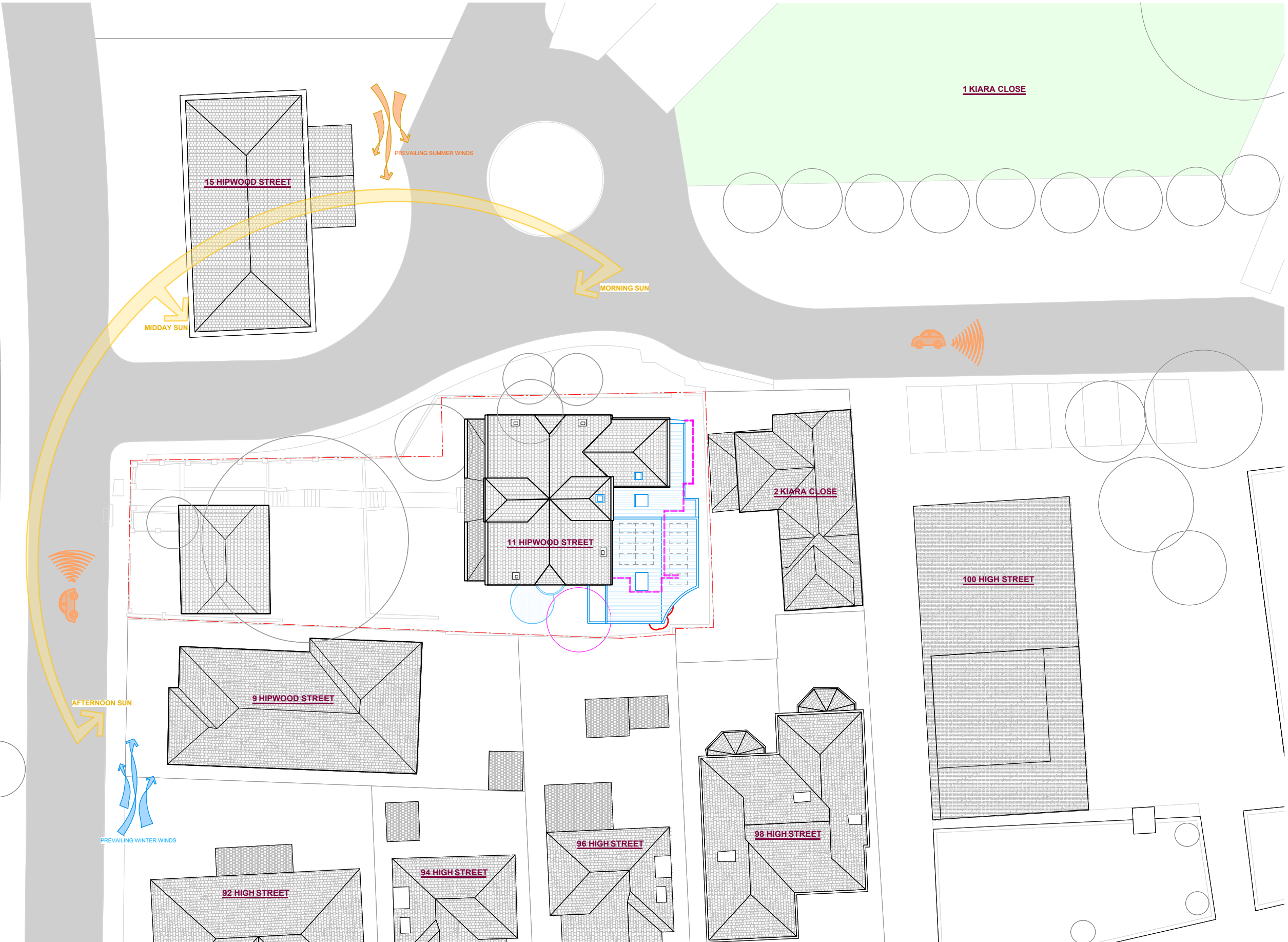
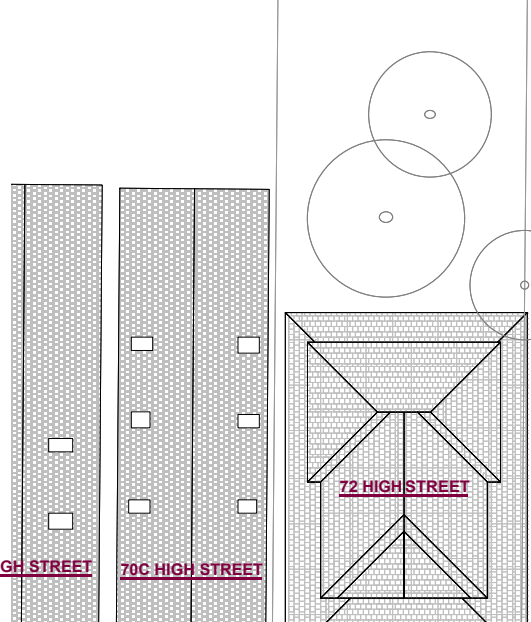
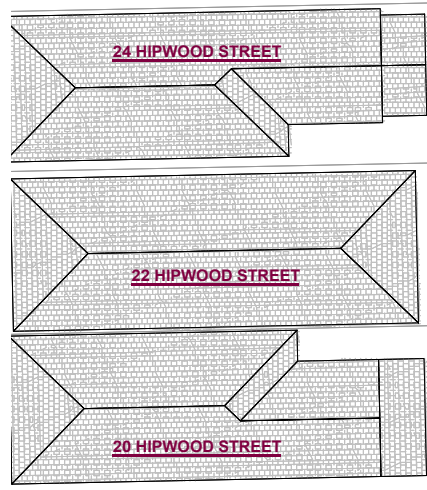
REVISION

B

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- █ INDICATES PROPOSED
- █ INDICATES EXISTING
- KEY BUILDING SETOUT

- PREVAILING WINTER WINDS
- PREVAILING SUMMER WINDS
- SUNLIGHT
- TRAFFIC NOISE



Benn + Penna

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 Pyrmont NSW 2009 info@bennandpenna.com
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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST NORTH SYDNEY

NORTH



SCALE

1.300 @ A3

DRAWING NAME

SITE PLAN

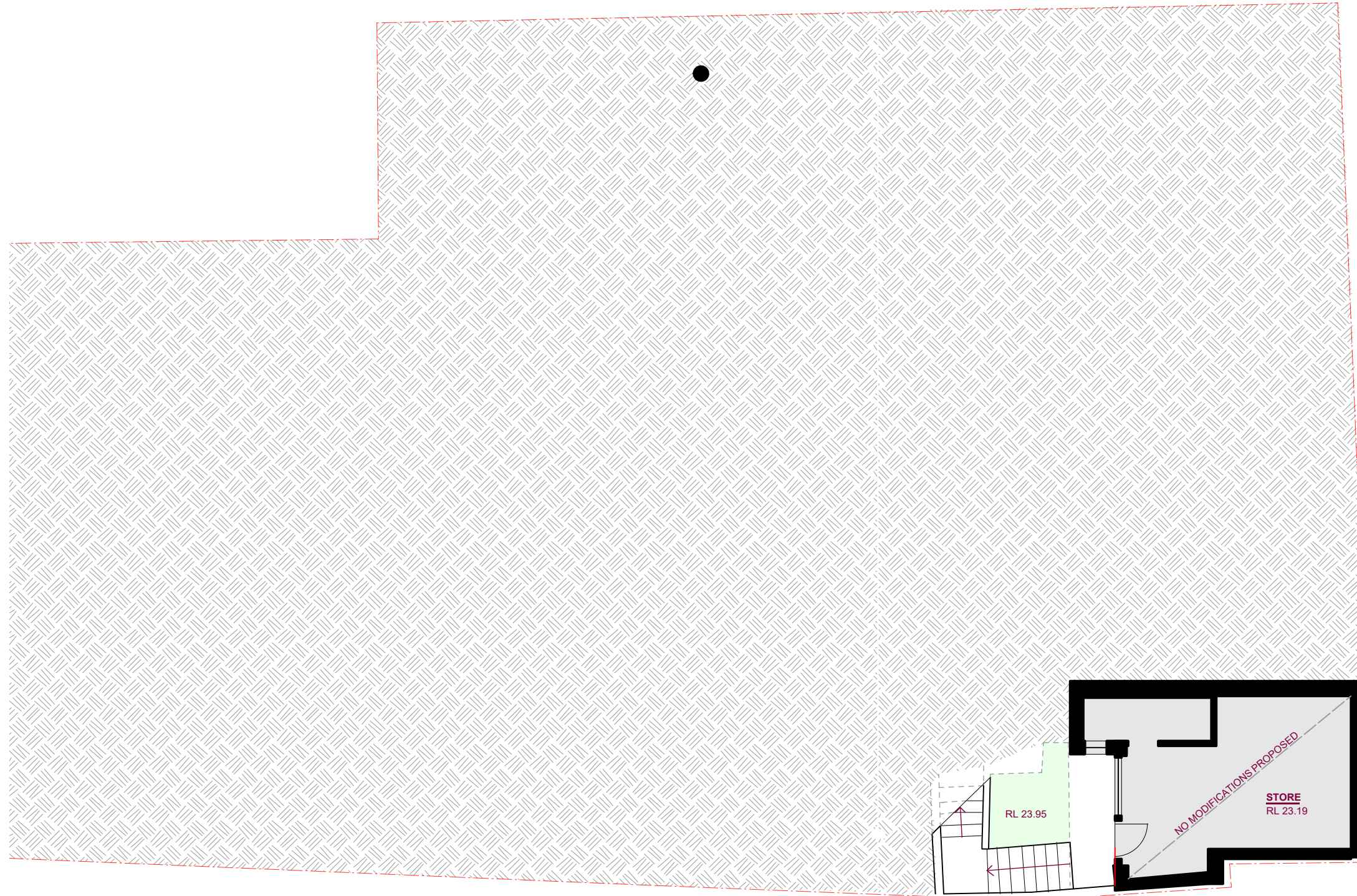
2311-P-00

REVISION

B

LEGEND

- - - - BOUNDARY LINE
- - - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			.
D			.
E			.

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

LOWER GROUND PLAN

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

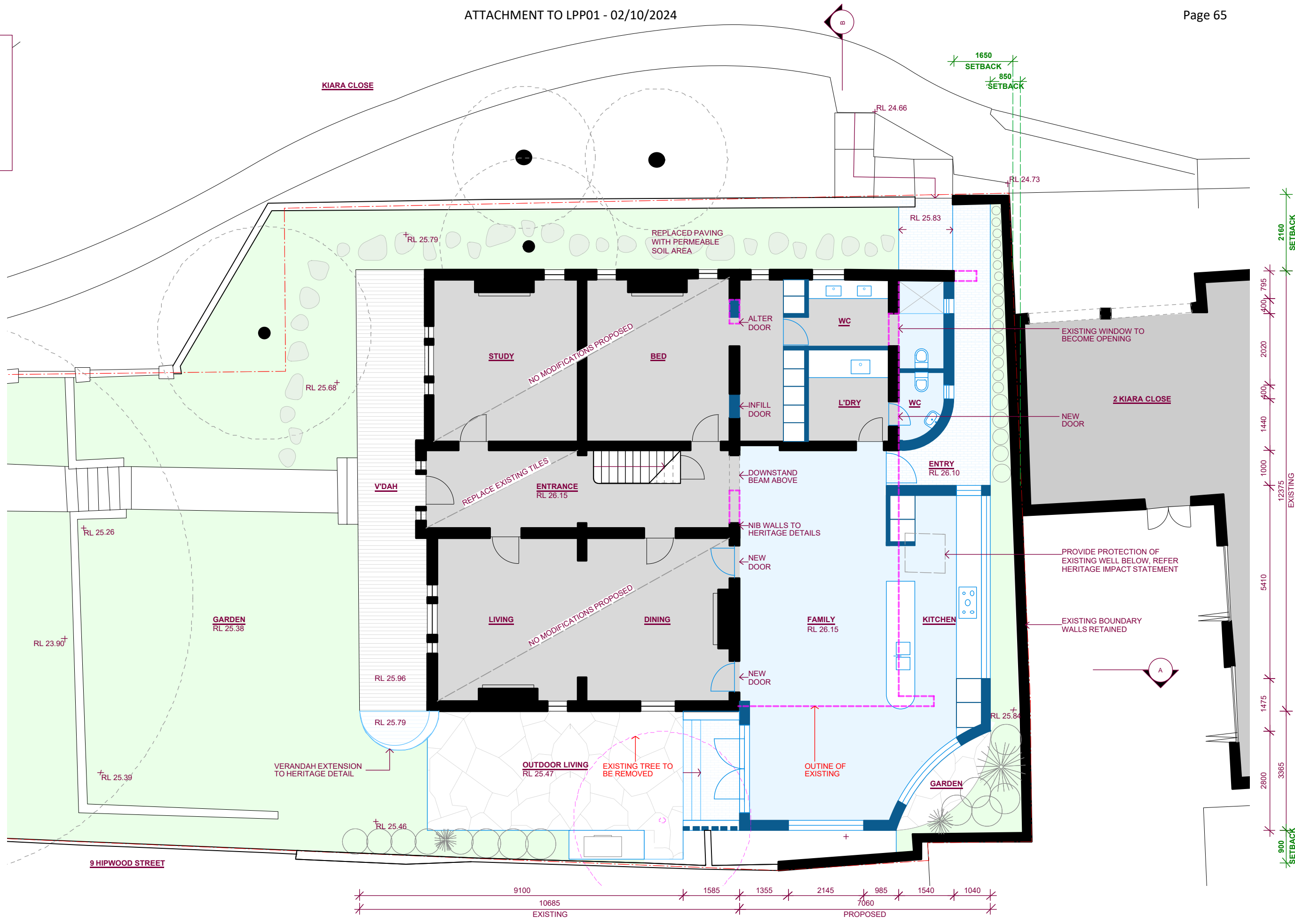
2311-P-01

REVISION

B

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
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E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

GROUND FLOOR PLAN

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

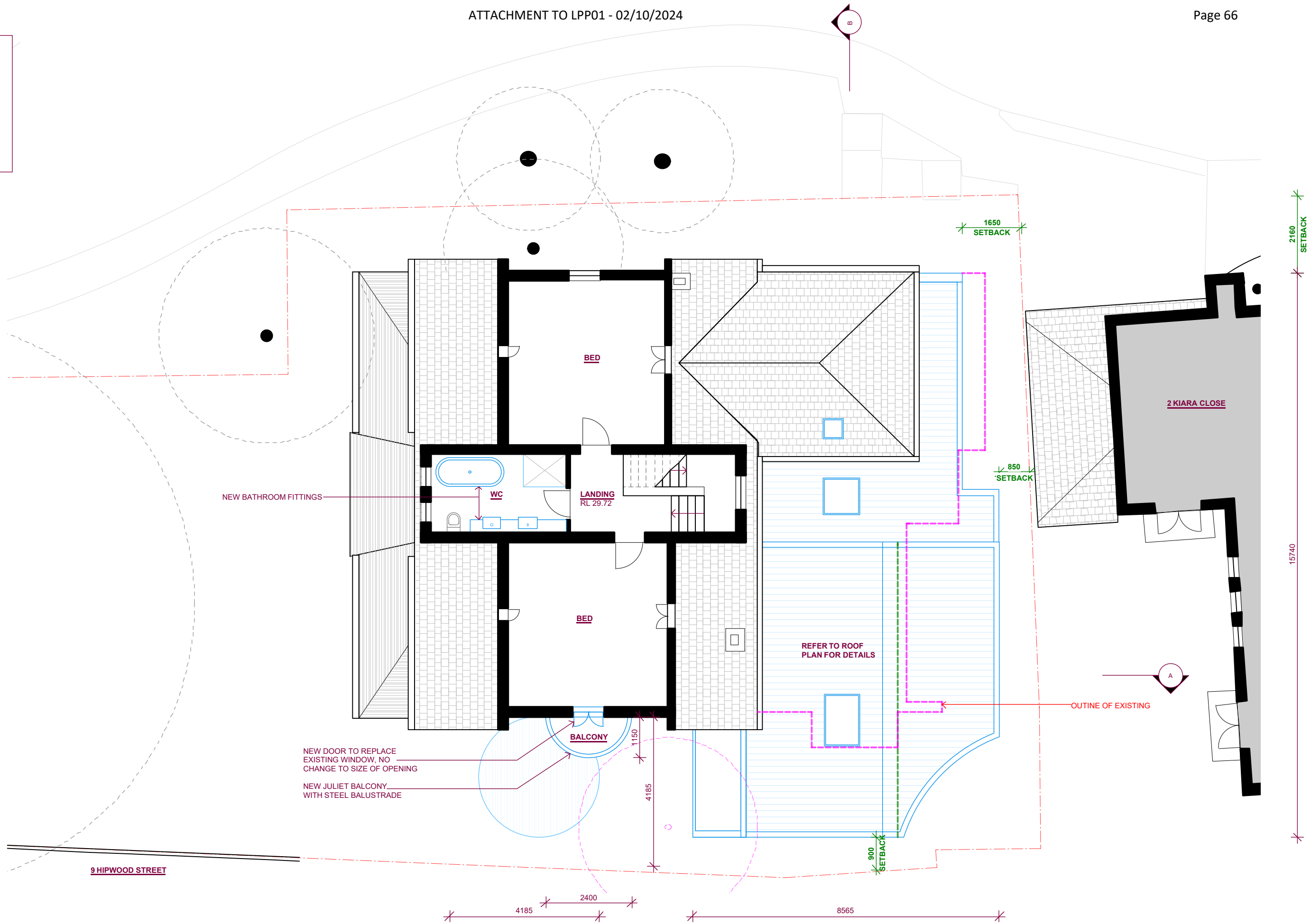
2311-P-02

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
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E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

DRAWING NAME

FIRST FLOOR PLAN

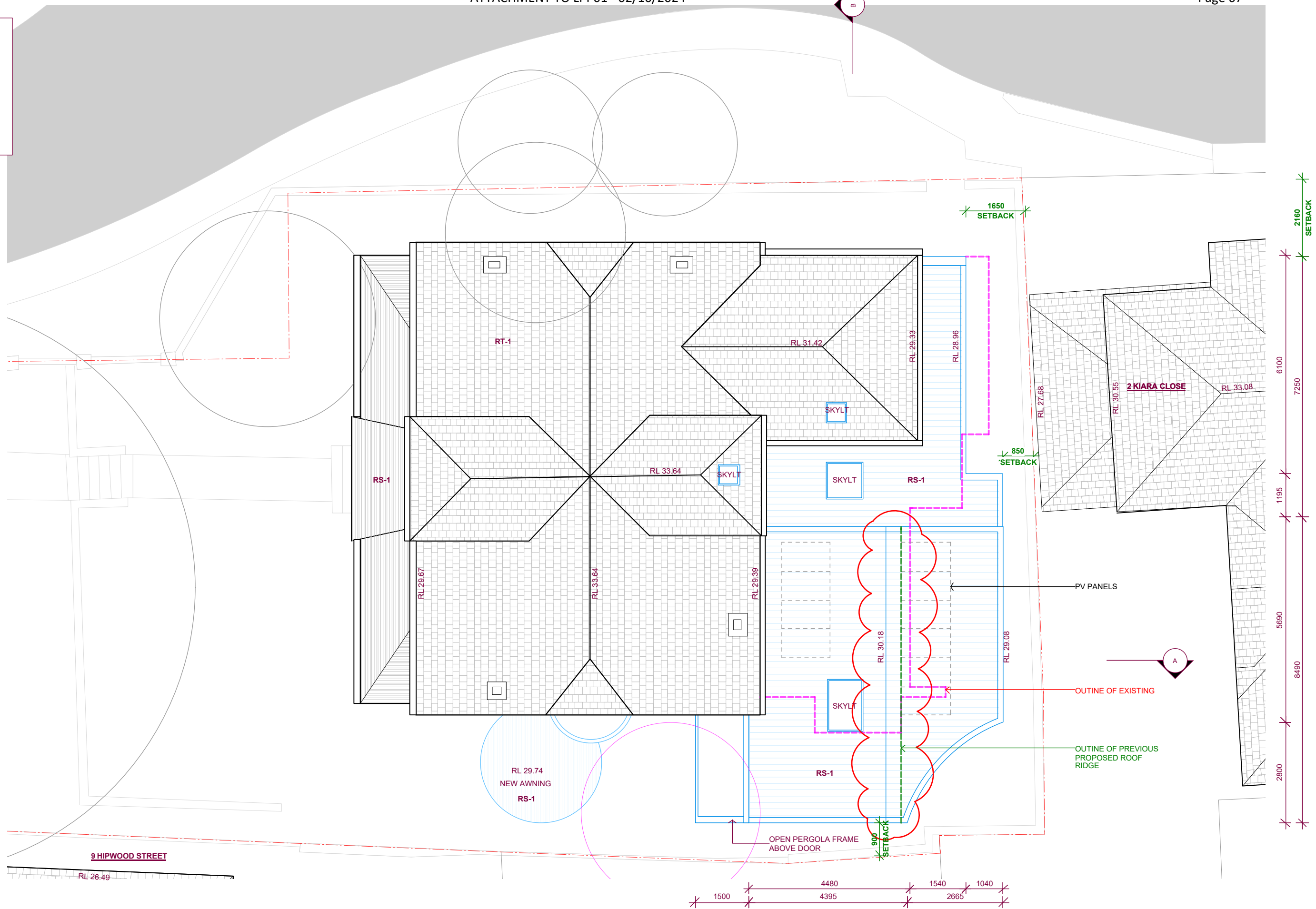
2311-P-03

REVISION

B

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

ROOF PLAN

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

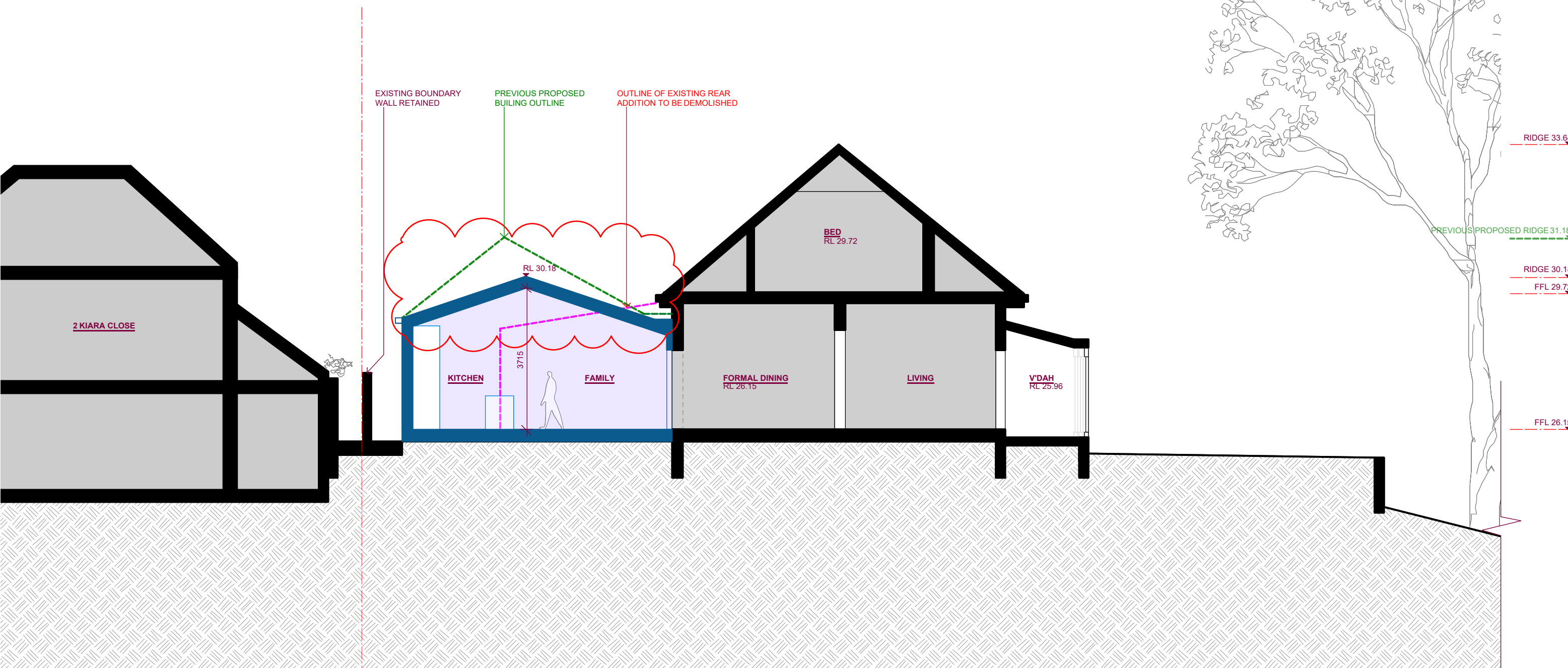
2311-P-04

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- █ INDICATES PROPOSED
- █ INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
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LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

DRAWING NAME

SECTION A

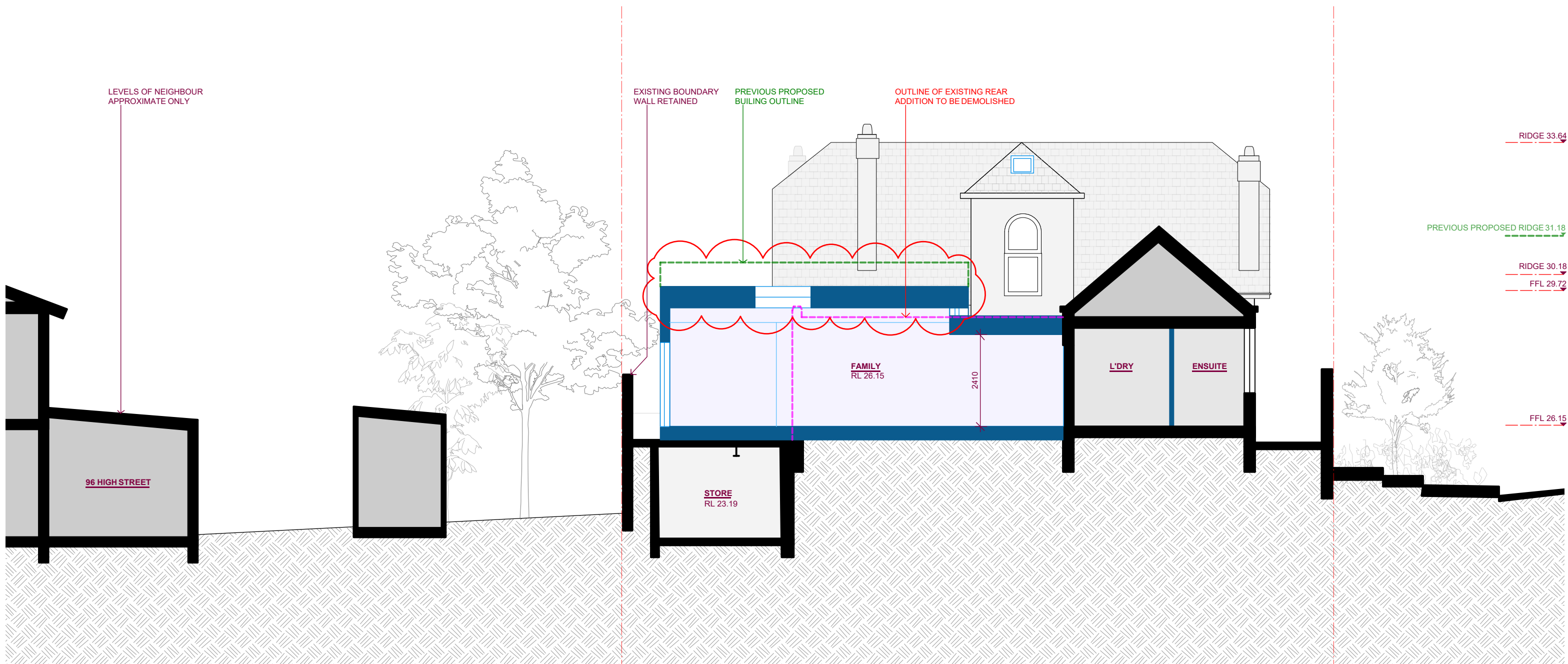
2311-P-05

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME
SECTION B

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

2311-P-06

NORTH



SCALE

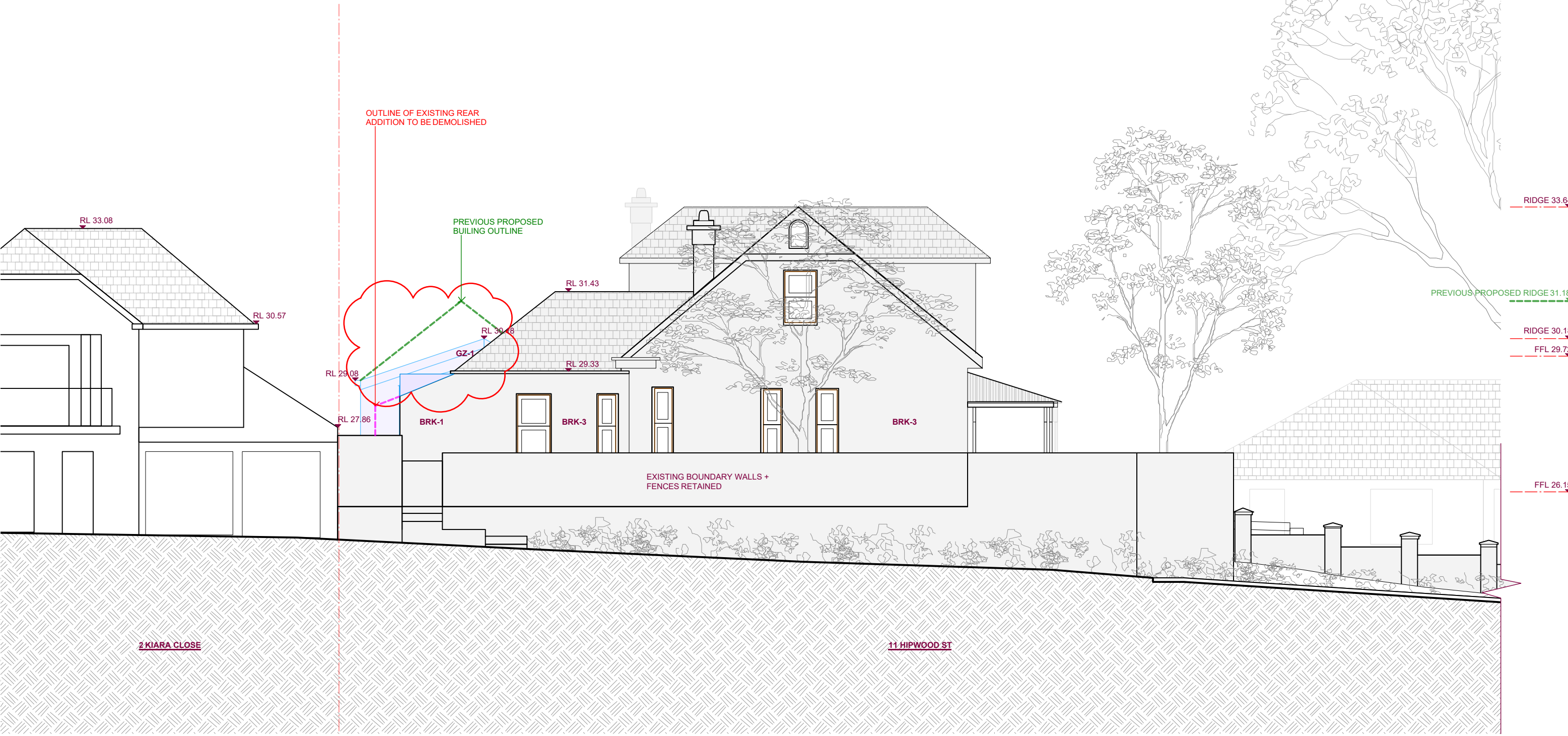
1.100 @ A3

REVISION

B

LEGEND

- BOUNDARY LINE
- DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

DRAWING NAME

NORTH ELEVATION

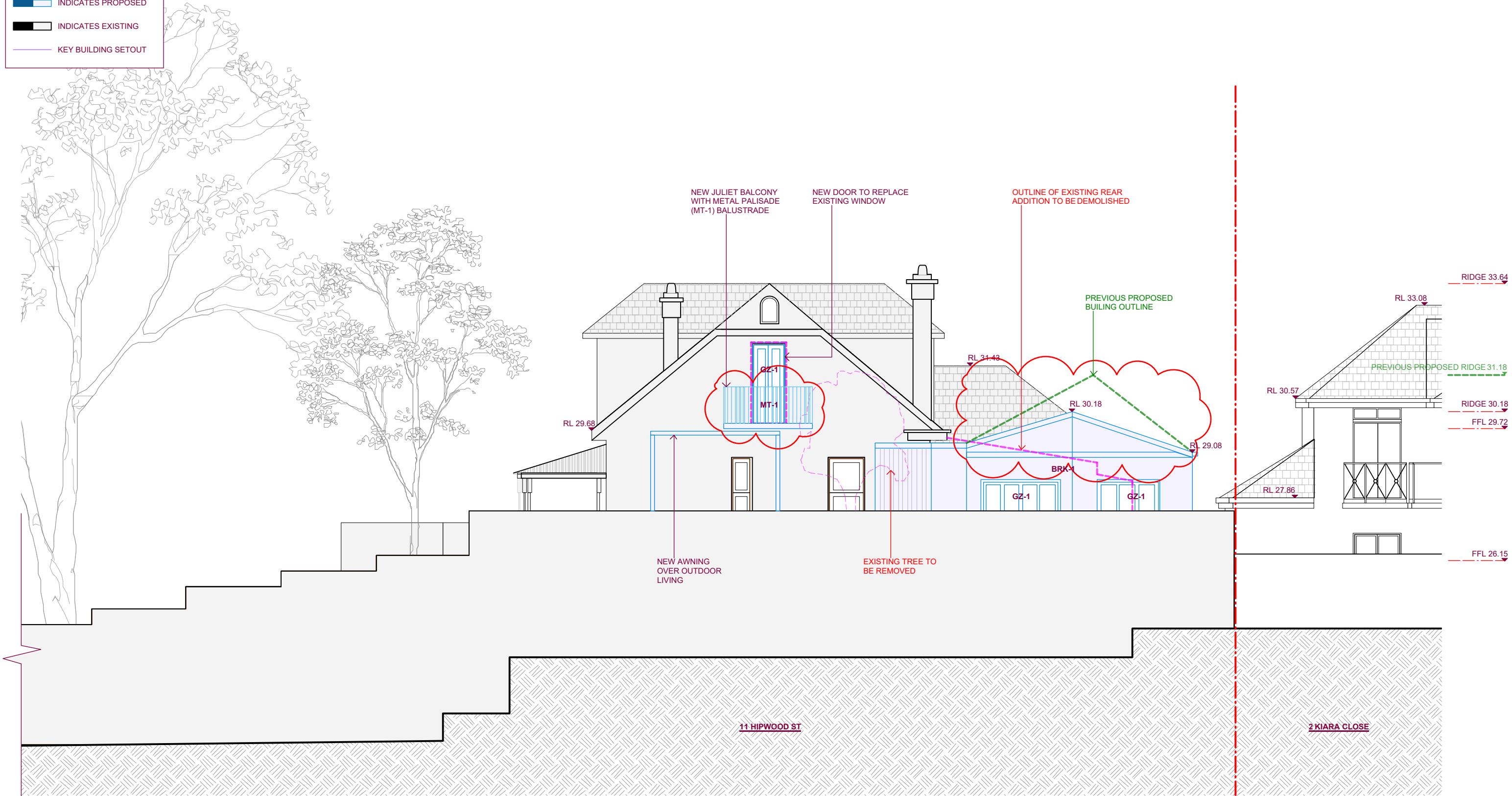
2311-P-07

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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 www.bennandpenna.com

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

	REVISIONS	DRAWN BY
A	18.03.24 FOR DA SUBMISSION	AP
B	08.07.24 FOR REVISION	AR
C		
D		
E		

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME
 SOUTH ELEVATION

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

2311-P-08

NORTH



SCALE

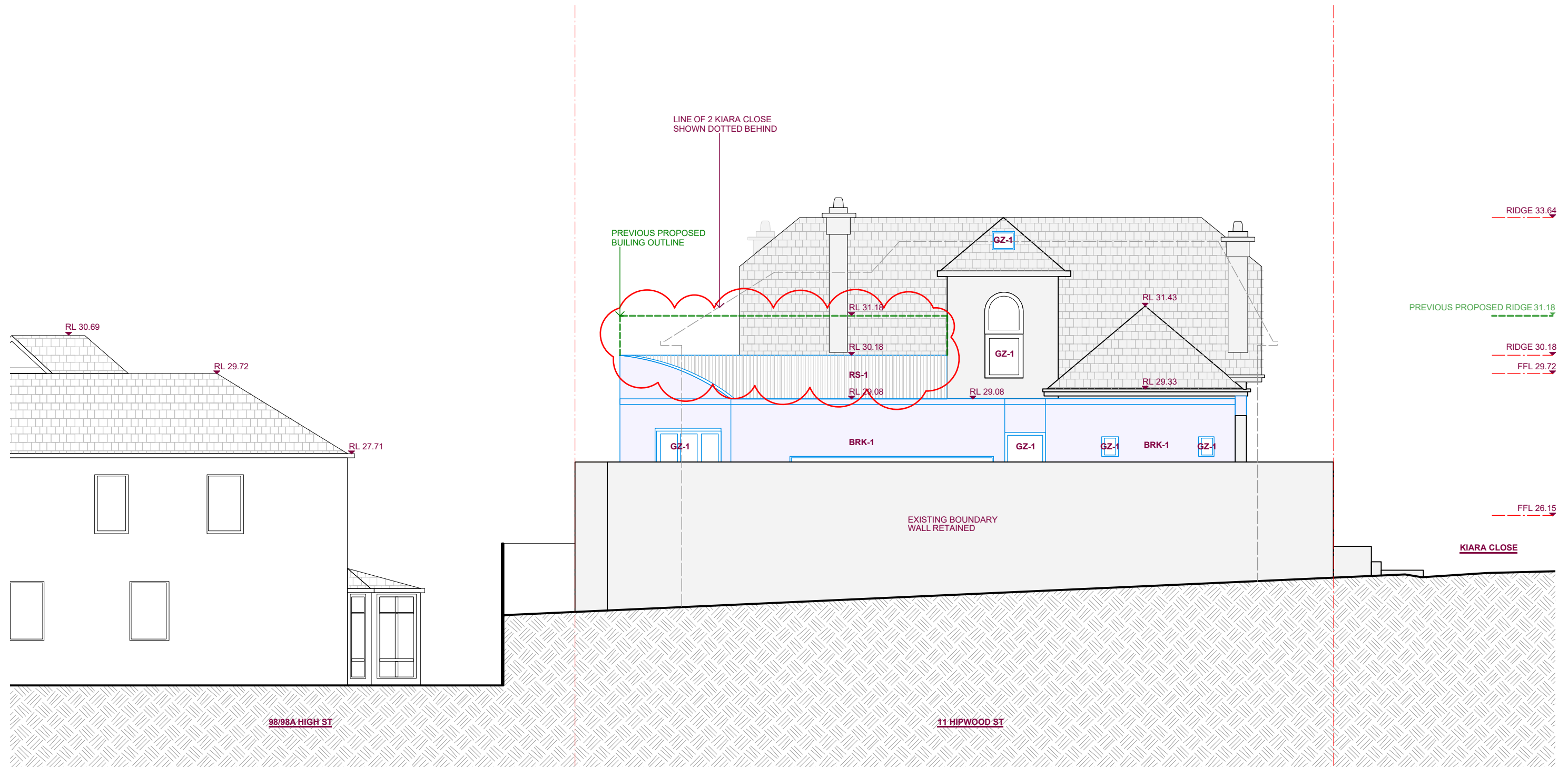
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REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME
 EAST ELEVATION

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

2311-P-09

NORTH



SCALE

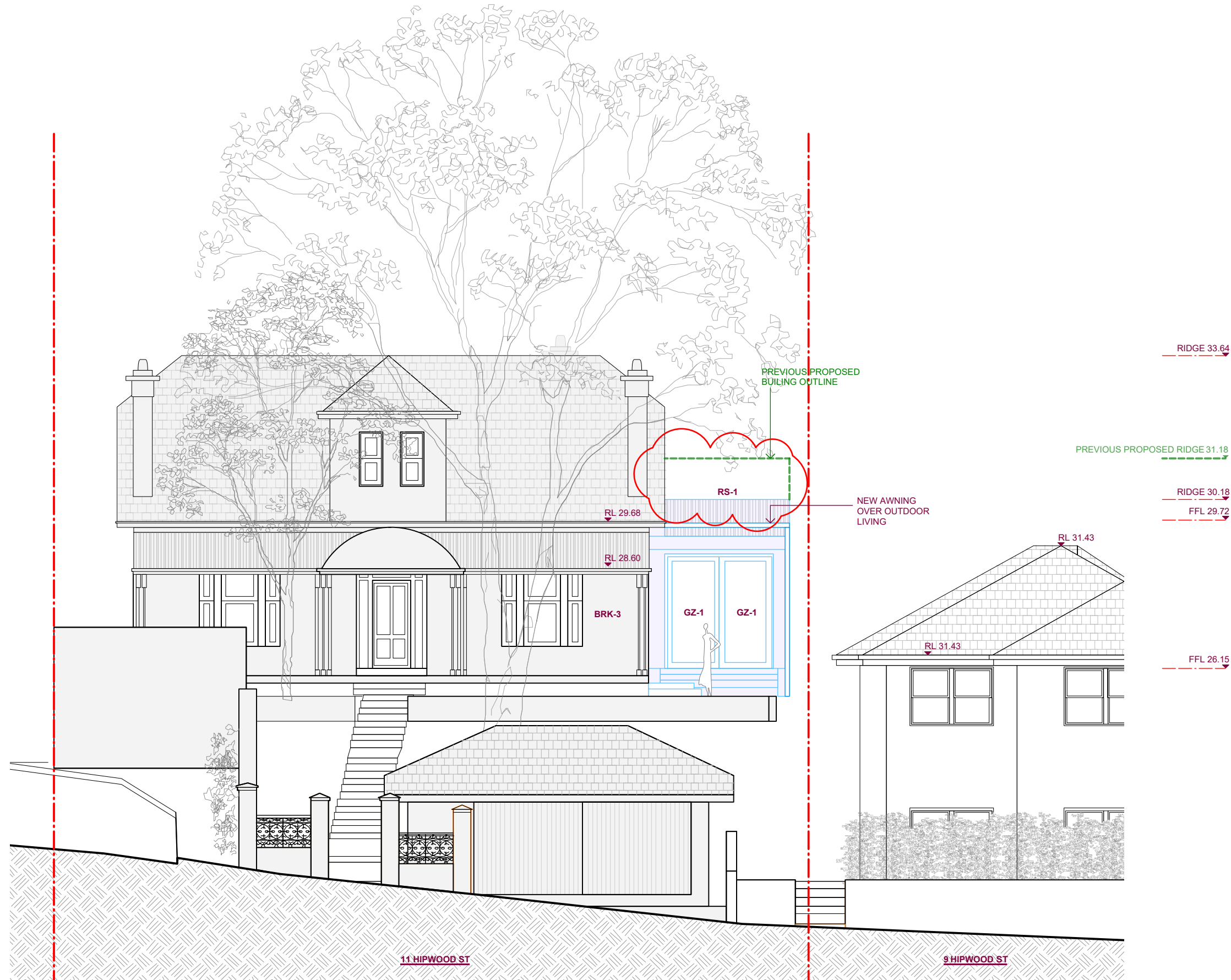
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REVISION

B

LEGEND

- - - - BOUNDARY LINE
- - - - DEMOLISHED WORKS
- INDICATES PROPOSED
- INDICATES EXISTING
- KEY BUILDING SETOUT



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LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME
 WEST ELEVATION

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

2311-P-09

NORTH



SCALE

1.100 @ A3

REVISION

B

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

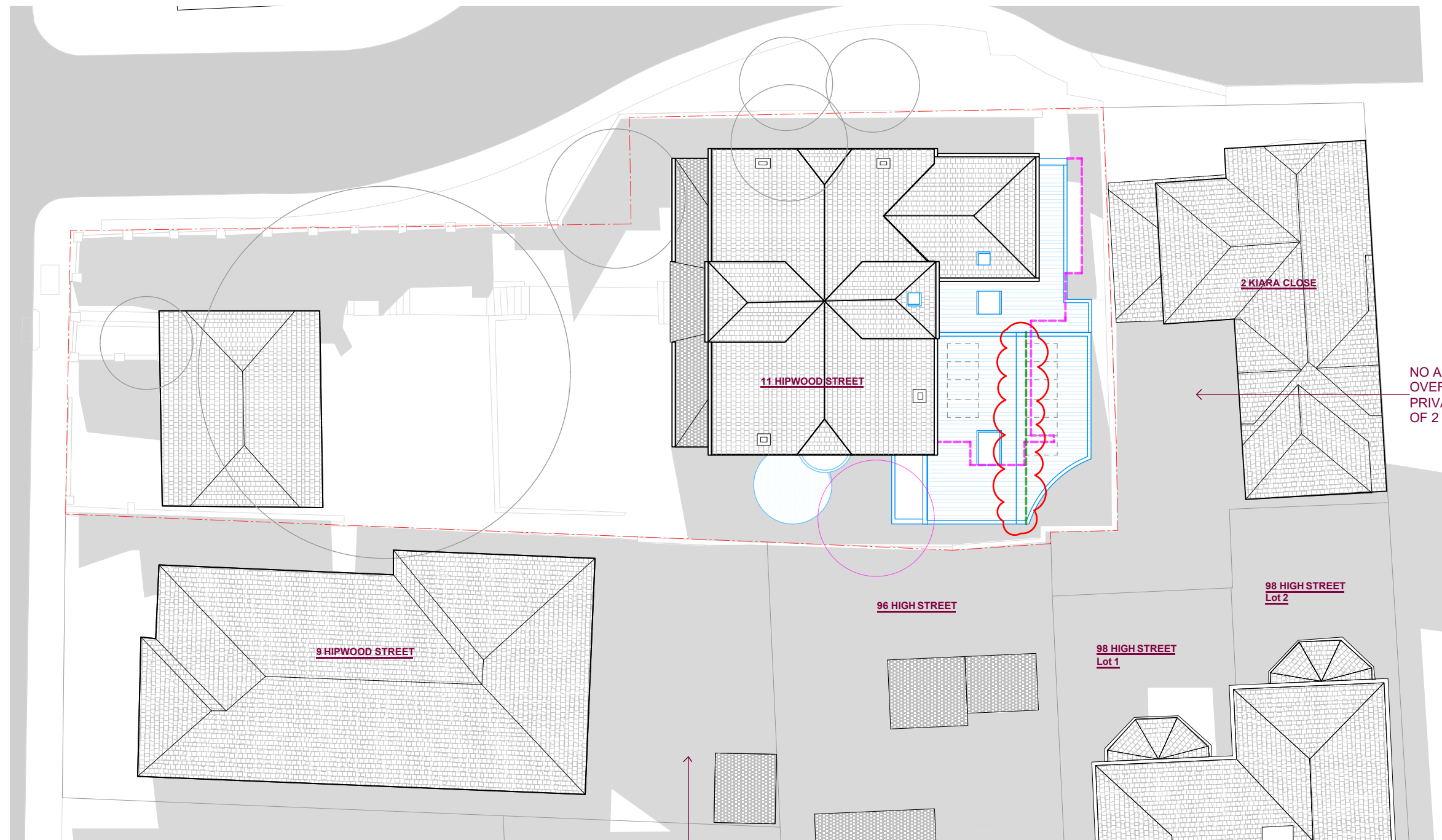
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
1pm	19.5m ²	19.5m ²
2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



NO ADDITIONAL OVERSHADOWING TO PRIVATE OPEN SPACE OF 9 HIPWOOD ST.

NO ADDITIONAL OVERSHADOWING TO PRIVATE OPEN SPACE OF 2 KIARA CLOSE.

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

FOR : AUTHORITY APPROVAL (NOT FOR CONSTRUCTION)

NOTES:
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 9:00AM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

REVISION

B

2311-S-00

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

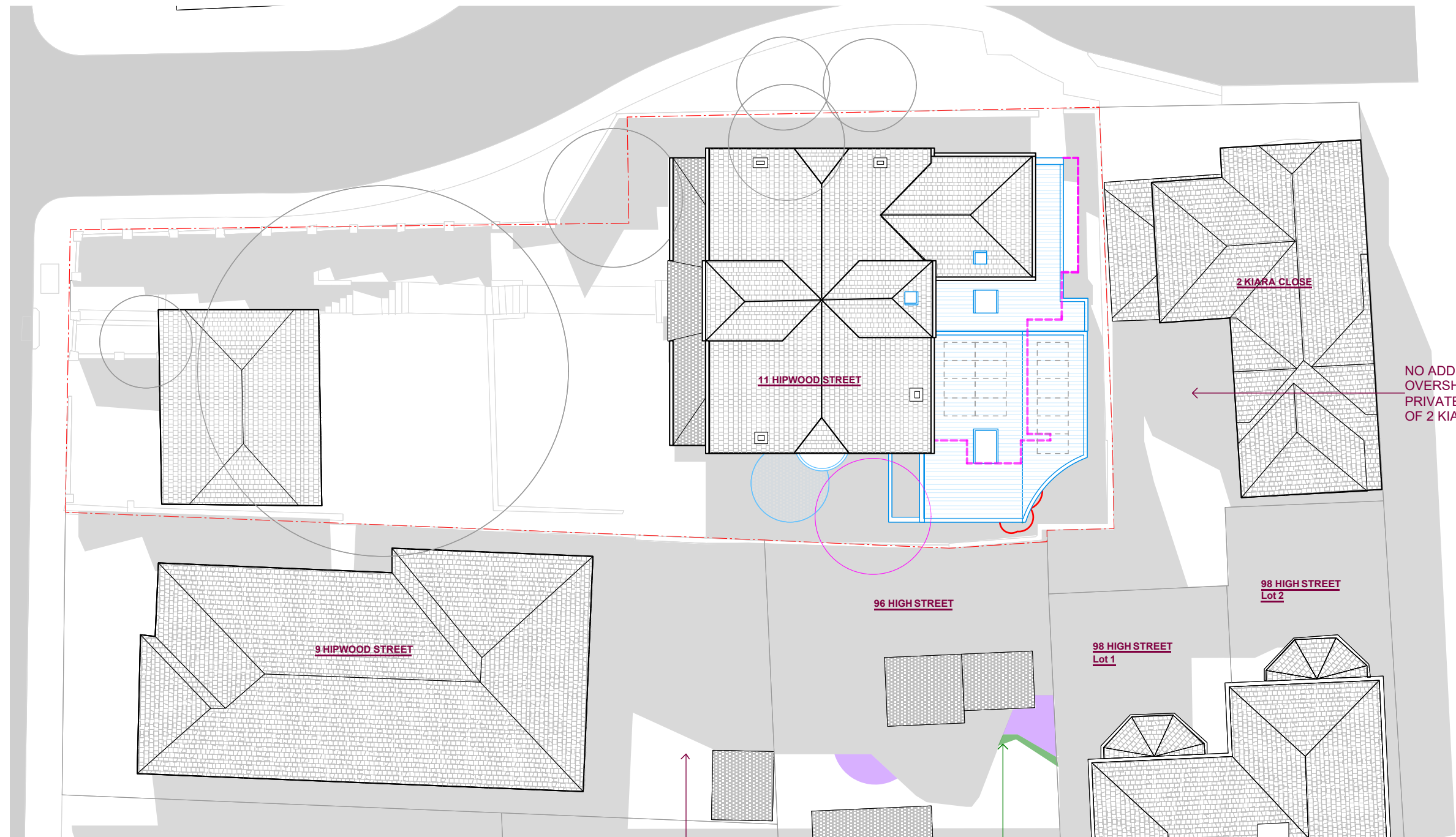
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
1pm	19.5m ²	19.5m ²
2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



NO ADDITIONAL OVERSHADOWING TO PRIVATE OPEN SPACE OF 2 KIARA CLOSE.

NO ADDITIONAL OVERSHADOWING TO PRIVATE OPEN SPACE OF 9 HIPWOOD ST.

PREVIOUS PROPOSED SHADOWS (REVISION A)

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

REVISIONS	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 10:00AM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

REVISION

B

2311-S-01

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

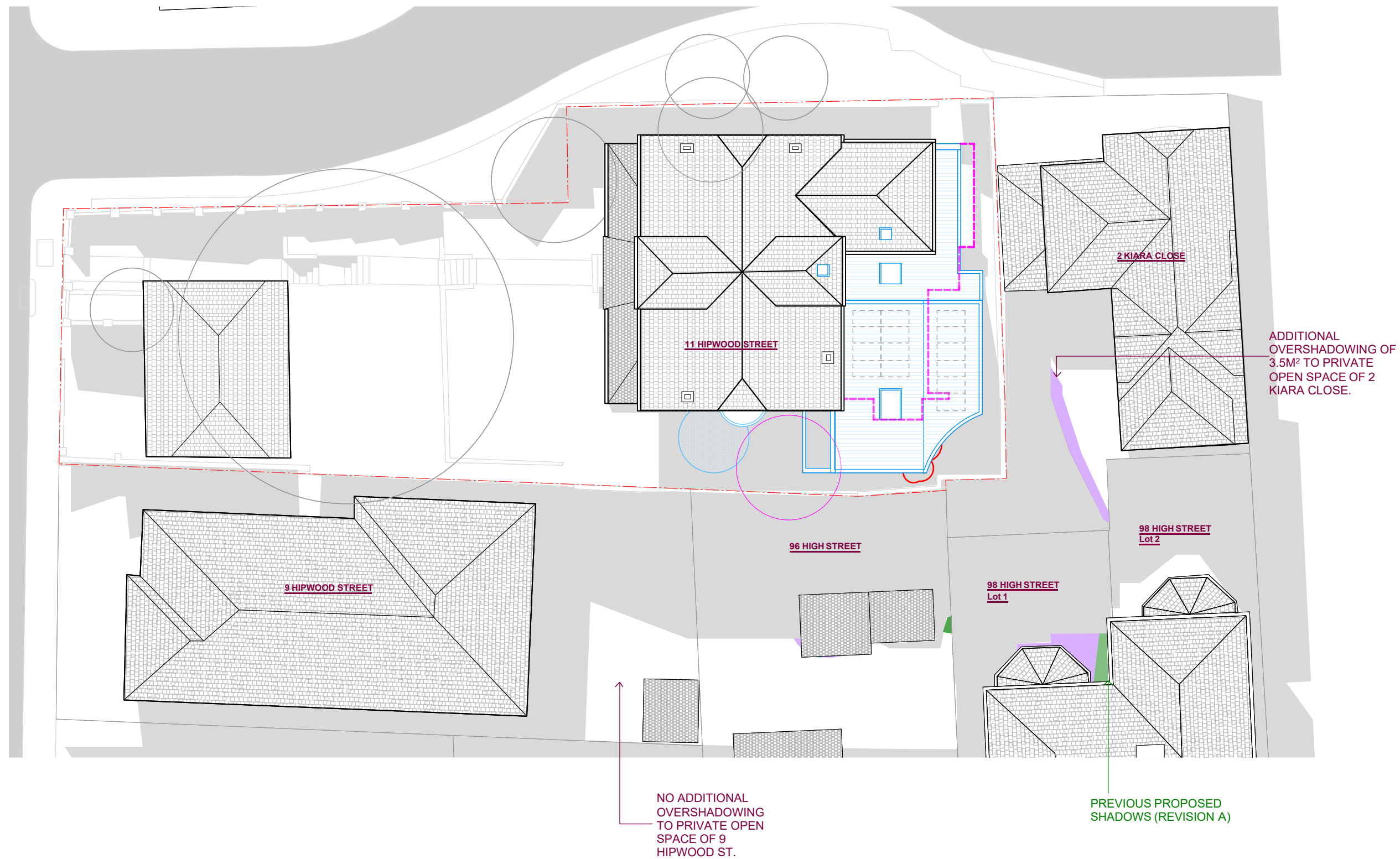
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
1pm	19.5m ²	19.5m ²
2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

REV	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 11:00AM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

REVISION

B

2311-S-02

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

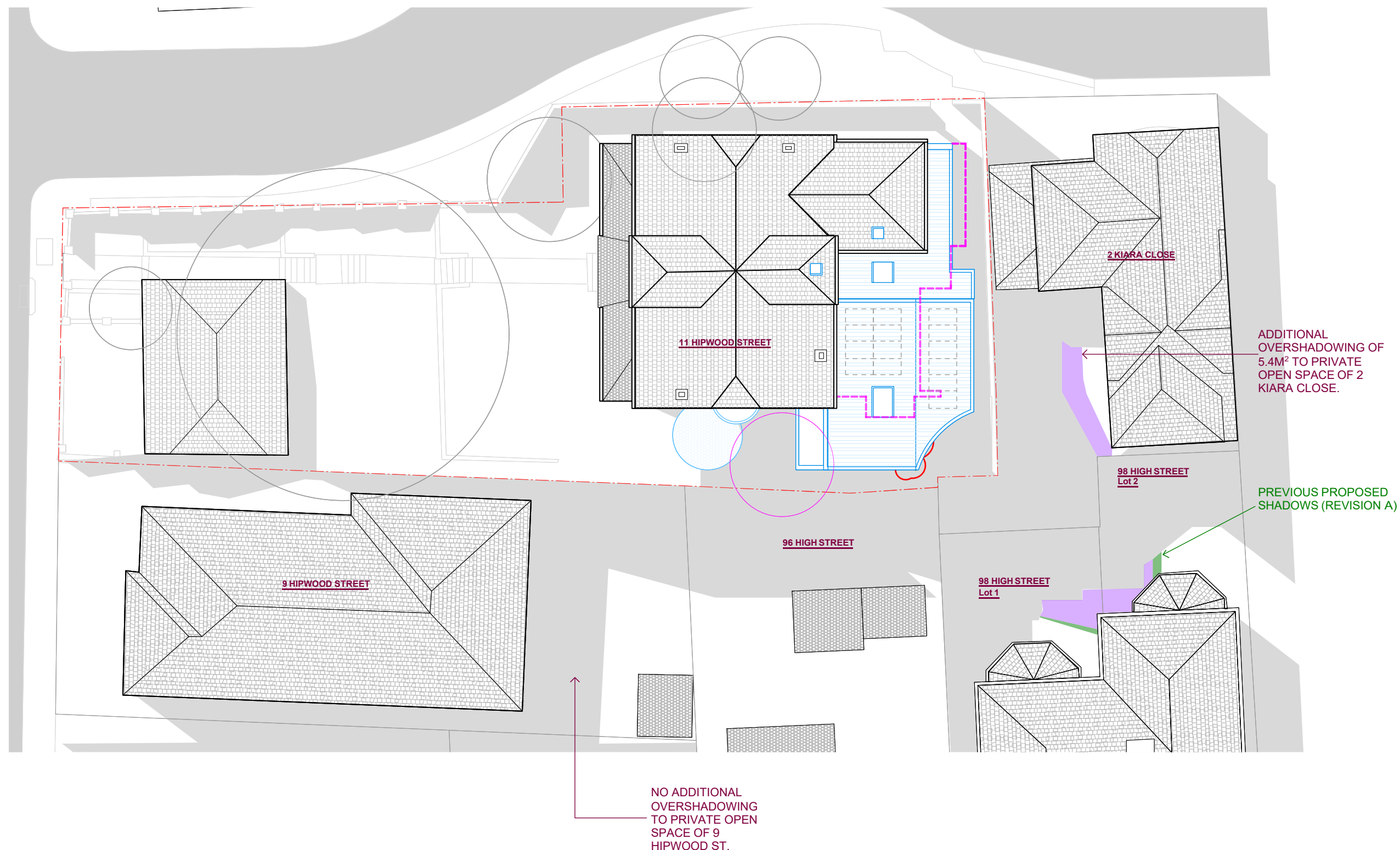
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
1pm	19.5m ²	19.5m ²
2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

REV	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 12:00PM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

REVISION

B

2311-S-03

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

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(50% = 34.45m²)

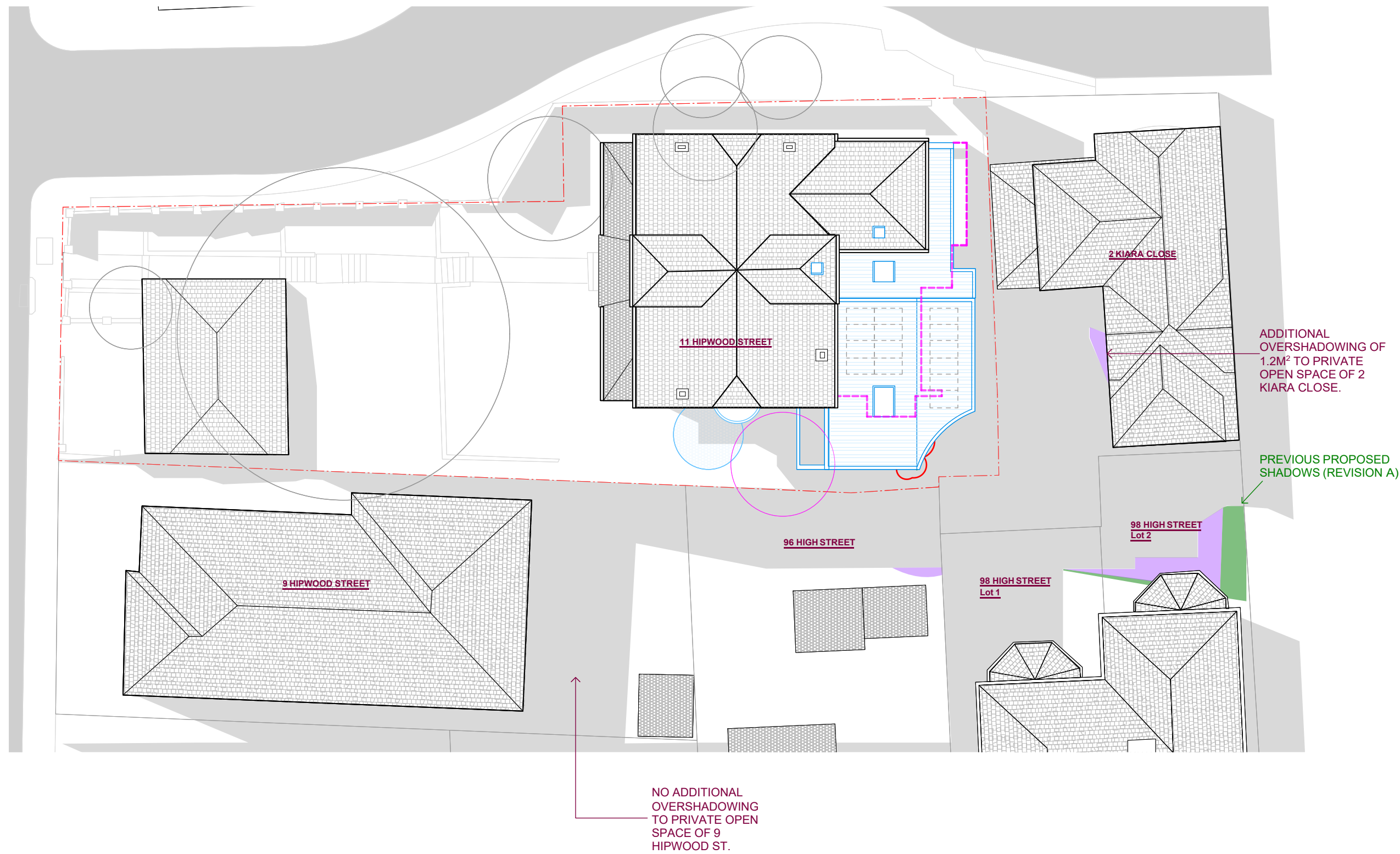
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
1pm	19.5m ²	19.5m ²
2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
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(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 1:00PM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

2311-S-04

NORTH



SCALE

1.200 @ A3

REVISION

B

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
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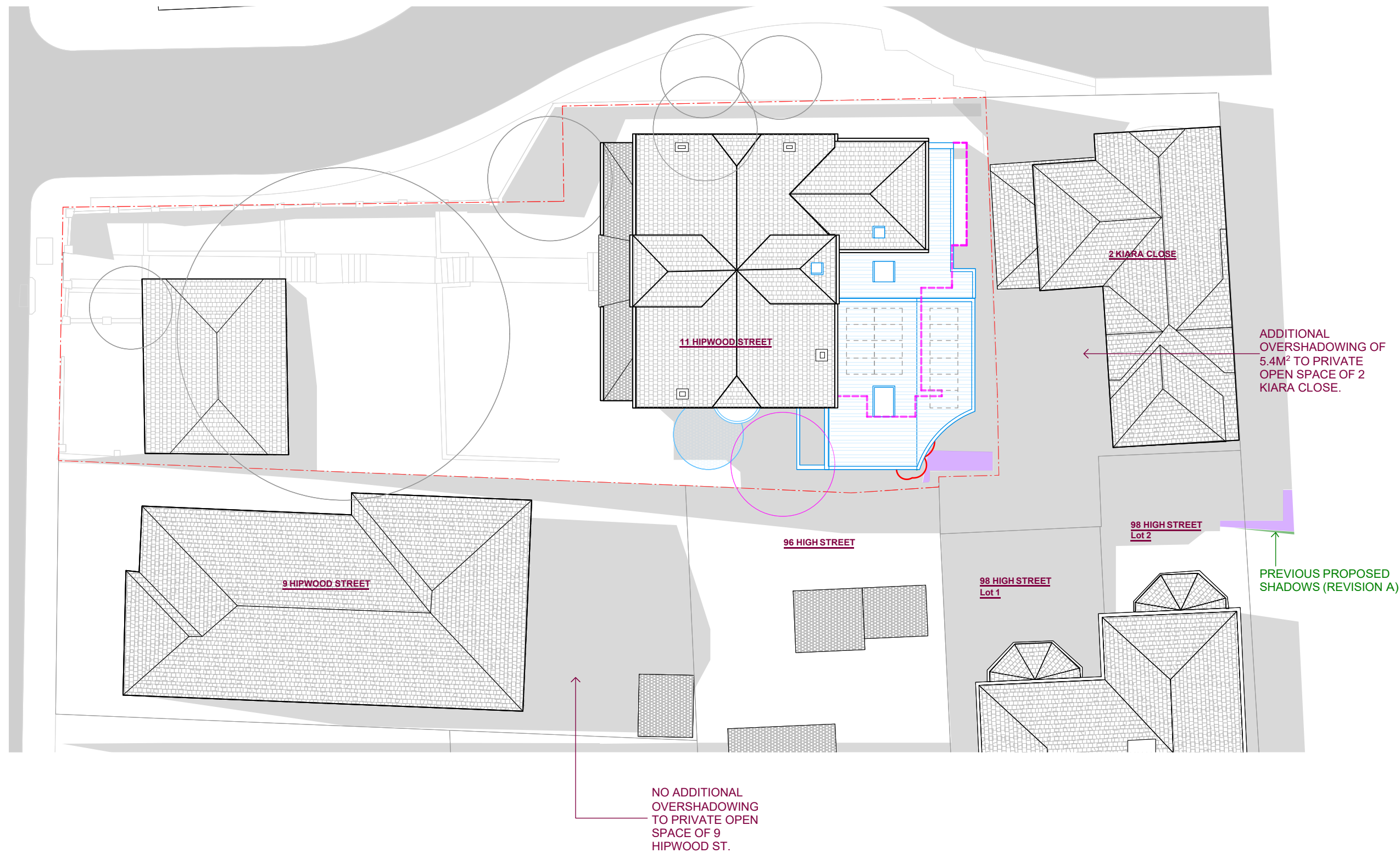
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
12pm	24.8m ²	24.8m ²
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2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
2 HRS SUN ACCESS TO AT LEAST 50%
(50% = 34.45m²)

SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
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FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 2:00PM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

2311-S-05

REVISION

B

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

2 KIARA CLOSE
PRIVATE OPEN SPACE = 70.9m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	0m ²	0m ²
10am	15.1m ²	15.1m ²
11am	15.3m ²	11.8m ²
12pm	9.4m ²	4.2m ²
1pm	1.2m ²	0m ²
2pm	0m ²	0m ²
3pm	0m ²	0m ²

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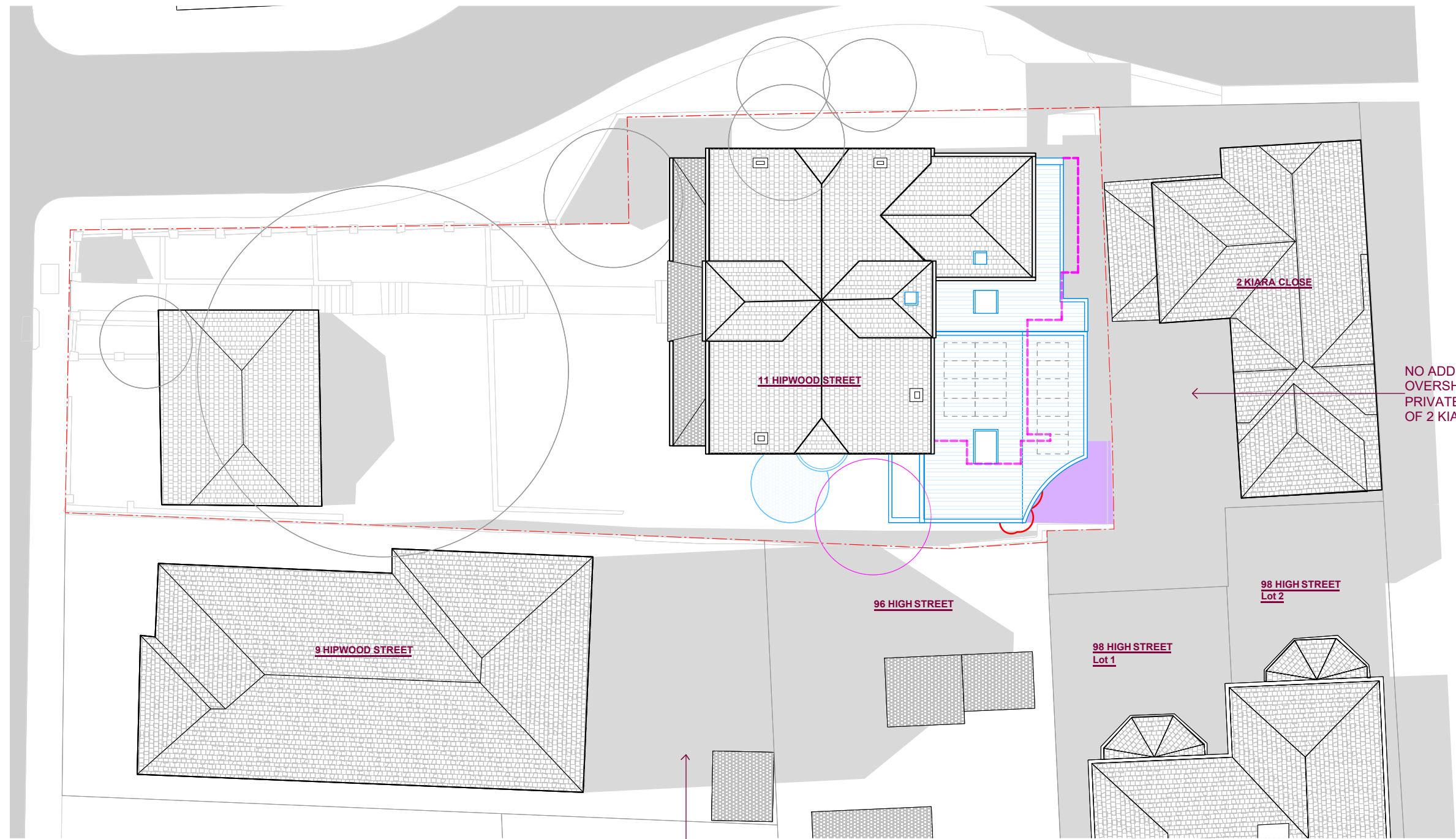
9 HIPWOOD STREET
PRIVATE OPEN SPACE = 96.7m²
SUNLIGHT ACCESS : JUNE 21st

TIME	EXISTING	PROPOSED
9am	1.3m ²	1.3m ²
10am	14.1m ²	14.1m ²
11am	23.1m ²	23.1m ²
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2pm	8.9m ²	8.9m ²
3pm	27.5m ²	27.5m ²

DCP : **NON COMPLIANT**
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SUMMARY OF MODIFICATIONS
FROM DWG REVISION A TO B

TIME	DATE	MODIFICATION
9am	JUNE 21	NO CHANGE
10am	JUNE 21	REDUCTION
11am	JUNE 21	REDUCTION
12pm	JUNE 21	REDUCTION
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	NO CHANGE



LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

REV	DATE	DESCRIPTION	DRAWN BY
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C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

DRAWING NAME

PROPOSED SHADOWS
21ST JUNE 3:00PM

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

REVISION

B

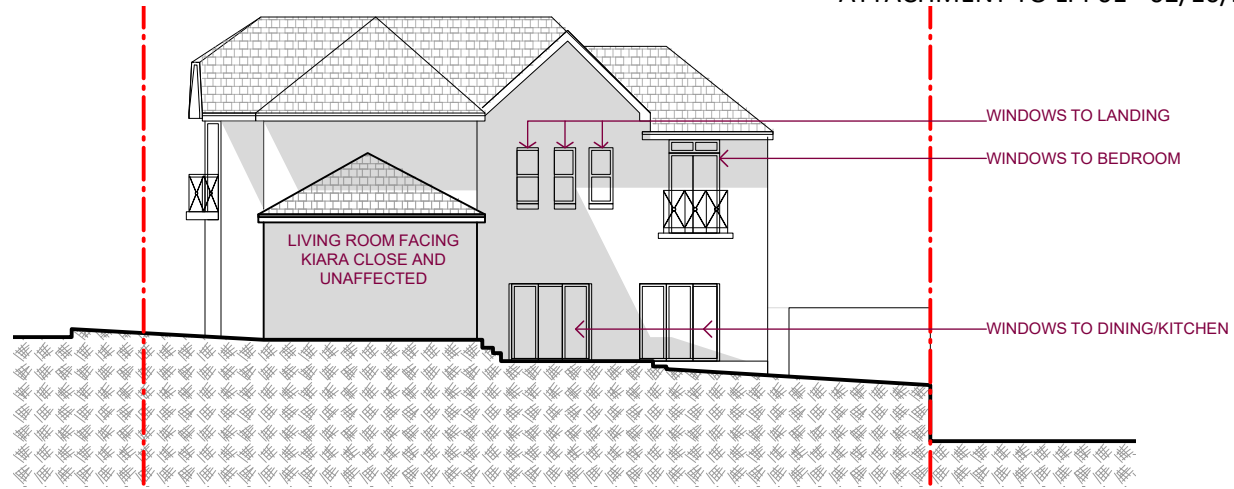
2311-S-06

LEGEND

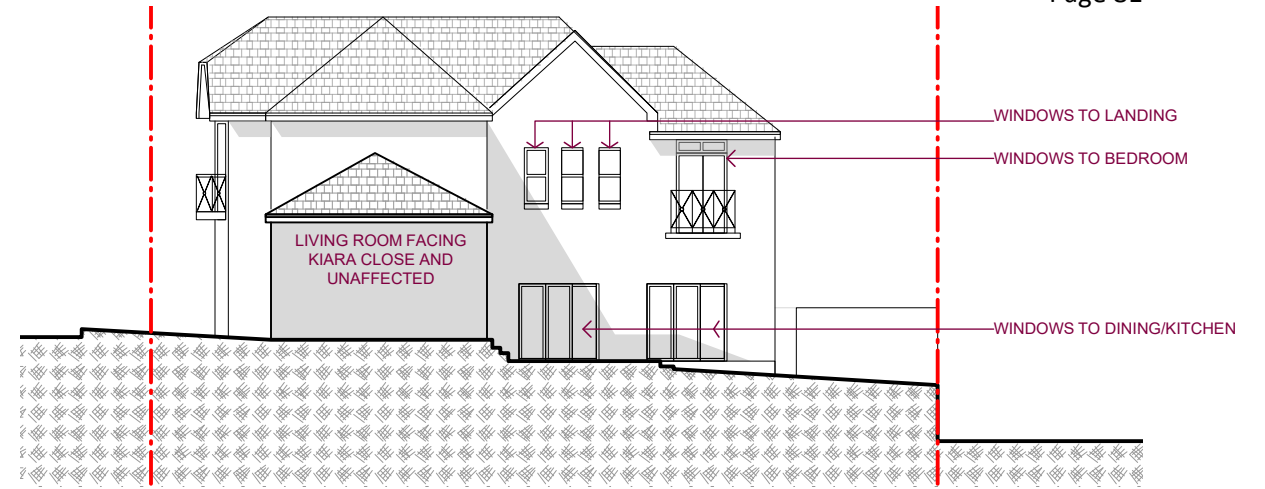
- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

SUMMARY OF MODIFICATIONS FROM DWG REVISION A TO B

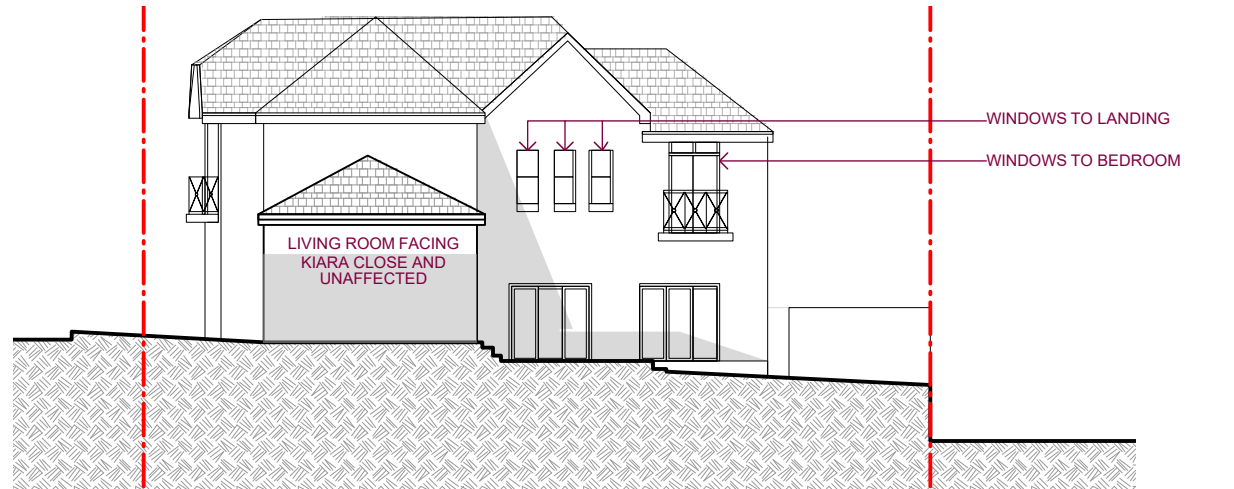
TIME	DATE	CHANGE TO REV B
10am	MARCH 21	NO CHANGE
11am	MARCH 21	NO CHANGE
12pm	MARCH 21	NO CHANGE
1pm	MARCH 21	NO CHANGE
2pm	MARCH 21	NO CHANGE
3pm	MARCH 21	REDUCTION



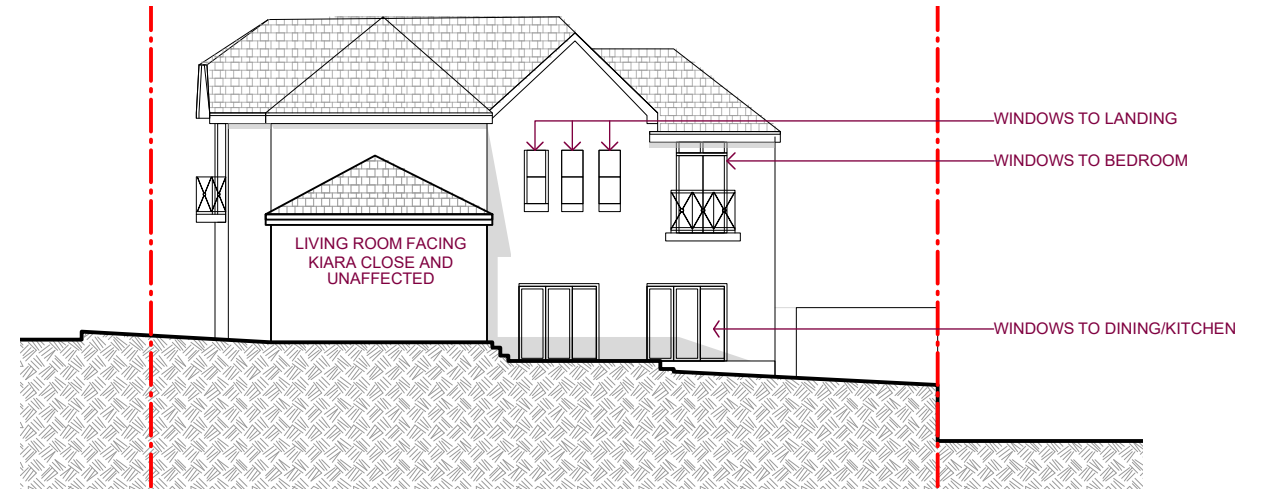
MARCH 21ST
10AM
NO CHANGE



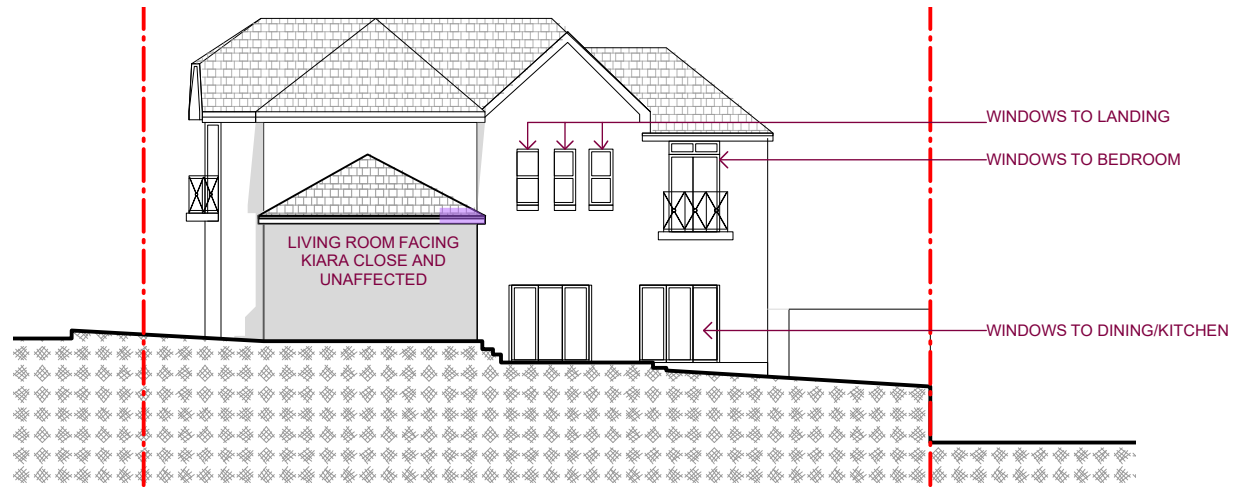
MARCH 21ST
11AM
NO CHANGE



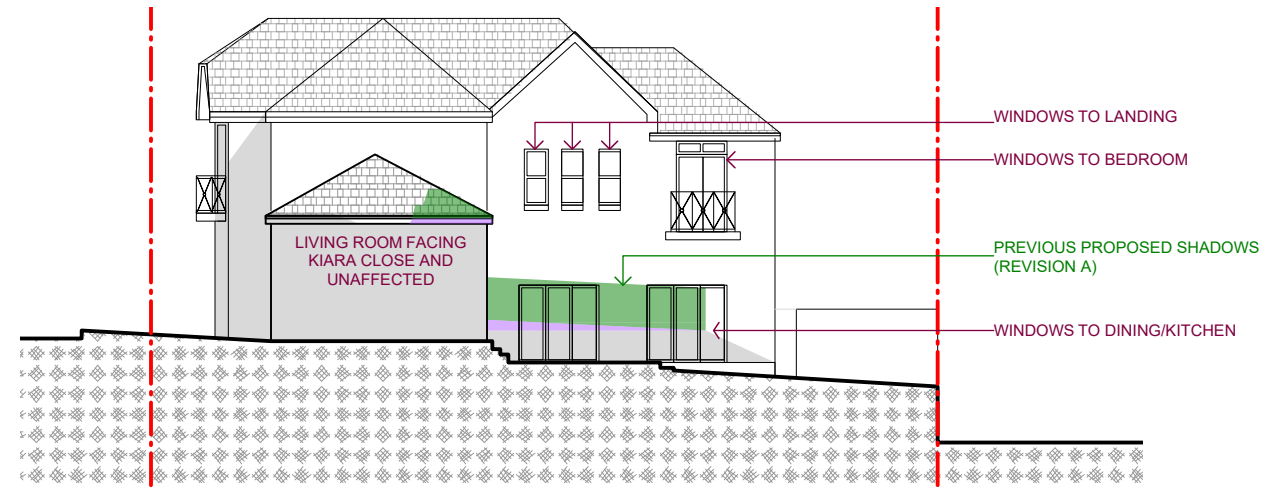
MARCH 21ST
12PM
NO CHANGE



MARCH 21ST
1PM
NO CHANGE



MARCH 21ST
2PM
NO CHANGE



MARCH 21ST
3PM
REDUCTION

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

DRAWING NAME

PROPOSED ELEVATIONAL SHADOWS 21ST MARCH

2311-S-13

REVISION

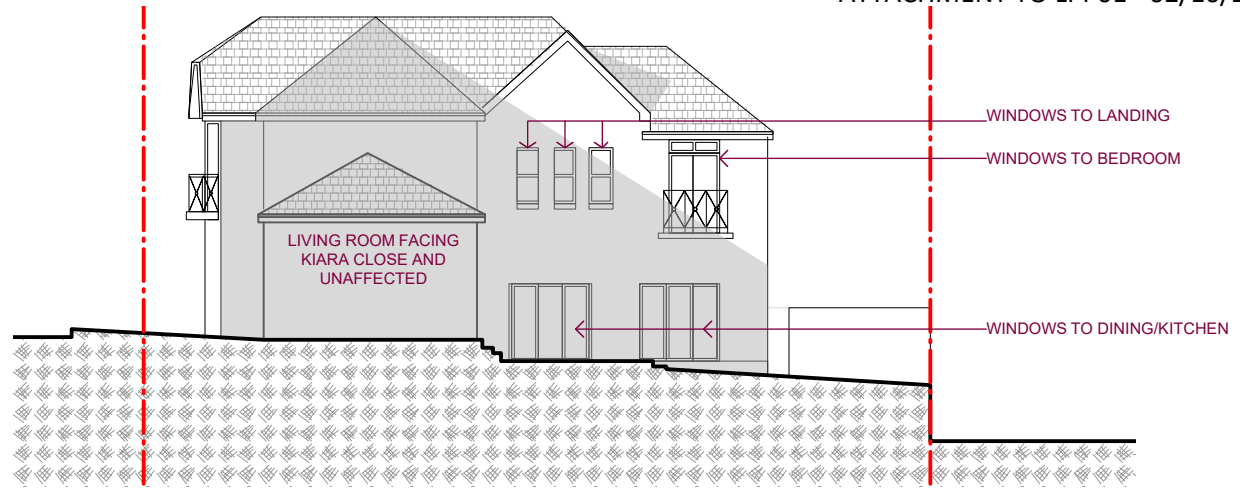
B

LEGEND

- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION FROM PREVIOUS PROPOSAL

SUMMARY OF MODIFICATIONS FROM DWG REVISION A TO B

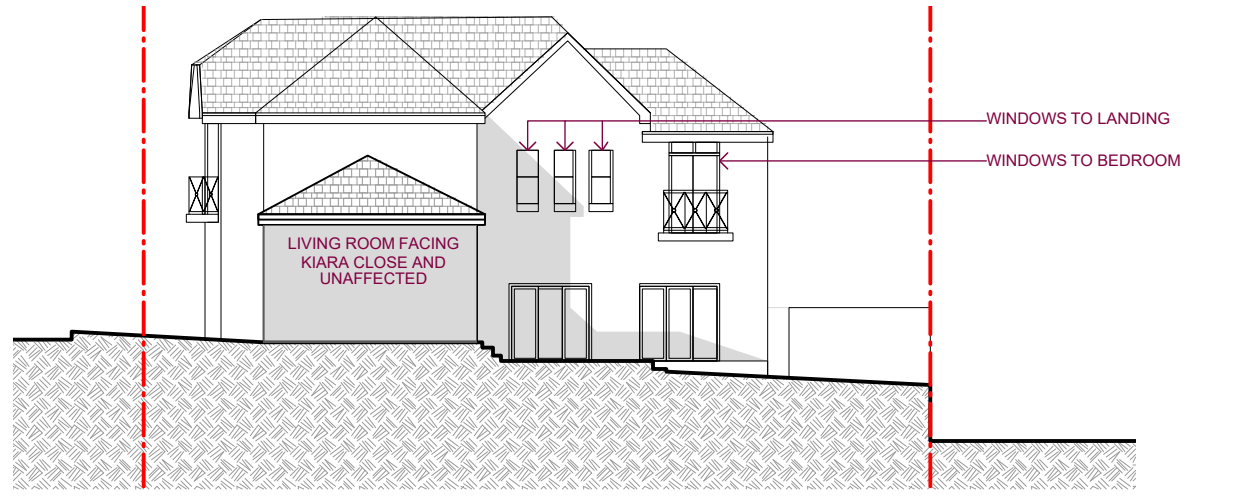
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11am	JUNE 21	NO CHANGE
12pm	JUNE 21	NO CHANGE
1pm	JUNE 21	REDUCTION
2pm	JUNE 21	REDUCTION
3pm	JUNE 21	REDUCTION



JUNE 21ST
10AM
NO CHANGE



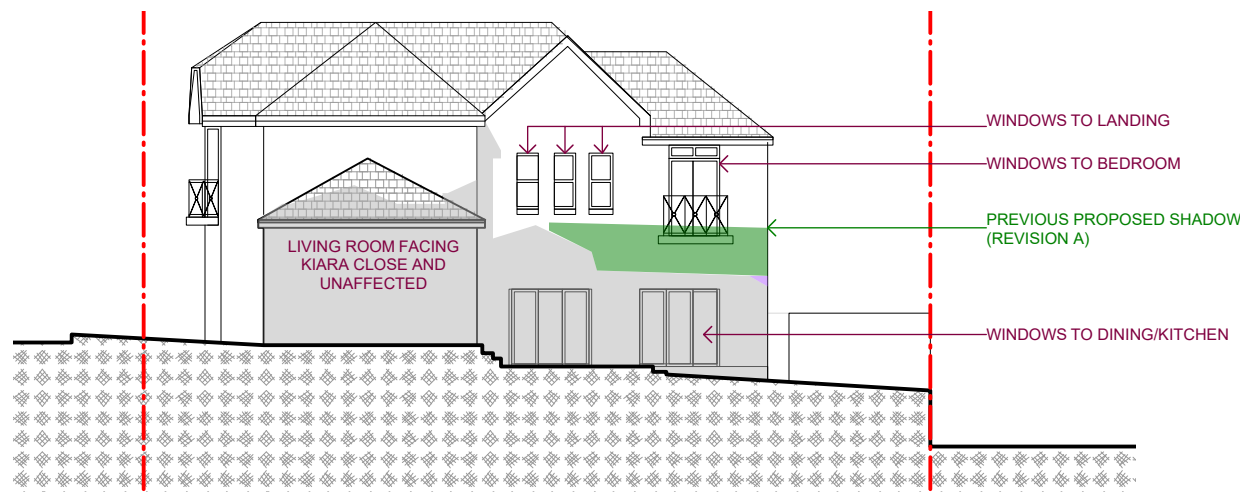
JUNE 21ST
11AM
NO CHANGE



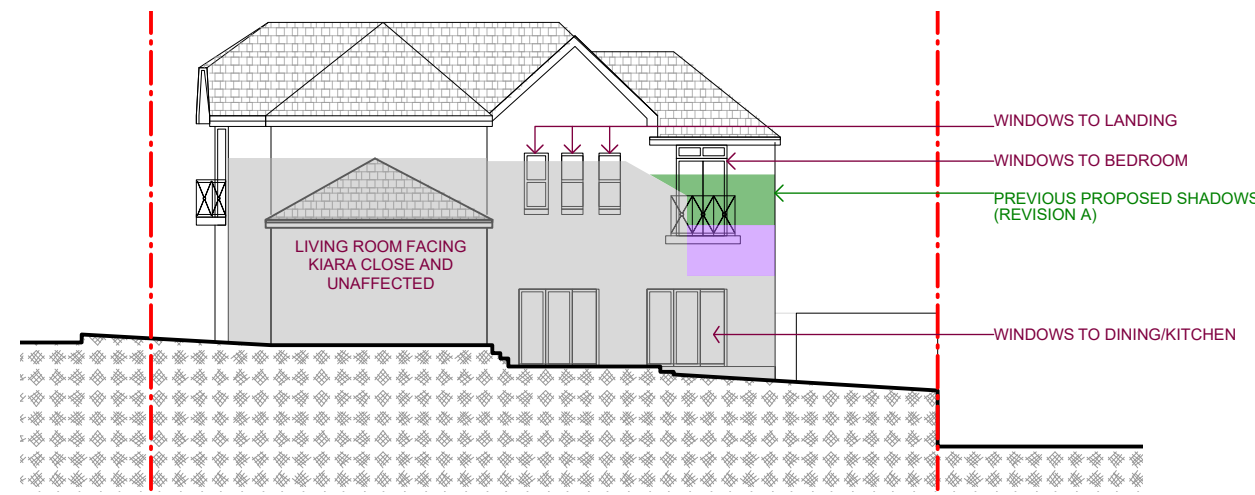
JUNE 21ST
12PM
NO CHANGE



JUNE 21ST
1PM
REDUCTION



JUNE 21ST
2PM
REDUCTION



JUNE 21ST
3PM
REDUCTION

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

DRAWING NAME

PROPOSED ELEVATIONAL SHADOWS 21ST JUNE

2311-S-14

REVISION

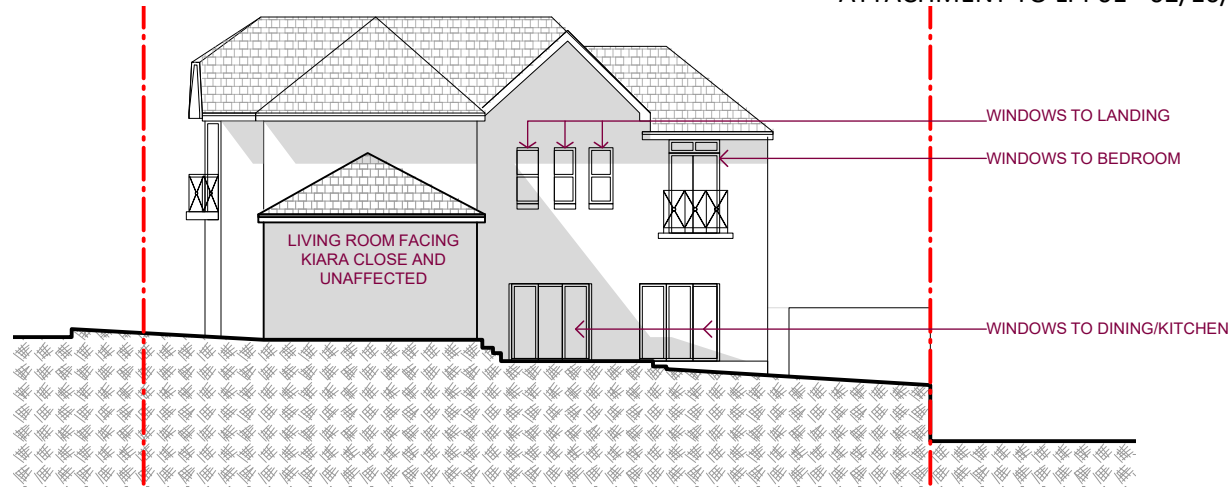
B

LEGEND

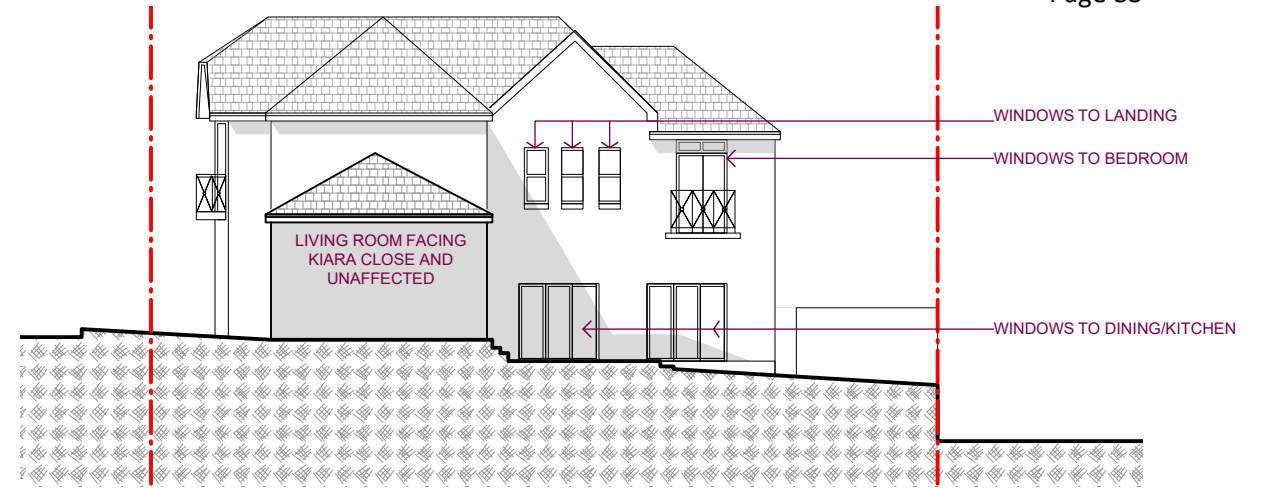
- ADDITIONAL SHADOWS
- EXISTING SHADOW
- BOUNDARY LINE
- EXTENT OF SHADOW REDUCTION TO PREVIOUS PROPOSAL

SUMMARY OF MODIFICATIONS FROM DWG REVISION A TO B

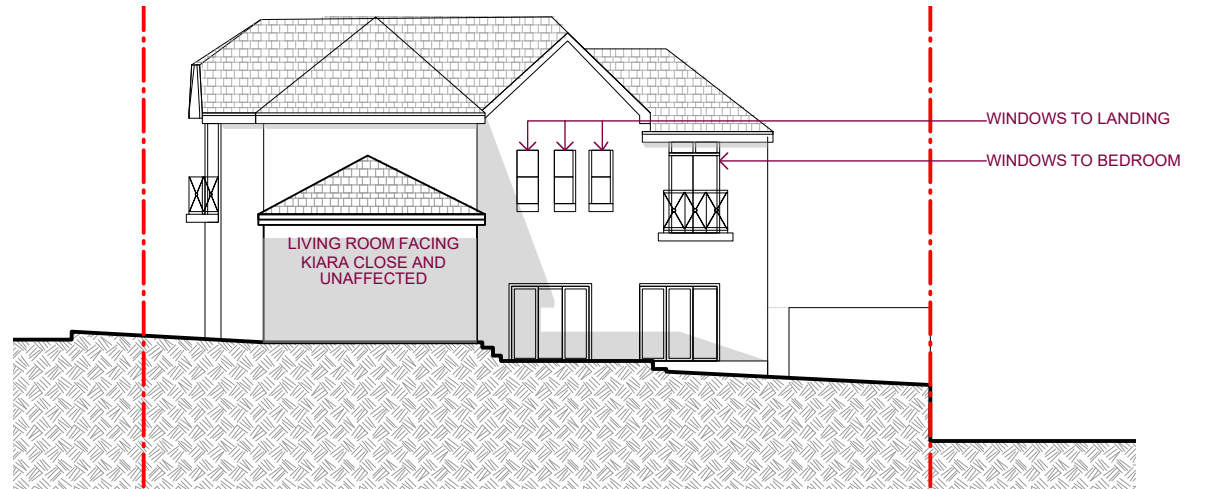
TIME	DATE	MODIFICATION
10am	SEPT. 21	NO CHANGE
11am	SEPT. 21	NO CHANGE
12pm	SEPT. 21	NO CHANGE
1pm	SEPT. 21	NO CHANGE
2pm	SEPT. 21	NO CHANGE
3pm	SEPT. 21	REDUCTION



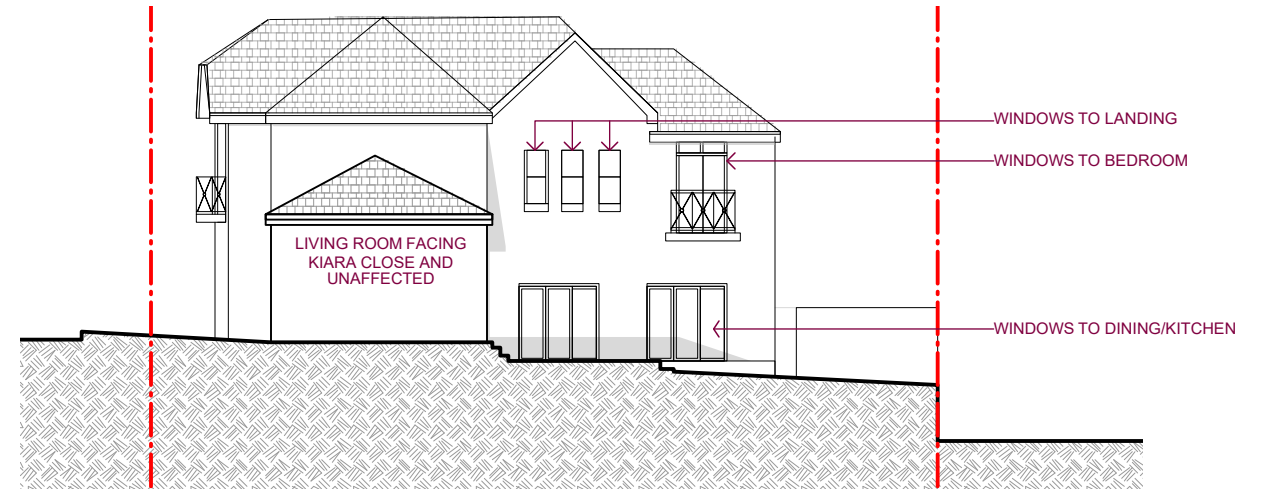
SEPTEMBER 21ST
10AM
NO CHANGE



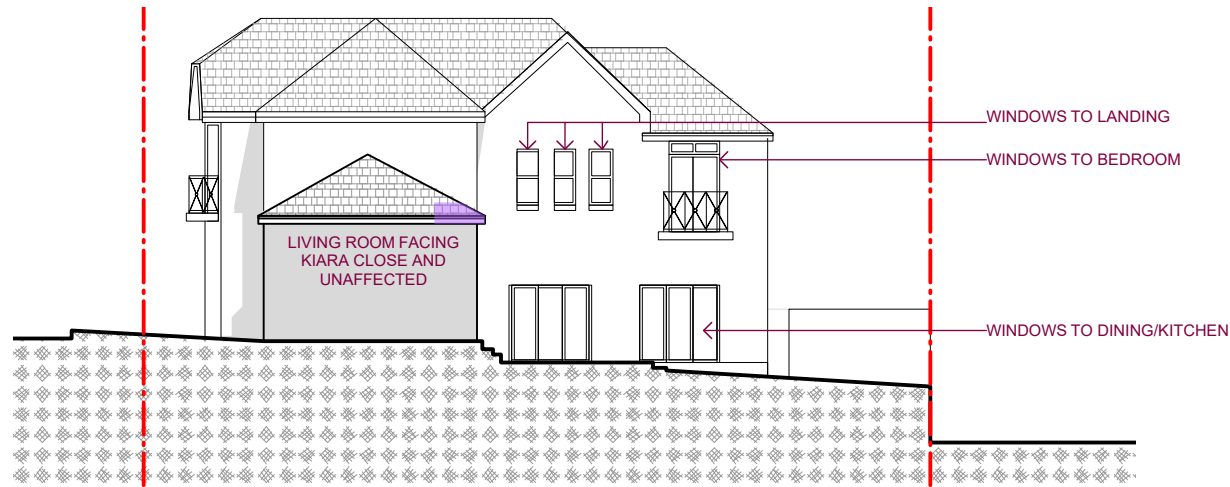
SEPTEMBER 21ST
11AM
NO CHANGE



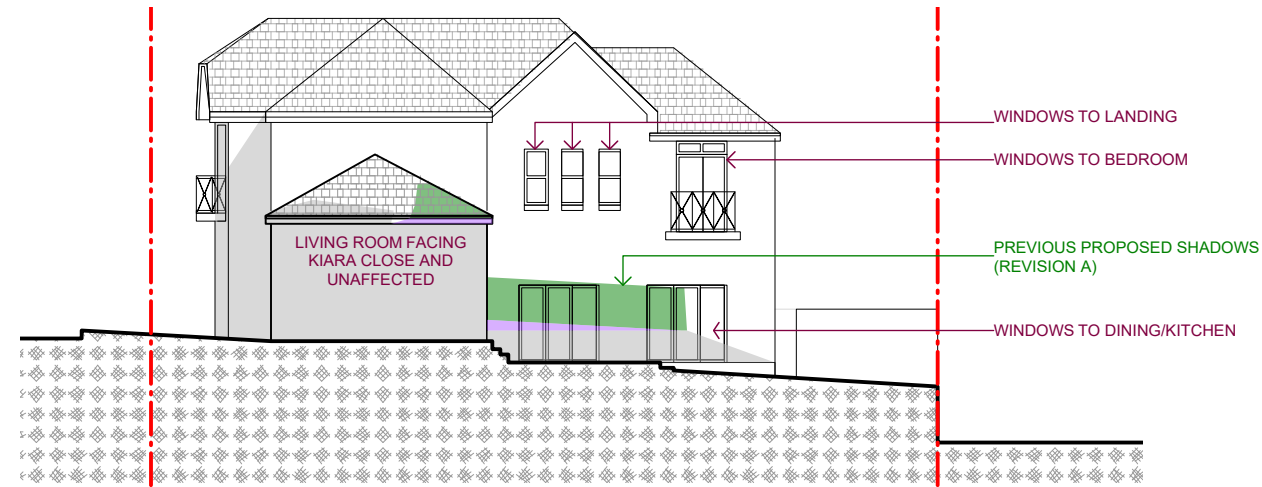
SEPTEMBER 21ST
12PM
NO CHANGE



SEPTEMBER 21ST
1PM
NO CHANGE



SEPTEMBER 21ST
2PM
NO CHANGE



SEPTEMBER 21ST
3PM
REDUCTION

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
CONC CONCRETE	RS-2 ROOF SHEET (WALL)
DP-1 DOWNPIPE	RT-1 ROOF TILE
FC-1 FIBRECEMENT SHEET	SR-1 SCREEN (FIXED)
GZ-1 GLAZING (CLEAR)	SR-2 SCREEN (ADJUSTABLE)
GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN BY
A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			
D			
E			

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PROPERTY OWNER(S)

LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
NORTH SYDNEY

NORTH



SCALE

1.200 @ A3

DRAWING NAME

PROPOSED ELEVATIONAL SHADOWS 21ST SEPTEMBER

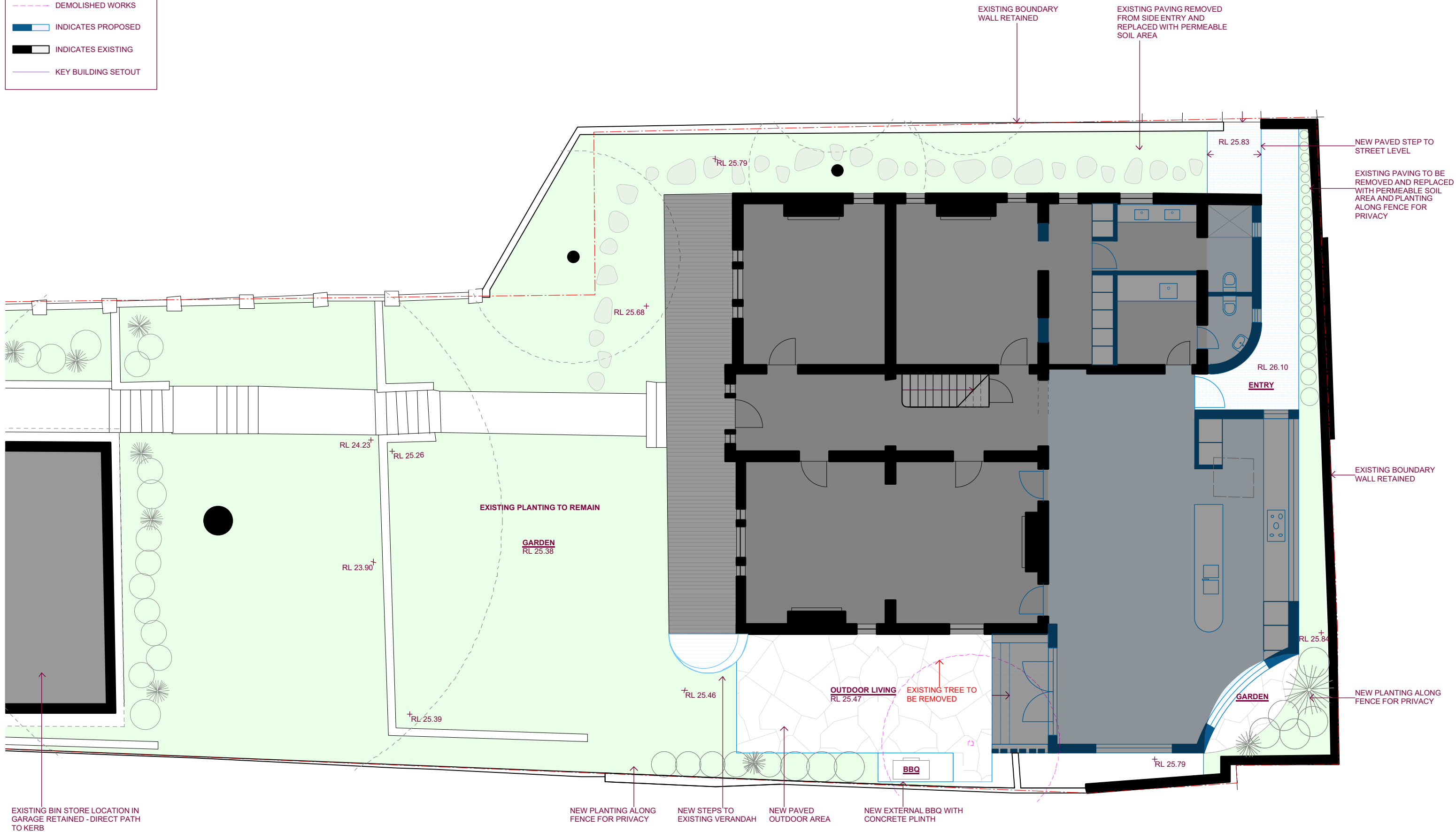
2311-S-15

REVISION

B

LEGEND

- - - BOUNDARY LINE
- - - DEMOLISHED WORKS
- █ INDICATES PROPOSED
- █ INDICATES EXISTING
- KEY BUILDING SETOUT



Benn + Penna

Level 1, 123 Harris St. +61 2 9518 9900
 Pyrmont NSW 2009 info@bennandpenna.com
 www.bennandpenna.com

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
BRK-3 RENDERED MASONRY	RS-1 ROOF SHEET
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GZ-2 GLAZING (FROSTED)	TC-1 TIMBER CLADDING

REVISIONS

A	18.03.24	FOR DA SUBMISSION	AP
B	08.07.24	FOR REVISION	AR
C			.
D			.
E			.

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LOUISE + BRAD DOWE

PROPERTY ADDRESS

11 HIPWOOD ST
 NORTH SYDNEY

NORTH



SCALE

1:100 @ A3

DRAWING NAME

LANDSCAPE CONCEPT PLAN

2311-X-00

REVISION

B

EXISTING MATERIALS

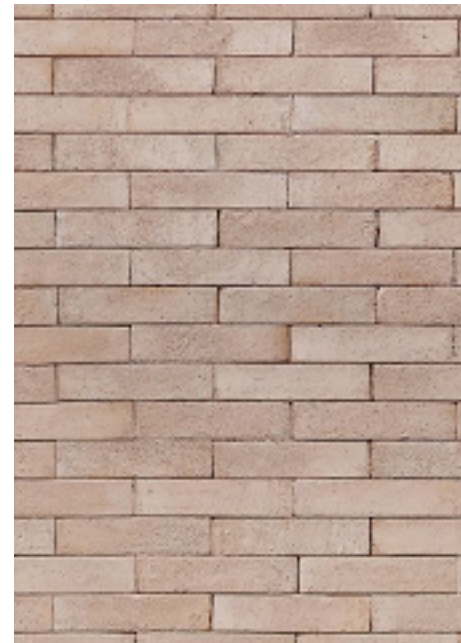


EXISTING HOUSE
 RENDERED AND PAINTED MASONRY
 SLATE TILE ROOF
 COLORBOND ROOF SHEETING
 PAINTED TIMBER AND IRON DETAILS
 STUCCO MOLDED DETAILING

PROPOSED MATERIALS



ROOF SHEET
 CODE : RS-1
 FINISH : STANDING SEAM, GREY



WALLS
 CODE : BRK-1
 FINISH : BRICK, EARTHY TONED



DOORS & WINDOWS
 CODE : GZ-1 / GZ-2
 FINISH : METAL



DOORS & WINDOWS
 CODE : GZ-1 / GZ-2
 FINISH : TIMBER, PAINTED



BALUSTRADE
 CODE : MT-1
 FINISH : METAL

LEGEND

AC-1 AIR CONDITIONING	GUTR-1 GUTTER
BRK-1 BRICK	MT-1 METAL BALUSTRADE
BRK-2 BRICK (PAINTED)	PAVE-1 PAVING
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REVISIONS

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B	08.07.24	FOR REVISION	AR
C			.
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PROPERTY ADDRESS

11 HIPWOOD ST NORTH SYDNEY

NORTH



SCALE

1.100 @ A3

DRAWING NAME

MATERIAL FINISHES

2311-X-01

REVISION

B