

ALTERATIONS AND BUILDING UPGRADE WORKS DUPLEX - CLASS 2

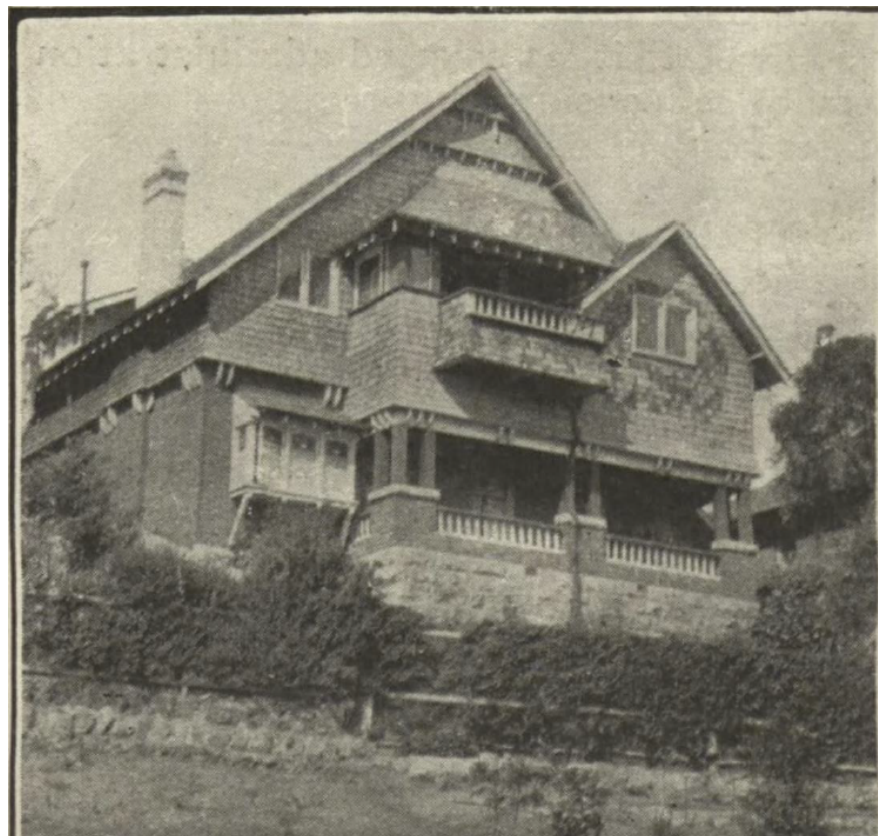
42 Milson Rd, Cremorne Point - SP 32457

QUATTRO PROJECT NUMBER 22-0711

N

REVISED FACADE TO ALIGN WITH LOWER GROUND
ROOF PROFILE MODIFIED WITH POSTS ADDED
AND LOWER BALCONY DECK REINSTATED

ROOF DORMER REMOVED



01 EXISTING IMAGE OF THE BUILDING FROM 1919
scale 1:NTS

02 CURRENT PHOTO OF THE BUILDING - 2023
scale 1:NTS

03 PROPOSED RENDERS FROM CREMORNE RESERVE
scale 1:NTS

DEVELOPMENT
APPLICATION

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Notes

Rev. No.	Date	Revision	Auth'd
D	30/5/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP
H	3/4/24	DA UPDATE	FP
I	22/4/24	DA UPDATE	PJH
J	13/6/24	DA UPDATE	PJH
K	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
COVER SHEET

Drawn By
FP

Checked By
PH

No Sheets

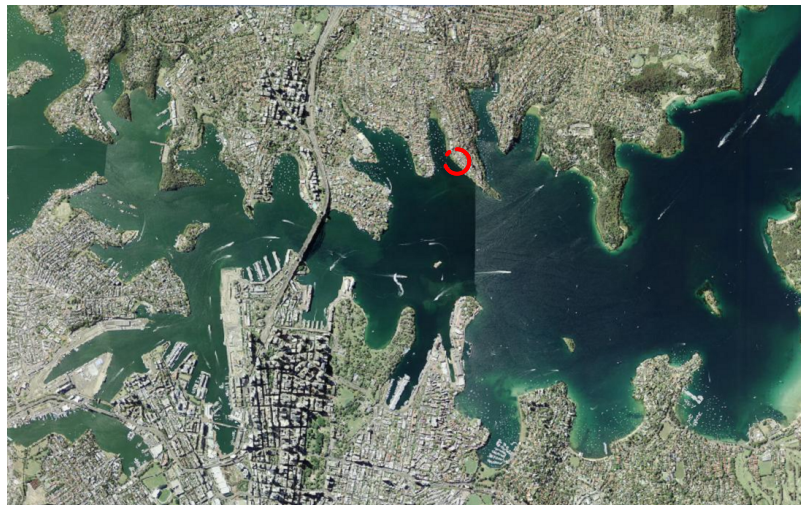
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22-0711

Drawing Number
DA-A-000

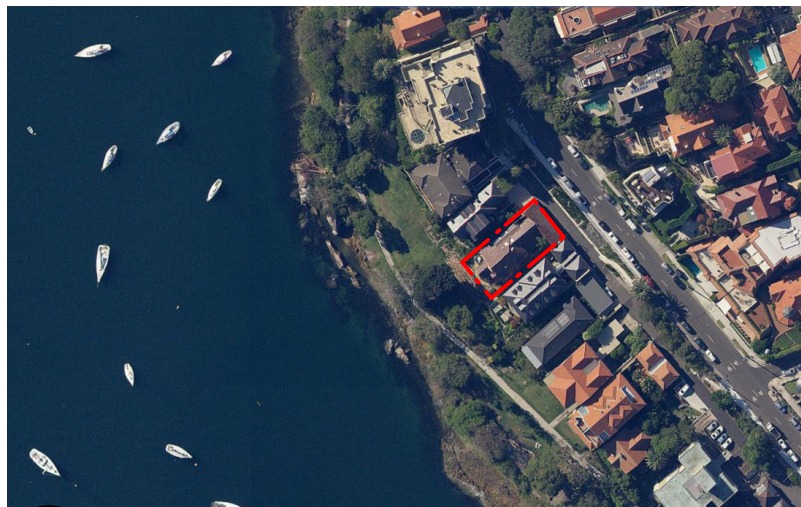
Rev
K



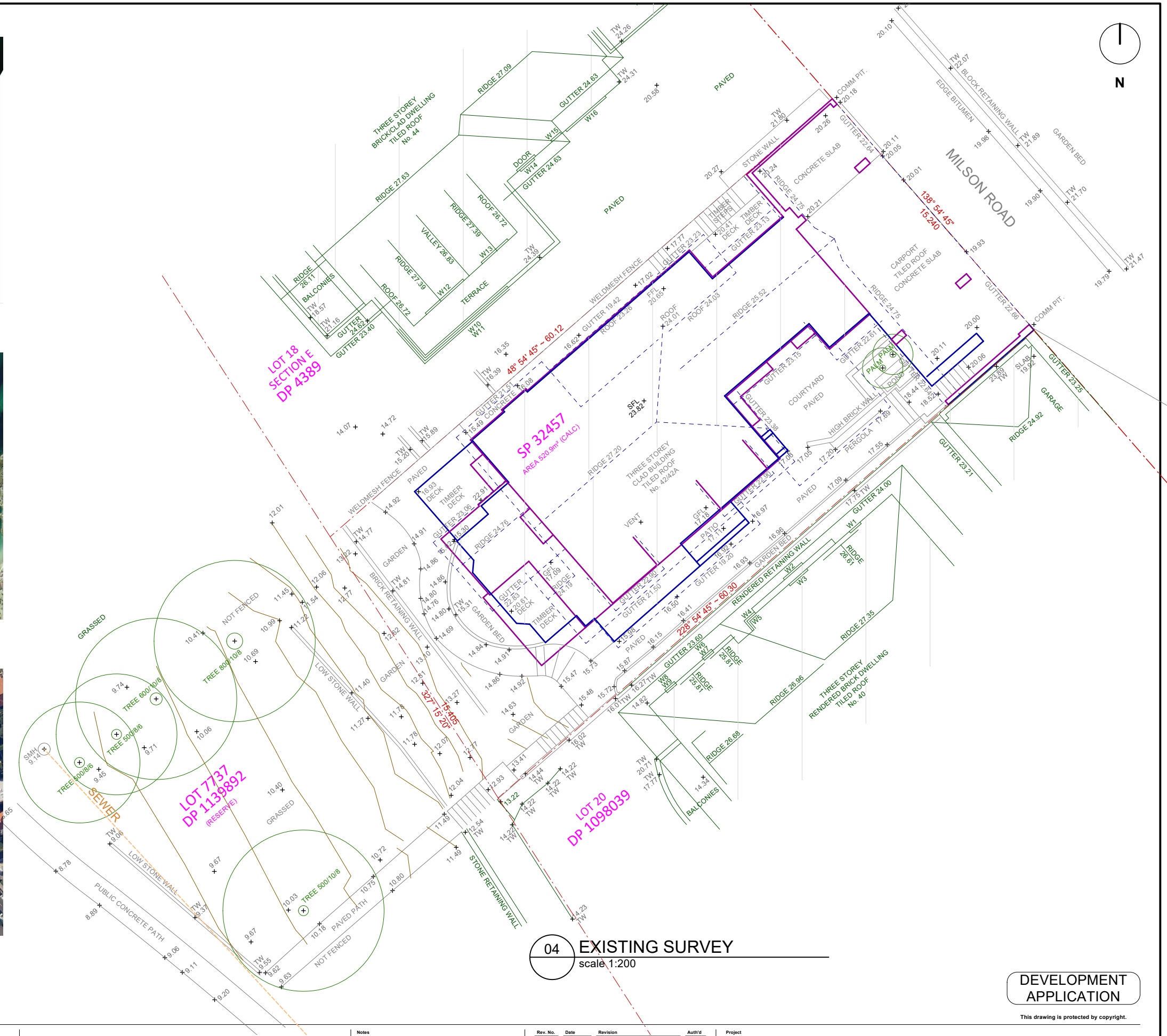
01 REGIONAL VIEW
scale 1:NTS



02 CITY VIEW
scale 1:NTS



03 CONTEXTUAL VIEW
scale 1:NTS



04 EXISTING SURVEY
scale 1:200

Scale at A3 1:200
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K	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**

Project Number
22-0711

Drawing Title
**SURVEY AND EXISTING SITE
PLAN**

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No Sheets

Drawing Number
DA-A-020

Rev
K



01 EXISTING VIEWS
scale 1:-

02 PROPOSED SITE ANALYSIS
scale 1:200

Scale at A3 1:100
0m 50m 100m

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K	17/9/24	DA UPDATE	PJH

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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point

Drawing Title
PROPOSED SITE PLAN

DEVELOPMENT APPLICATION

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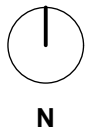
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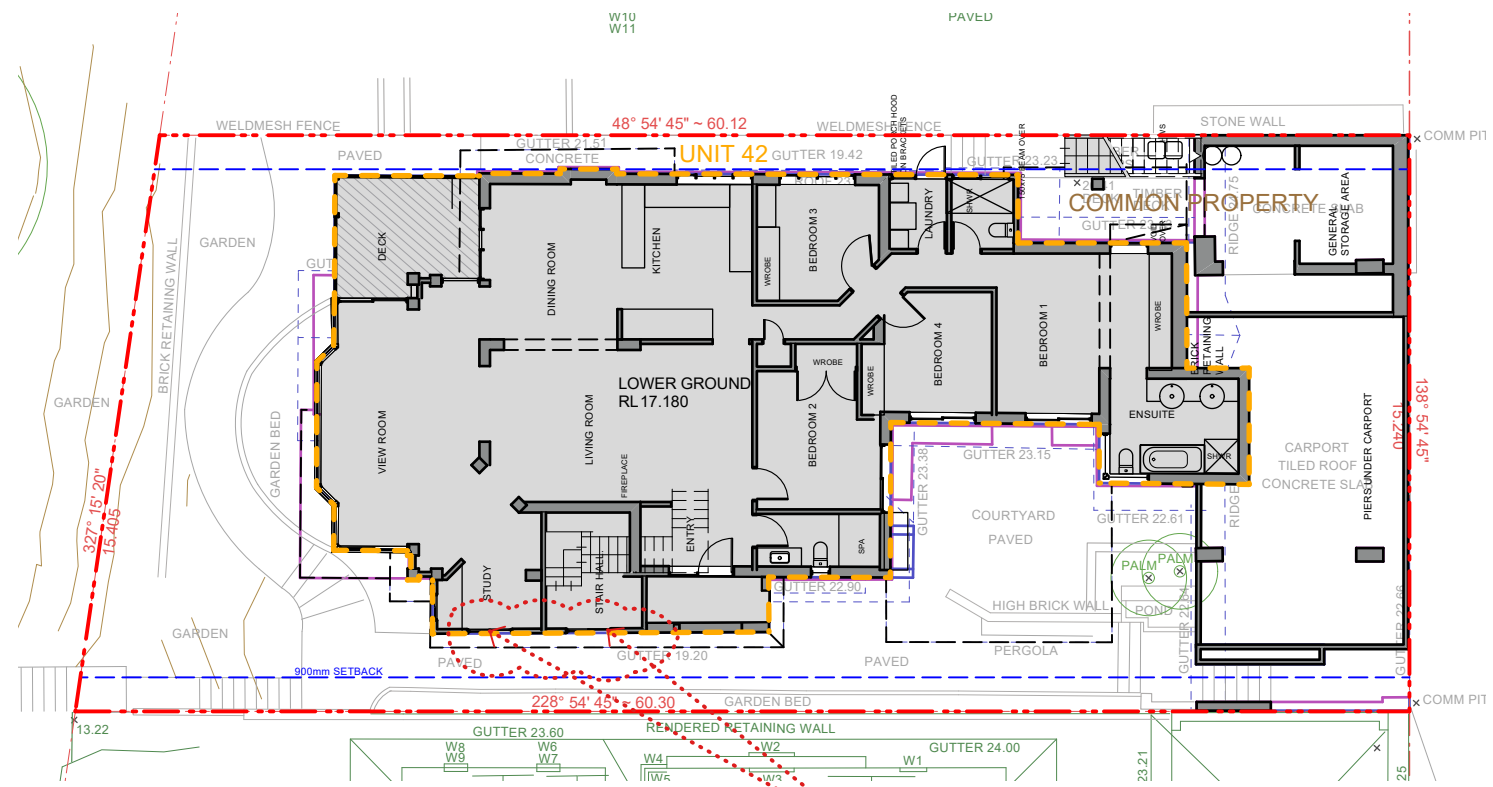
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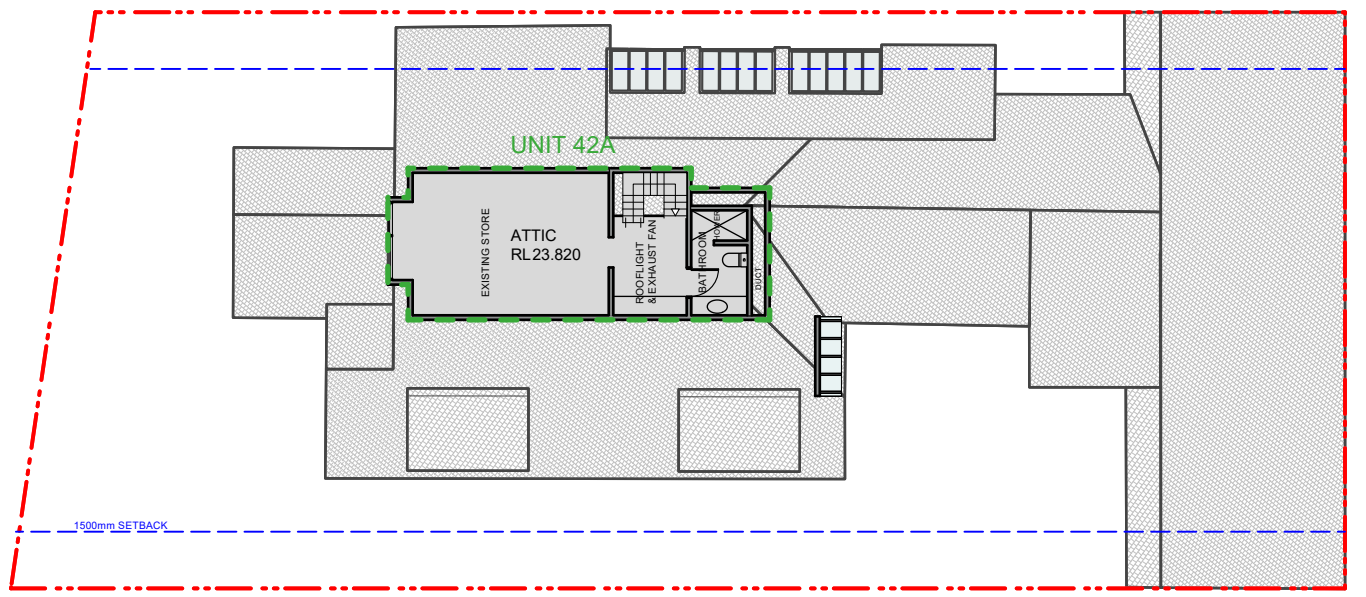
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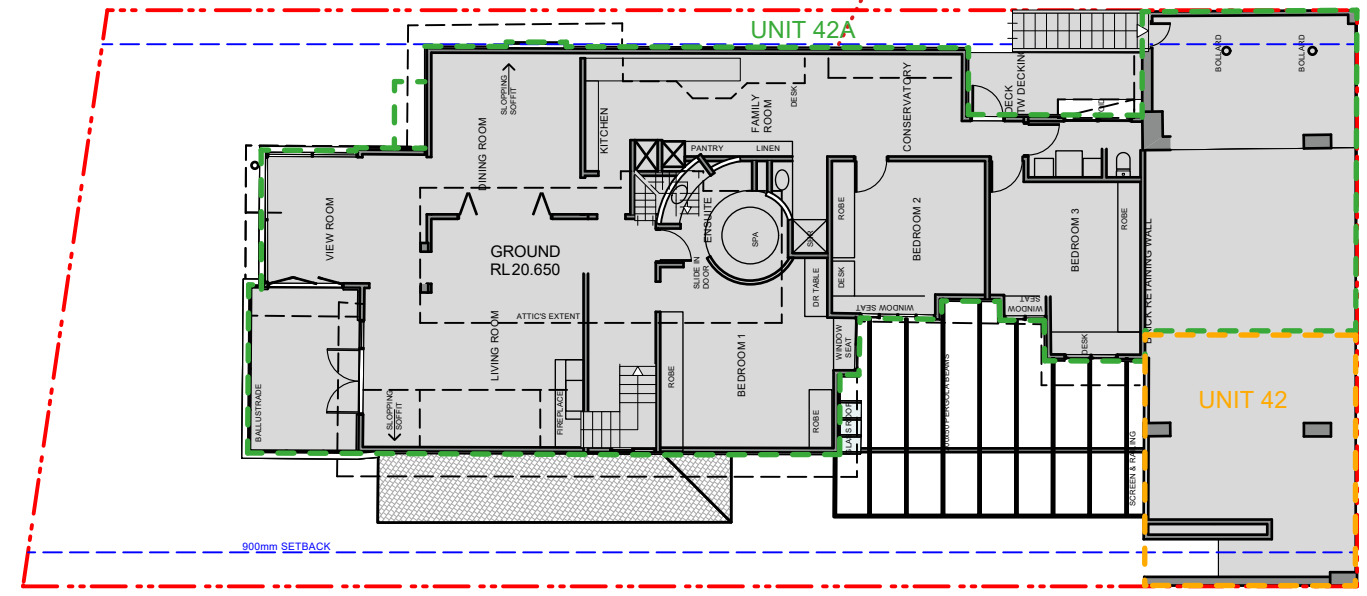




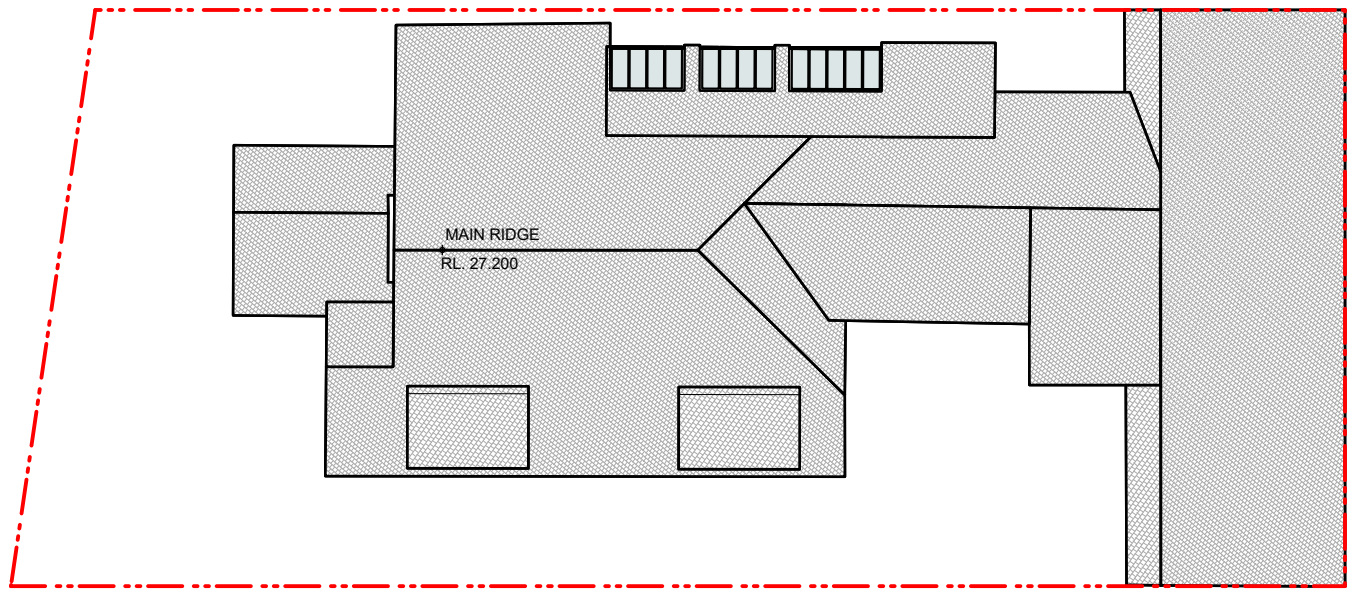
01 EXISTING - LOWER GROUND FLOOR PLAN
scale 1:200



03 EXISTING - ATTIC FLOOR PLAN
scale 1:200



02 EXISTING - GROUND FLOOR PLAN
scale 1:200



04 EXISTING - ROOF PLAN
scale 1:200

Scale at A3 1:200
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point

Project Number
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Drawing Title
EXISTING PLANS

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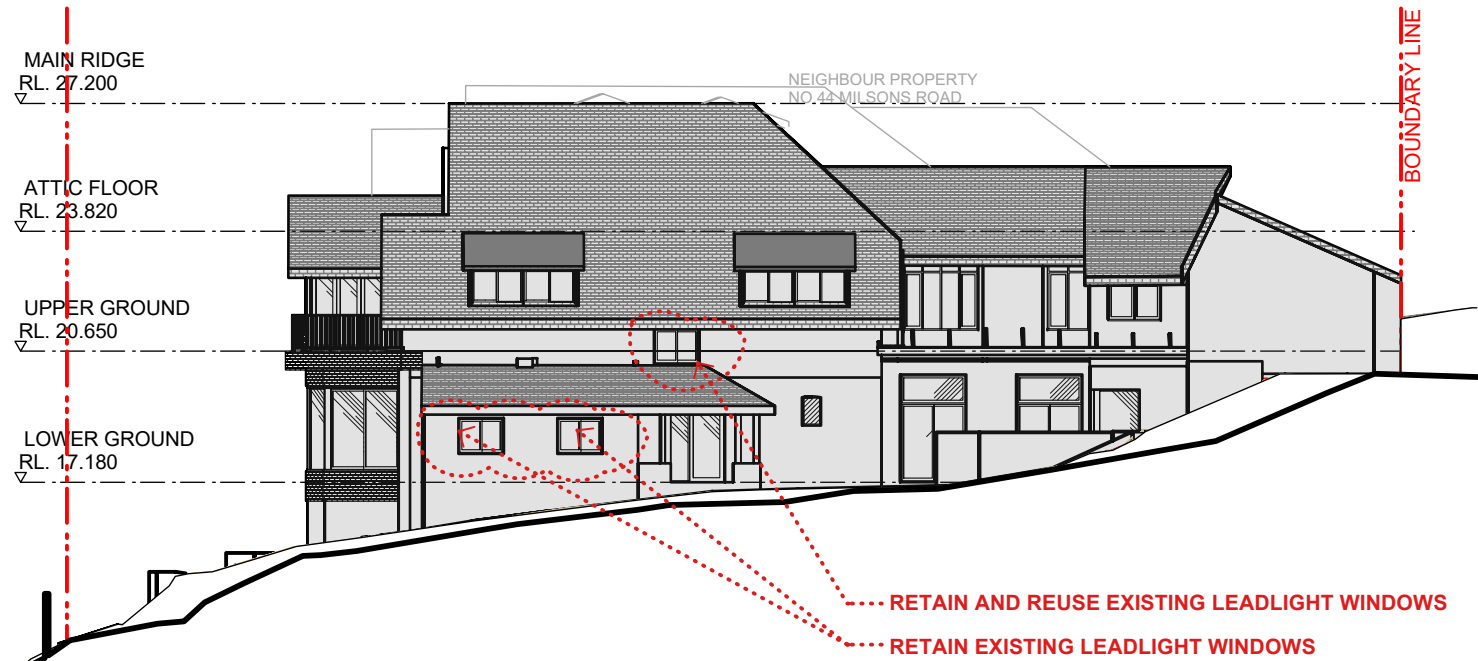
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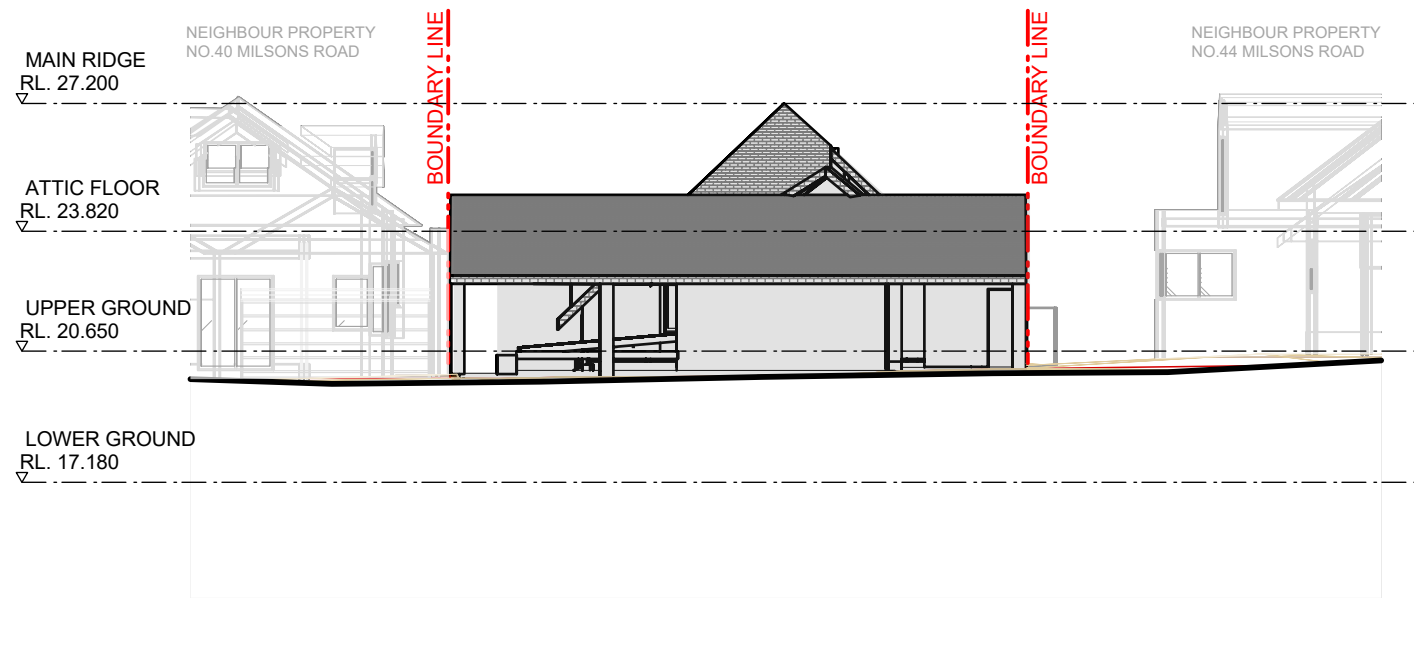
Project Number
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Drawing Number
DA-A-050

Rev
K



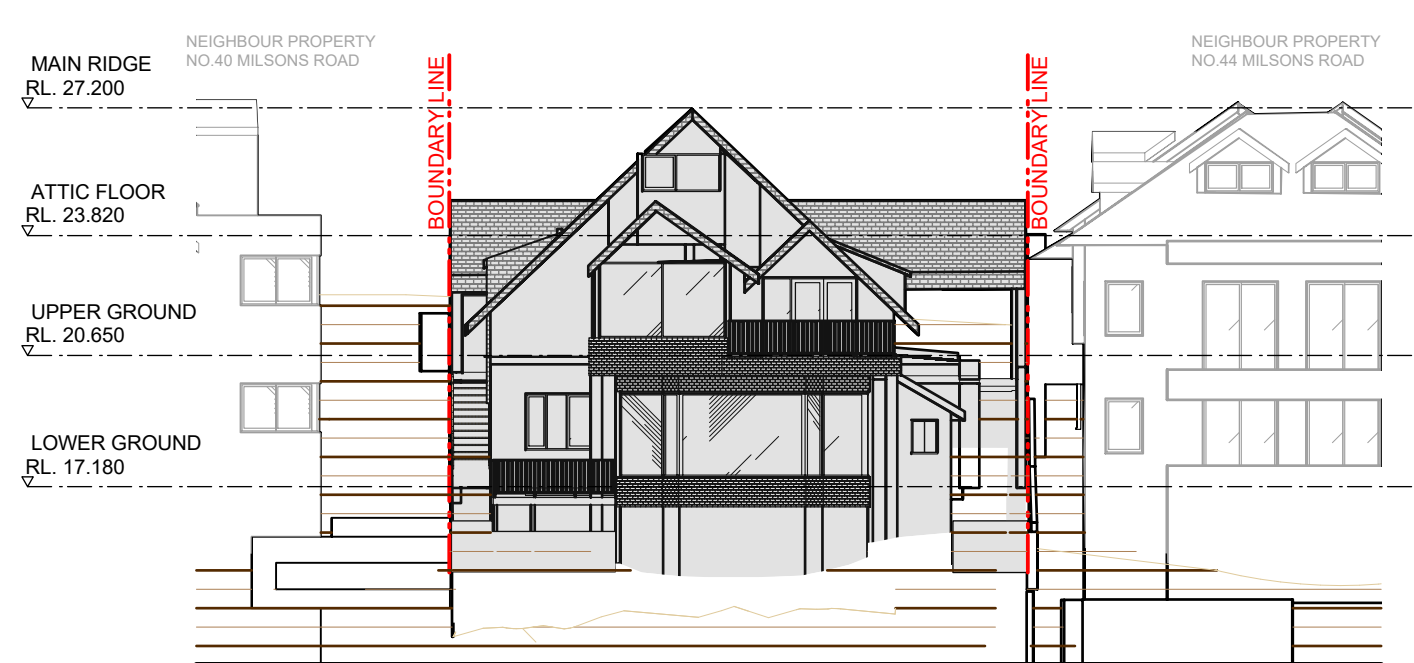
01 EXISTING EAST ELEVATION
scale 1:200



02 EXISTING NORTH ELEVATION
scale 1:200



03 EXISTING WEST ELEVATION
scale 1:200



04 EXISTING SOUTH ELEVATION
scale 1:200

Scale at A3 1:200
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42 Milson Rd, Cremorne Point

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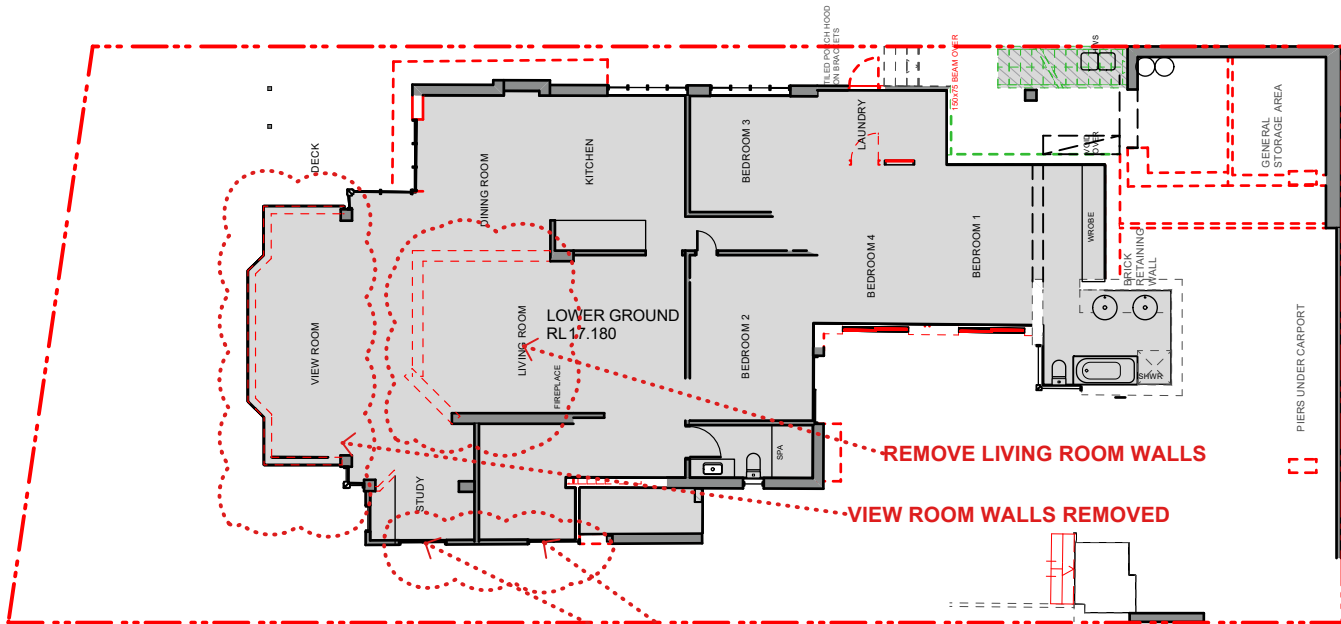
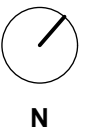
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DA-A-051

Rev
K

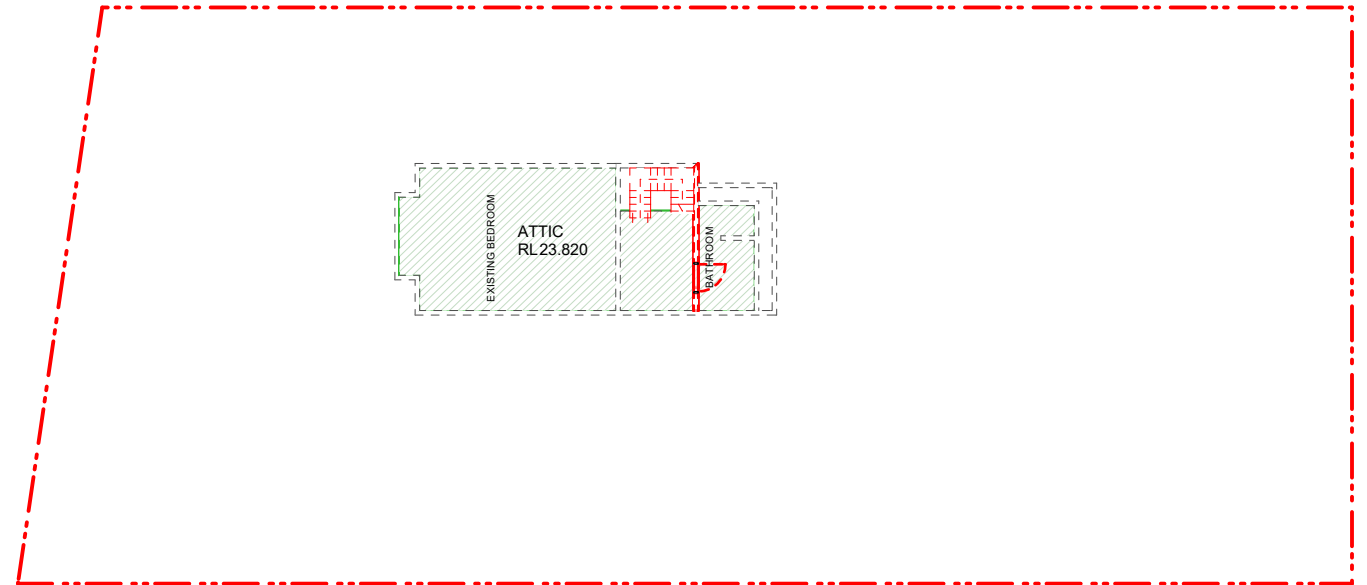
Drawing Title
EXISTING ELEVATIONS

NCC 2023 Class 2 - Required Building Upgrade Works

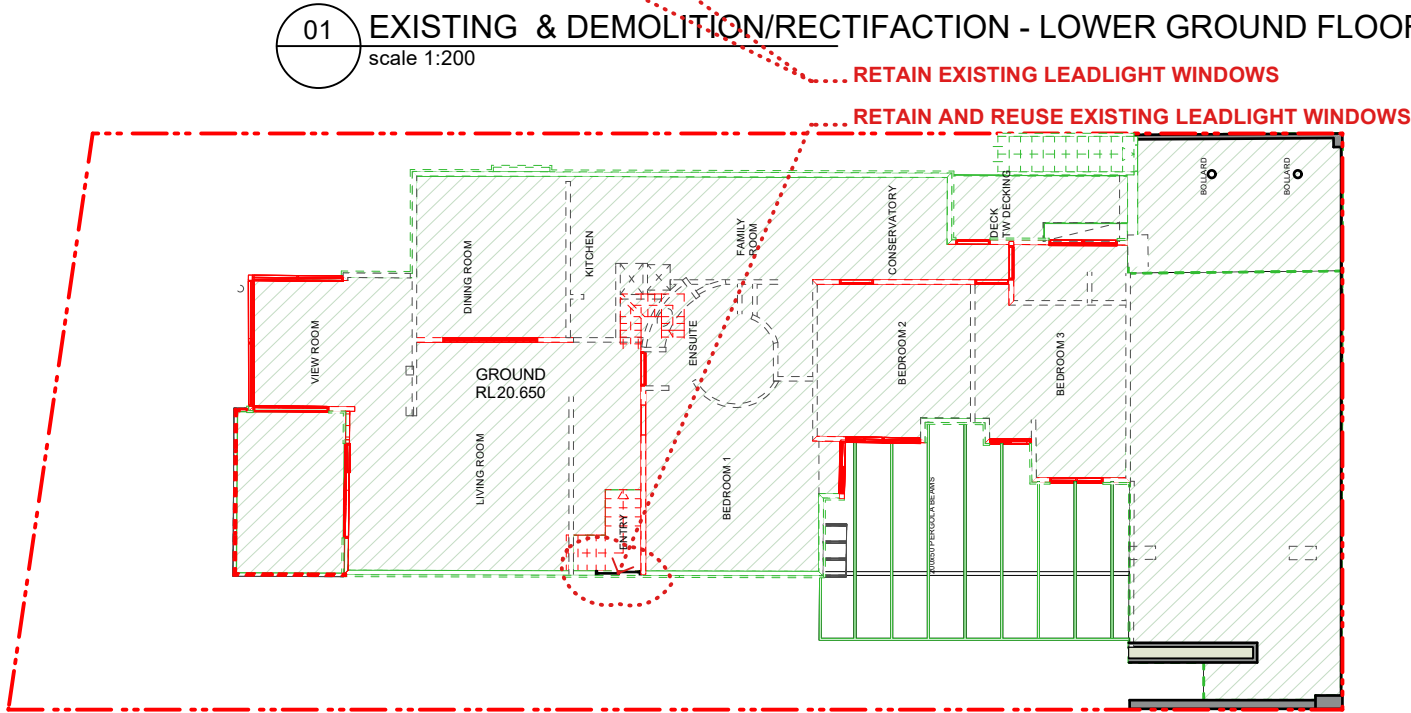
1. The following building elements and their components must be non-combustible:
 - (a) External walls and common walls, including all components incorporated in them including the facade covering, framing and insulation.
2. Spandrel separation. As the building would be deemed to have a rise in storey of 3 Type A construction requirements would apply.
3. Fire separation. The floor separating the respective SOU's are constructed of timber in parts. The minimum fire separation (floor) to be achieved and demonstrated between SOU's is an FRL of 90/90/90.
4. Protection of openings. Windows and doors located less than 3m from the side property boundary are deemed to be exposed and need to be protected- ie either by way of fire shutter, fire rated windows , wall wetting sprinkler/ drenchers etc.
5. Acoustics- shelter will need to be given to acoustic compliance in terms of floor and services stacks etc.
6. Accessibility: For a Class 2 building, common areas are to be accessible as follows:
 - (a) From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.



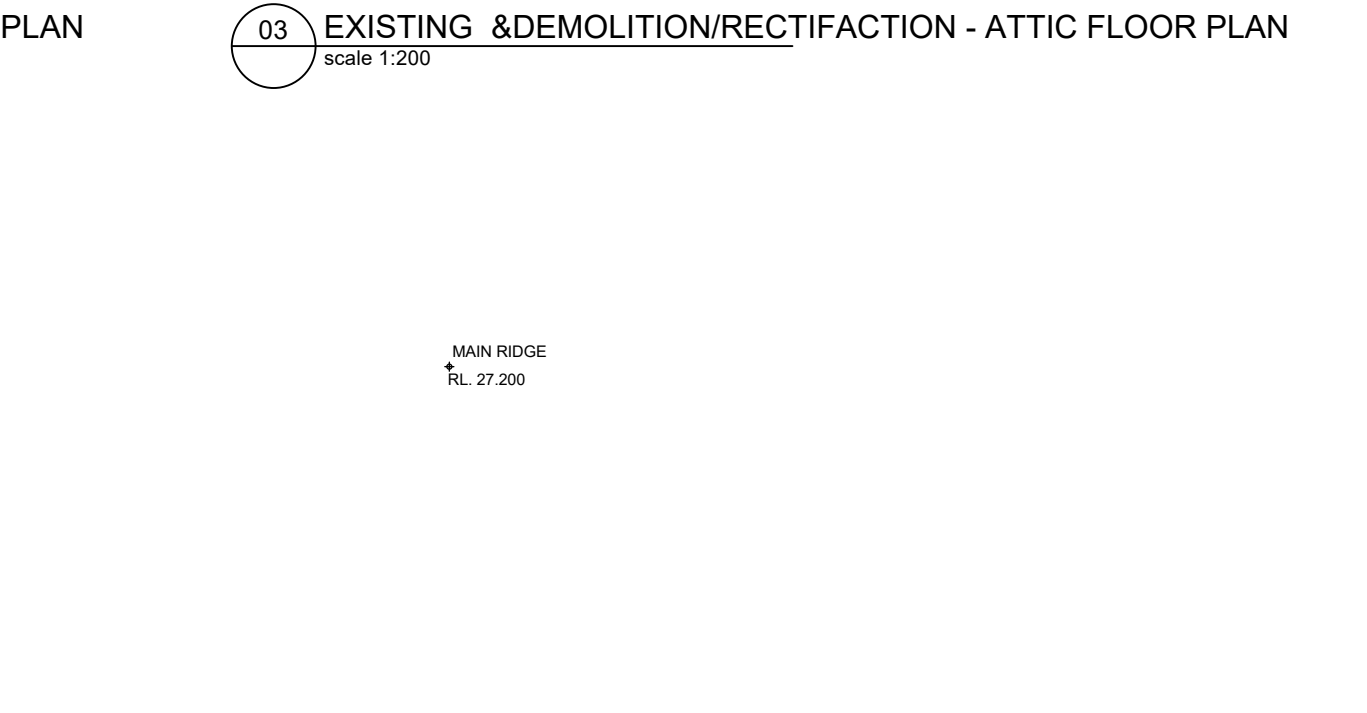
01 EXISTING & DEMOLITION/RECTIFICATION - LOWER GROUND FLOOR PLAN
scale 1:200



03 EXISTING & DEMOLITION/RECTIFICATION - ATTIC FLOOR PLAN
scale 1:200



02 EXISTING & DEMOLITION/RECTIFICATION GROUND FLOOR PLAN
scale 1:200



04 EXISTING & DEMOLITION/RECTIFICATION - ROOF PLAN
scale 1:200

DEVELOPMENT APPLICATION

Scale at A3 1:200
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LEGEND :
 RECTIFICATION OF EXISTING
 DEMOLITION

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Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
DEMOLITION PLANS

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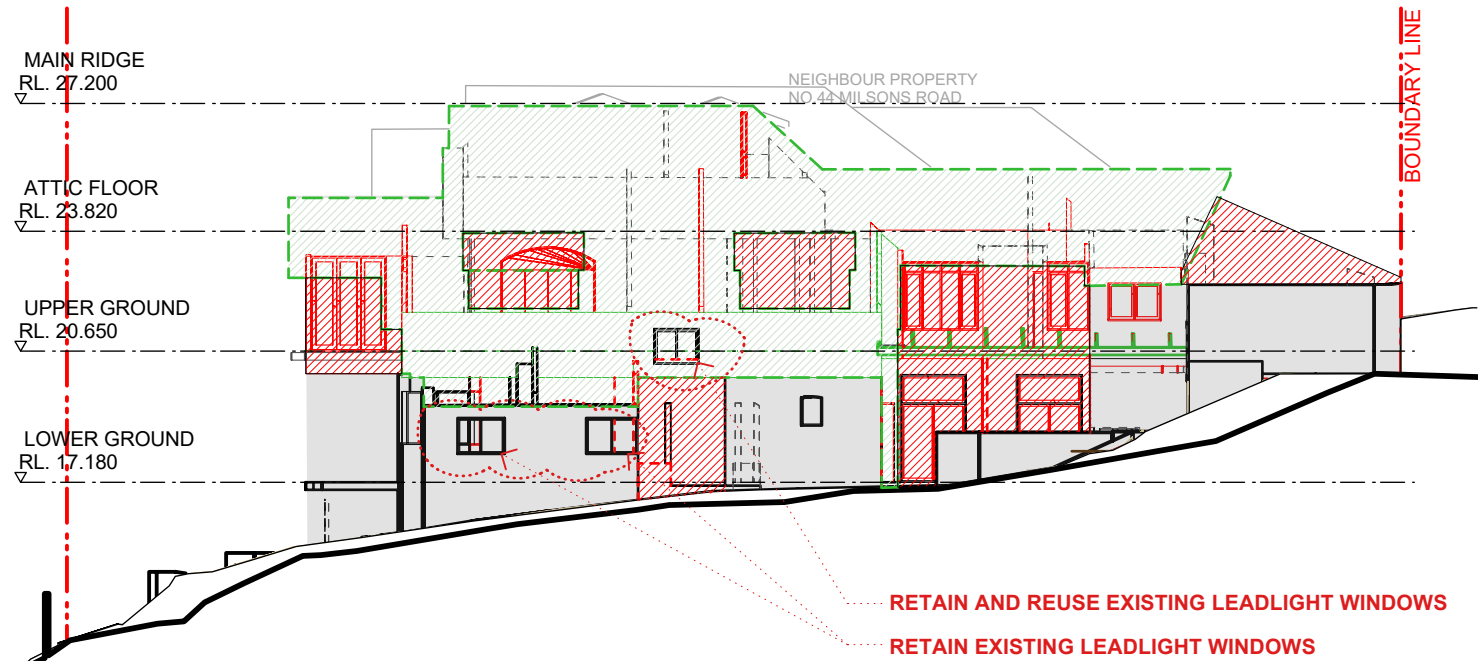
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Project Number
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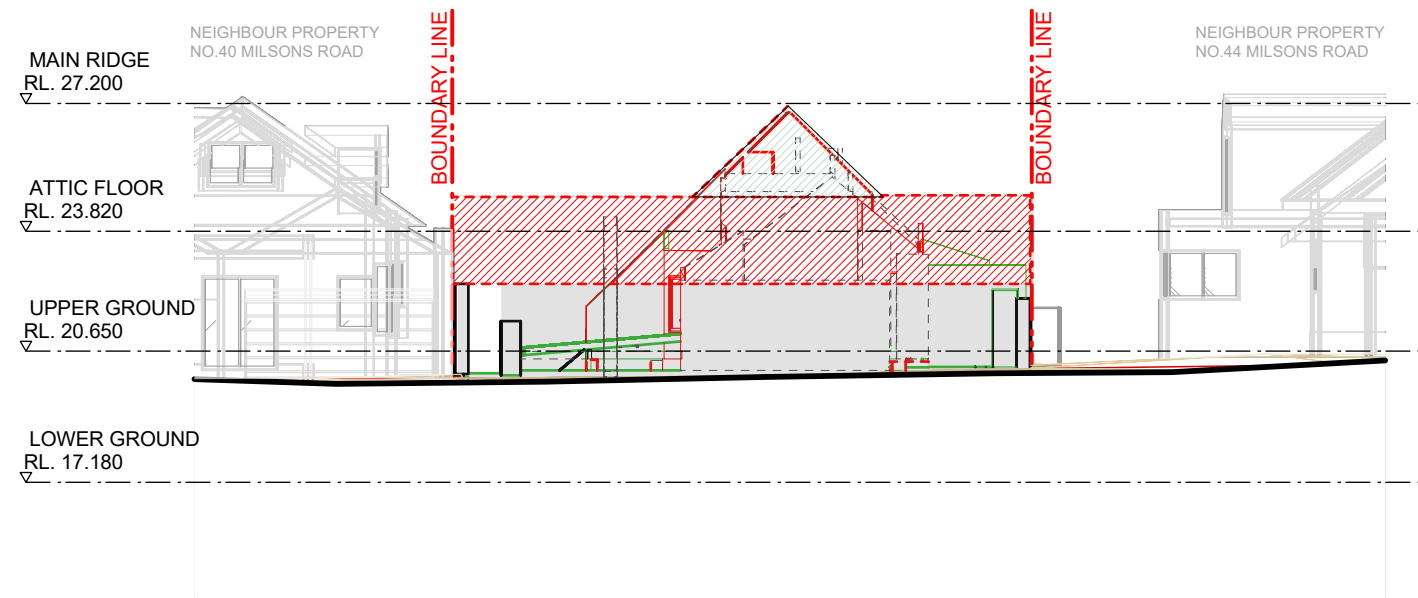
Drawing Number
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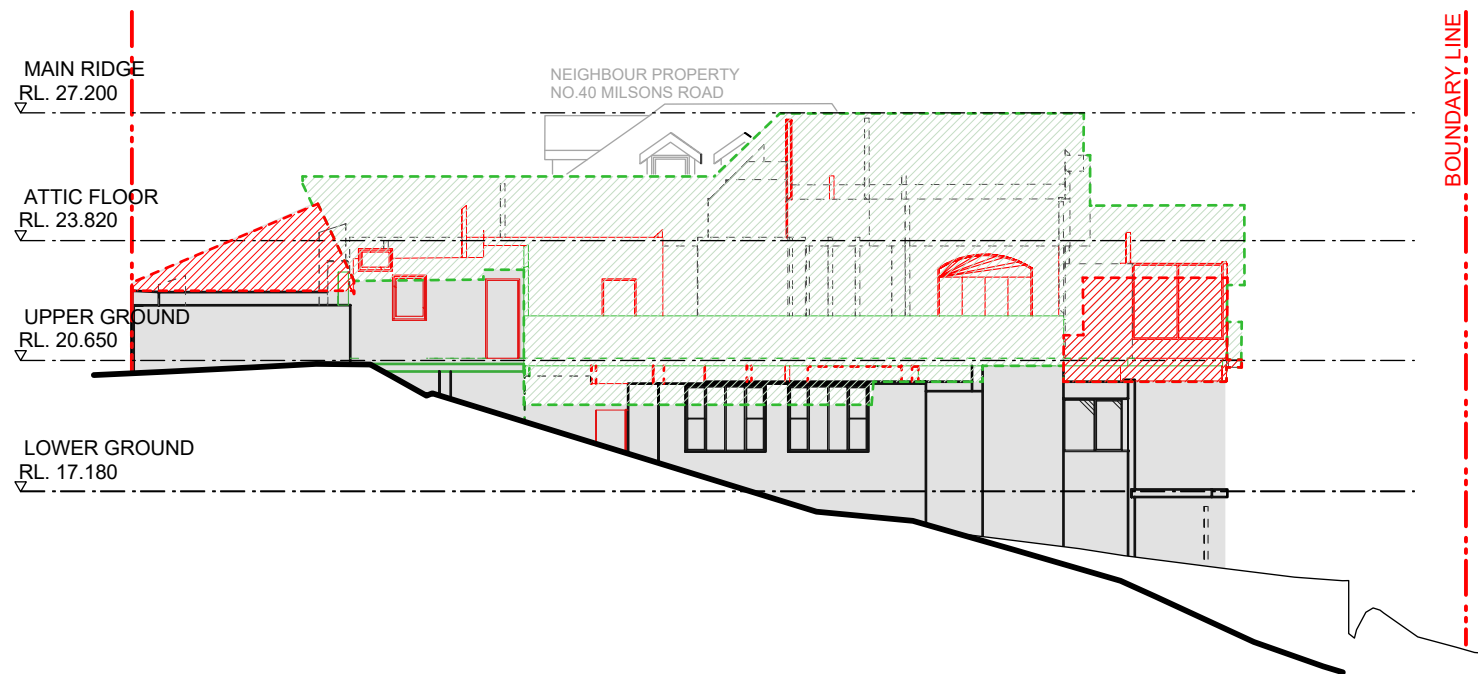


01 EXISTING EAST ELEVATION
scale 1:200

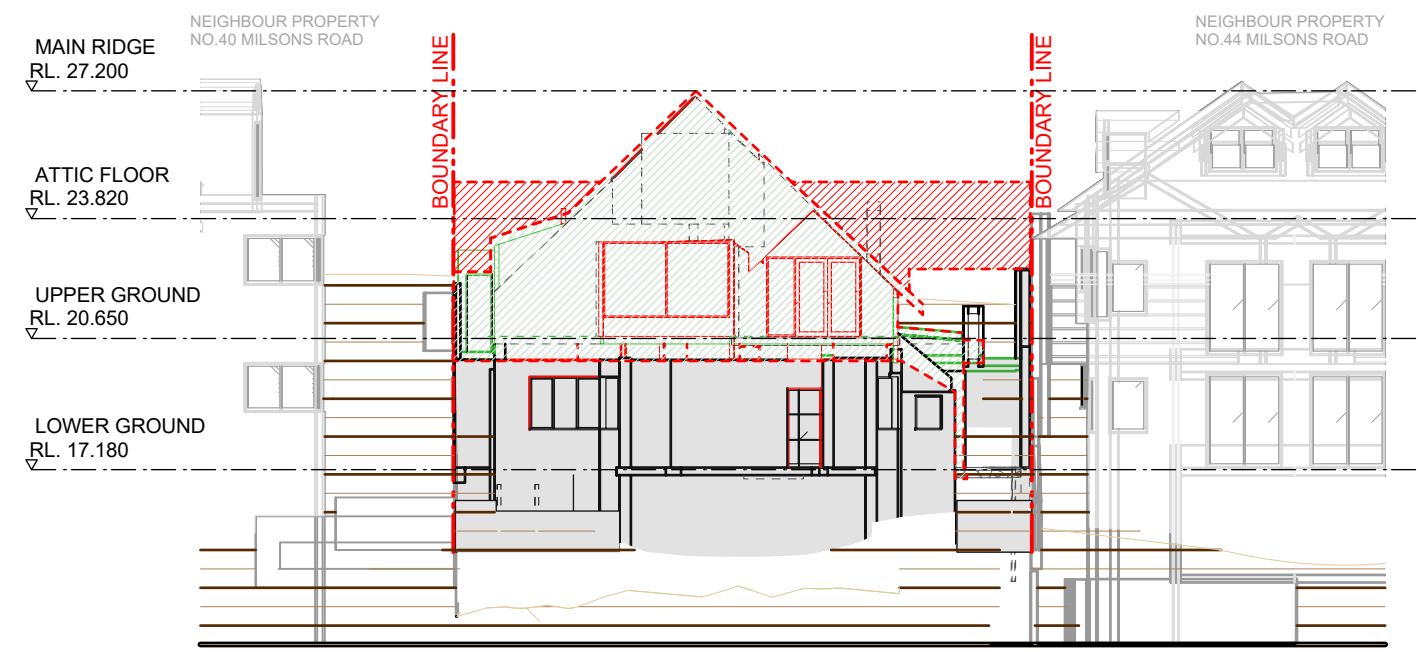


02 EXISTING NORTH ELEVATION
scale 1:200


LEGEND:
 REPLACE EXISTING
 DEMOLITION



03 EXISTING WEST ELEVATION
scale 1:200



04 EXISTING SOUTH ELEVATION
scale 1:200

Scale at A3 1:200

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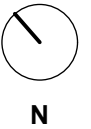
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
 Drawing Title
DEMOLITION ELEVATIONS

DEVELOPMENT APPLICATION

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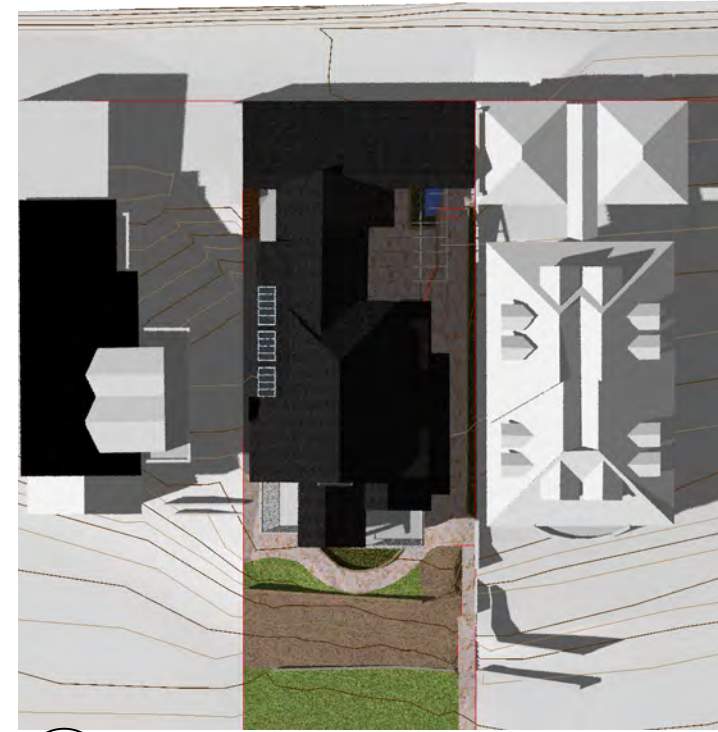
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 Project Number
22-0711
 Drawing Number
DA-A-053
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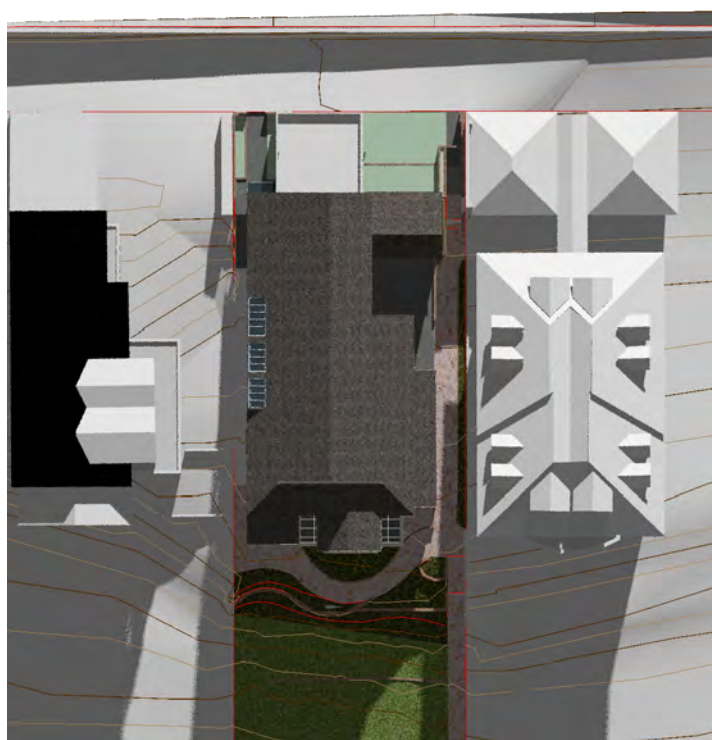
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scale 1:500



02 EXISTING - MARCH 21ST 12PM
scale 1:500



03 EXISTING - MARCH 21ST 3PM
scale 1:500



04 PROPOSED - MARCH 21ST 9AM
scale 1:500



05 PROPOSED - MARCH 21ST 12PM
scale 1:500



06 PROPOSED - MARCH 21ST 3PM
scale 1:500

Scale at A3 1:500
0m 5m 10m 20m
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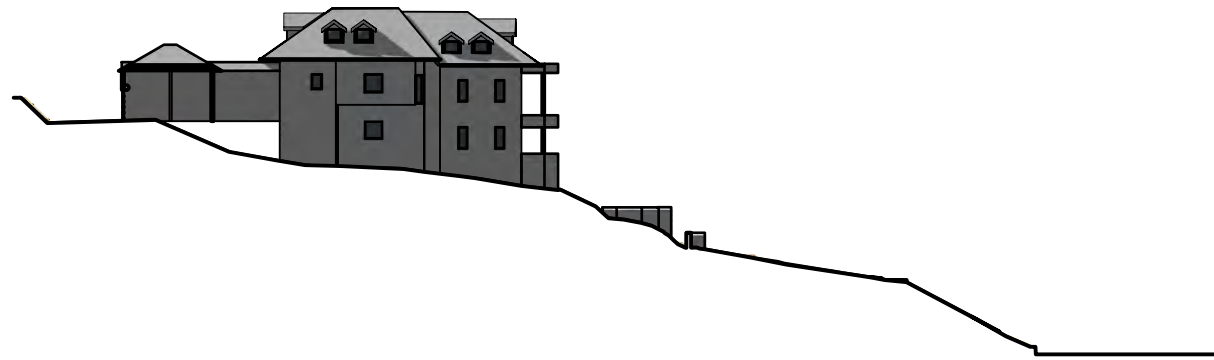
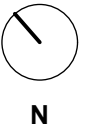
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ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST MARCH - PLANS

DEVELOPMENT APPLICATION

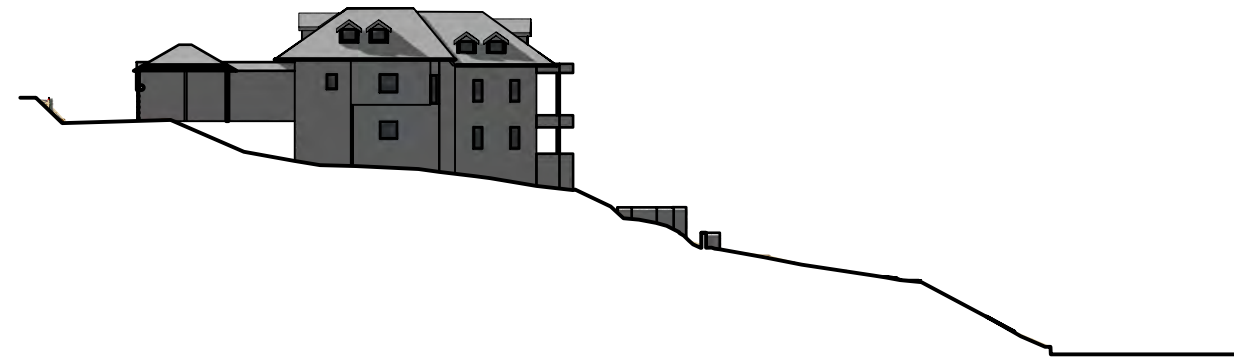
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DA-A-070
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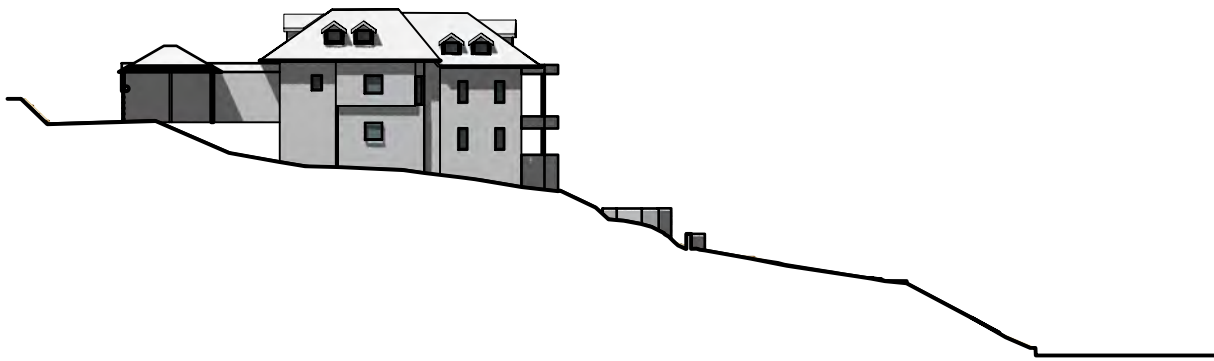
40 MILSONS ROAD - CREMORNE POINT



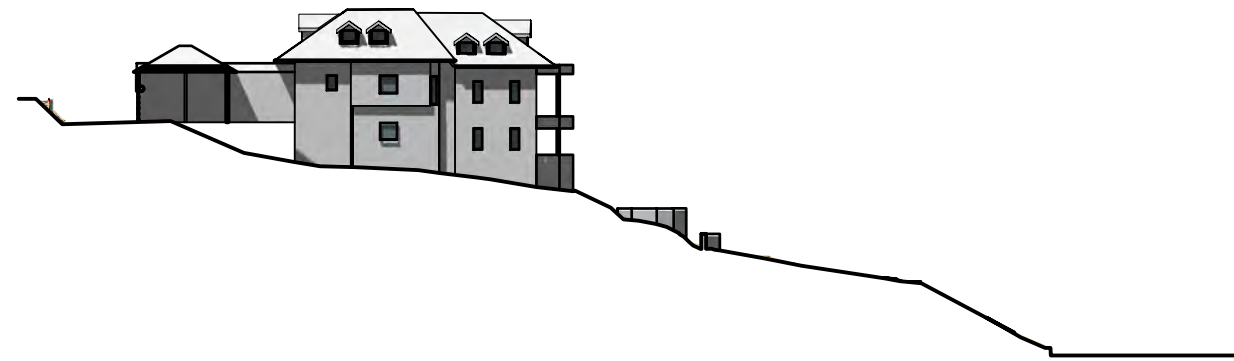
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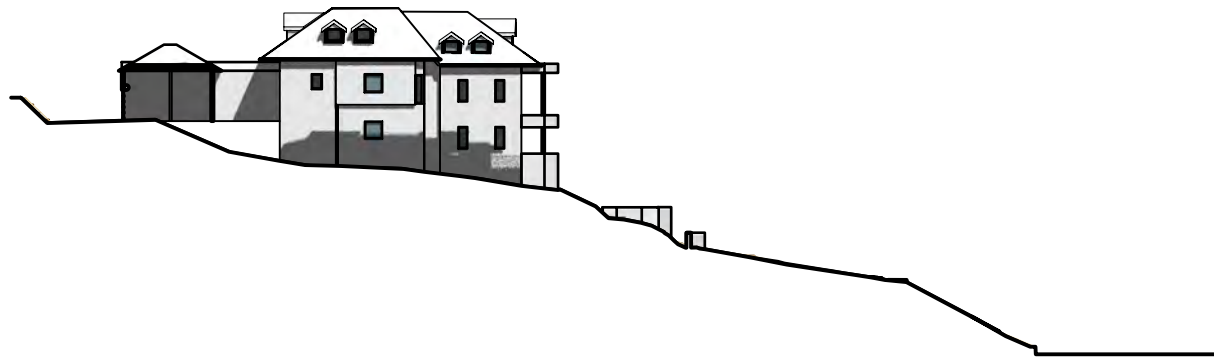
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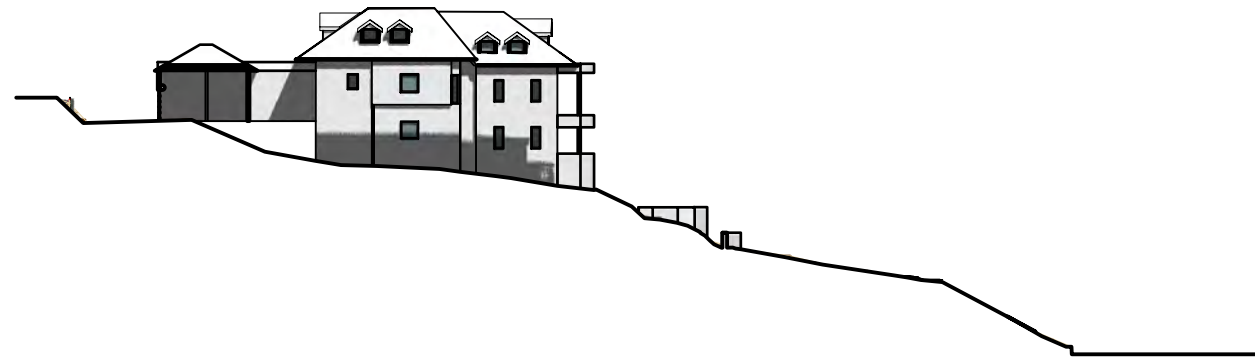
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scale 1:500



05 PROPOSED - MARCH 21ST 12PM
scale 1:500



03 EXISTING - MARCH 21ST 3PM
scale 1:500



06 PROPOSED - MARCH 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

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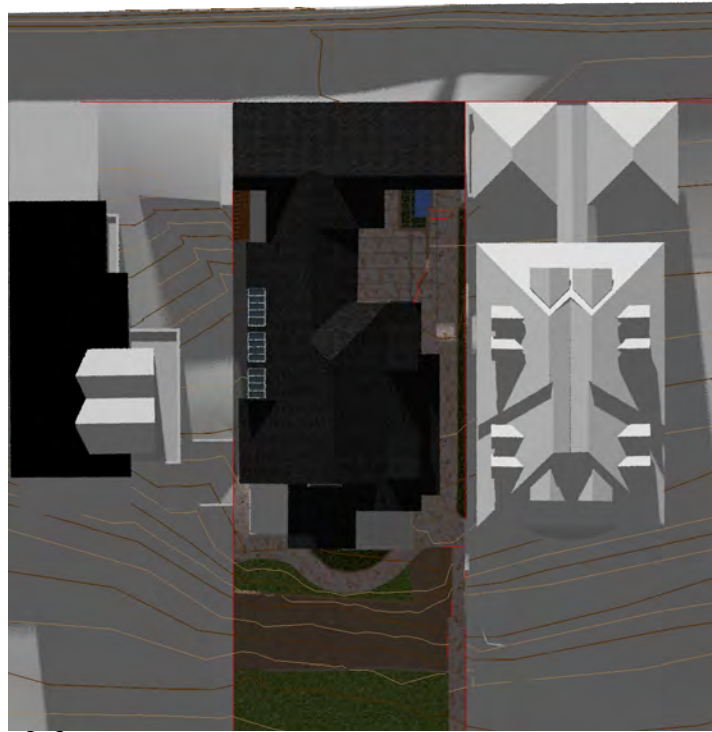
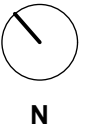
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42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST MARCH - ELEVATIONS

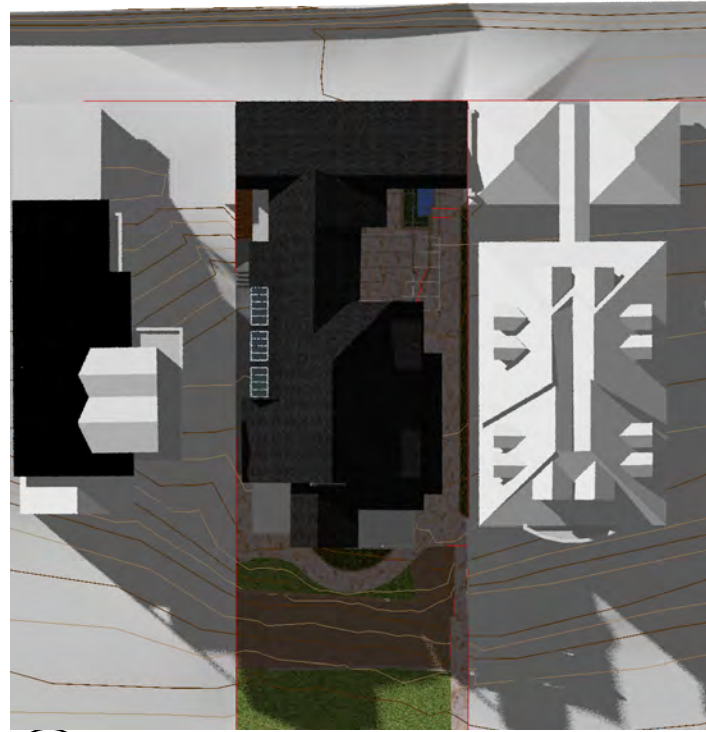
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DEVELOPMENT APPLICATION

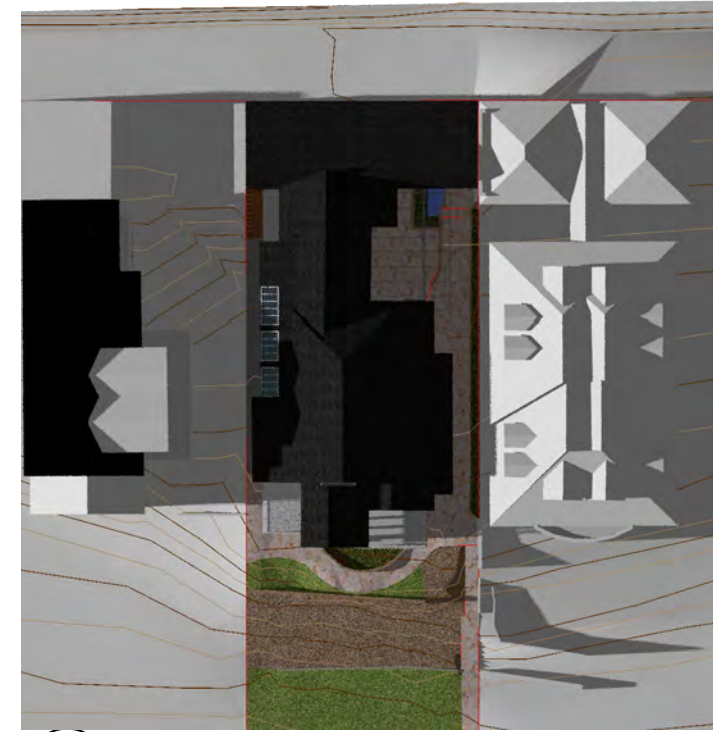
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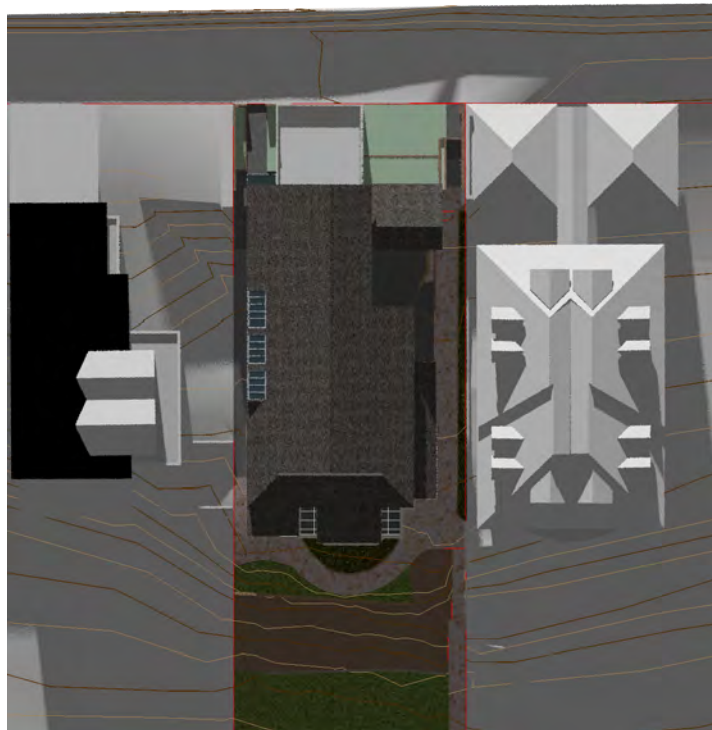
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scale 1:500



02 EXISTING - JUNE 21ST 12PM
scale 1:500



03 EXISTING - JUNE 21ST 3PM
scale 1:500



04 PROPOSED - JUNE 21ST 9AM
scale 1:500



05 PROPOSED - JUNE 21ST 12PM
scale 1:500



06 PROPOSED - JUNE 21ST 3PM
scale 1:500

Scale at A3 1:500
0m 5m 10m 20m
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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Notes

Rev. No.	Date	Revision	Auth'd
D	30/5/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP
H	3/4/24	DA UPDATE	FP
I	22/4/24	DA UPDATE	FP
J	13/6/24	DA UPDATE	FP
K	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST JUNE - PLANS

Drawn By
FP

Checked By
PH

No Sheets

Project Number
22-0711

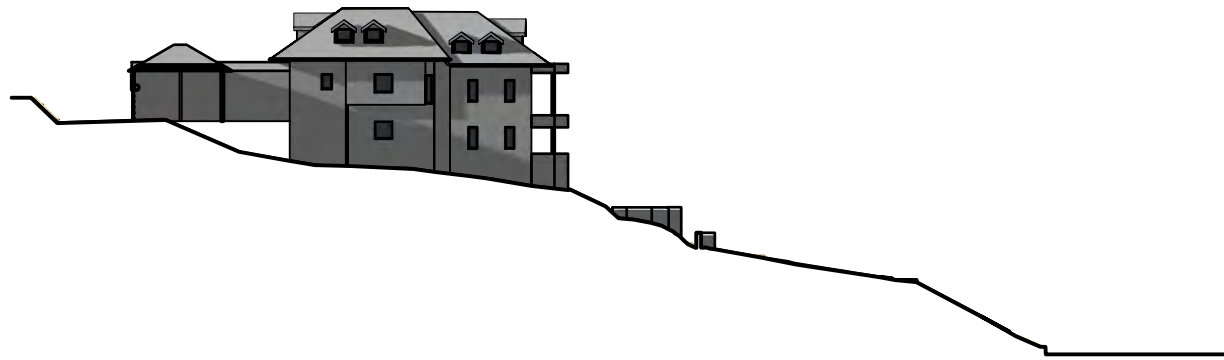
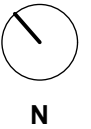
Drawing Number
DA-A-072

Rev
K

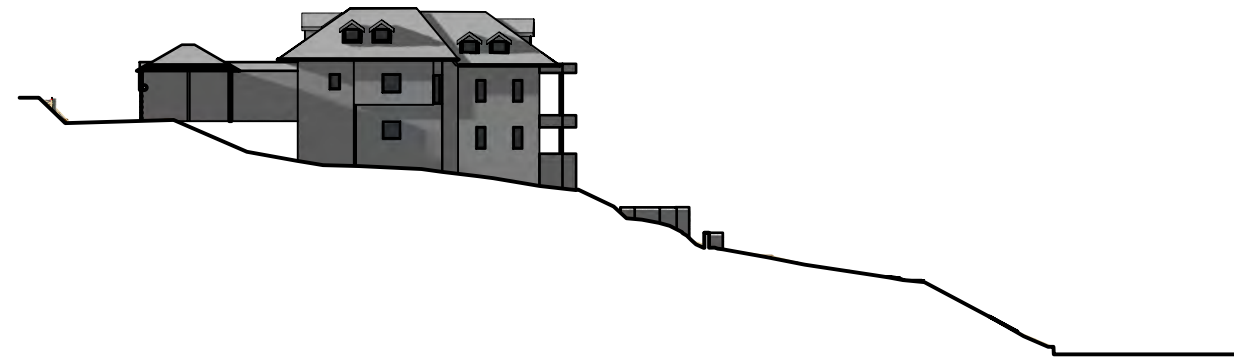
DEVELOPMENT APPLICATION

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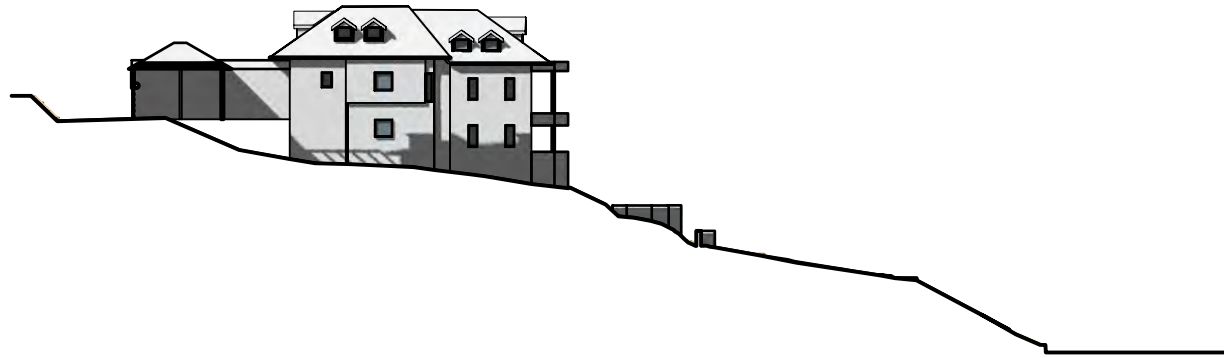
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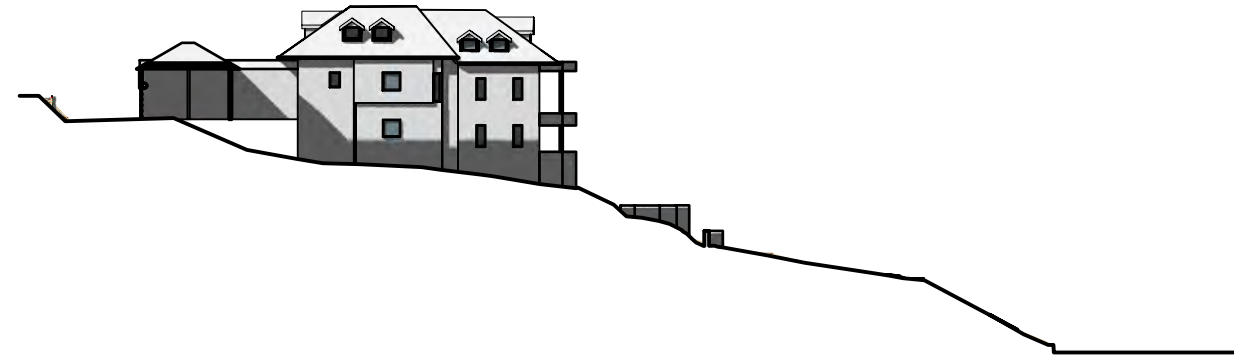
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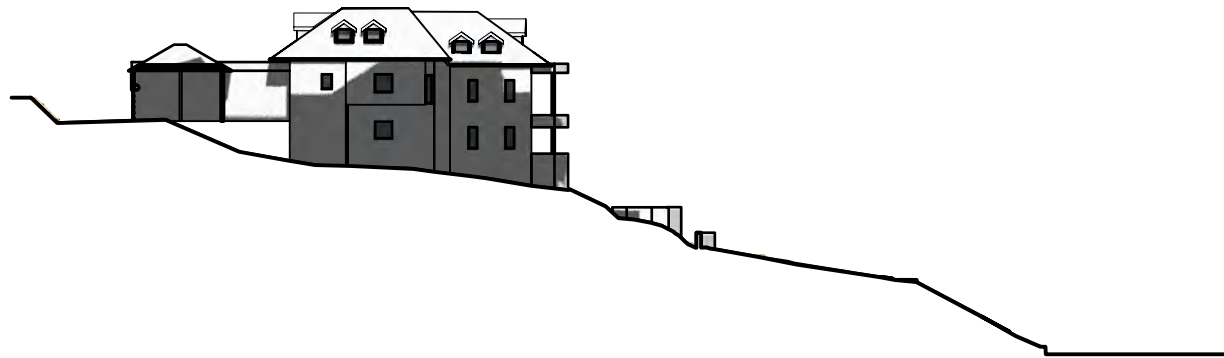
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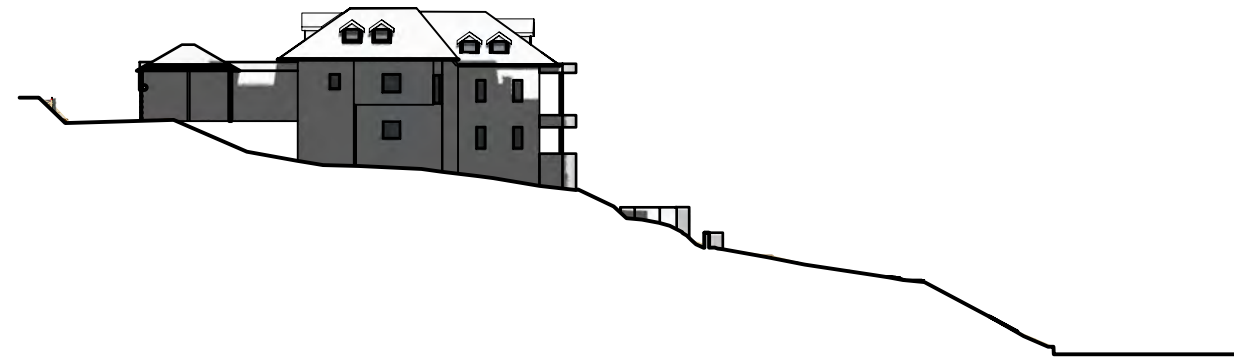
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scale 1:500



05 PROPOSED - JUNE 21ST 12PM
scale 1:500



03 EXISTING - JUNE 21ST 3PM
scale 1:500



06 PROPOSED - JUNE 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

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Tim Zuber

Notes

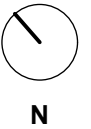
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E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP
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J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST JUNE - ELEVATIONS

Drawn By
FP
Checked By
PH
No Sheets
0
Project Number
22-0711
Drawing Number
DA-A-073
Rev
L

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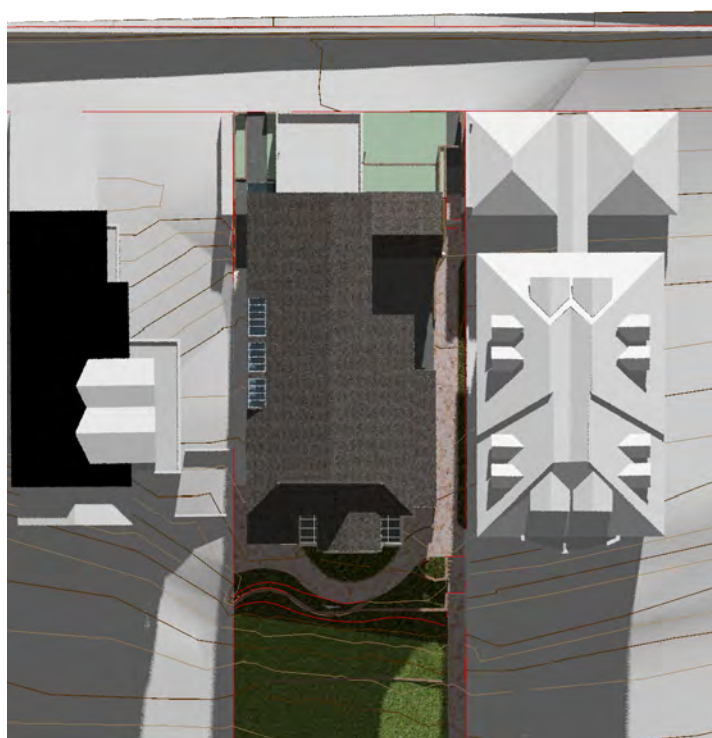
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02 EXISTING - SEPTEMBER 21ST 12PM
scale 1:500



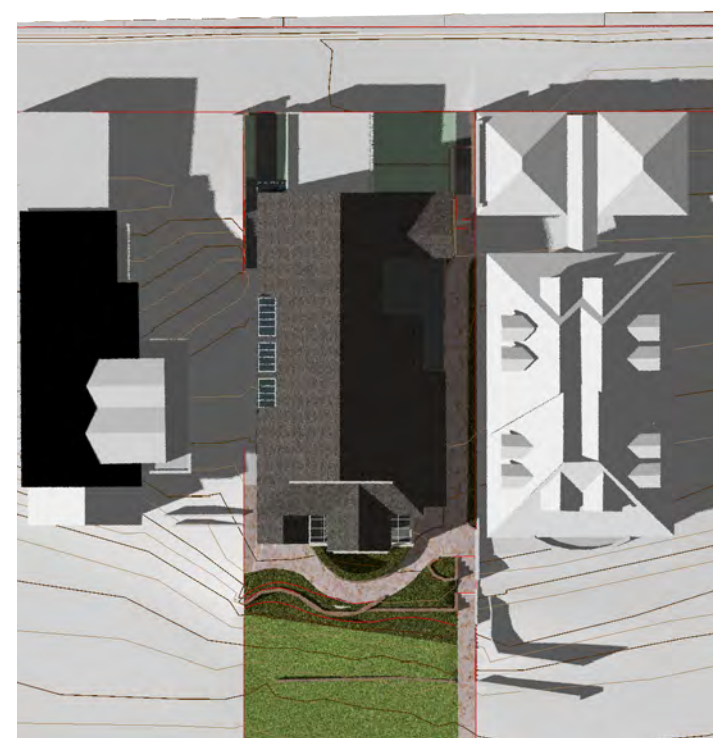
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04 PROPOSED - SEPTEMBER 21ST 9AM
scale 1:500



05 PROPOSED - SEPTEMBER 21ST 12PM
scale 1:500



06 PROPOSED - SEPTEMBER 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 2m 4m 6m 8m 10m
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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K	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST SEPTEMBER - PLANS

Drawn By
FP

Checked By
PH

No Sheets

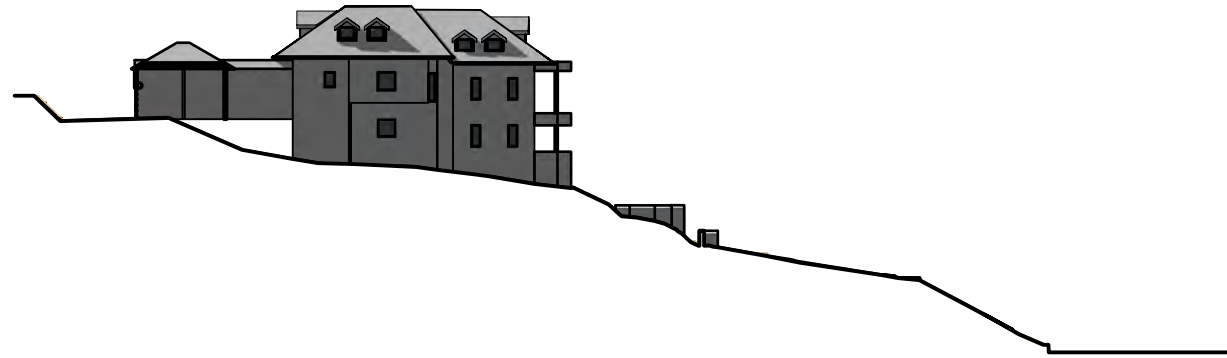
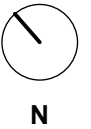
Project Number
22-0711

Drawing Number
DA-A-074

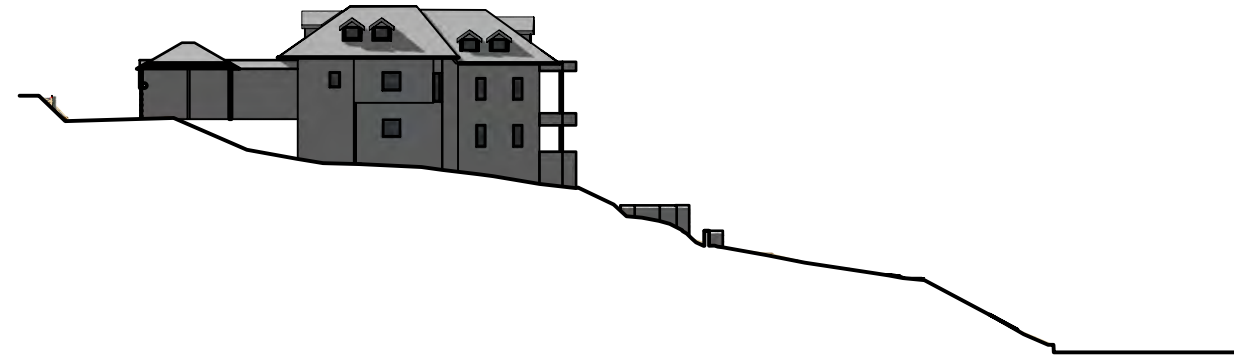
Rev
K

DEVELOPMENT APPLICATION
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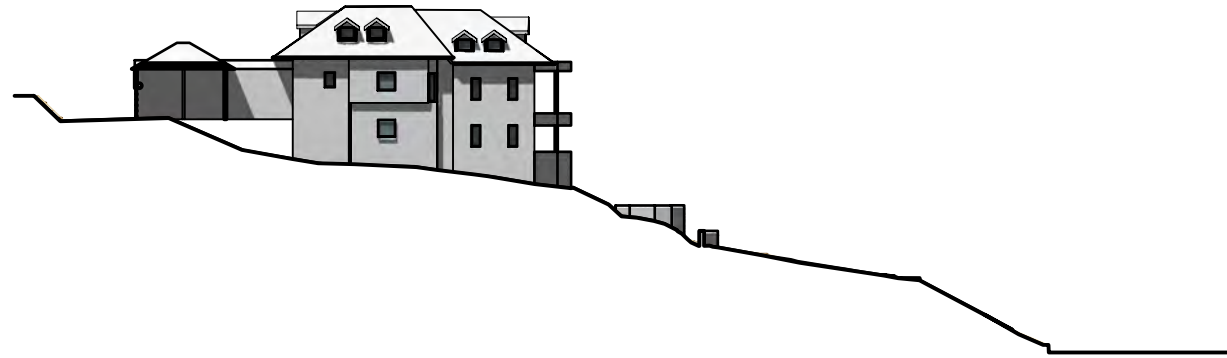
40 MILSONS ROAD - CREMORNE POINT



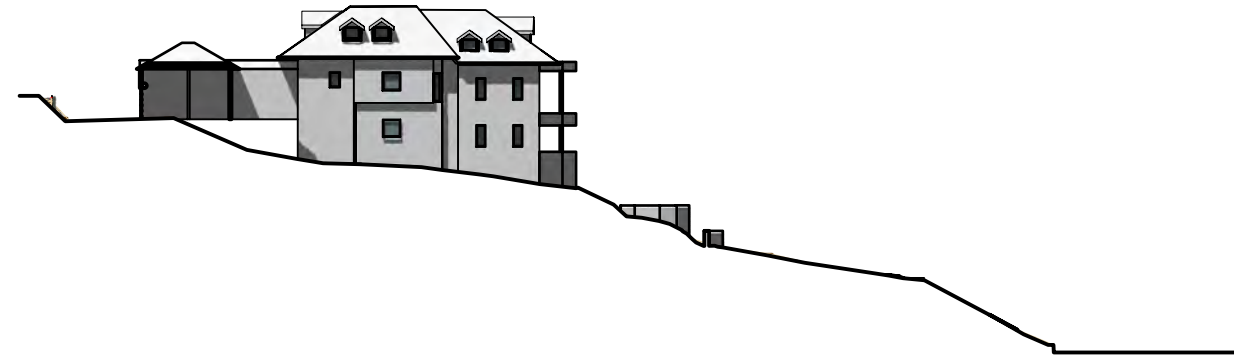
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scale 1:500



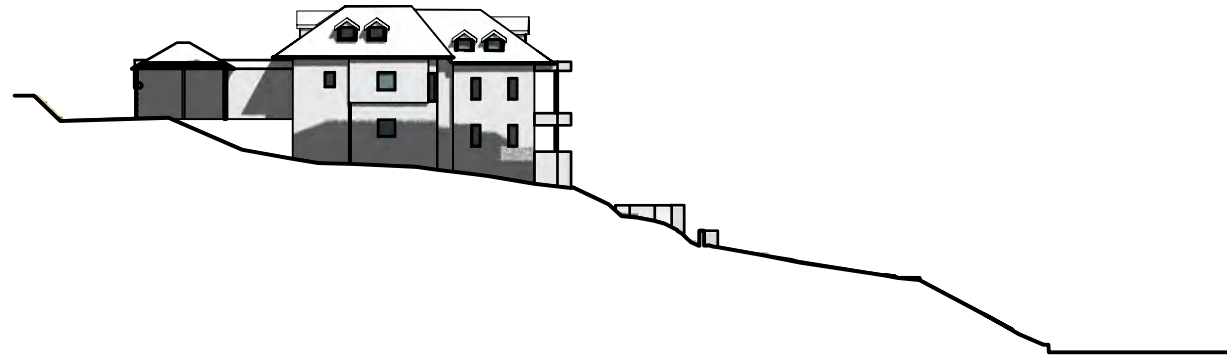
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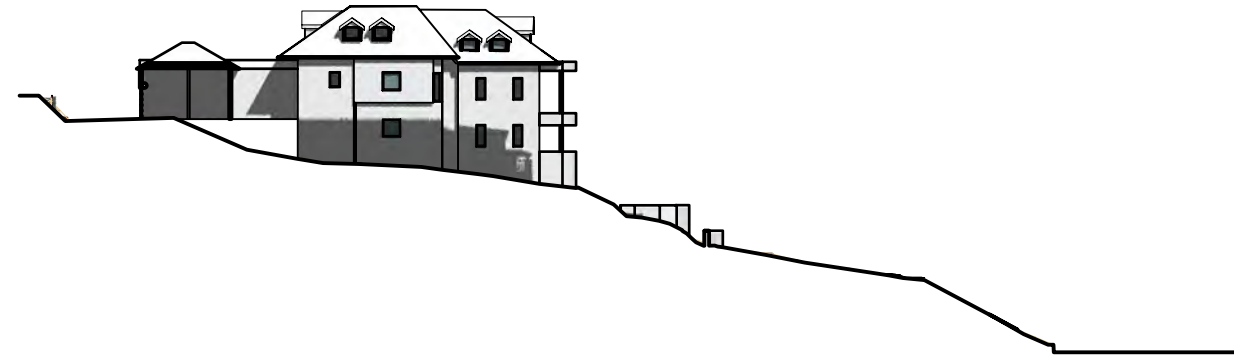
02 EXISTING - SEPTEMBER 21ST 12PM
scale 1:500



05 PROPOSED - SEPTEMBER 21ST 12PM
scale 1:500



03 EXISTING - SEPTEMBER 21ST 3PM
scale 1:500



06 PROPOSED - SEPTEMBER 21ST 3PM
scale 1:500

Scale at A3 1:200
0m 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

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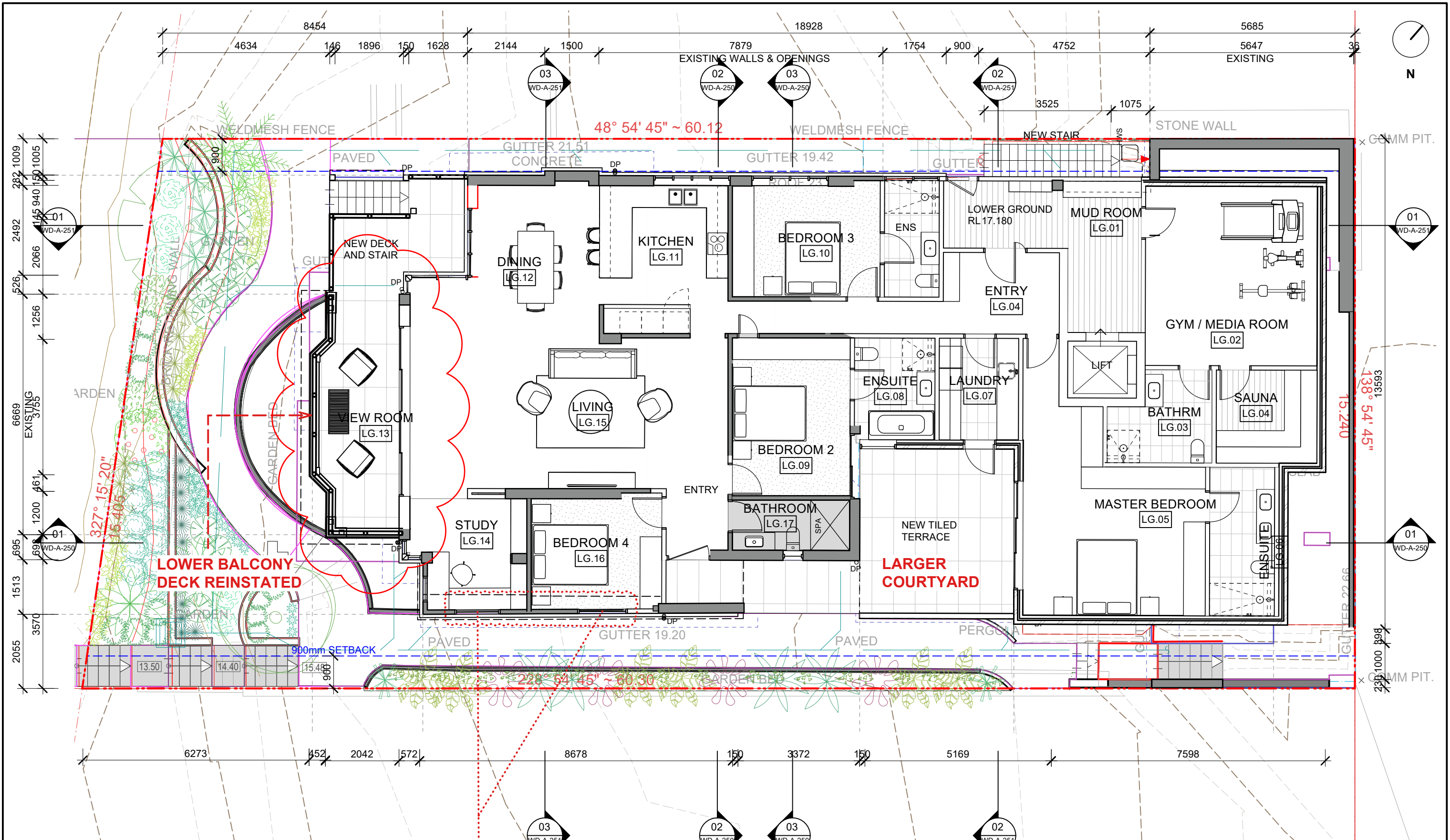
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D	30/5/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
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H	3/4/24	DA UPDATE	FP
I	22/4/24	DA UPDATE	FP
J	13/6/24	DA UPDATE	FP
K	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SHADOW DIAGRAMS
21ST SEPTEMBER - ELEVATIONS

Drawn By
FP
Checked By
PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-075
Rev
K

DEVELOPMENT APPLICATION

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01 PROPOSED LOWER GROUND FLOOR PLAN
scale 1:100

Scale at A3 1:100
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

RETAIN EXISTING LEADLIGHT WINDOWS

DEVELOPMENT APPLICATION

Client
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Registered Architect - 2384
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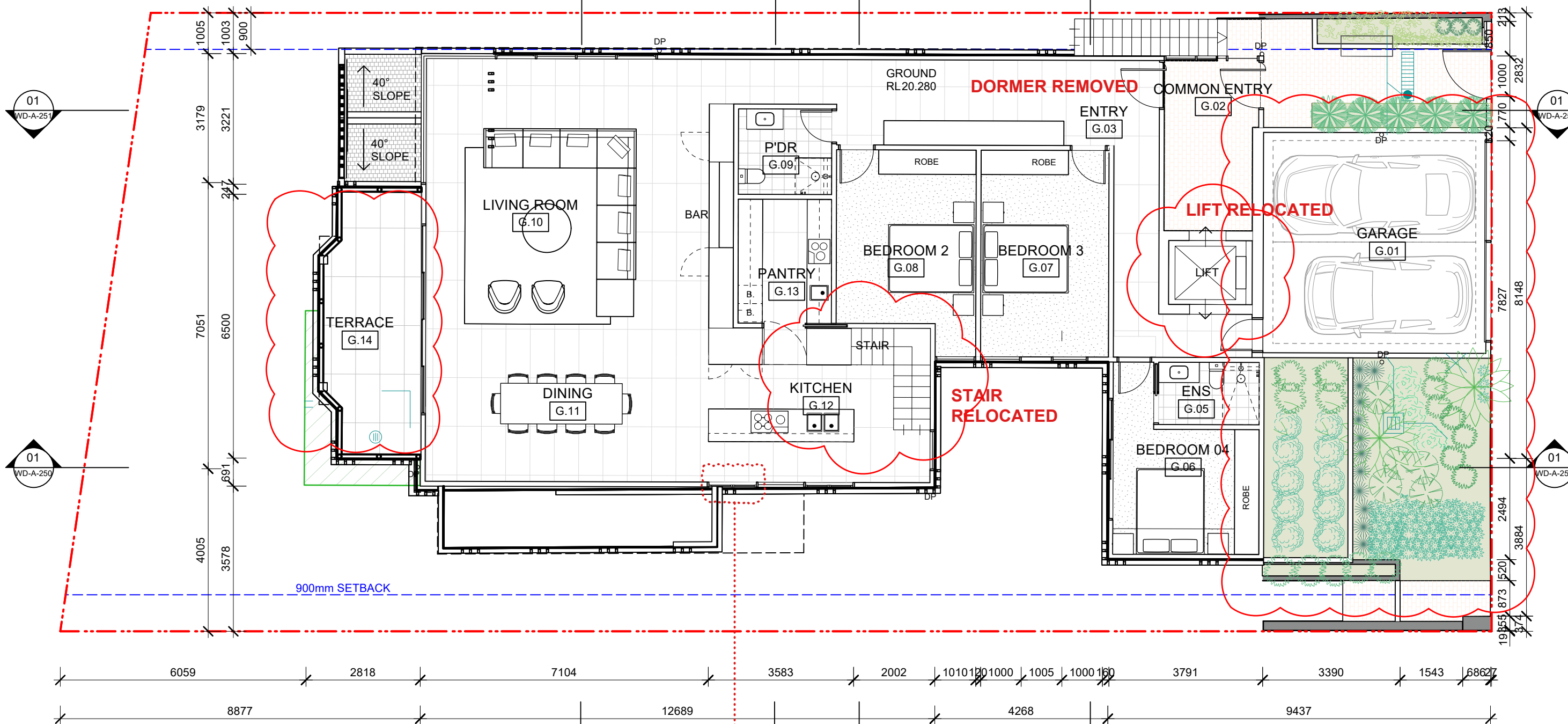
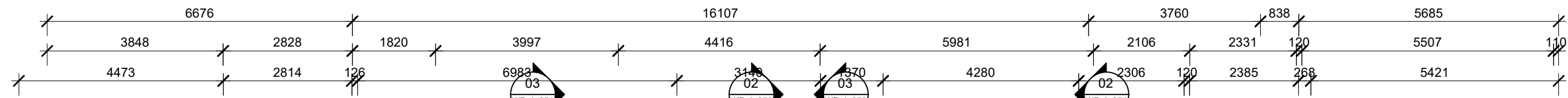
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Rev. No.	Date	Revision	Auth'd
H	14/8/23	DA ISSUE	FP
I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED PLANS
LOWER GROUND FLOOR

Drawn By PH
Checked By PH
Project Number 22-0711
Drawing Number DA-A-100
Rev L

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900mm SETBACK

NOTE: THE INTERIOR WAINSCOTTING AND BATTENED CEILINGS ARE TO BE RETAINED WHERE POSSIBLE

RETAIN EXISTING LEADLIGHT WINDOW

01 PROPOSED UPPER GROUND FLOOR
scale 1:100

Scale at A3 1:100
0m 500 1m
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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Notes

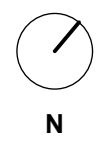
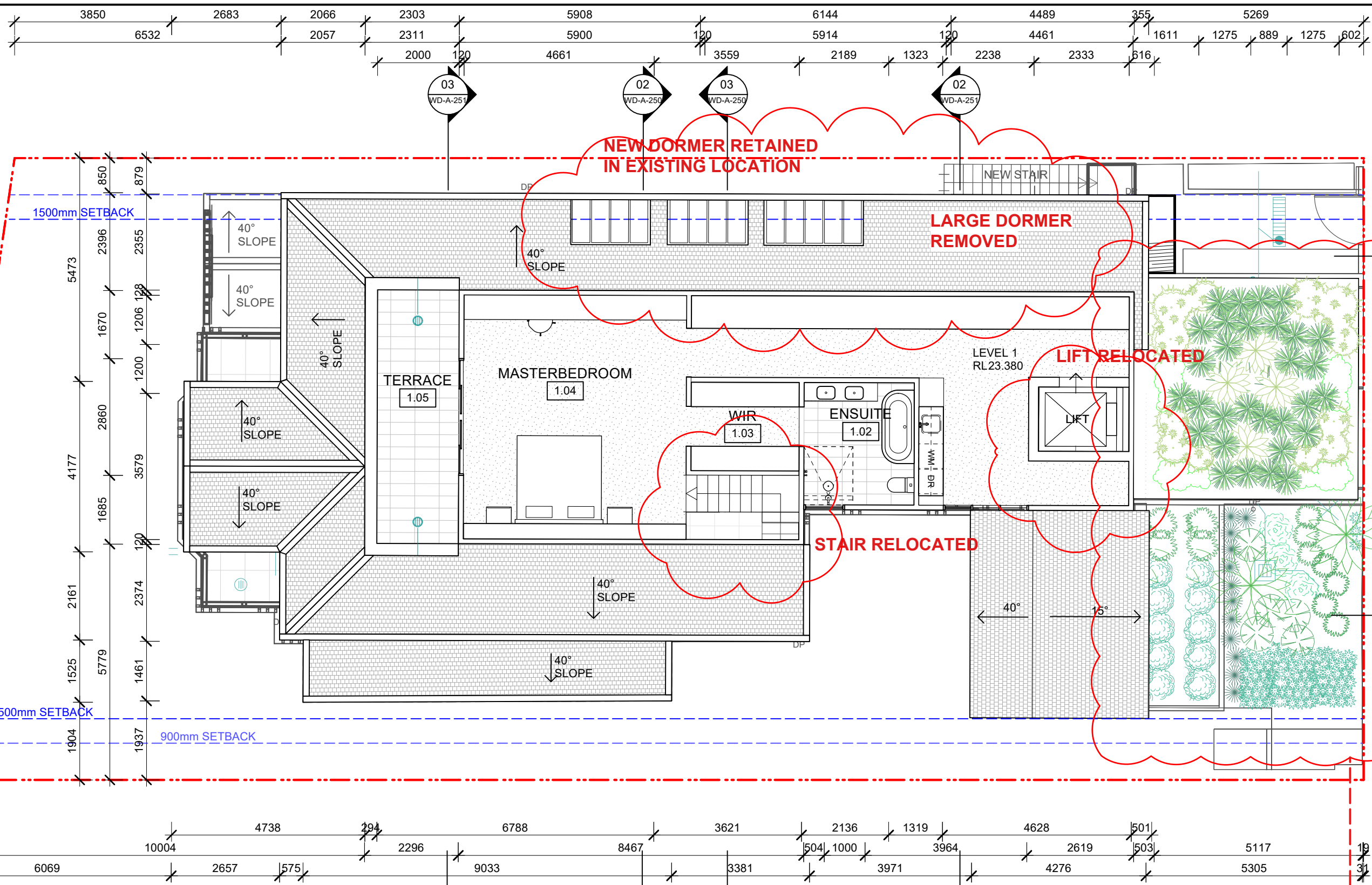
Rev. No.	Date	Revision	Auth'd
H	14/8/23	DA ISSUE	FP
I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED PLANS
GROUND FLOOR

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Project Number
22-0711
Drawing Number
DA-A-101
Rev
L



01 PROPOSED ATTIC FLOOR PLAN
scale 1:100

Scale at A3 1:100
0m 500 1m
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

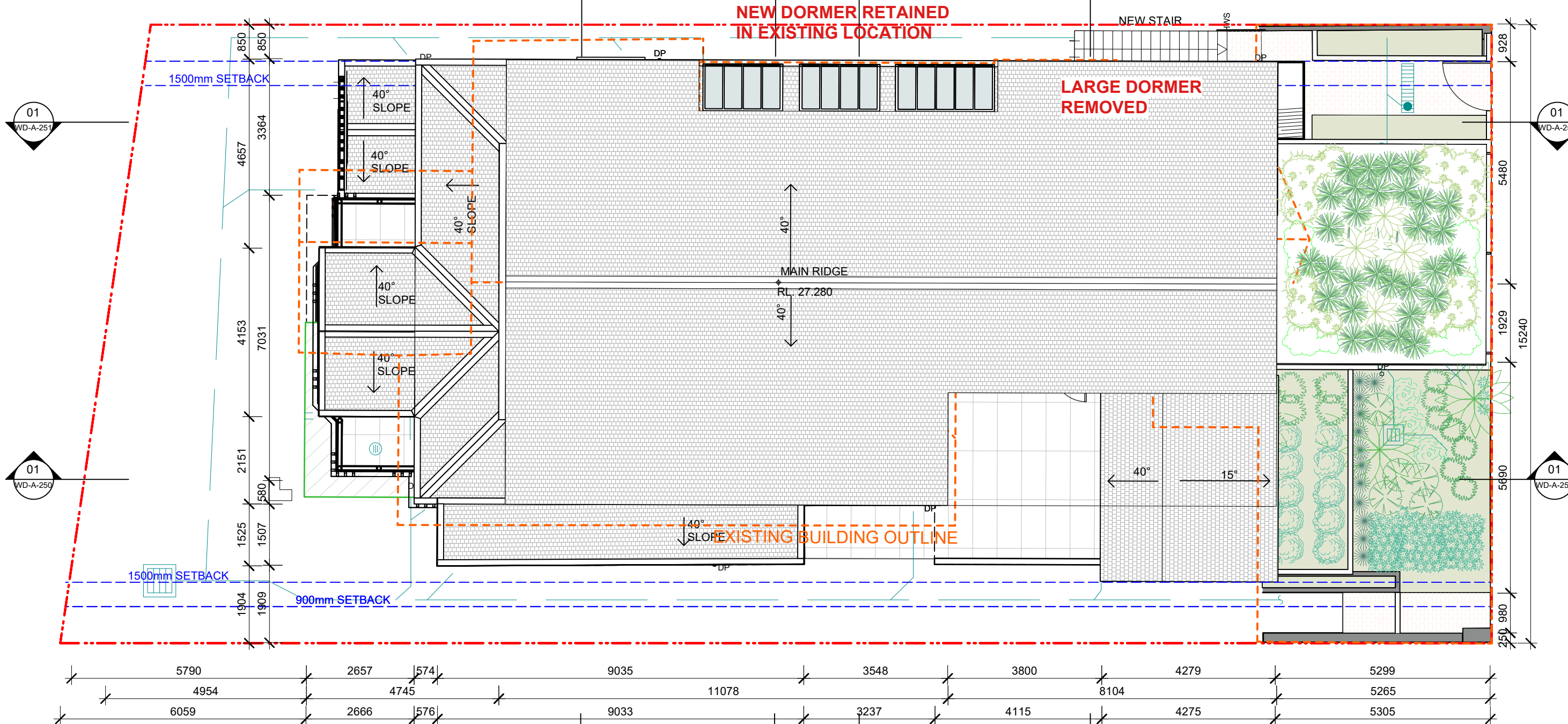
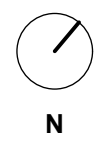
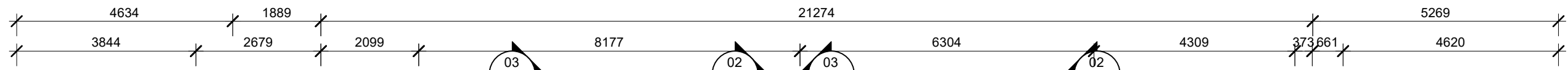
Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED PLANS
LEVEL 1 FLOOR

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PH
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Project Number
22-0711
Drawing Number
DA-A-102
Rev
L

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INCREASED DEEP SOIL LANDSCAPE AND REDUCED BUILDING SITE COVERAGE BY FURTHER REDUCING EXISTING CARPORT



01 PROPOSED ROOF PLAN
scale 1:100

Scale at A3 1:100
 0m 500m 1m
 Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

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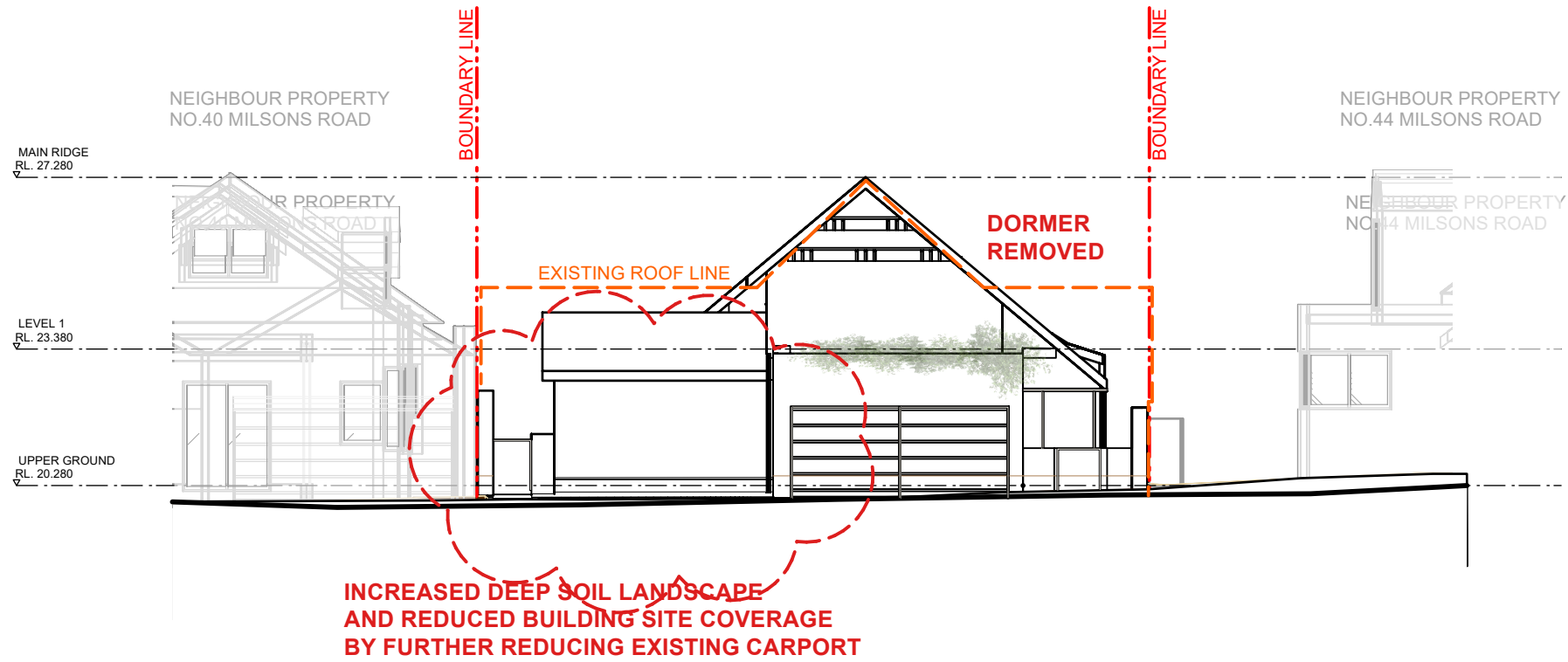
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F	7/8/23	DA APPLICATION	FP
G	11/8/23	STORWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP
I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
 Drawing Title
PROPOSED PLANS
ROOF

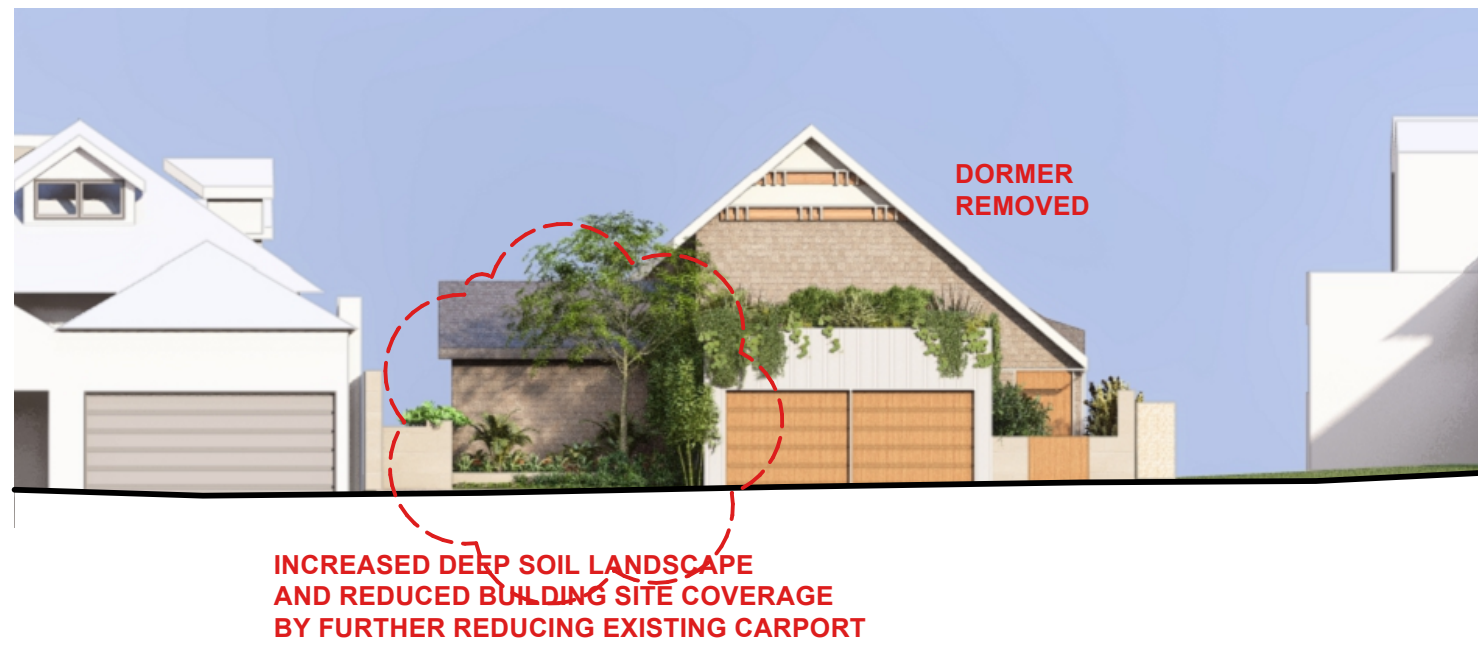
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PH
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 Project Number
22-0711
 Drawing Number
DA-A-103
 Rev
L



01 PROPOSED NORTH ELEVATION
scale 1:150



Notes

Rev. No.	Date	Revision	Auth'd
A	17/11/22	PRELIMINARY ISSUE	FP
B	8/12/22	COLUMNS UPDATE	FP
C	23/3/23	DESIGN UPDATE	FP
D	30/6/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	11/8/23	STORWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP
I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS**
Duplex - Class 2
42 Milson Rd, Cremorne Point

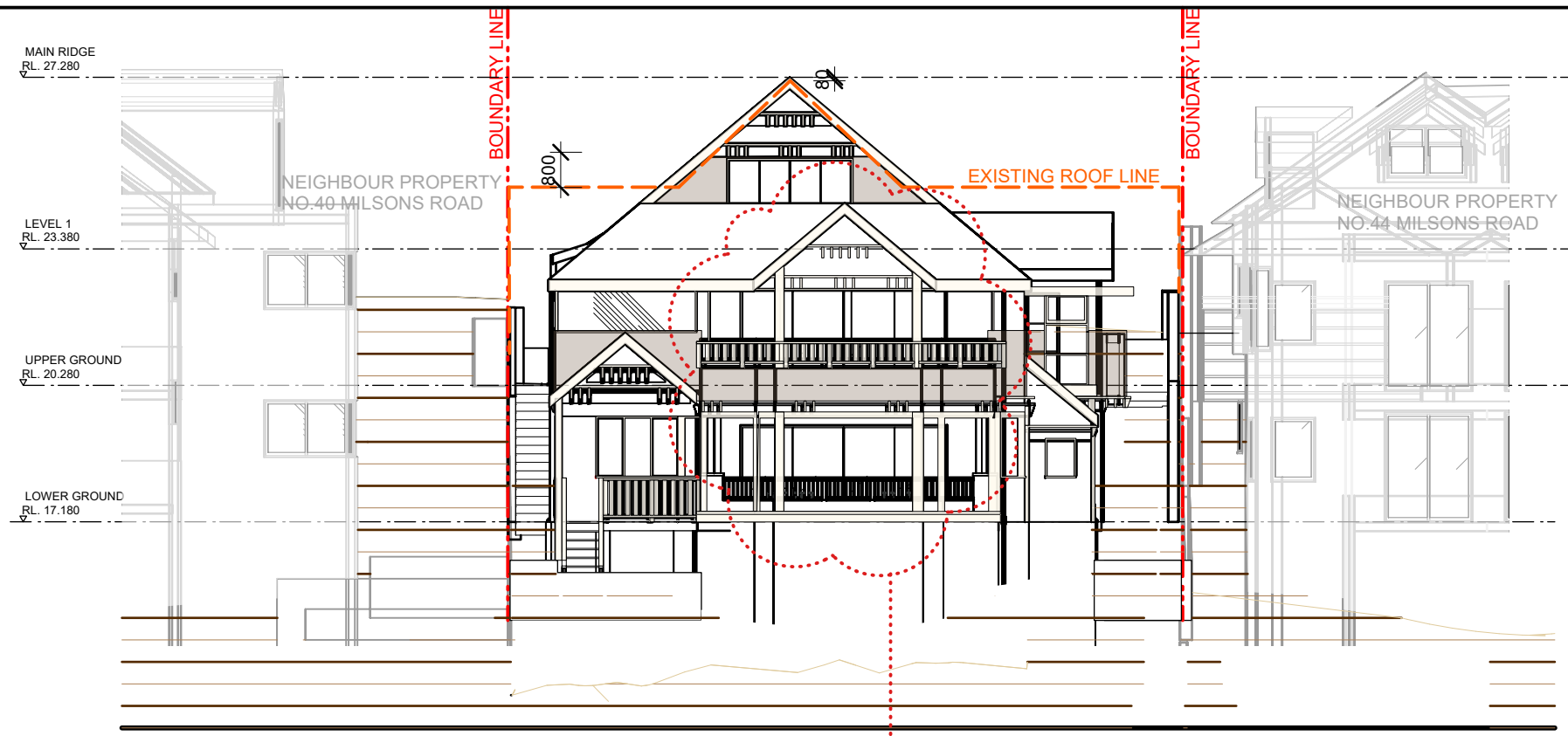
Drawing Title
PROPOSED NORTH ELEVATION

Scale at A3 1:150
 Dim 0.5 1 2.5 6.0
 Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By	Checked By	No Sheets
FP	PH	
Project Number	Drawing Number	Rev
22-0711	DA-A-200	L

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 APPLICATION**

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01 PROPOSED SOUTH ELEVATION
scale 1:150

REVISED FACADE TO ALIGN WITH LOWER GROUND
ROOF PROFILE MODIFIED WITH POSTS ADDED
AND LOWER BALCONY DECK REINSTATED



Notes

Rev. No.	Date	Revision	Auth'd
A	17/11/22	PRELIMINARY ISSUE	FP
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C	23/3/23	DESIGN UPDATE	FP
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K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS
 Duplex - Class 2
 42 Milson Rd, Cremorne Point**

Drawing Title
PROPOSED SOUTH ELEVATION

Scale at A3 1:150
 Dim 0.5 1 2.5 6.0

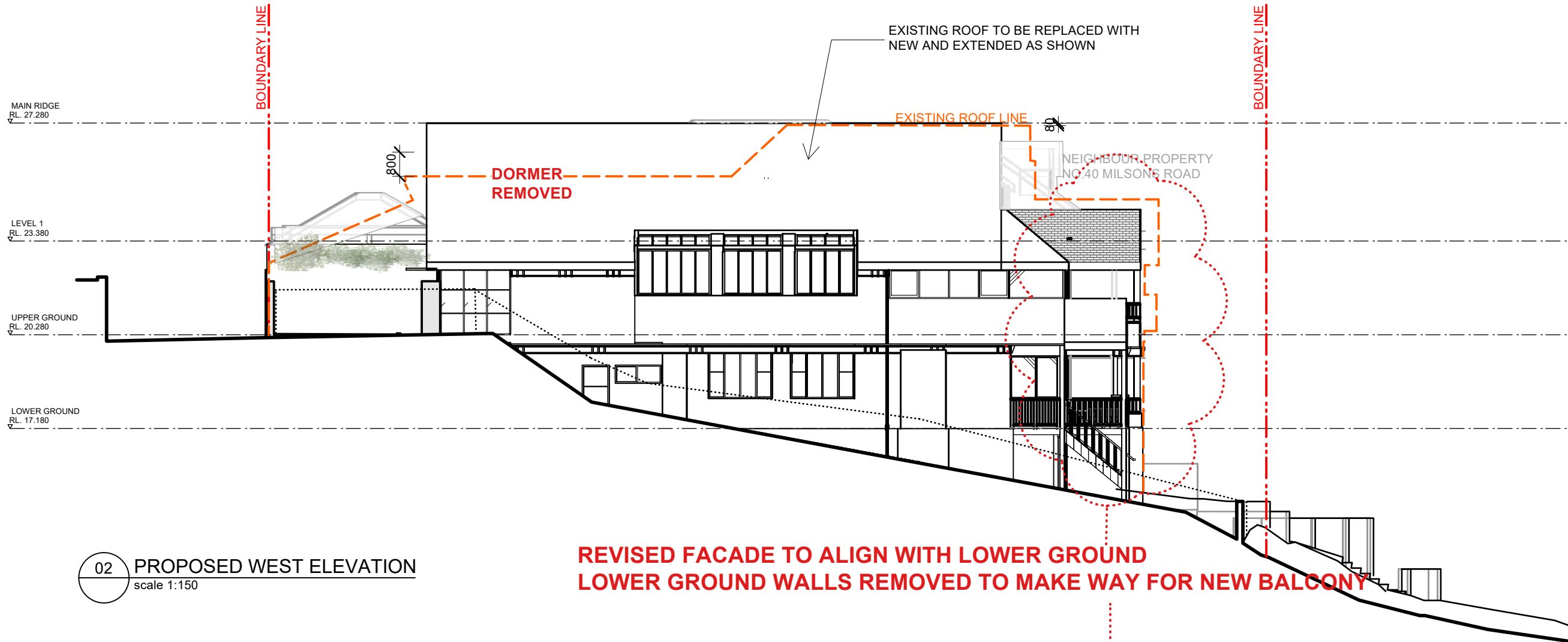
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By Checked By No Sheets
FP PH

Project Number Drawing Number Rev
22-0711 DA-A-201 L

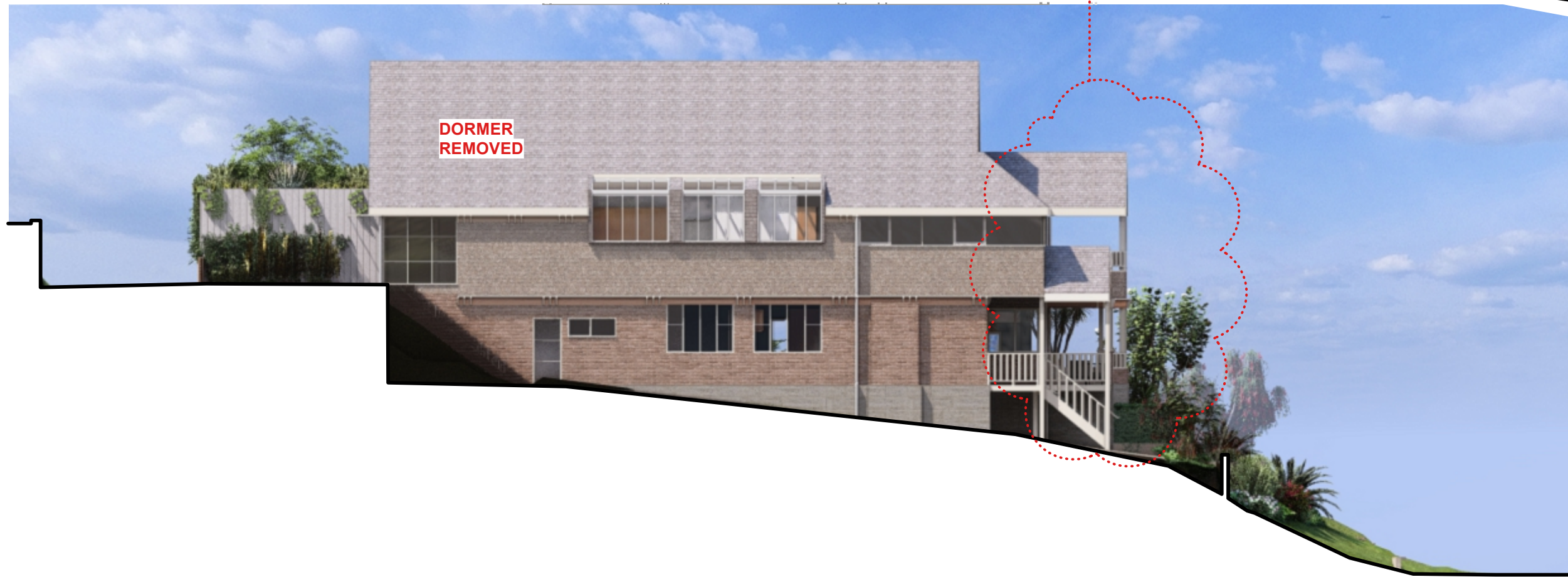
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 APPLICATION**

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02 PROPOSED WEST ELEVATION
scale 1:150

**REVISED FACADE TO ALIGN WITH LOWER GROUND
LOWER GROUND WALLS REMOVED TO MAKE WAY FOR NEW BALCONY**



Notes

Rev. No.	Date	Revision	Auth'd
A	17/11/22	PRELIMINARY ISSUE	FP
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C	23/3/23	DESIGN UPDATE	FP
D	30/5/23	DESIGN UPDATE	PJH
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F	7/8/23	DA APPLICATION	FP
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K	13/6/24	DA UPDATE	FP
L	17/9/24	DA UPDATE	PJH

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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS
 Duplex - Class 2
 42 Milson Rd, Cremorne Point**

Drawing Title
PROPOSED WEST ELEVATION

Scale at A3 1:150
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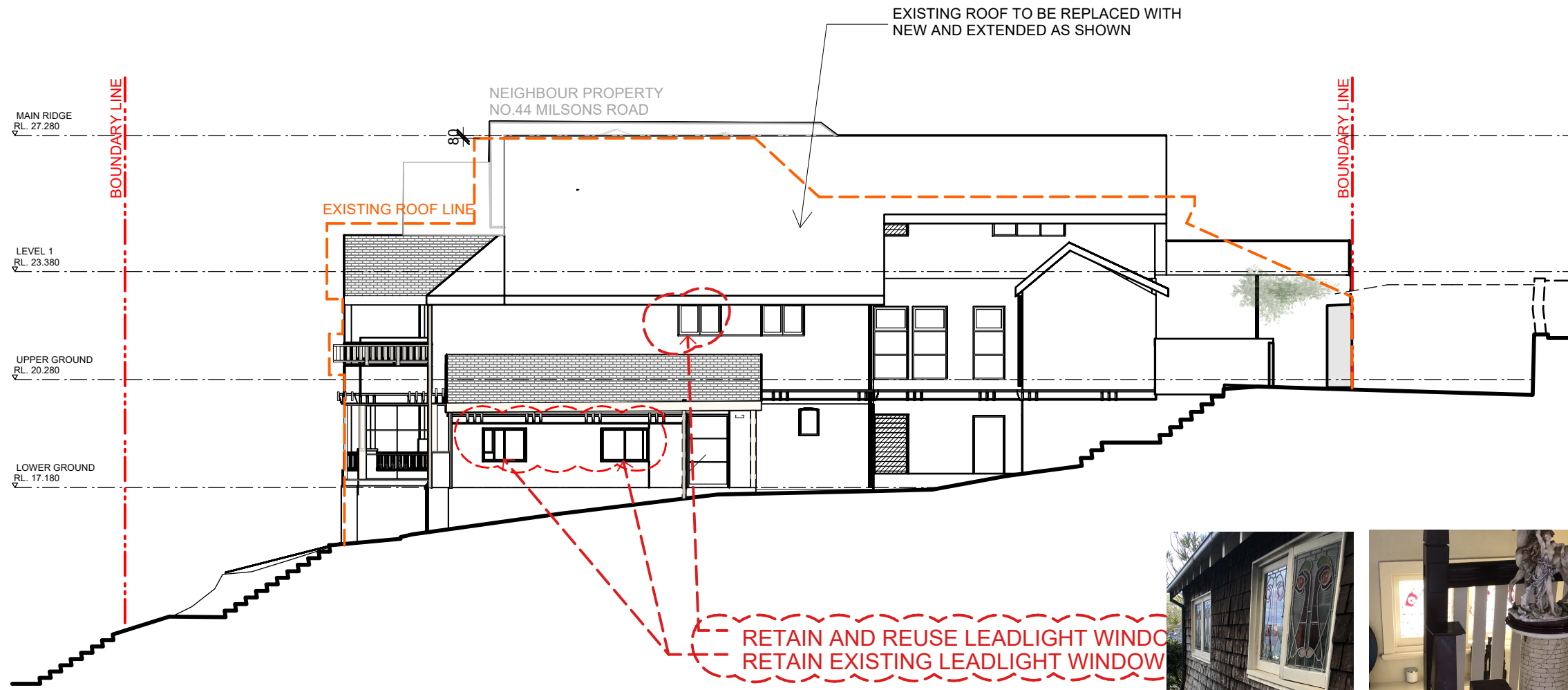
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Project Number: 22-0711 Drawing Number: DA-A-202 Rev: L

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 APPLICATION**

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02 PROPOSED EAST ELEVATION
scale 1:150



Notes

Rev. No.	Date	Revision	Auth'd
A	17/11/22	PRELIMINARY ISSUE	FP
B	8/12/22	COLUMNS UPDATE	FP
C	23/3/23	DESIGN UPDATE	FP
D	30/6/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	11/8/23	STORWATER REVIEW	FP
H	14/8/23	DA ISSUE	FP
I	3/4/24	DA UPDATE	FP
J	22/4/24	DA UPDATE	FP
K	13/6/24	DA UPDATE	FP
L	17/8/24	DA UPDATE	PJH

CLIENT
A & H SINGH



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Project
**ALTERATIONS AND BUILDING
 UPGRADE WORKS
 Duplex - Class 2
 42 Milson Rd, Cremorne Point**

Drawing Title
PROPOSED EAST ELEVATION

Scale at A3 1:150
 0m 0.5 1 2.5 6.0

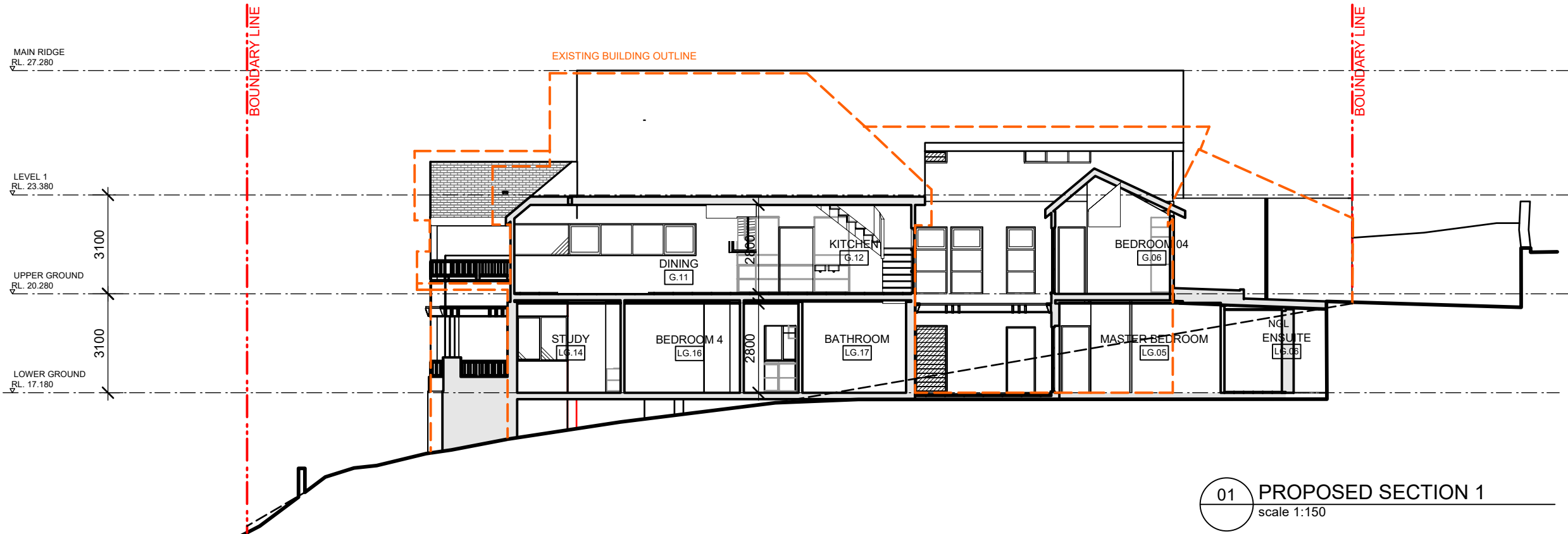
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By Checked By No Sheets
FP PH

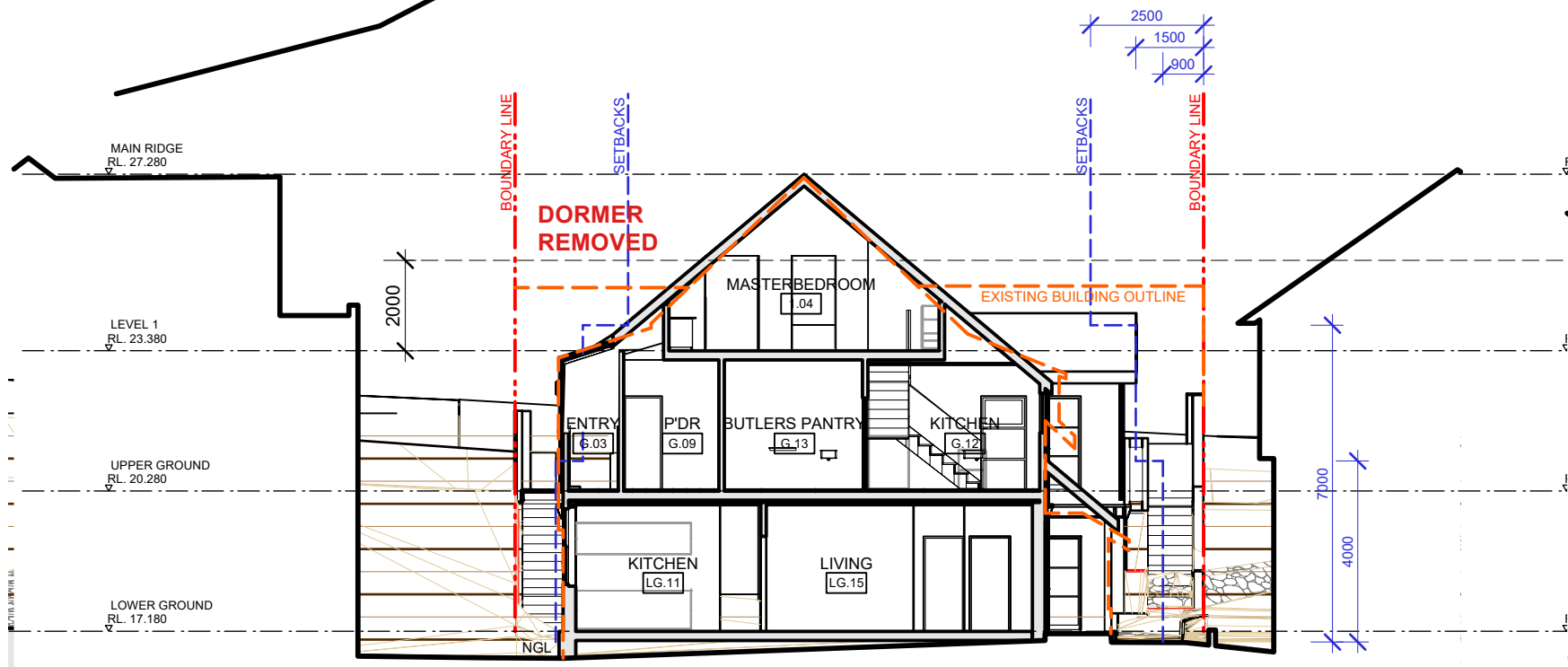
Project Number Drawing Number Rev
22-0711 DA-A-203 L

**DEVELOPMENT
 APPLICATION**

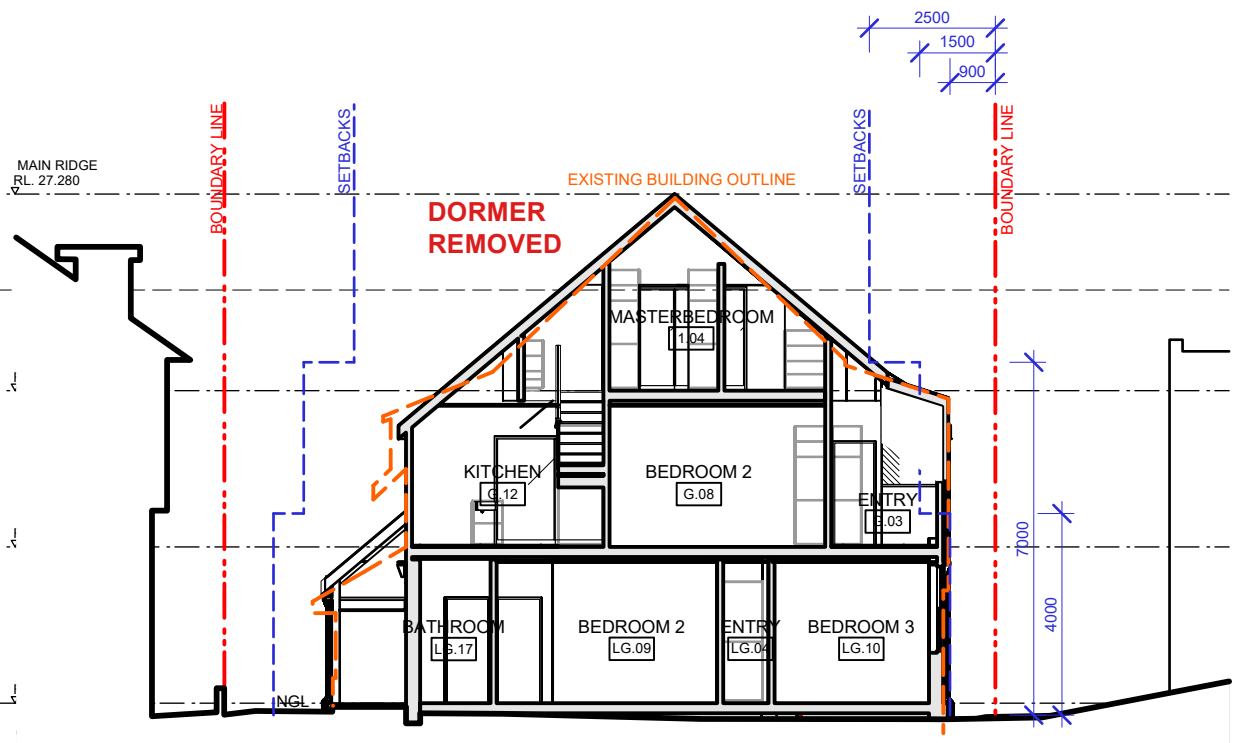
This drawing is protected by copyright.



01 PROPOSED SECTION 1
scale 1:150



02 PROPOSED SECTION 2
scale 1:150



03 PROPOSED SECTION 3
scale 1:150

Scale at A3 1:150
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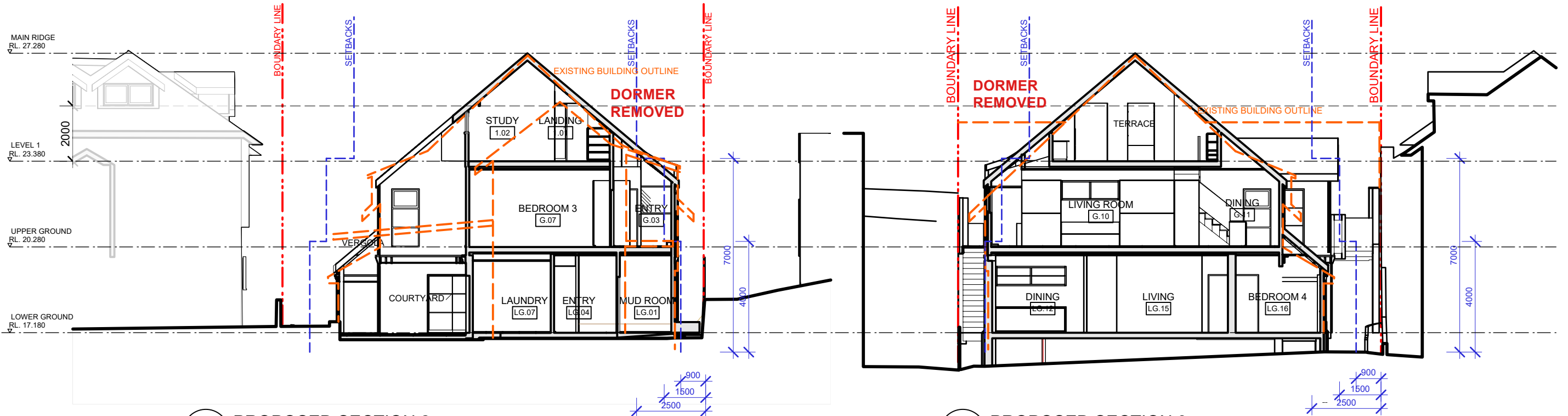
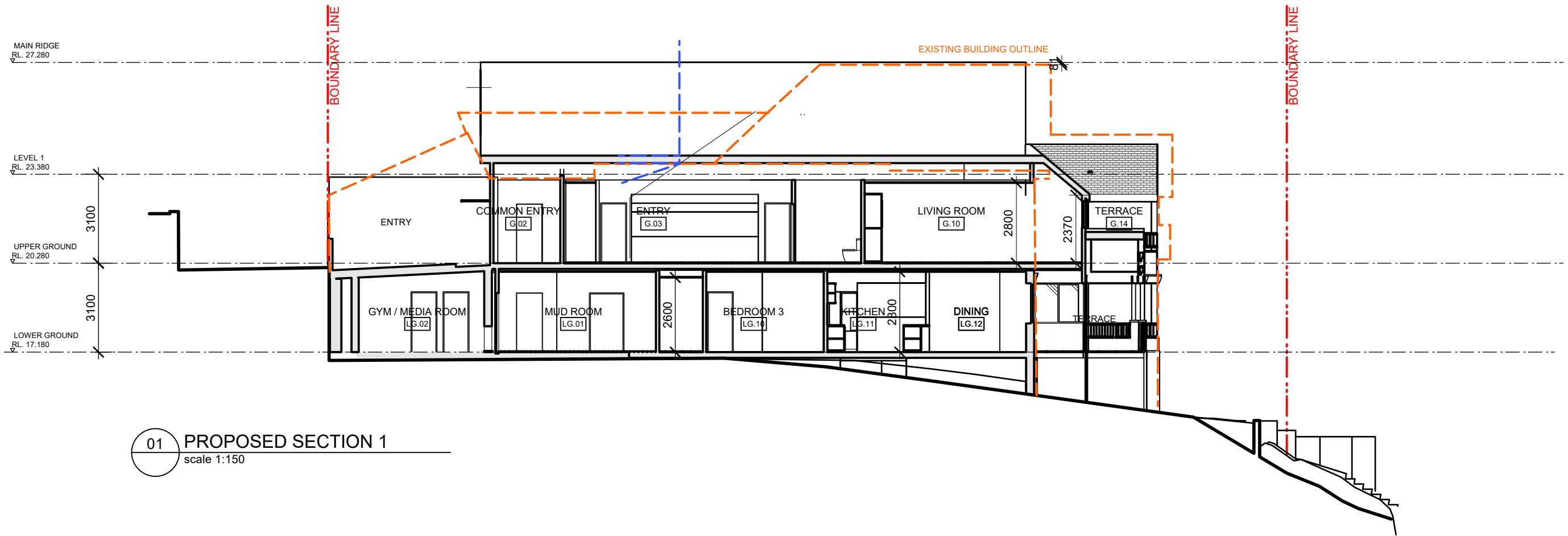
Sydney 61 2 9091 0190
Suite 120 Lifestyle Working
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Notes

Rev. No.	Date	Revision	Auth'd
D	30/5/23	DESIGN UPDATE	PJH
E	18/7/23	WINDOWS SCHEDULE	FP
F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP
H	3/4/24	DA UPDATE	FP
I	22/4/24	DA UPDATE	FP
J	13/6/24	DA UPDATE	FP
K	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**PROPOSED SECTIONS
SHEET 1**

Drawn By
Checked By
Project Number
Drawing Number
Rev
22-0711 DA-A-250 K



Scale at A3 1:150
0m 0.5 1 2.5 5.0

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Client
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D	30/5/23	DESIGN UPDATE	PJH
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F	7/8/23	DA APPLICATION	FP
G	14/8/23	DA ISSUE	FP
H	3/4/24	DA UPDATE	FP
I	22/4/24	DA UPDATE	FP
J	13/6/24	DA UPDATE	FP
K	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**

Drawing Title
**PROPOSED SECTIONS
SHEET 2**

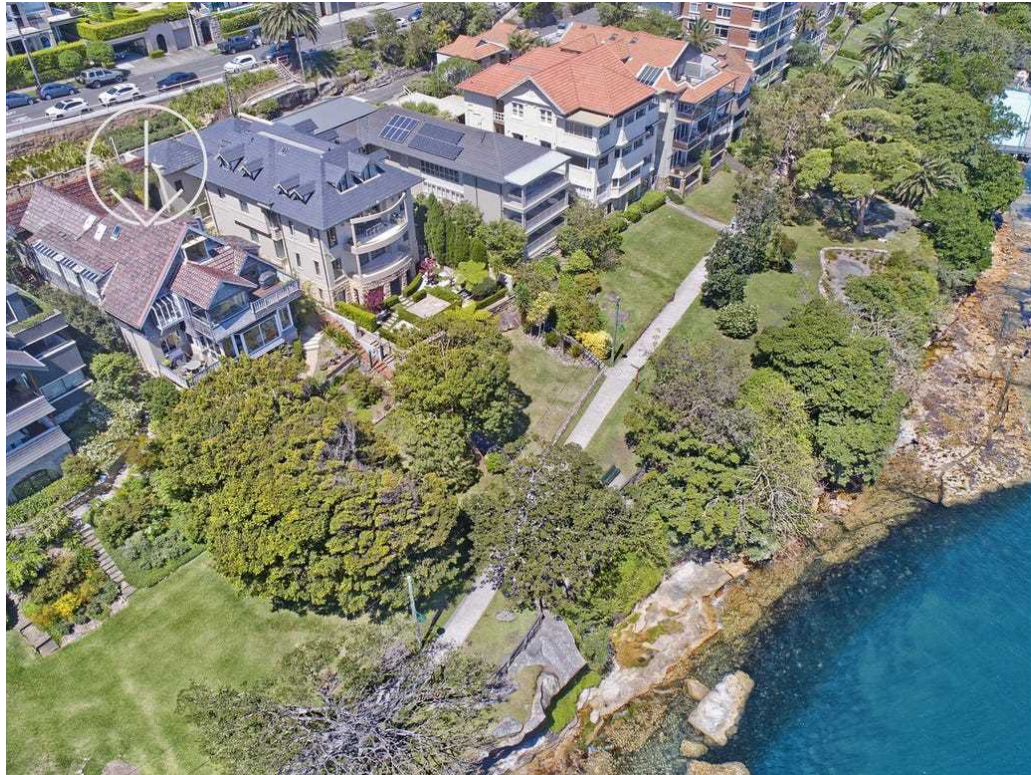
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Drawing Number
Rev

FP
PH
22-0711
DA-A-251
K

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EXISTING BUILDING

MIX OF DIFFERENT ARCHITECTURAL LANGUAGES, ARTS AND CRAFTS + RENOVATIONS = PATCHWORK

VOLUMES ARE NOT COHERENT

IMPOSING FACADE ONTO CREMORNE RESERVE, LARGE OPENINGS, LACK OF PRIVACY AND UNITY BETWEEN THE LEVELS

NOT ACCESSIBLE

NUMEROUS NCC SHORTFALLS ON COMPLIANCE

01 CURRENT OVERVIEW PHOTO OF THE BUILDING - 2023
scale 1:NTS



02 CURRENT PHOTO FROM CREMORNE RESERVE - 2023
scale 1:NTS



PROPOSED BUILDING

SIMILAR BULK AND SCALE AS EXISTING ORIGINAL HOUSE

IMPROVED SITE COVERAGE BY 10%

PITCHED ROOF FORM AND USE OF TIMBER SHINGLES TO CONSERVED ORIGINAL DESIGN AND PERIOD ARCHITECTURE

TYPICALLY 'ARTS AND CRAFTS' DETAILS REINSERTED - ROOF, SHINGLES, BALUSTRADES, BRICK AND SANDSTONE FOUNDATION.

BUILDING SETBACK FURTHER FROM CREMORNE RESERVE
REDUCED IMPACT

UPPER GROUND OPENINGS ONTO TERRACE NOT VISIBLE FROM THE RESERVE = PRIVACY

TILES ON THE ROOF TO MATCH WITH EXISTING

EXISTING LANDSCAPING CONSERVED, TYPICAL SANDSTONE KEPT AS LOWER GROUND UNDER

FINISHES INKEEPING WITH EXISTING BUILDING - 'ARTS AND CRAFTS' AND DETAILS HARMONISED - REFER TO DRAWING 403 - EXTERNAL FINISHES

--- EXISTING BUILDING SCALE COMPARISON

03 PHOTOMONTAGE OF THE PROPOSED BUILDING - OVERVIEW
scale 1:NTS



04 PHOTOMONTAGE - FROM CREMORNE RESERVE
scale 1:NTS

DEVELOPMENT APPLICATION

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Client
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ACT 2604

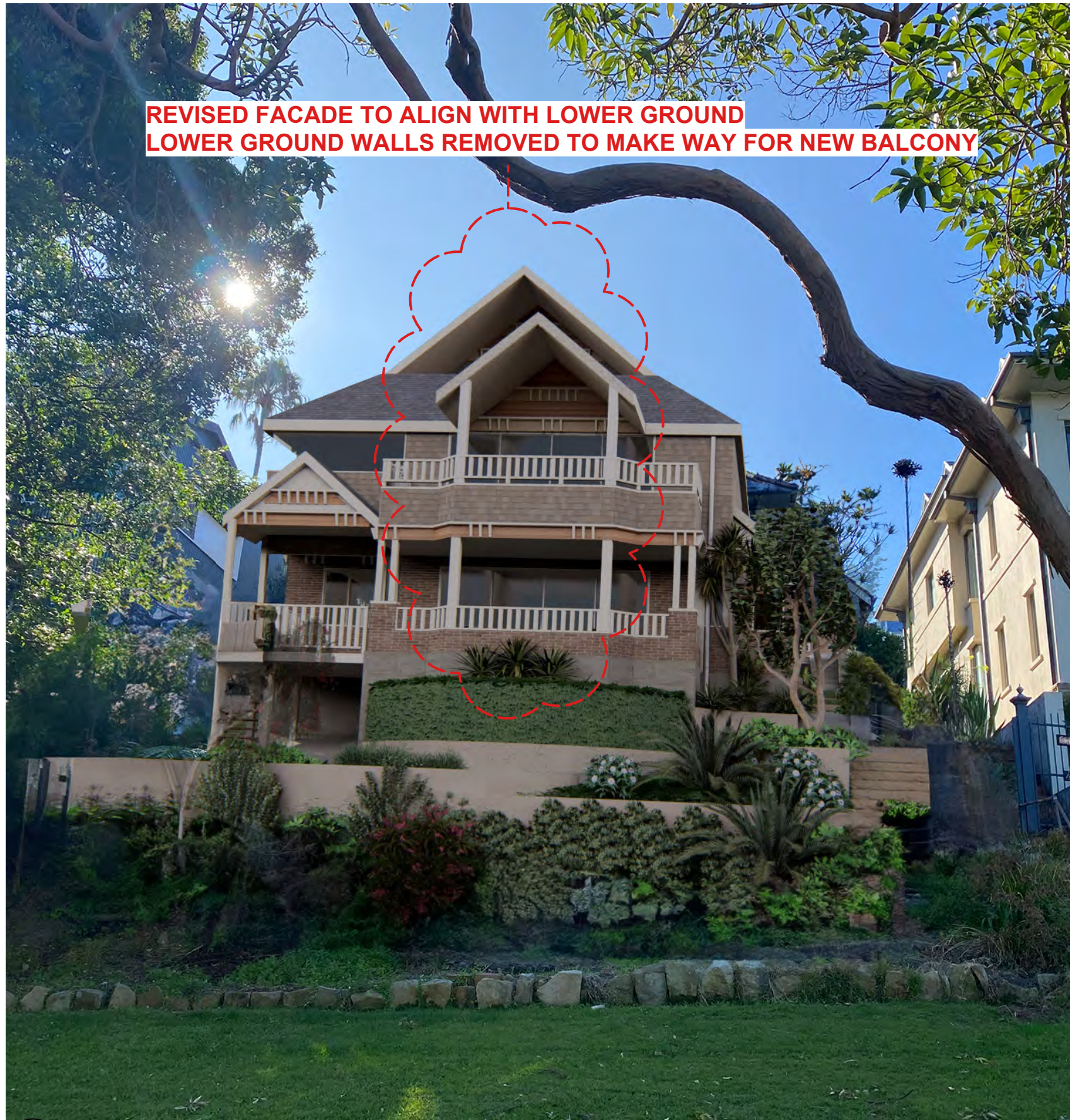
Registered Architect - 2384
Tim Zuber

Notes

Rev. No.	Date	Revision	Auth'd
A	30/5/23	DESIGN UPDATE	PJH
B	18/7/23	WINDOWS SCHEDULE	FP
C	7/8/23	DA APPLICATION	FP
D	14/8/23	DA ISSUE	FP
E	3/4/24	DA UPDATE	FP
F	22/4/24	DA UPDATE	FP
G	13/6/24	DA UPDATE	FP
H	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
BULK AND SCALE
PHOTOMONTAGES

Drawn By
Checked By
Project Number
Drawing Number
Rev
22-0711 DA-A-401 H



01 VIEW FROM CREMORNE RESERVE
scale 1:-



02 VIEW FROM THE TOP OF MILSON ROAD
scale 1:-



03 VIEW FROM RESERVE WALKWAY
scale 1:-

DEVELOPMENT APPLICATION

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Rev. No.	Date	Revision	Auth'd
A	23/3/23	DESIGN UPDATE	FP
B	30/5/23	DESIGN UPDATE	PJH
C	18/7/23	WINDOWS SCHEDULE	FP
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E	14/8/23	DA ISSUE	FP
F	3/4/24	DA UPDATE	FP
G	22/4/24	DA UPDATE	FP
H	13/6/24	DA UPDATE	FP
I	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
PROPOSED RENDERS

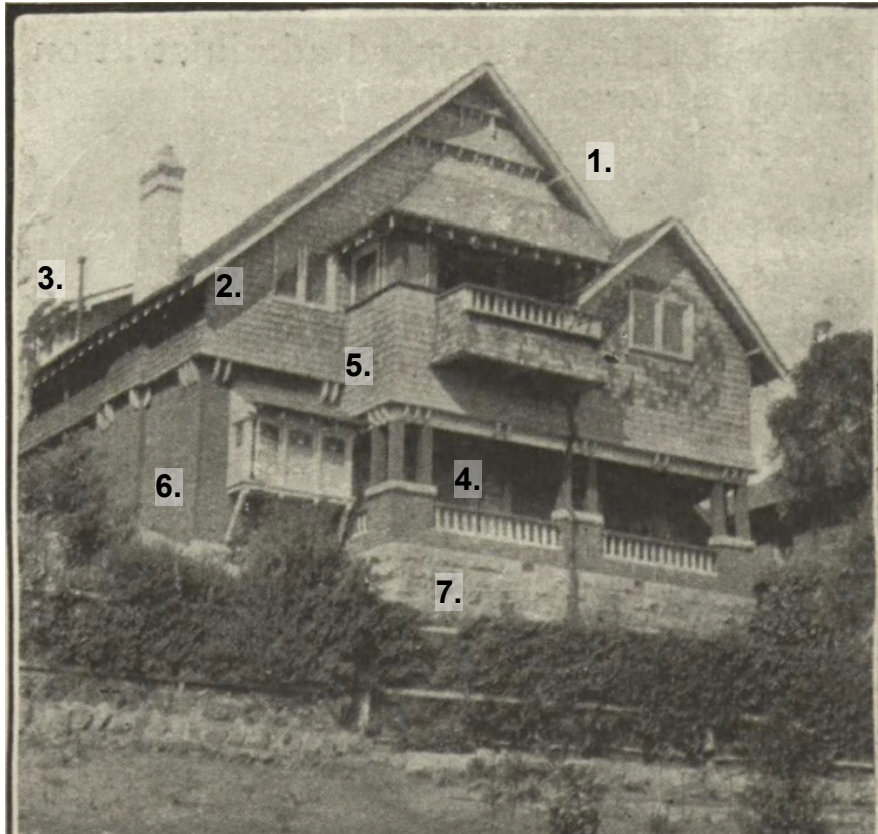
Drawn By
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No Sheets

FP
PH

Project Number
Drawing Number
Rev

22-0711 DA-A-402 I

01 EXISTING IMAGE OF THE BUILDING FROM 1919
scale 1:NTS



02 CURRENT PHOTO OF THE BUILDING - 2023
scale 1:NTS



03 PROPOSED RENDERS FROM CREMORNE RESERVE
scale 1:NTS



DEFINED ASYMETRY	1.	MESSY FACADE MIX OF ORIGINAL AND MODERN ELEMENTS	1.	ASYMMETRY REINTRODUCED, WITH THREE HIGH PITCH GABLE ROOF DISTRIBUTED OVER THE LEVELS
HIGH PITCHED ROOF, DEFINED ROOF LINE WITH OVERHANG AND EXPOSED RAFTERS	2.	LOSS OF EXPOSED RAFTERS DETAILS MISSING CHARACTER	2.	DEFINED ROOF LINE WITH OVERHANG, WHITE FASCIA, AND EXPOSED RAFTERS AS PER ORIGINAL DESIGN
DORMER WINDOW ON WESTERN ELEVATION, PROPORTION OF OPENINGS	3.	NO COHERENCE BETWEEN MODERN WINDOWS, DORMER, BOW WINDOWS, CORNER OPENINGS	3.	RE-PROPORTIONED OPENINGS, HORIZONTAL WINDOWS, BIGGER BALCONY OPENINGS SETBACK FROM FACADE - LESS VISIBLE FROM RESERVE AND TO BE CONSISTENT WITH ORIGINAL 'ART AND CRAFTS' DESIGN
BALLUSTRADE AND COLUMN DETAILS	4.	SPECIFIC FEDERATION ARTS AND CRAFTS DETAILS MISSING	4.	MAINTAIN AND REINSTATE BALLUSTRADE AND COLUMN DETAILS, WHITE CONTRASTING COLOUR
FACADE SHINGLES FROM UPPER GROUND LEVEL, BELL EDGE	5.	USED AND GREYED FACADE SHINGLES ALL AROUND, BELL EDGE	5.	MAINTAIN FACADE SHINGLES REINTRODUCED TO DEFINE FACADE ELEMENTS
RENDERED WALLS	6.	YELLOW RENDERED WALLS	6.	BRICK REINTRODUCED TO CONTRAST WITH FACADE SHINGLES, AND TIMBER HORIZONTAL DETAIL ELEMENTS
FOUNDATION SANDSTONE	7.	FOUNDATION SANDSTONE	7.	MAINTAIN FOUNDATION SANDSTONE, LANDSCAPING RETAINING WALLS

DEVELOPMENT APPLICATION

Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Client
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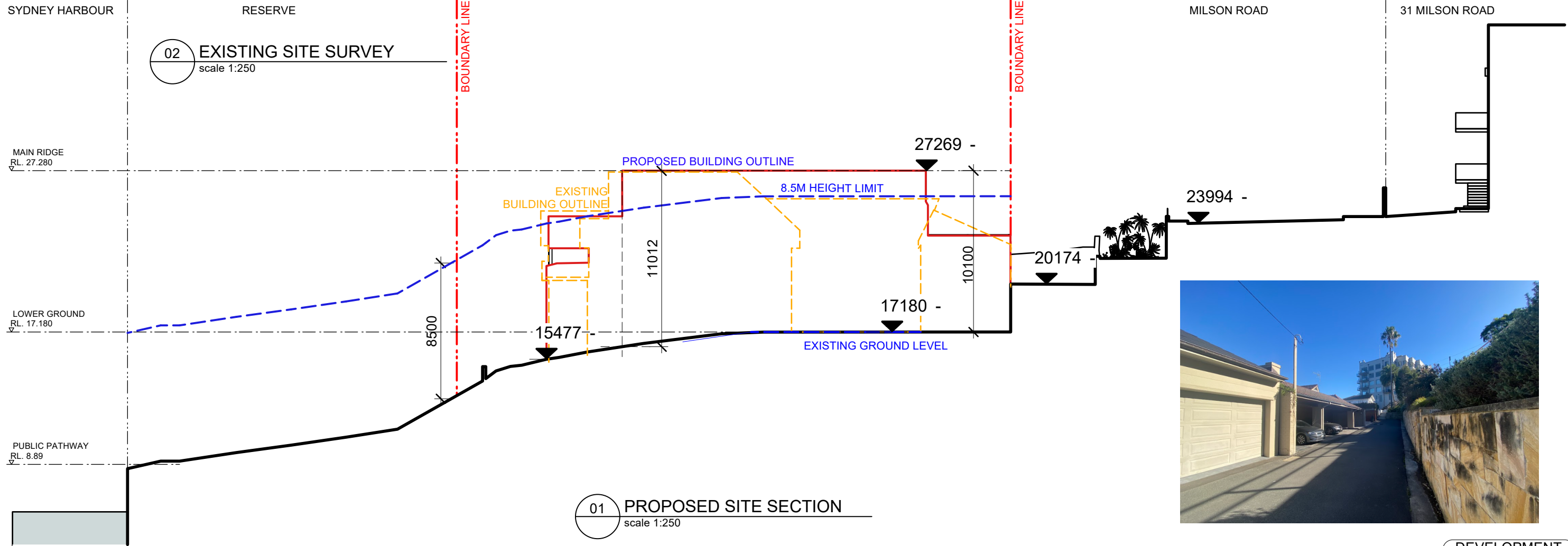
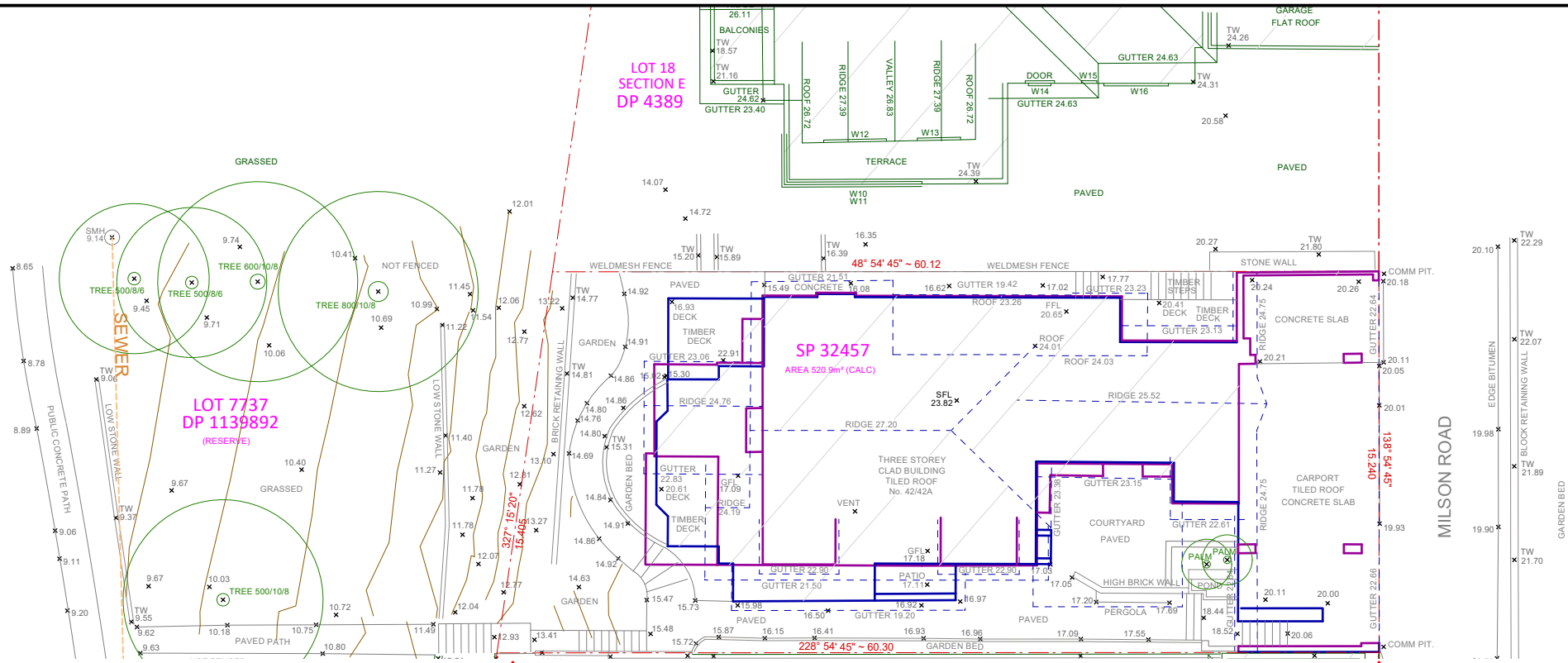
Notes

Rev. No.	Date	Revision	Auth'd
A	30/5/23	DESIGN UPDATE	PJH
B	18/7/23	WINDOWS SCHEDULE	FP
C	7/8/23	DA APPLICATION	FP
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E	3/4/24	DA UPDATE	FP
F	22/4/24	DA UPDATE	FP
G	13/6/24	DA UPDATE	FP
H	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
THE BUILDING THROUGH THE YEARS

Drawn By: **FP** Checked By: **PH** No Sheets
Project Number: **22-0711** Drawing Number: **DA-A-403** Rev: **H**

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02 EXISTING SITE SURVEY
scale 1:250

01 PROPOSED SITE SECTION
scale 1:250

Scale at A3 1:150
0m 0.5 1 2.5 5.0
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Client
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Notes

Rev. No.	Date	Revision	Auth'd
A	3/4/24	DA UPDATE	FP
B	22/4/24	DA UPDATE	FP
C	13/6/24	DA UPDATE	FP
D	17/9/24	DA UPDATE	PJH

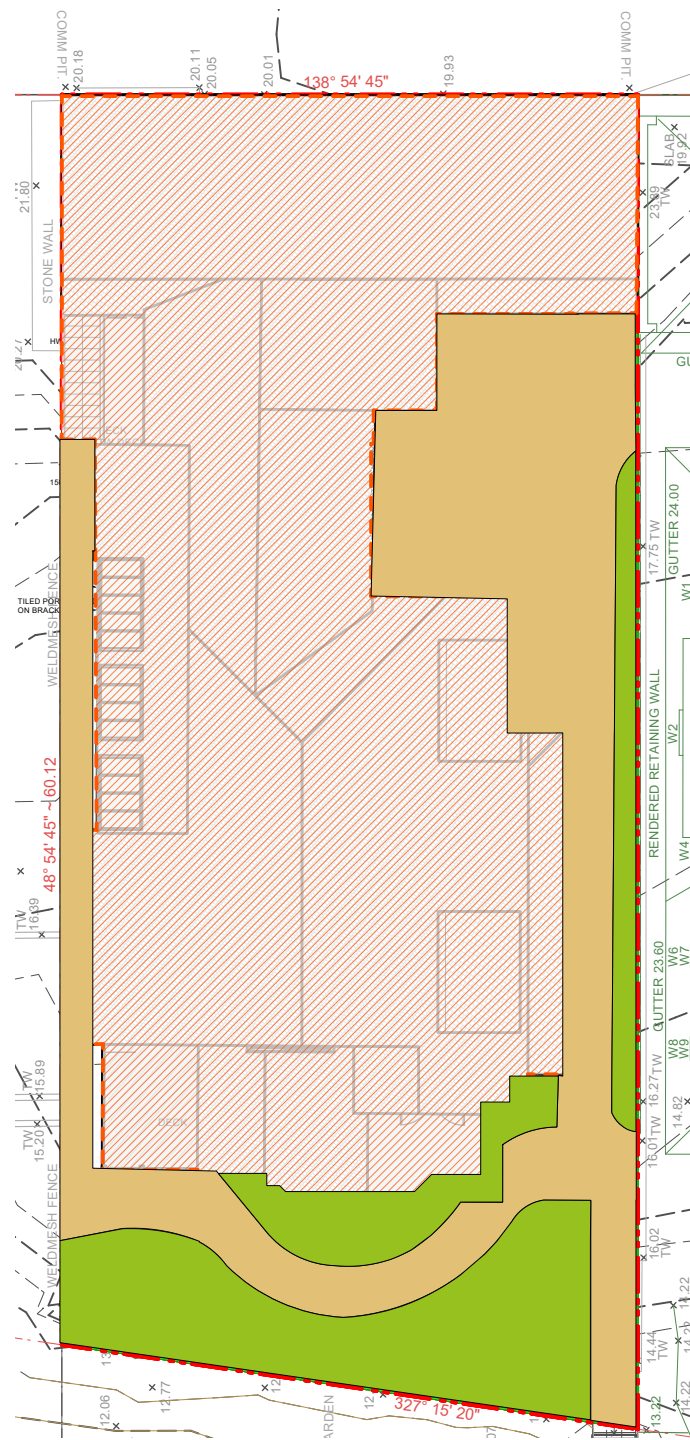
Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SITE SECTION

DEVELOPMENT APPLICATION

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Project Number
Drawing Number
Rev
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PH
22-0711
DA-A-404
D



01 EXISTING SITE COVERAGE
scale 1:200

Scale at A3 1:200
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Client
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Notes

Rev. No.	Date	Revision	Auth'd
A	3/4/24	DA UPDATE	FP
B	22/4/24	DA UPDATE	FP
C	13/6/24	DA UPDATE	FP
D	17/9/24	DA UPDATE	PJH
E	30/10/24	AREA UPDATE	PJH
F	11/11/24	AREAS ADDED	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
SITE COVERAGE

Drawn By
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PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-405
Rev
F

 EXISTING BUILDING FOOTPRINT
 PROPOSED BUILDING FOOTPRINT

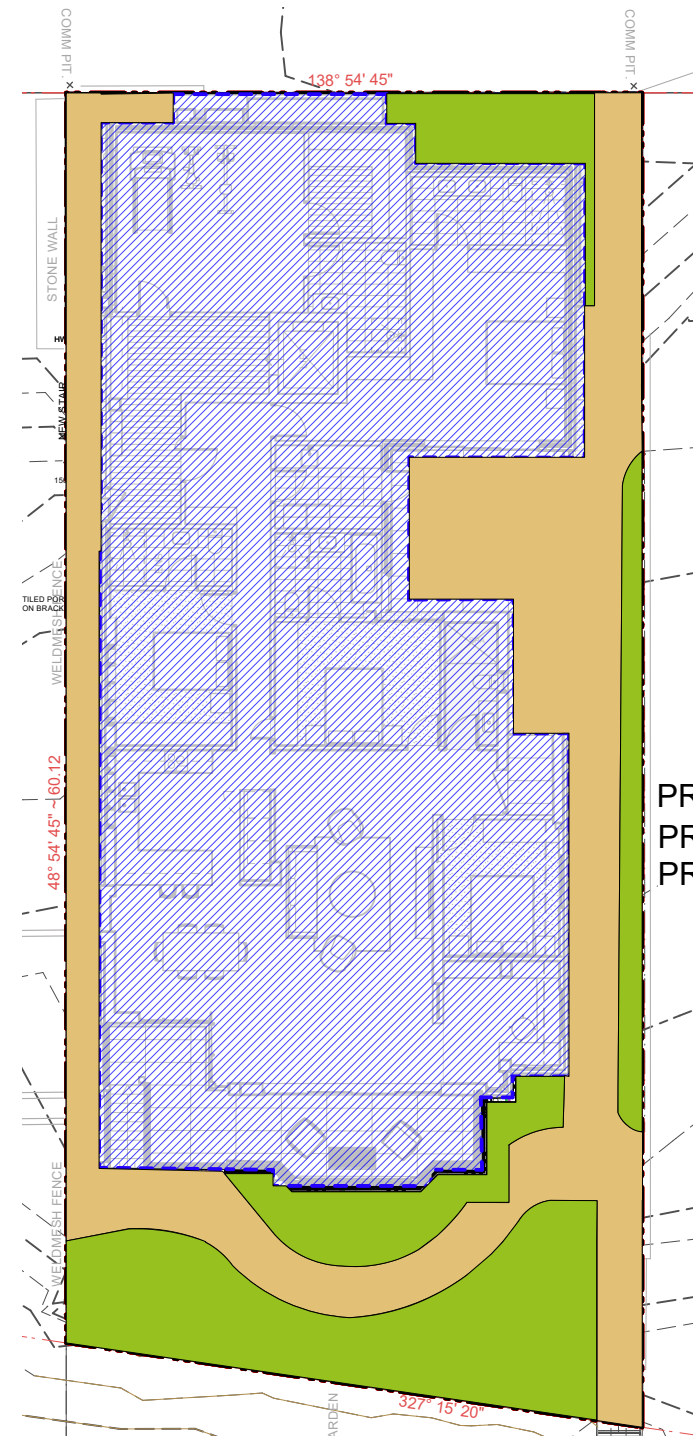
SITE AREA = 521m²

EXISTING SITE COVERAGE = 66%

PROPOSED SITE COVERAGE = 61%

**NOTE: The proposed design provides
5% overall site coverage improvement from
the existing building**

EXISTING SITE COVERAGE = 344 m²
EXISTING LANDSCAPE = 68m²
EXISTING UN-BUILT UPON = 120m²



02 PROPOSED SITE COVERAGE
scale 1:200

PROPOSED SITE COVERAGE = 322 m²
PROPOSED LANDSCAPE = 78m²
PROPOSED UN-BUILT UPON = 118m²

**DEVELOPMENT
APPLICATION**

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EF.TM.01

EF.SH.01

EF.R.01

EF.TM.01

EF.CB.01

EF.SH.01

EF.TM.01

EF.CB.01

EF.SS.01

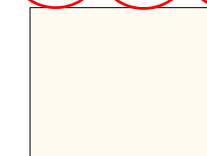
FEDERATION 'ARTS AND CRAFTS' FINISHES REINTRODUCED WITH A 'MODERN TOUCH'

ROOFS : SLATE GREY TO MATCH WITH NEIGHBOURING PROPERTIES, TIMBER GABLES WITH EXPOSED RAFTERS DETAILS.
WALLS : FACE RED BRICK AND BLACK SQUARED SHINGLES.
FOUNDATIONS AND RETAINING WALLS : SANSTONE



EF.R.01

NATURAL SLATE ROOF TO MATCH CHARACTERISTIC RUSTICATED FINISH USED ON FEDERATION ARTS AND CRASTS STYLE DWELLING



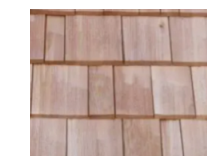
EF.CB.01

OFF WHITE FASCIA, GUTTERS, BALLUSTRADES , WINDOWS



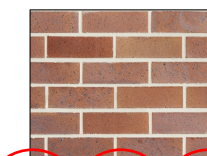
EF.TM.01

TIMBER LOOK FACADE ELEMENT WITH BLACK DETAILS



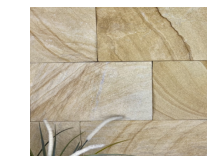
EF.SH.01

FACADE SHINGLES



EF.BR.01

RED BRICK TO WALLS



EF.SS.01

SPLIT FACED SANDSTONE TO MATCH CHARACTERISTIC RUSTICATED FINISH USED ON FEDERATION ARTS AND CRASTS STYLE DWELLING

01 CREMORNE RESERVE FRONT ELEVATION
scale 1:-

02 FINISHES LEGEND
scale 1:-

DEVELOPMENT APPLICATION

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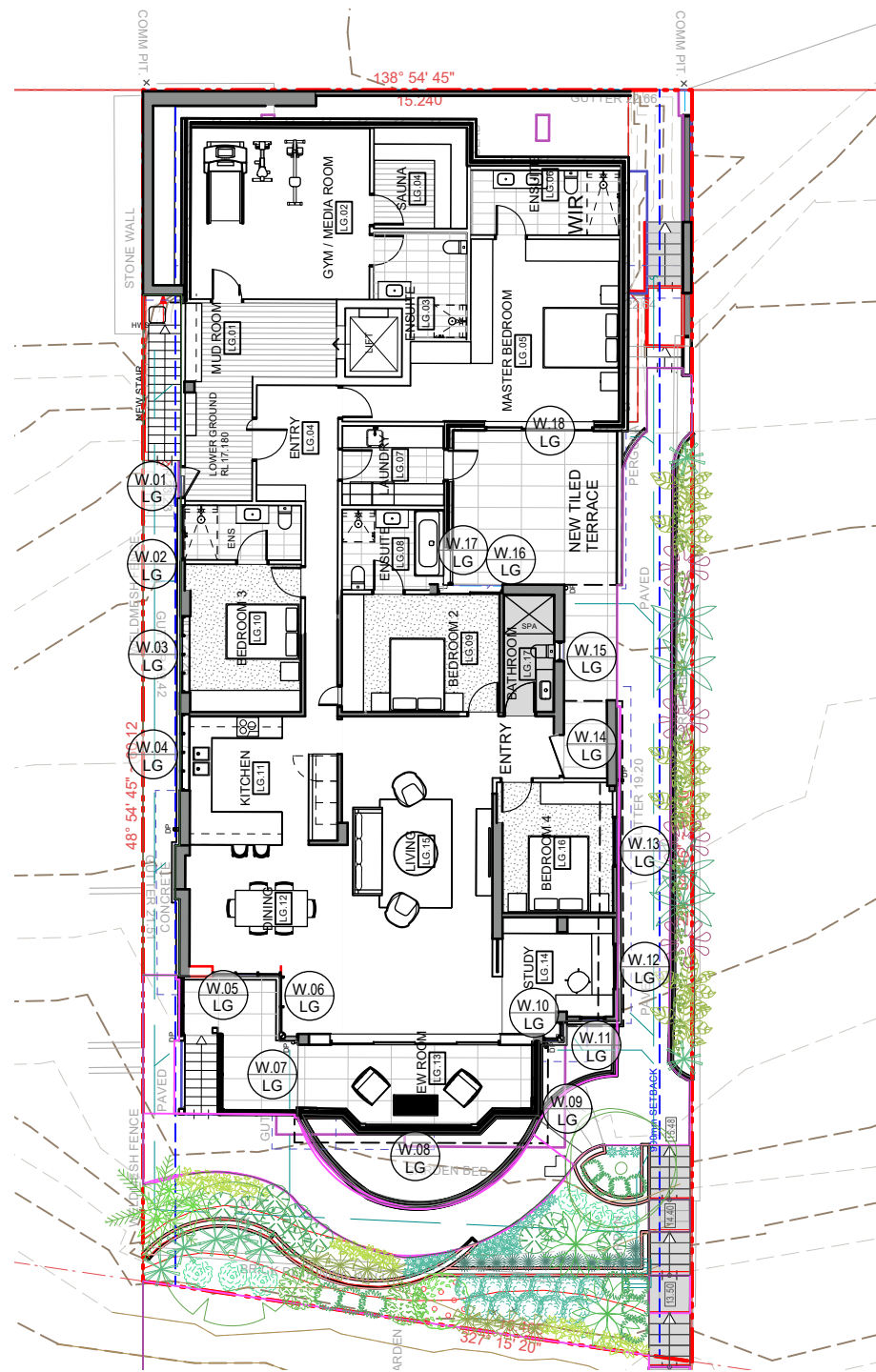
Notes

Rev. No.	Date	Revision	Auth'd
A	30/5/23	DESIGN UPDATE	PJH
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H	17/9/24	DA UPDATE	PJH

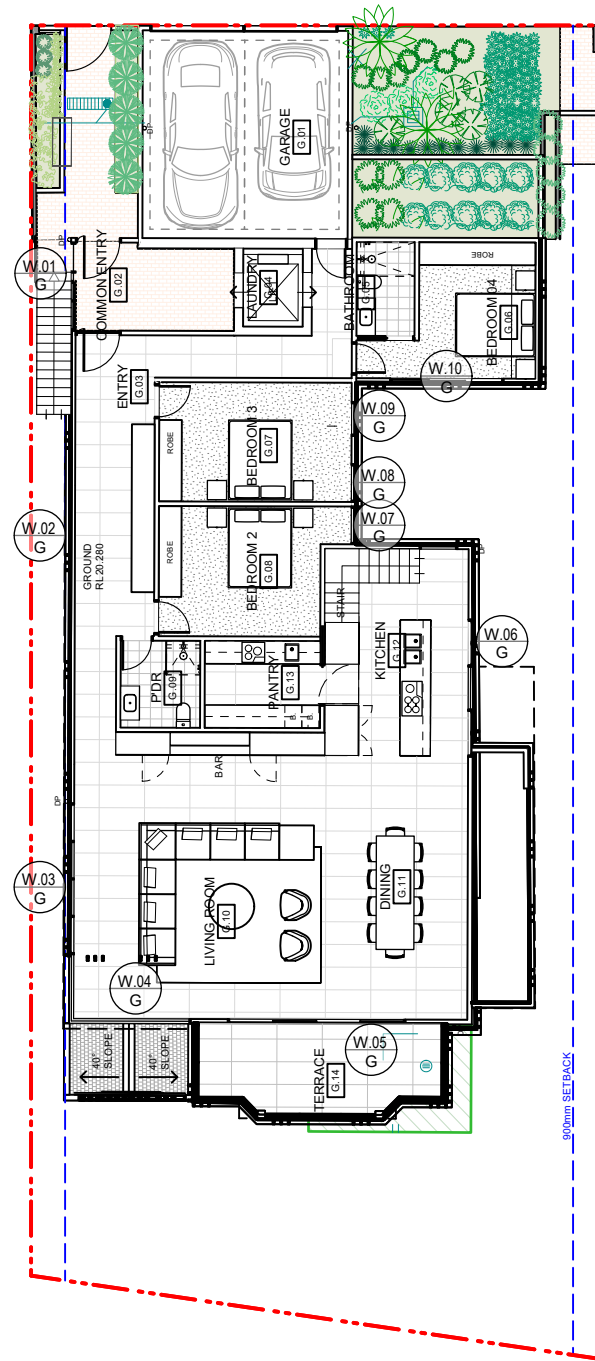
Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
EXTERIOR FINISHES

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Project Number
Drawing Number
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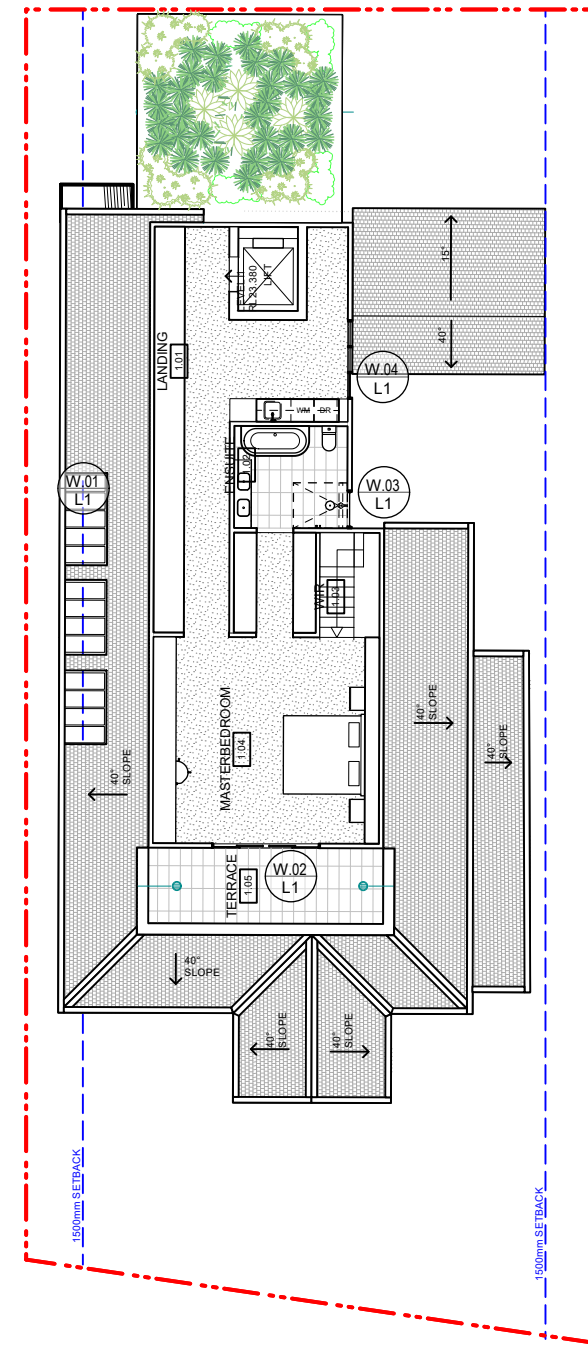
FP
PH
22-0711
DA-A-700
H



01 LOWER GROUND FLOOR PLAN
scale 1:200



02 GROUND FLOOR PLAN
scale 1:200



03 LEVEL 1 PLAN
scale 1:200

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E	13/6/24	DA UPDATE	FP
F	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**WINDOW SCHEDULE
REFERENCE PLAN**

Drawn By
PH
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PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-900
Rev
F

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APPLICATION**

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LOWER GROUND

FRAME HEIGHT @ 2750 ABOVE FFL

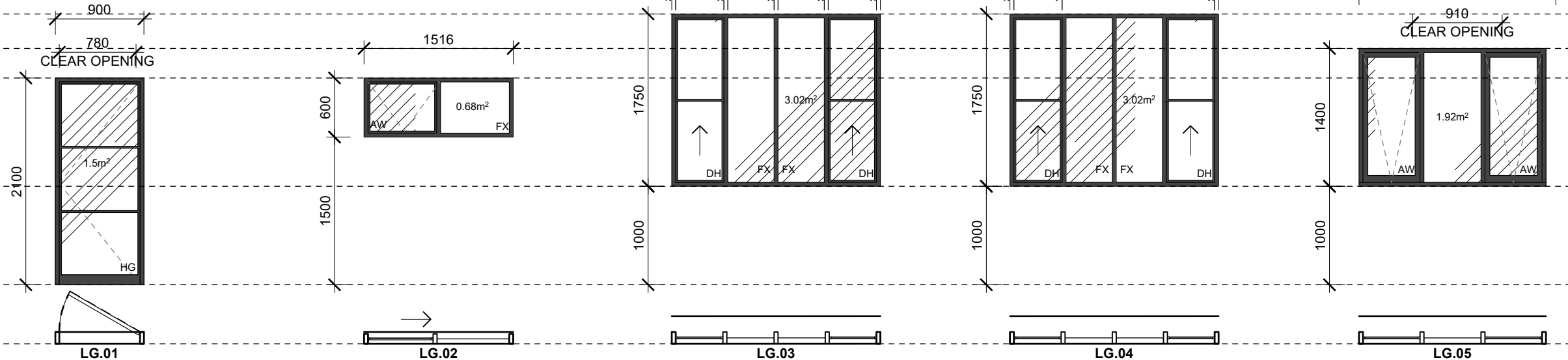
FRAME HEIGHT @ 2400 ABOVE FFL

FRAME HEIGHT @ 2100 ABOVE FFL

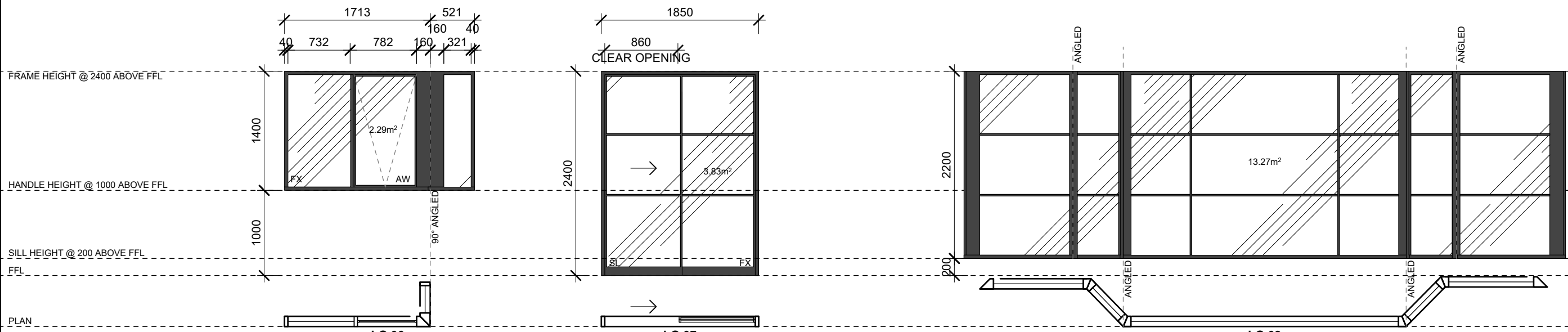
HANDLE HEIGHT @ 1000 ABOVE FFL

FFL

PLAN



REFERENCE	MUD ROOM	BED 3 ENSUITE	BEDROOM 3	KITCHEN	DINING
TYPE	GLAZED HINGED DOOR	AWNING & FIXED	DOUBLE HUNG AND FIXED WINDOW	DOUBLE HUNG AND FIXED WINDOW	AWNING AND FIXED GLASS
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES				



REFERENCE	VIEW ROOM	VIEW ROOM	VIEW ROOM
TYPE	SLIDING WINDOW AND FIXED GLASS	SLIDING DOOR	FIXED GLASS
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES		

DEVELOPMENT APPLICATION

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Notes

Rev. No.	Date	Revision	Auth'd
A	18/7/23	WINDOWS SCHEDULE	FP
B	7/8/23	DA APPLICATION	FP
C	14/8/23	DA ISSUE	FP
D	3/4/24	DA UPDATE	FP
E	13/6/24	DA UPDATE	FP
F	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**WINDOW SCHEDULE
LOWER GROUND 1**

Drawn By
FP
Checked By
PH
No Sheets
1
Project Number
22-0711
Drawing Number
DA-A-901
Rev
F

LOWER GROUND

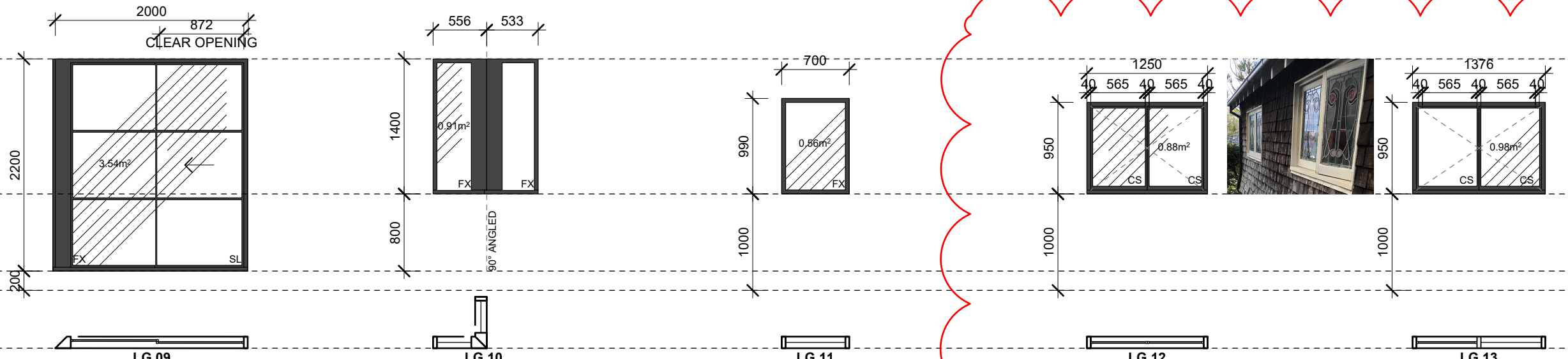
FRAME HEIGHT @ 2400 ABOVE FFL

HANDLE HEIGHT @ 1000 ABOVE FFL

SILL HEIGHT @ 200 ABOVE FFL

FFL

PLAN



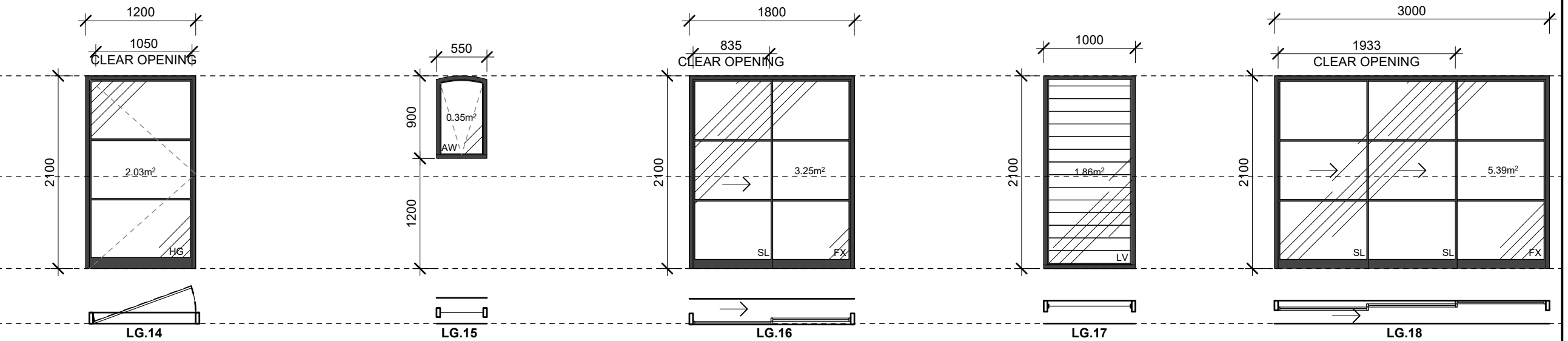
REFERENCE	VIEWROOM	VIEWROOM	STUDY	STUDY	BEDROOM 4
TYPE	SLIDING WINDOW	SLIDING WINDOW	SASHLESS SLIDING WINDOW	CASEMENT WINDOW	CASEMENT WINDOW
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	EXISTING LEADLIGHT WINDOW TO BE RETAINED	EXISTING LEADLIGHT WINDOW TO BE RETAINED
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING		
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE		
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES				

FRAME HEIGHT @ 2100 ABOVE FFL

HANDLE HEIGHT @ 1000 ABOVE FFL

FFL

PLAN



REFERENCE	ENTRY DOOR	BATHROOM	BEDROOM 2	BED 2 ENSUITE	MASTERBEDROOM
TYPE	GLAZED HINGED DOOR	AWNING	SLIDING DOORS	LOUVRE	SLIDING DOORS
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES				

DEVELOPMENT APPLICATION

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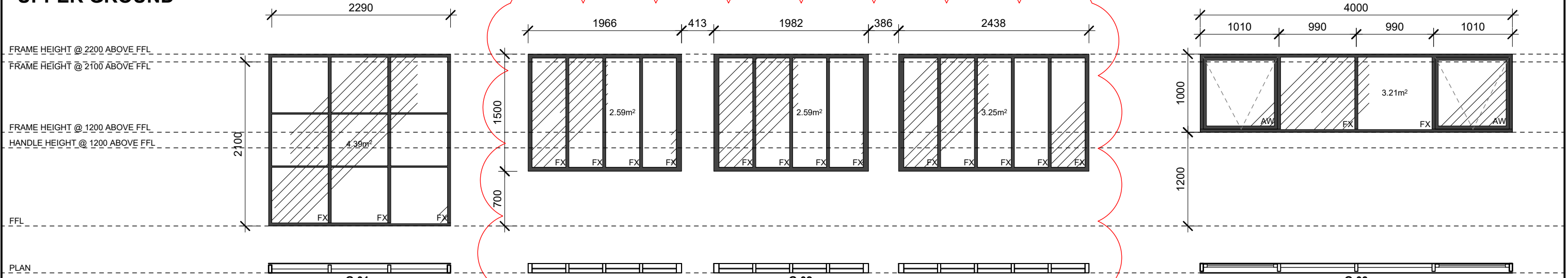
Notes

Rev. No.	Date	Revision	Auth'd
A	18/7/23	WINDOWS SCHEDULE	FP
B	7/8/23	DA APPLICATION	FP
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E	13/6/24	DA UPDATE	FP
F	17/9/24	DA UPDATE	PJH

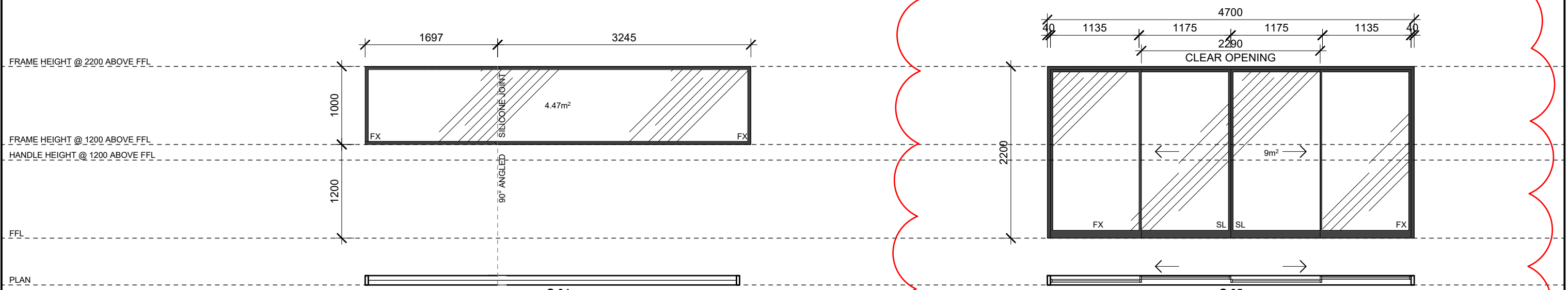
Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**WINDOW SCHEDULE
LOWER GROUND 2**

Drawn By
FP
Checked By
PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-902
Rev
F

UPPER GROUND



REFERENCE	COMMON ENTRY	ENTRY CORRIDOR	LIVING ROOM
TYPE	FIXED GLASS	EXISTING WINDOW TO BE RETAINED	FIXED GLASS WITH AWNING OPENINGS
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	REFER TO WINDOW HARDWARE SCHEDULE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS		PRIVACY BATTENED FIXED SHUTTERS INTERNALLY	



REFERENCE	LIVING ROOM	LIVING ROOM
TYPE	FIXED GLASS	SLIDING DOOR
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS		

DEVELOPMENT APPLICATION

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F	17/9/24	DA UPDATE	PJH

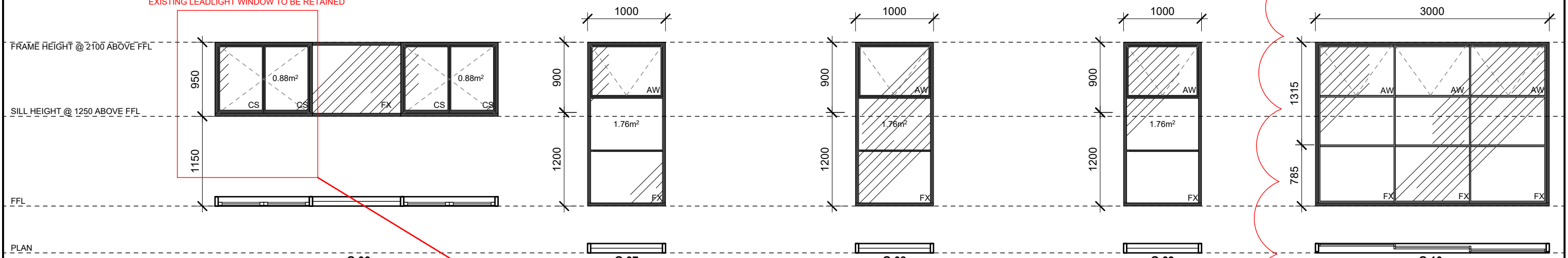
Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**WINDOW SCHEDULE
UPPER GROUND 1**

Drawn By
PH
Checked By
PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-903
Rev
F

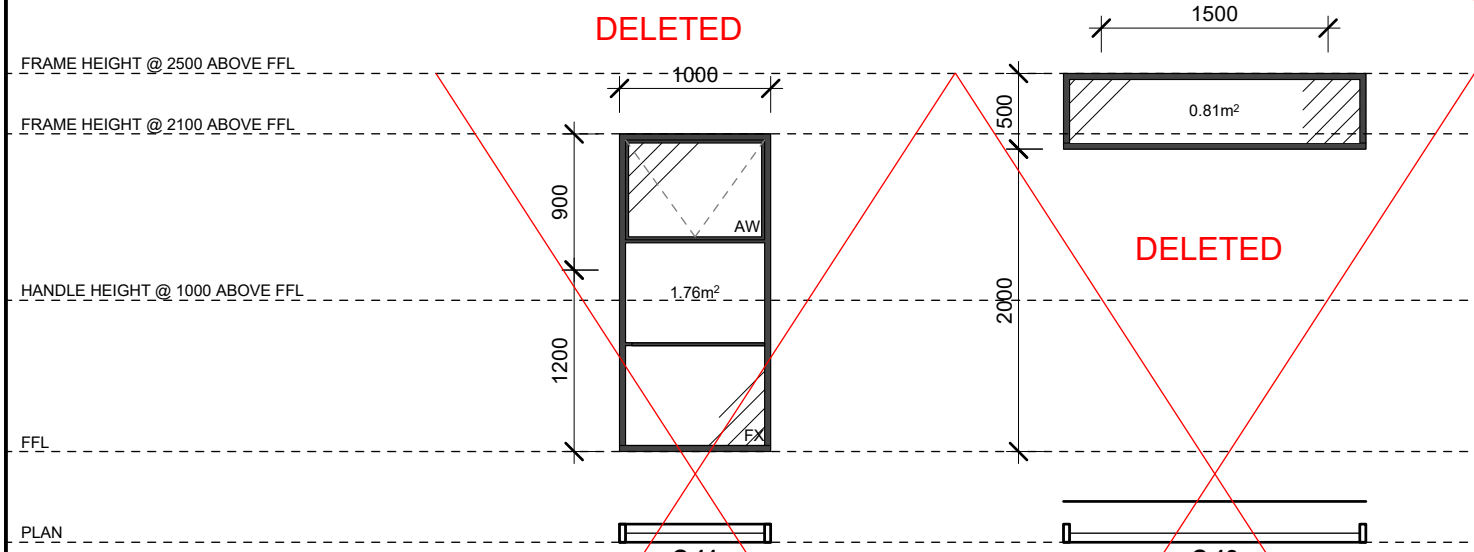
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UPPER GROUND

EXISTING LEADLIGHT WINDOW TO BE RETAINED



REFERENCE	G.06	G.07	G.08	G.09	G.10
TYPE	KITCHEN	BEDROOM 2	BEDROOM 3	BEDROOM 3	BEDROOM 4
FRAME	FIXED AND CASEMENT WINDOWS TO MATCH EXISTING	FIXED LOWER PART AND AWNING WINDOW	FIXED LOWER PART AND AWNING WINDOW	FIXED LOWER PART AND AWNING WINDOW	FIXED LOWER PART AND AWNING WINDOW
GLAZING	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
HARDWARE	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
ADDITIONAL REQUIREMENTS	-	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL NOTES					



REFERENCE	G.11	G.12
TYPE	BEDROOM 4	BEDROOM 4
FRAME	FIXED LOWER PART AND AWNING WINDOW	FIXED WINDOW
GLAZING	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
HARDWARE	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
ADDITIONAL REQUIREMENTS	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL NOTES		



DEVELOPMENT APPLICATION

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A	18/7/23	WINDOWS SCHEDULE	FP
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C	14/8/23	DA ISSUE	FP
D	3/4/24	DA UPDATE	FP
E	13/6/24	DA UPDATE	FP
F	17/9/24	DA UPDATE	PJH

Project
ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point
Drawing Title
WINDOW SCHEDULE
UPPER GROUND 2

Drawn By
PH

Checked By
PH

No Sheets

Project Number
22-0711

Drawing Number
DA-A-904

Rev
F

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LEVEL 1

FRAME HEIGHT @ 2100 ABOVE FFL

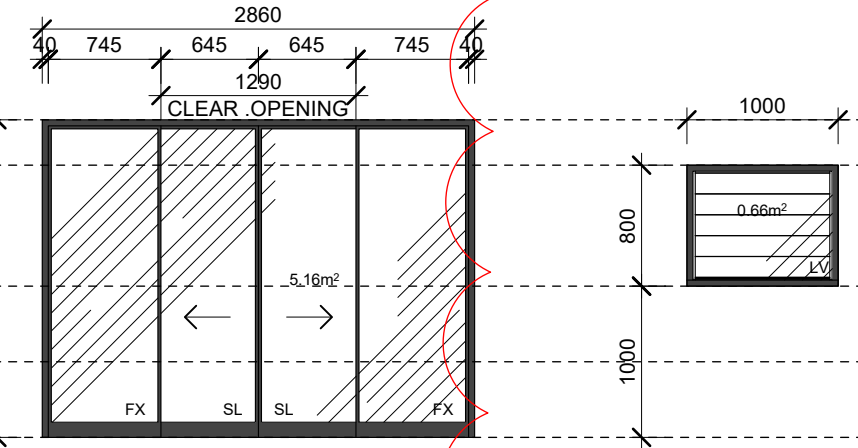
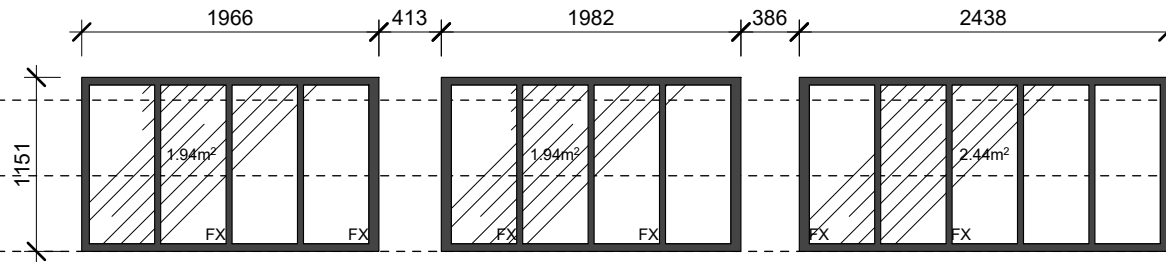
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HANDLE HEIGHT @ 1000 ABOVE FFL

SILL HEIGHT @ 500 ABOVE FFL

FFL

PLAN



REFERENCE	CEILING	MASTERBEDROOM	ENSUITE
TYPE	FIXED WINDOW	SLIDING DOORS	LOUVRE WINDOW
FRAME	EXISTING CEILING WINDOW TO BE RETAINED	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	-	REFER TO WINDOW HARDWARE SCHEDULE	AS PER MANUFACTURER
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES		

FRAME HEIGHT @ 2100 ABOVE FFL

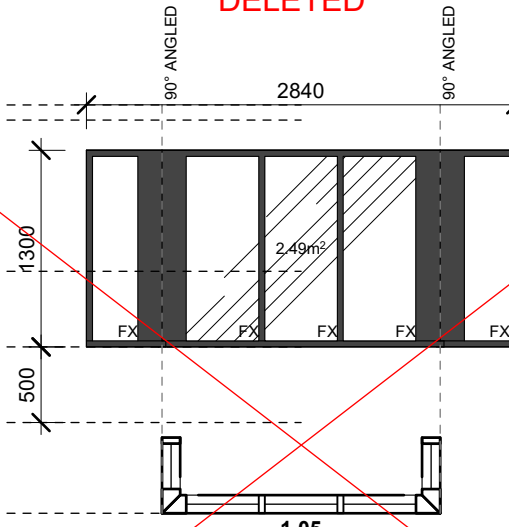
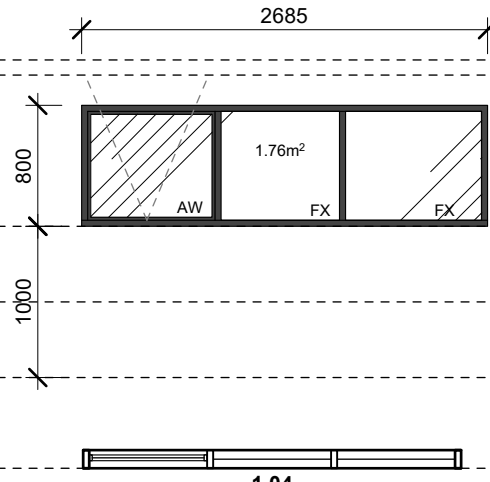
FRAME HEIGHT @ 2000 ABOVE FFL

HANDLE HEIGHT @ 1000 ABOVE FFL

SILL HEIGHT @ 500 ABOVE FFL

FFL

PLAN



DELETED

REFERENCE	STUDY	STUDY
TYPE	SLIDING WINDOW	FIXED WINDOWS
FRAME	40mm STEEL FRAME - POWDERCOATED WHITE	40mm STEEL FRAME - POWDERCOATED WHITE
GLAZING	AS 1288 - CLEAR DOUBLE GLAZING	AS 1288 - CLEAR DOUBLE GLAZING
HARDWARE	REFER TO WINDOW HARDWARE SCHEDULE	REFER TO WINDOW HARDWARE SCHEDULE
ADDITIONAL REQUIREMENTS	ADDITIONAL NOTES	

DEVELOPMENT APPLICATION

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Client
A & H SINGH



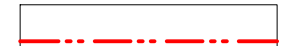

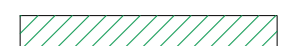

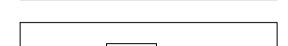





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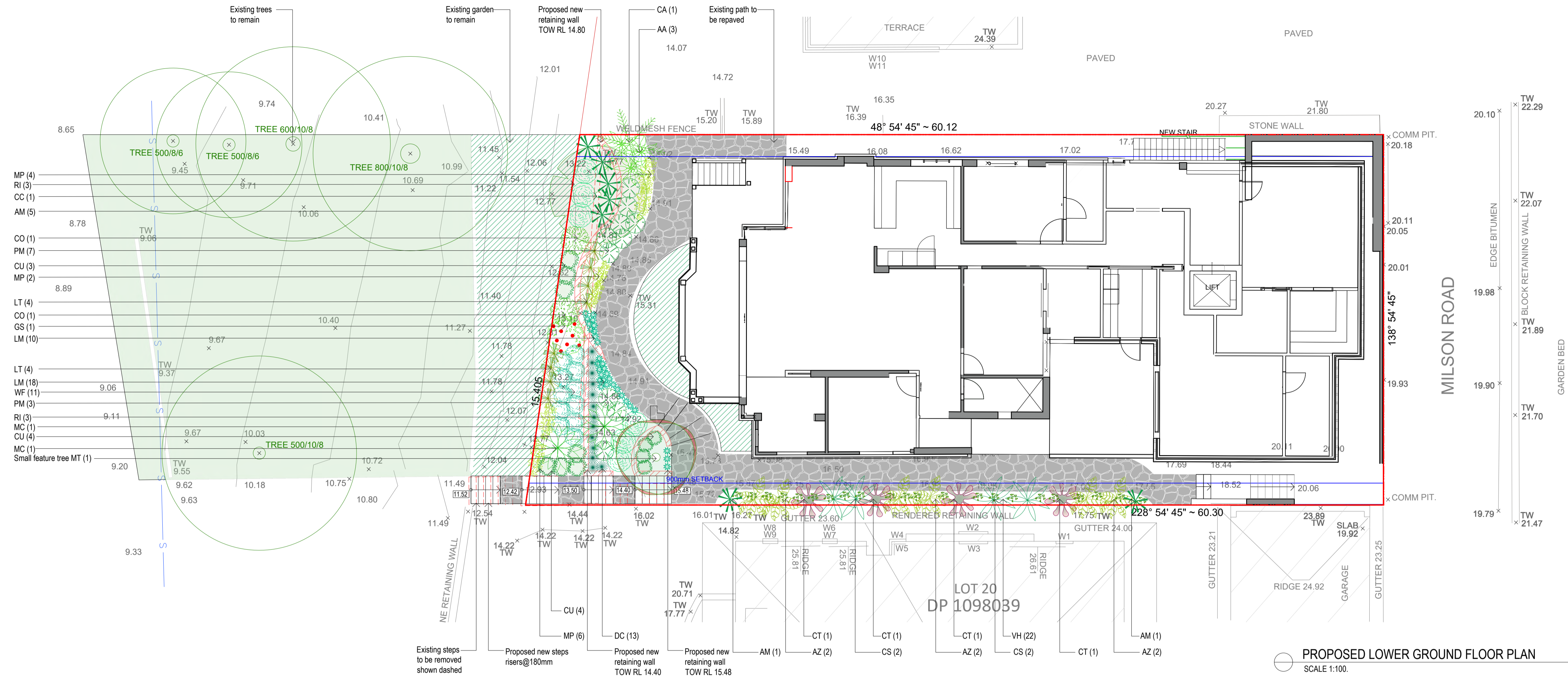
Notes

Rev. No.	Date	Revision	Auth'd
A	18/7/23	WINDOWS SCHEDULE	FP
B	7/8/23	DA APPLICATION	FP
C	14/8/23	DA ISSUE	FP
D	3/4/24	DA UPDATE	FP
E	13/6/24	DA UPDATE	FP
F	17/9/24	DA UPDATE	PJH

Project
**ALTERATIONS AND BUILDING UPGRADE WORKS
Duplex - Class 2
42 Milson Rd, Cremorne Point**
Drawing Title
**WINDOW SCHEDULE
LEVEL 1**

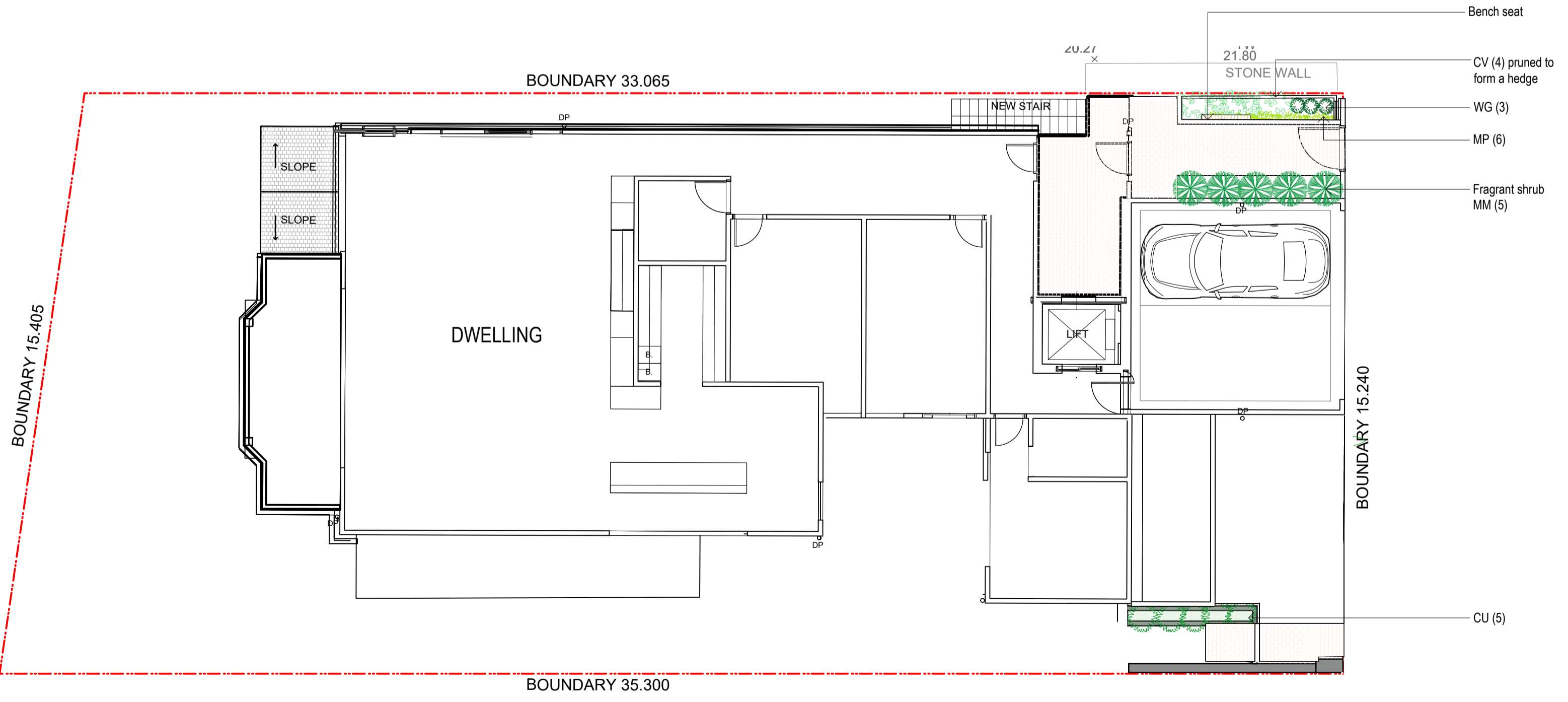
Drawn By
FP
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PH
No Sheets
Project Number
22-0711
Drawing Number
DA-A-905
Rev
F

- LEGEND**
-  BOUNDARY
 -  SEWER
 -  EXISTING GARDEN TO REMAIN
 -  EXISTING SPOT LEVELS
 -  PROPOSED LEVELS
 -  PROPOSED RETAINING WALL
 -  PROPOSED PAVING
 -  TO BE REMOVED
 -  EXISTING TURF
 -  EXISTING TREE TO BE RETAINED



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100.

KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
TREES / PALMS					
CS	CHAMAEDOREA SEIFRIZII	BAMBOO PALM	4	3m	250mm
MT	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	1	3m	45Ltr
SHRUBS / FERNS					
AA	ASPLENIUM AUSTRALASICUM	BIRDS NEST FERN	3	1m	200mm
AZ	ALPINIA ZERUMBET 'VARIEGATA'	VARIEGATED SHELL GINGER	6	2m	200mm
CA	CYATHEA AUSTRALIS	ROUGH TREE FERN	1	4m	250mm
CC	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	1	3m	200mm
CO	CORREA ALBA	WHITE CORREA	2	1.2m	250mm
CT	CORDYLINE FRUTICOSA 'PINK DIAMOND'	PINK DIAMOND	4	2m	250mm
CU	CRASSULA OVATA 'UNDULATA'	CRASSULA	16	0.5m	200mm
CV	CALLISTEMON VIMINALIS 'RED ALERT'	RED ALERT BOTTLEBRUSH	4	2m	200mm
GS	GREVILLEA SPECIOSA	RED SPIDER FLOWER	1	1.5m	200mm
MC	MACROZAMIA COMMUNIS	BURRAWANG	2	1.0m	200mm
MM	MURRAYA 'MIN A MIN'	DWARF ORANGE JESSAMINE	5	1m	200mm
PM	PITOSPORUM TOBIRA 'MISS MUFFET'	MISS MUFFET PITOSPORUM	10	0.7m	200mm
RI	RHAPHIOLEPIS INDICA 'ORIENTAL PEARL'	ORIENTAL PEARL	6	1m	250mm
WF	WESTRINGIA FRUTICOSA 'AUSSIE BOX'	AUSSIE BOX WESTRINGIA	11	0.9m	200mm
WG	WESTRINGIA FRUTICOSA 'GREY BOX'	GREY BOX WESTRINGIA	3	0.4m	200mm
GRASSES / GROUND COVERS					
AM	ARTHROPODIUM 'MATAPOURI BAY'	RENGA RENGALILY	7	0.9m	200mm
DC	DIANELLA CAERULEA	BLUE FLAX LILY	13	0.6m	140mm
LM	LIRIOPE MUSCARI 'PINK PEARL'	PINK PEARL	31	0.3m	140mm
LT	LOMANDRA LONGIFOLIA 'TANIKA'	TANIKA	8	0.6m	140mm
MP	MYOPORUM PARVIFOLIUM 'YAREENA'	YAREENA	18	0.1m	140mm
VH	VIOLA HEDERACEA	NATIVE VIOLET	22	0.1m	140mm



PROPOSED UPPER GROUND FLOOR PLAN
SCALE 1:100.

NOTES:

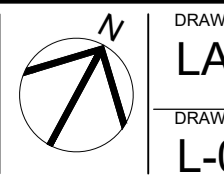
Rev.	Date	Issue	Checked
A	12/07/23	Preliminary Issue	TB
B	08/08/23	Preliminary Issue	TB
C	15/08/23	DA Issue	TB
D	10/10/24	DA Issue	TB

SPACE
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd
ABN 80 799 663 674 ACN 139 316 251
info@spacedesigns.com.au
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Brookvale NSW 2100

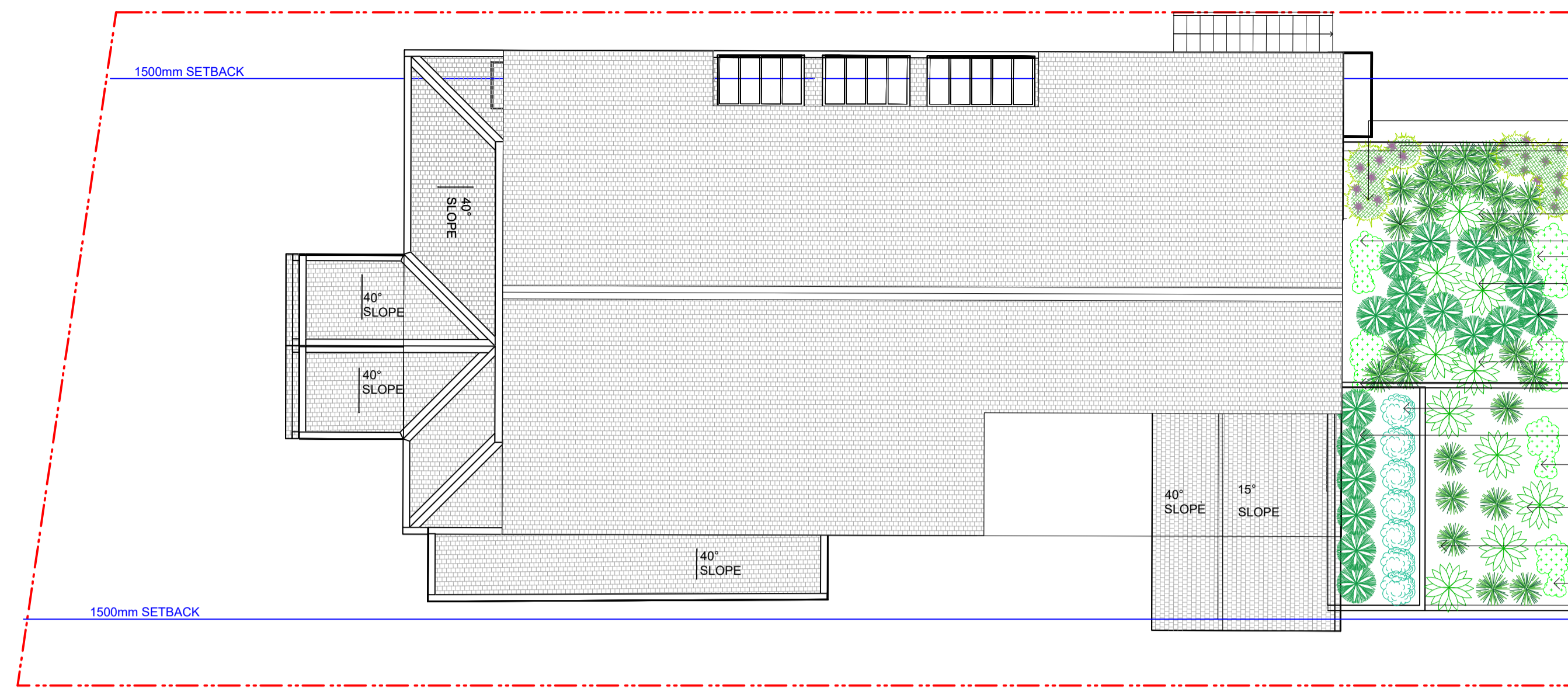
PROJECT:
Alterations and Additions
SITE ADDRESS:
42 & 42A Milson Road,
Cremorne Point NSW 2090

CLIENT: A & H Singh
DRN: A.Elboz (LD1 625)
SCALE: 1:100@A1
PROJECT NO: 232104



DRAWING TITLE:
LANDSCAPE PLAN
DRAWING NO:
L-01

	BOUNDARY
	SEWER
	EXISTING SPOT LEVELS
	ALUMINIUM EDGE
	CONCRETE
	STEPPERS IN PEBBLES
	TURF
	MULCH
	EXISTING TREE TO BE RETAINED



KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
AD	AGAVE DESMETTIANA 'EL MIRADORE GOLD'	SMOOTH CENTURY PLANT	10	0.7m	140mm
CG	CARPOBROTUS GLAUCESCENS 'AUSSIE RAMBLER'	PIG FACE	6	0.2m	140mm
CU	CRASSULA UNDLATA 'MAX COOK'	MAX COOK CRASSULA	18	0.5m	140mm
LF	LOMANDRA FLUVIATILIS 'SHARA'	SHARA	25	0.5m	140mm
MP	MYOPORUM PARVIFOLIUM 'YAREENA'	YAREENA	30	0.1m	140mm
WM	WESTRINGIA FRUTICOSA 'MUNDI'	MUNDI WESTRINGIA	7	0.3m	140mm

PLANTING PALETTE



PROPOSED LEVEL 1 ROOF TOP GARDEN PLAN
SCALE 1:100.

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

WORKMANSHIP AND MATERIAL QUALITY
Materials and workmanship are to conform to the current applicable Australian Standard Specifications and Codes. Any work or materials, which, in the opinion of the Site Manager do not meet appropriate industry standards should be rejected. Where works are adjacent to existing works, make proper junctions between new and existing works and make good any damage caused to adjoining existing and retained works.

ELIMINATE WEEDS
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

IMPORTED TOPSOIL
All construction must comply with AS 4419-2018 Soils for Landscaping and Garden Use. Spread the topsoil on the prepared subsoil and grade evenly, making allowances, if appropriate, for the following:
- Required finished levels and contours after light compaction.

- Compact lightly and uniformly in 150 mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:
- Finished to design levels, smooth and free from stones or lumps of soil. Graded to drain freely, without ponding, to catchment points. Grade evenly into adjoining ground surfaces ready for planting.

PLANTING AREA
Remove weeds, rubbish, mulch and other debris. Do not disturb tree roots or services and if necessary cultivate these areas by hand. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowance to permit the required finished levels and contours after a light compaction. Spread topsoil to the typical depth of 300mm. Feather edges into adjoining undisturbed ground.

PLANT STOCK
Plant stock to be supplied by production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.

TREE PLACEMENT AND ALIGNMENT
When the tree pit is excavated and the hole is the correct size, place the rootball in its final position. Ensure the trees are centred and plumb and the top of the rootball level with the finished surface of the surrounding soil mix. Do not use the trunk of the tree as a lever in positioning or moving the tree in the planting hole. Position the tree at the set out distances as indicated in the details. Ensure trunks are set vertically and aligned with other new or existing trees. Orientate the trees trunk north where indicated by supplied markings where applicable.

ROOT TRIMMING
All trees shall have the outer 10-25mm of the external root ball faces pruned or sliced away using secateurs or a sharp and clean spade. Avoid excessive disturbance to the remaining root ball during this trimming and discontinue if excessive root ball soil begins to fall away. Do not leave the root balls exposed for extended periods. Cover the root ball with moist hessian if backfilling cannot occur immediately.

STAKING
Install 3 x 2100mm (H) x 50mm x 50mm hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.

BACKFILLING
Backfill with soil mix as specified in soil mixes and in accordance with the details and specification. Lightly compact the soil to ensure all voids around root balls are filled and that no air pockets are retained. Ensure that the backfill soil is not paced over the top of the potted root ball. The top of the root ball and plant stem must be kept level with the top of the backfill.

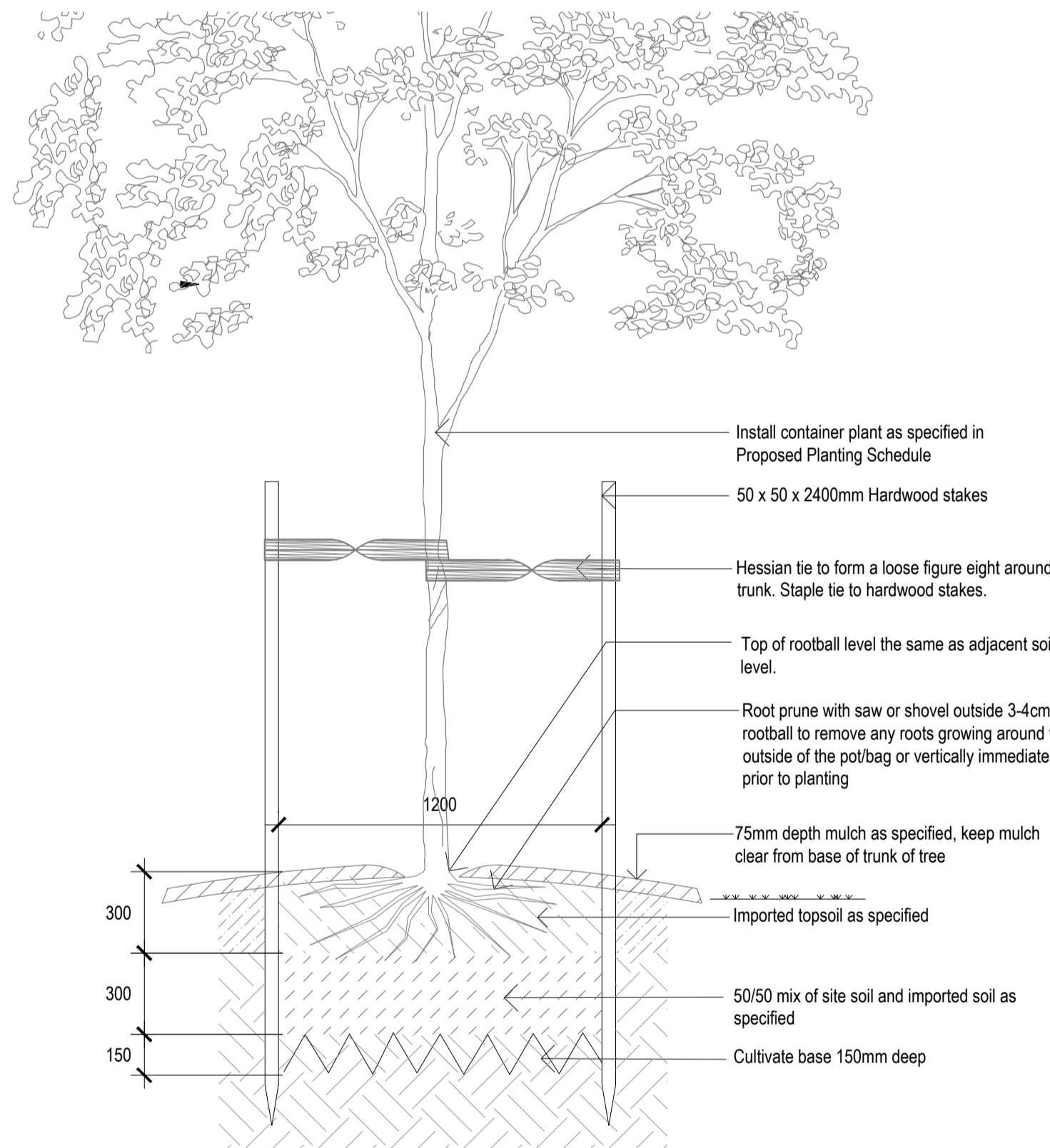
FERTILISING
Fertiliser to be applied at time of planting. Slow release landscape fertiliser suitable for trees and shrubs, 9 to 12 months release time. Osmocote or approved equivalent applied according to manufacturers directions.

MULCHING
All landscaping must comply with AS 4454-2012 Compost, soil conditioners and mulches. All planting areas to receive 50-75mm of garden Mulch, Droughtmaster, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

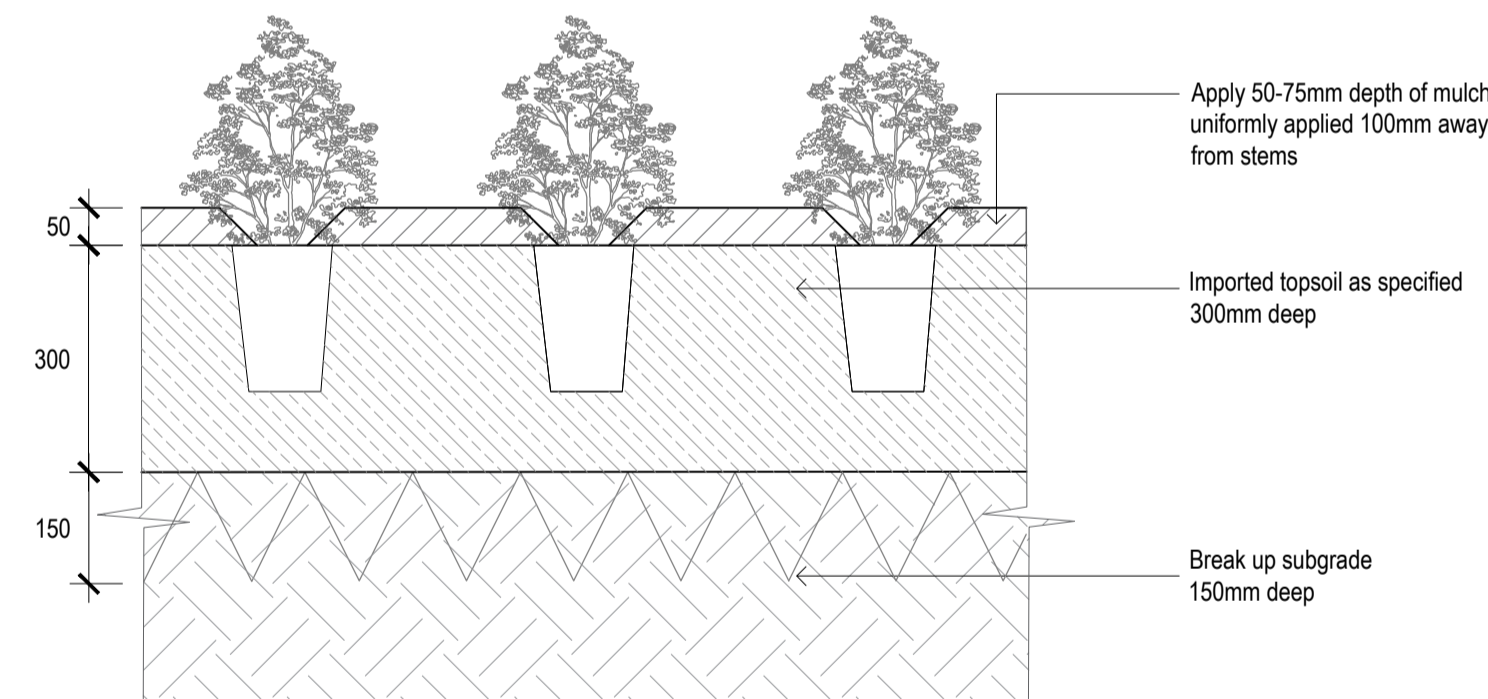
WATERING
Water in immediately after plant installation & allow for soil settlement. Watering program: Minimum 3 complete waterings, soaking to a depth of 150 mm at fortnightly intervals for the first 6 weeks of plant establishment irrespective of natural rainfall. Manually water all lawn and planting areas in absence of an irrigation system or until the proposed irrigation system is fully operational. Avoid frequent dampening of the surface. Allow the surface of the soil to partially dry out between waterings.

PAVING OVER SAND BASE
Excavated sub-base to be compacted. Provide and install 75mm depth of Fine Crushed Rock (FCR) to be compacted after installation. Provide and install 25mm depth of Sydney Sand to be compacted after installation. Pavers to be installed in pattern as indicated on plan. Ensure 2mm gap between pavers and sweep Sydney Sand between gaps upon completion and then compact with protection under compacting plate to ensure no damage to the pavers. Repeat sweeping sand and compaction Provide concrete strip edge restraint between pavement and soft areas. Ensure top of restraint is lower than top of paver.

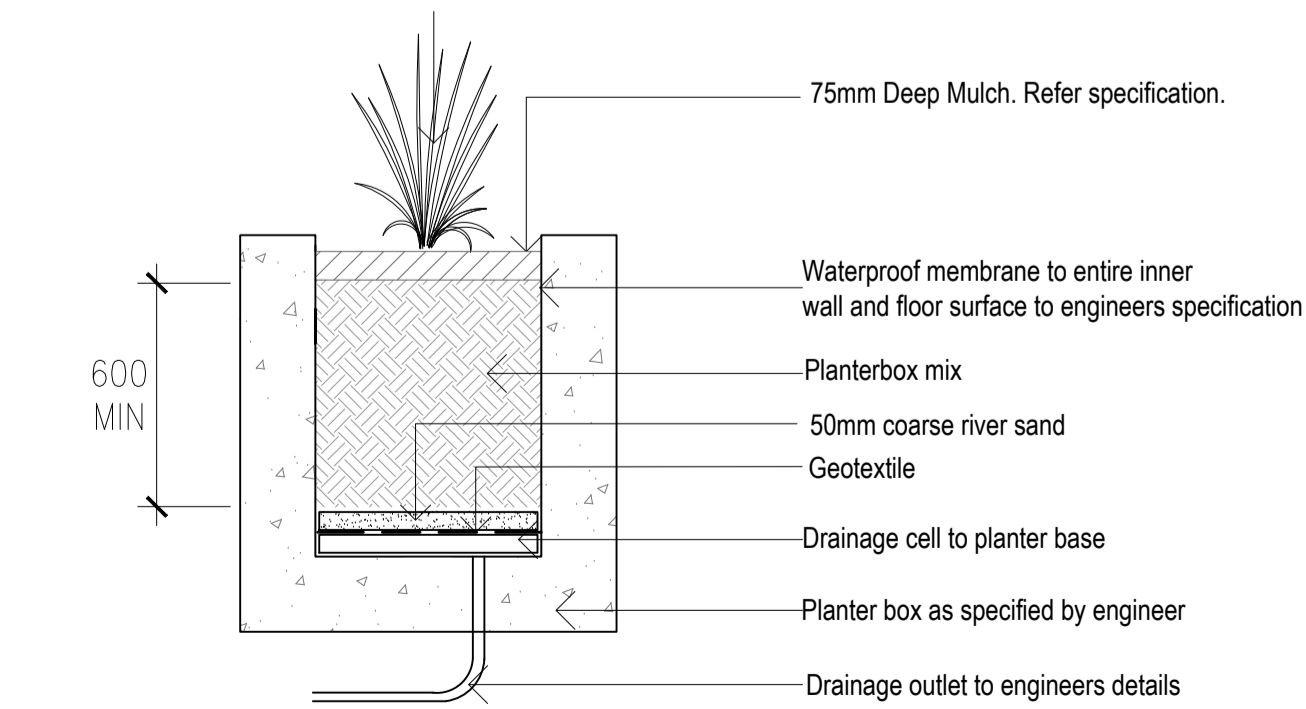
RETAINING WALLS & PLANTER BOXES
All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped ag. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.



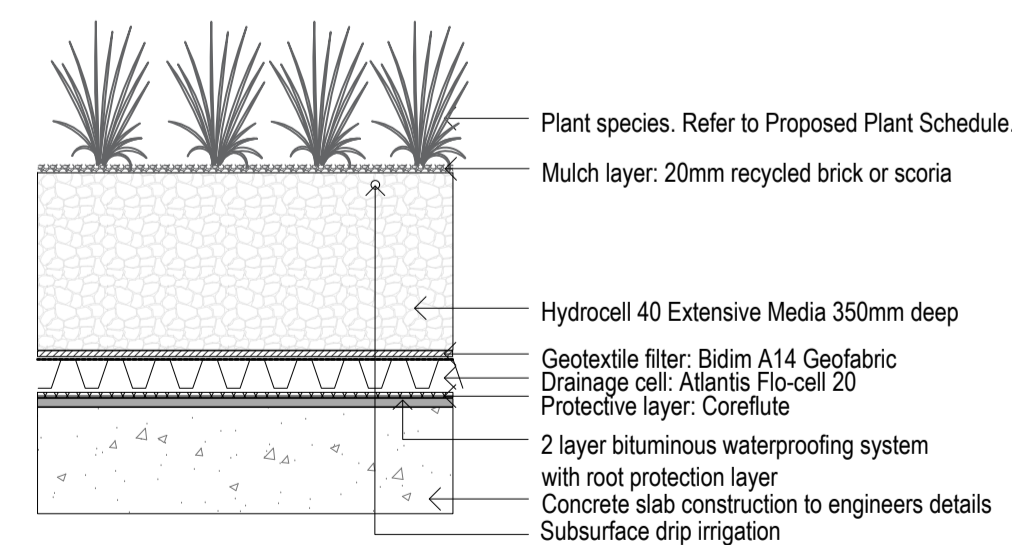
1 TYPICAL TREE PLANTING
SCALE 1:20.



2 TYPICAL SHRUB IN GARDEN PLANTING
SCALE 1:10.



3 TYPICAL RAISED PLANTER DETAIL
SCALE 1:20.



4 TYPICAL INTENSIVE ROOF GARDEN
SCALE NTS.

GREEN ROOF MAINTENANCE STRATEGY

For the successful establishment of green roofs it is essential that adequate maintenance on a regular basis be provided. As a general rule, all types of green roofs require a higher level of maintenance in their first 2 years until colonization has occurred and the vegetation has stabilized. The planters are to be consistently maintained to a high standard for maximum visual benefits, functions and uses. Establishment maintenance is typically 6 to 12 months with irrigation, weed control and pruning critical to promote suitable plant form and growth. All maintenance activities are to be conducted in accordance with applicable Australian and workplace safety regulations. All 'Working at Heights' requirements are to be met and recorded for all maintenance personnel including evidence of relevant certification. Safety systems are to be maintained as per AS/NZS 1891.4:2009. All work shall be carried out with regard to standard horticultural and arboricultural practices.

For the successful establishment of plants it is essential that adequate maintenance on a regular basis be provided. Regular visual inspection ensures problems can be readily identified and fixed. This regular maintenance will encourage quick development of the plants and reduce the cost of replacing dying plants.

VISUAL INSPECTION CHECKLIST

Use a visual inspection checklist to monitor the planters and identifying any problems. Additional visual inspections are recommended after extreme weather events such as heavy rain, strong winds and prolonged drought.

- PLANT COVERAGE:** Note any bare patches
- PLANT HEALTH:** Assess plant health and condition, noting signs of possible nutrient deficiencies, pests and diseases, damaged plants, pruning needs and any declines / deaths.
- WEEDS:** Assess the weeds present, noting the dominant species and if particular areas are more impacted than others.
- PLANTERS:** Check the planters, noting any roots emerging from the bottom of planters, particularly at drainage points, or any surface damage of the planter profile.
- IRRIGATION:** Check any damage/deterioration of irrigation components and any visual signs of over/under watering.
- DRAINAGE:** Check for blockages, standing water.

HORTICULTURAL MAINTENANCE

Weeding:
Uncontrolled weeds compete with planted species and can alter the aesthetic and functional outcomes of the planters. Weed control measures should aim to eliminate weed germination and establishment. Weeds are to be controlled while young and before seed set.

Physical control of weeds in planters rely on hand removal with early weeding of small weeds the most effective approach. Weeds to be removed carefully by hand to minimize spread. Chemicals are generally not recommended. Maintenance staff should observe good hygiene practices to ensure weeds do not spread from one site to another.

Pruning:
Pruning is undertaken to manage plant form and shape of climbers and small trees. Begin from the top of the green wall and head down towards the bottom. Prune specimens that lower above others. Ensure plants do not attach to windows or walls. Prune climbers to encourage attachment to wire cables and ensure they do not grow over planter edges and trail along the ground. Prune climbers to ensure they do not attached to the small trees. Pruning as required to small trees to maintain plant density, shape, encourage flowering and improve appearance. After pruning, plants should have no dead wood evident and retain an appropriate form or shape. Pruning frequency will be dependent on growth rates and seasonality.

Plant Health:
Plant health issues may relate to nutrition or from abiotic stresses such as elevated heat, drought and wind exposure. Pests can cause physical damage to plants while pathogens such as viruses, fungi and bacteria can introduce diseases and damage plant growth. Integrated pest management approaches will be the most effective to ensure plant health. Vegetation should be healthy with even growth and no evidence of pest and disease infestation. Scheduling of control measures will depend on the plant species and season.

Soil Testing:
If growth of plants is poor a soil pH test should be performed. Follow the instructions as per the pH colourimetric kit to check the soil pH is at an acceptable level.

Fertilisers:
Managing plant nutrition should be based on regular monitoring of plant growth. Visual symptoms such as low vigour, stunting, leaf yellowing or chlorosis may indicate nutrient deficiency. Assessing the soil pH helps identify problems. Fertilising will only be required if the plant is indicating signs of poor condition and slow growth due to nutrient deficiencies. If fertilising is deemed to be necessary it will be carried out after the second seasons growth at the end of the second growing season in late summer to autumn. Fertilisers are to be used carefully to avoid dumping of nutrients and/or leaching of nutrients into the stormwater. Synthetic, controlled-release fertiliser or organic slow-release fertilisers should be used. N:P:K ratios and application rates vary greatly depending on conditions of use. Consult manufacturers for application rates suitable for individual plantings.

Check individual components of the irrigation system included drip heads, irrigation lines and drainage gutters.

Mulches:
Every 6 months all garden beds are to be checked to ensure there is sufficient mulch. Mulch to be spread evenly and uniformly at a consistent depth. No ponding of water should be evident or in perimeter drains and no leaks observed from planters externally or internally. Mulching materials must be sourced from a certified fully licensed Australian Standard producer.

Rev.	Date	Issue	Checked
A	12/07/23	Preliminary Issue	TB
B	15/09/23	DA Issue	TB
C	10/10/24	DA Issue	TB

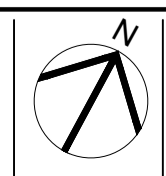
NOTES:
- Considers to check and verify all dimensions and all levels on site prior to any works.
- Any dimensions should be immediately referred to Space Landscape Designs.
- All work to comply with all C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions designed over existing. All measurements are in millimetres.



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P 02 9905 7870 F 02 9905 7657
Suite 136, 117 Old Pittwater Rd,
Brookvale NSW 2100

PROJECT:
Alterations and Additions
SITE ADDRESS:
42 & 42A Milson Road,
Cremorne Point NSW 2090

CLIENT: A & H Singh
DRN: A.Elboz (LD 625)
SCALE: As shown @ A1
PROJECT NO: 232104



DRAWING TITLE:
LANDSCAPE PLAN - LEVEL 1
DRAWING NO:
L-02
Rev. C