

10.18.North Sydney Olympic Pool - Aqua Dining Tenancy Fitout

AUTHOR	Gary Parsons, Director Open Space & Infrastructure
ENDORSED BY	Therese Cole, Chief Executive Officer
ATTACHMENTS	1. 4 Alfred St South Milsons Point - Architectural Plans [10.18.1 - 17 pages]
CSP LINK	2. Our Built Infrastructure 2.1 Infrastructure and assets meet diverse community needs

PURPOSE:

The purpose of this report is to consider a request from Aqua Dining Pty Ltd for Council to provide landowner's consent to accompany the lodgement of a Development Application for the fitout of commercial premises within North Sydney Olympic Pool.

EXECUTIVE SUMMARY:

- In March 2021 Council entered into an Agreement for Lease with Aqua Dining Pty Ltd; the lease on-foot was surrendered in April 2021 to enable Council to redevelop North Sydney Olympic Pool.
- The Agreement for Lease requires Aqua Dining to fit out the tenancy upon handover of the premises by the landlord (Council), which requires the submission of a Development Application.
- The Environmental Planning and Assessment Act (1979) requires Development Applications to be accompanied by landowner's consent. Under the Agreement for Lease, Council is required to provide landowner's consent to lodge an application for Development Consent.
- The works proposed by the tenant are primarily restricted to inside the building, with the exception of the proposed demolition of the existing line of glazing along the external terrace, which is proposed to be replaced by new bi-folding windows in alignment with the balustrade of the external terrace.

RECOMMENDATION:

- 1. THAT** Council note that there is an Agreement to Lease between Council and Aqua Dining Pty Ltd for premises within the North Sydney Olympic Pool which is currently being redeveloped by Council.
- 2. THAT** Council note Aqua Dining Pty Ltd is required to submit a Development Application for the fitout of the premises within the North Sydney Olympic Pool under the Agreement to Lease with Council.
- 3. THAT** Council note that Aqua Dining has now approached Council to provide landowner's consent to accompany the submission of a Development Application for the fitout of the premises within the North Sydney Olympic Pool.
- 4. THAT** Council authorise the Chief Executive Officer to grant landowner's consent to

enable the submission of a Development Application by Aqua Dining Pty Ltd for the fitout of the premises within the North Sydney Olympic Pool.

Background

In March 2021 Council (the landlord) entered into an Agreement for Lease with Aqua Dining Pty Ltd (the tenant), noting that Aqua Dining was in occupation of part of the land that Council was redeveloping as part of the North Sydney Olympic Pool (NSOP) redevelopment project.

The Agreement for Lease requires the tenant to fit out the tenancy upon handover of the premises by the landlord. The tenant is required to submit a Development Application to enable the fitout of the premises.

In April 2021, Aqua Dining surrendered the lease on-foot to enable Council to redevelop NSOP.

Report

The Environmental Planning and Assessment Act (1979) requires Development Applications to be accompanied by landowner's consent. Under the Agreement for Lease, Council is required to provide landowner's consent to lodge an application for Development Consent, based on plans and specifications for the fitout works. Plans for the proposed works are attached to this report.

It should be noted that landowner's Consent does not constitute any form of statutory approval and the tenant is subject to the Development Consent Authority, which will be the Local Planning Panel. The tenant will be required to undertake all things necessary to obtain this consent.

The works proposed by the tenant are primarily restricted to inside the building, with the exception of the proposed demolition of the existing line of glazing and café blinds along the external terrace, which is proposed to be replaced by new bi-folding windows in alignment with the balustrade of the external terrace.

Issuing landowner's consent does not constitute an agreement to construct the proposed works.

Consultation requirements

The Development Application will be advertised as part of the Development Application process and in accordance with the requirement of Environmental Planning and Assessment Act (1979).

Financial/Resource Implications

There are no financial implications in Council providing landowners consent for the submission of the Development Application by the tenant.

Legislation

Council, as the property owner, is required to provide landowners consent under the Environmental Planning and Assessment Act (1979) for the submission of the Development Application.

AQUA DINING, NORTH SYDNEY POOL, MILSONS POINT

ALTERATIONS & ADDITIONS TO AN EXISTING FINE DINING RESTAURANT

DRAWING REGISTER

DRAWING NO.	SHEET NO.	REVISION	DATE	TITLE
A0001 COVERSHEET				
2023-029	A0001	A	22.10.2024	COVER SHEET
A0010 SITE PLAN				
2023-029	A0011	A	22.10.2024	SITE PLAN
A1000 EXISTING DESIGN				
2023-029	A1001	A	22.10.2024	EXISTING FLOOR PLANS
2023-029	A1011	A	22.10.2024	EXISTING SECTIONS
2023-029	A1021	A	22.10.2024	EXISTING ELEVATIONS
A1100 PROPOSED DEMOLITION				
2023-029	A1101	A	22.10.2024	DEMOLITION PLAN
2023-029	A1111	A	22.10.2024	DEMOLITION SECTIONS
2023-029	A1121	A	22.10.2024	DEMOLITION ELEVATIONS
A1200 PROPOSED DESIGN				
2023-029	A1201	A	22.10.2024	PROPOSED FLOOR PLANS
2023-029	A1211	A	22.10.2024	PROPOSED SECTIONS
2023-029	A1221	A	22.10.2024	PROPOSED ELEVATION
2023-029	A1222	A	22.10.2024	PROPOSED ELEVATION
2023-029	A1231	A	22.10.2024	RESTAURANT RCP
A1300 PROPOSED DETAIL DRAWINGS				
2023-029	A1301	A	22.10.2024	DETAILED SHORT SECTIONS
2023-029	A1302	A	22.10.2024	DETAILED LONG SECTION
2023-029	A1303	A	22.10.2024	STAIR DETAILS
2023-029	A1304	A	22.10.2024	KITCHEN LAYOUT AND FOOD COMPLIANCE

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Council Meeting 28 October 2024 Agenda

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COVER SHEET

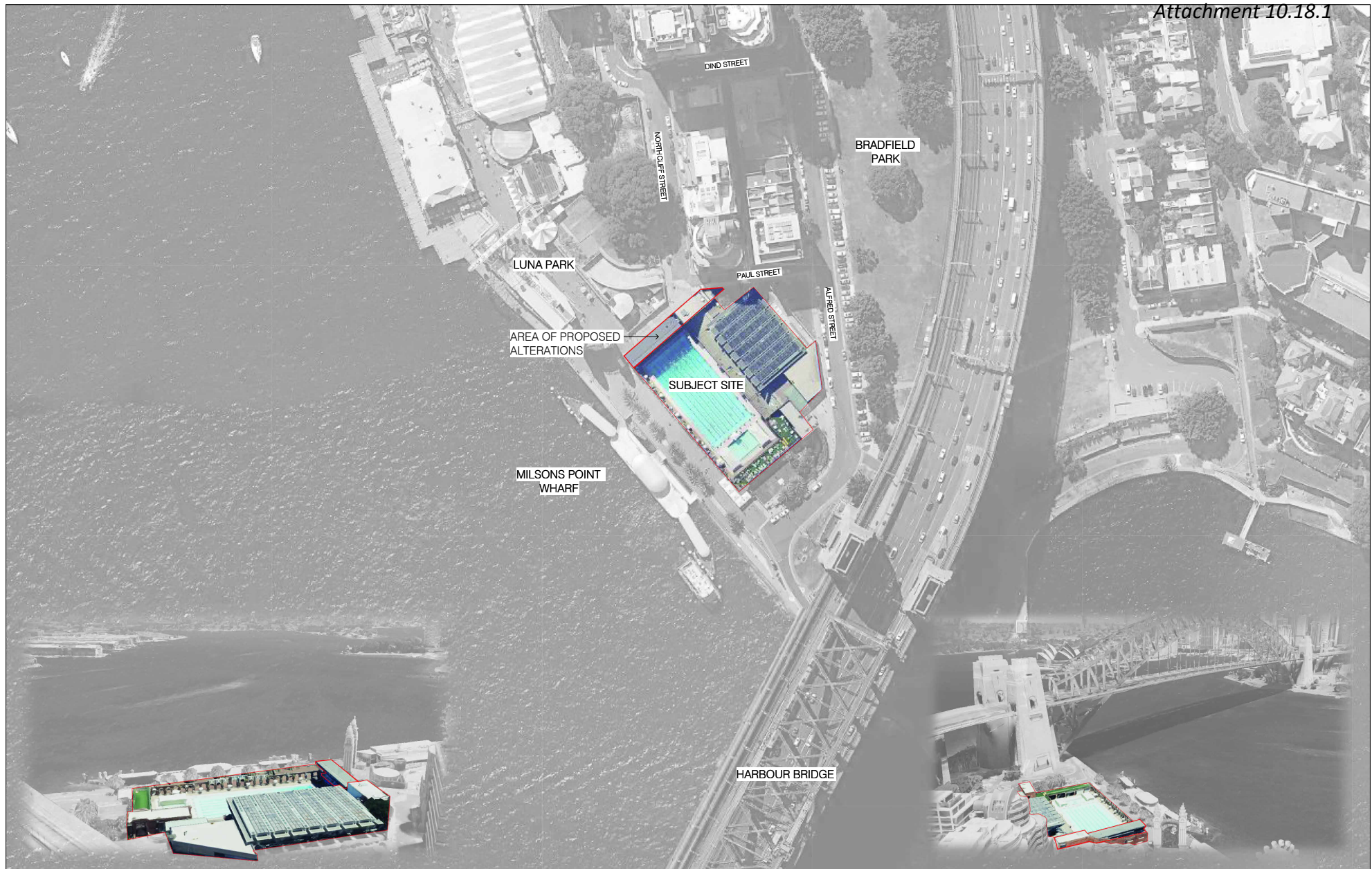
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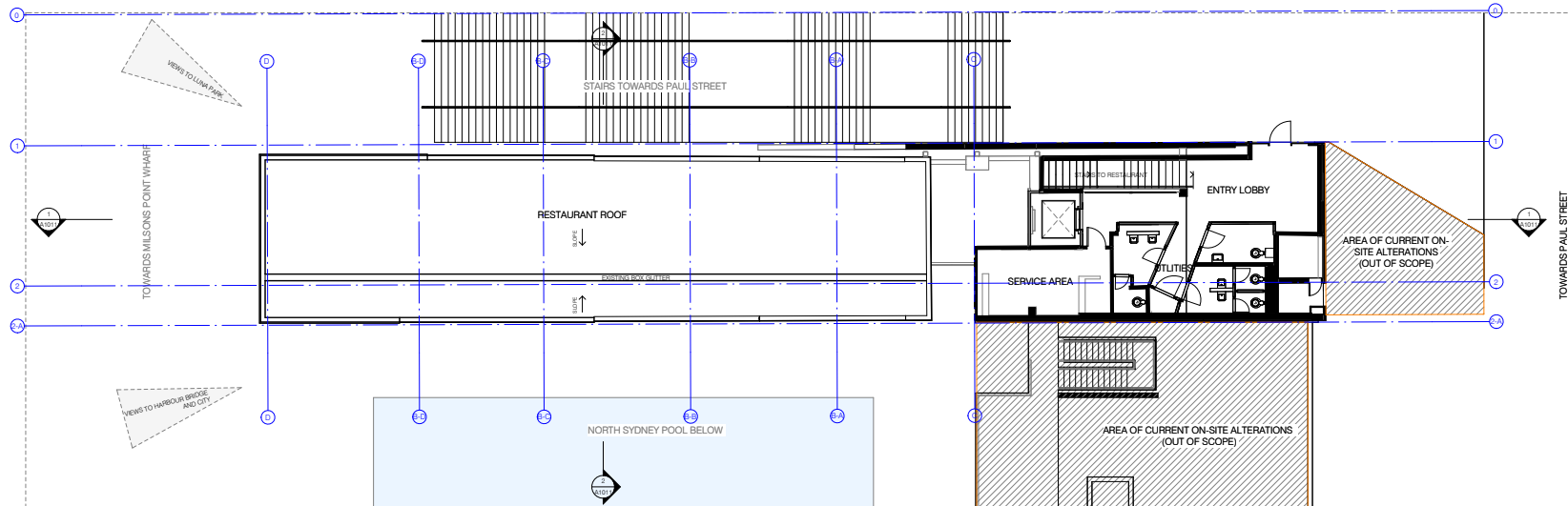
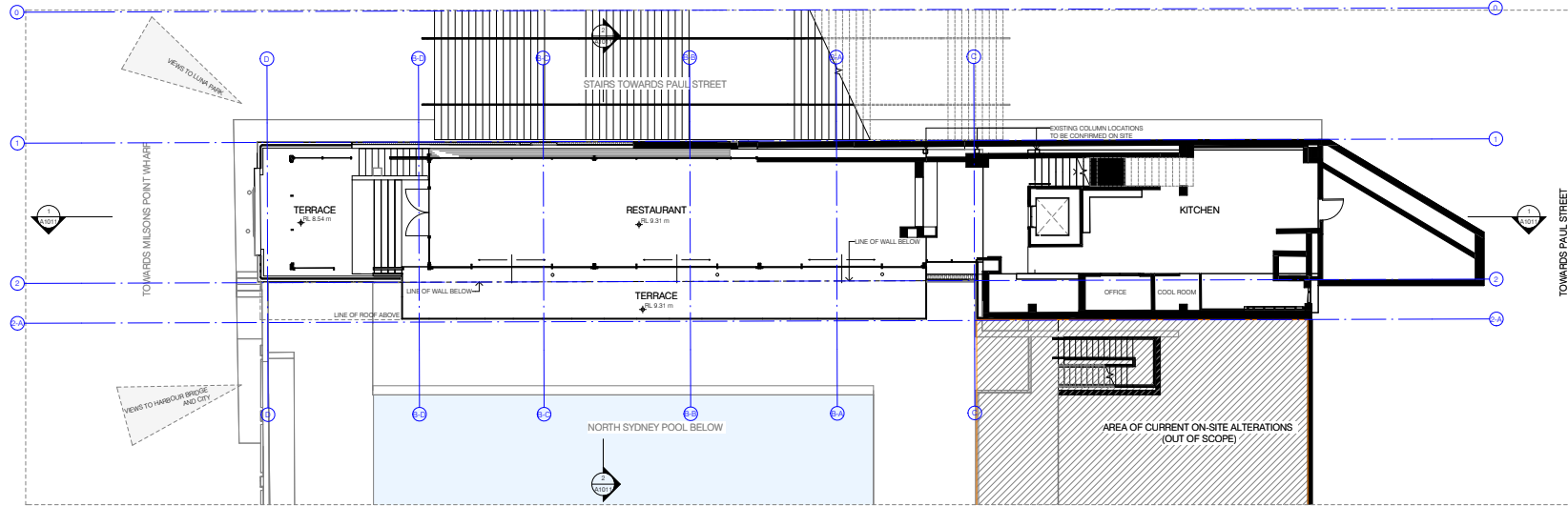
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SITE PLAN	
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LEGEND:

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- PROPOSED DEMOLITION
- AREA OF CURRENT ON-SITE ALTERATIONS - OUT OF SCOPE
- NEW STRUCTURE COLOUR CODED AS PER DA COLOUR LEGEND
- DEMOLITION NOTES

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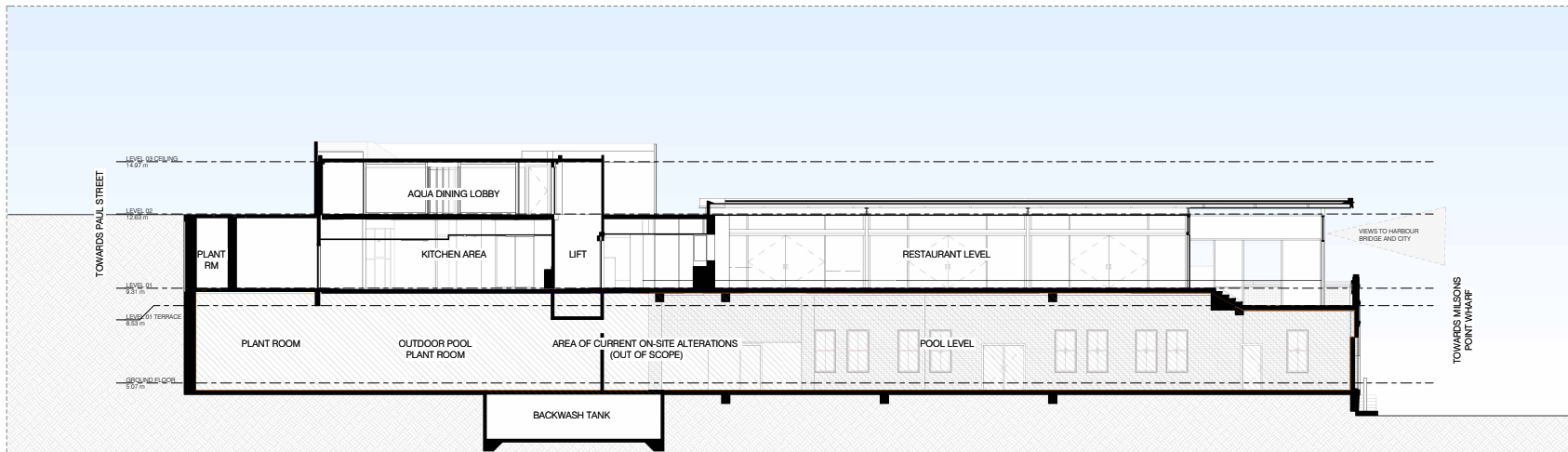
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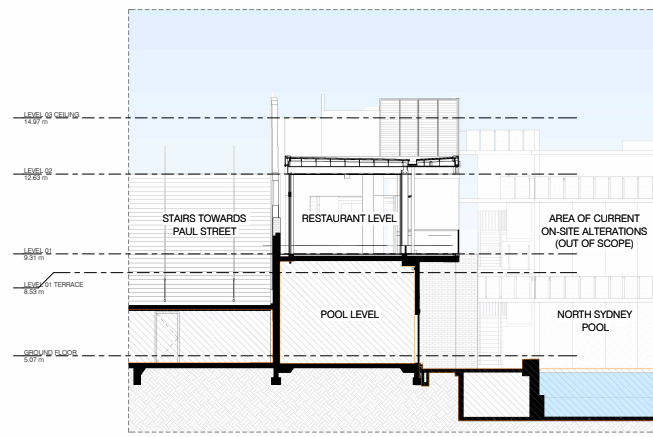
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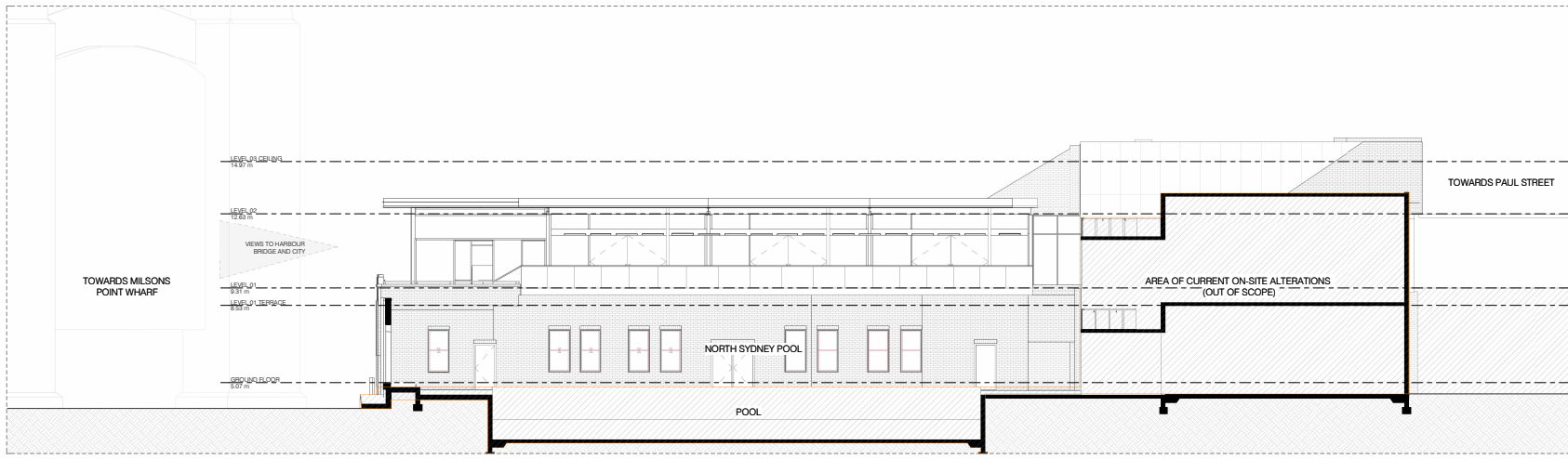
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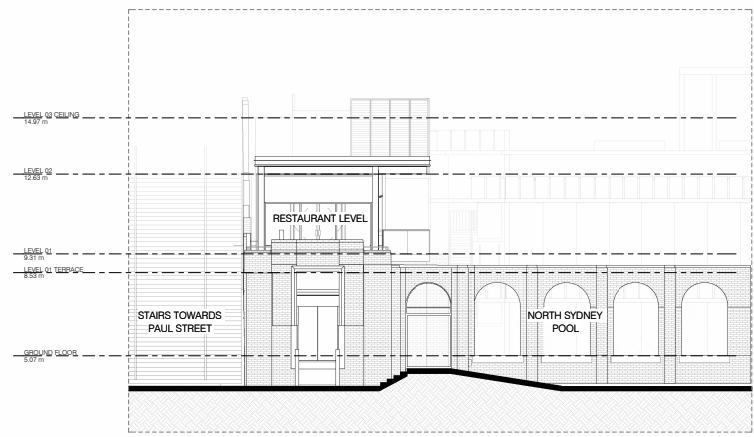
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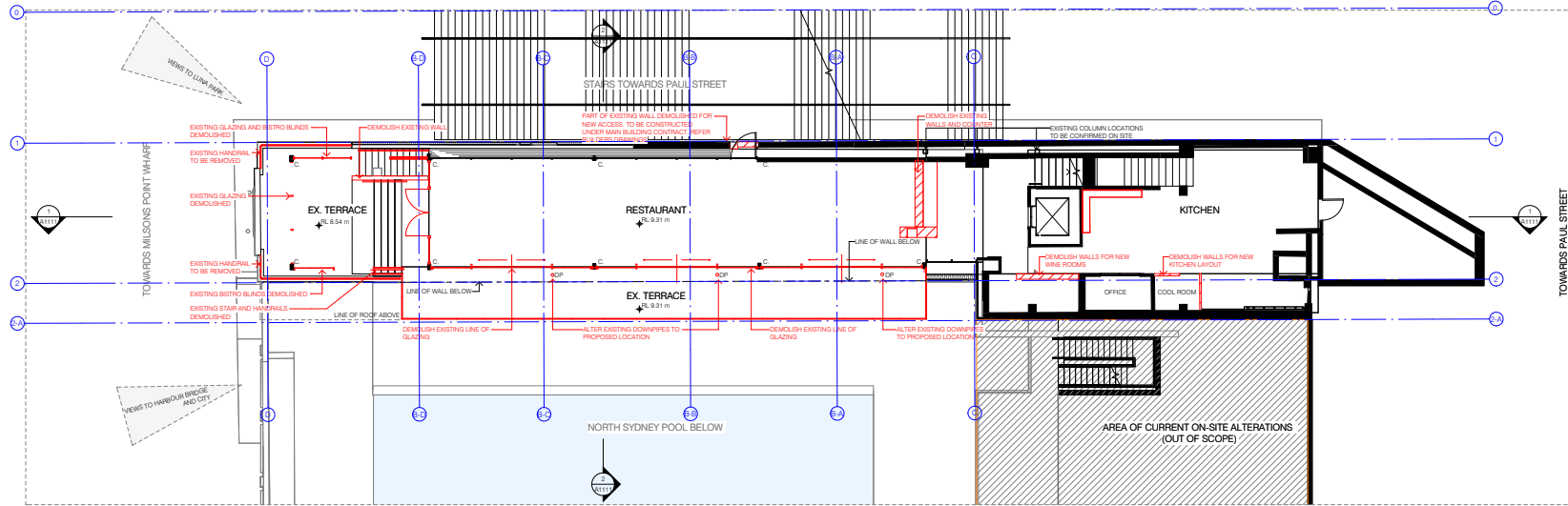
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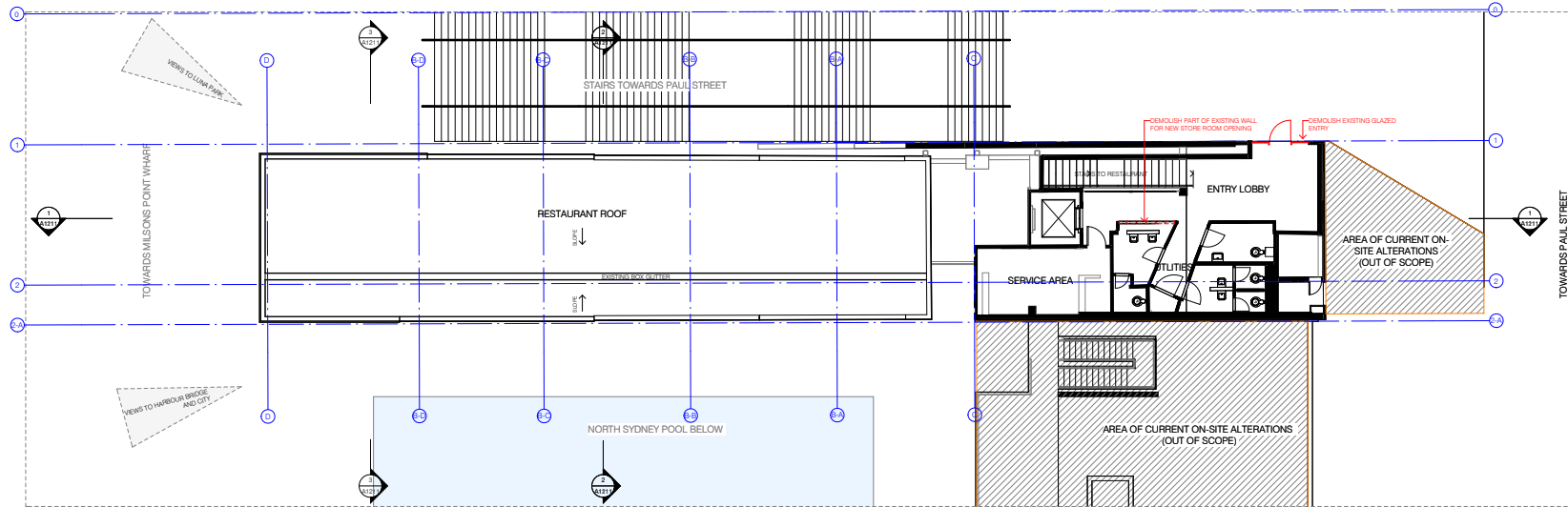
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2 LEVEL 02 FLOOR PLAN- DEMOLITION
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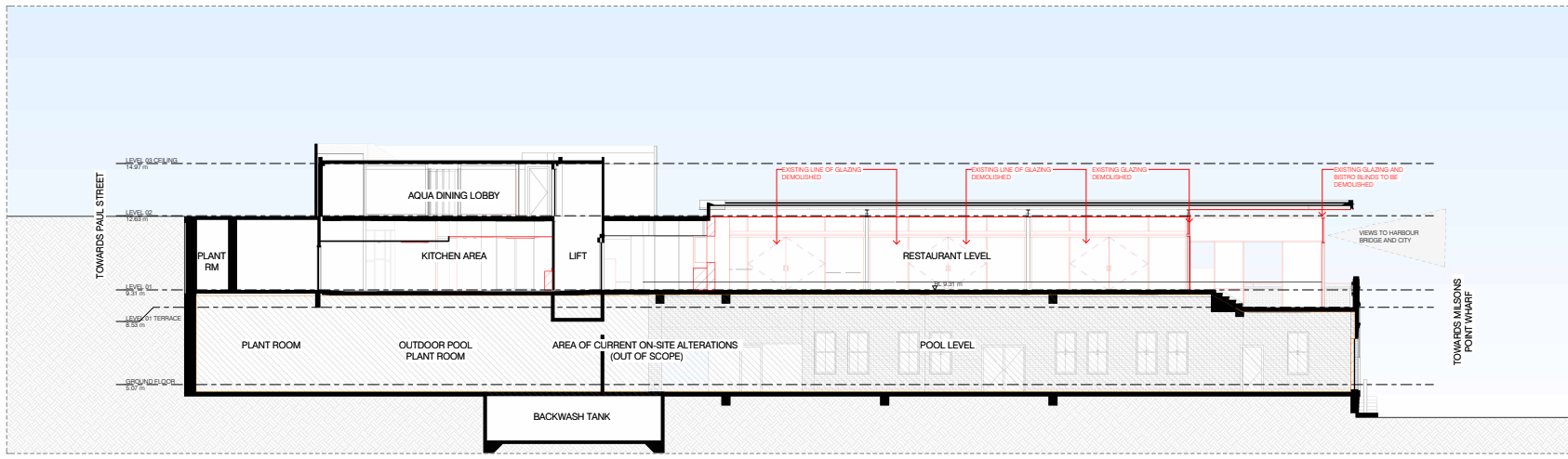
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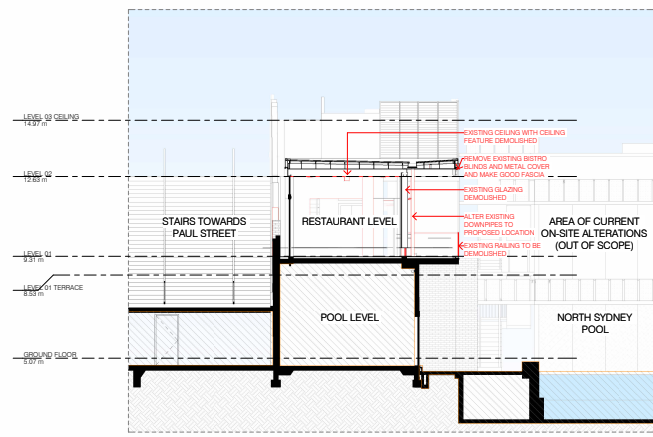
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DEMOLITION PLAN	
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2 SHORT SECTION 01 - DEMOLITION
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DEMOLITION SECTIONS

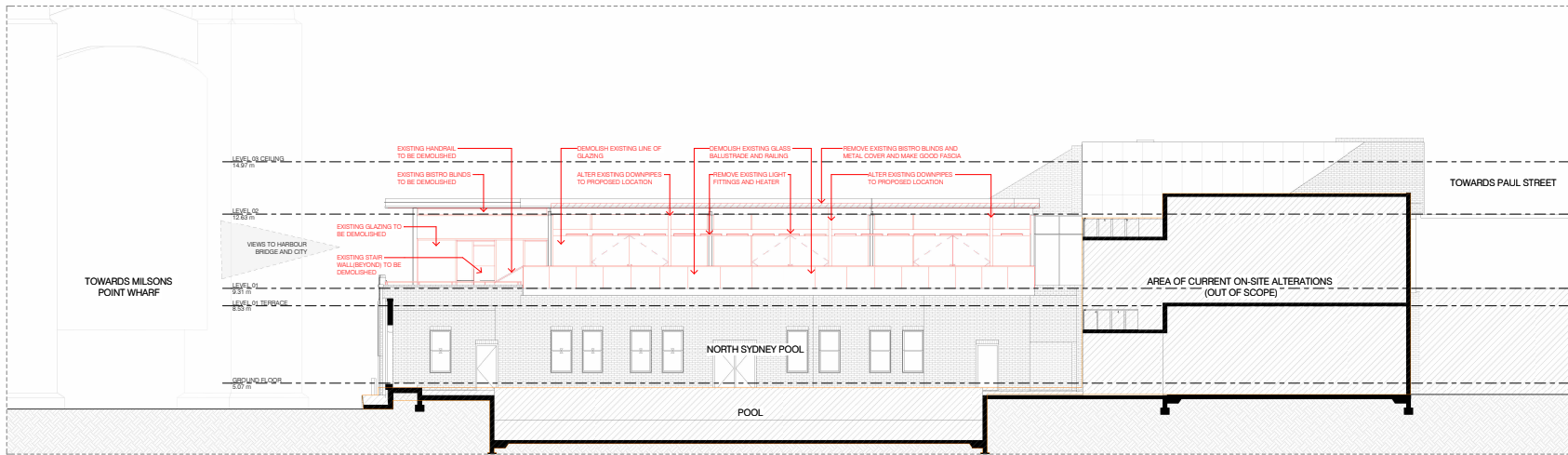
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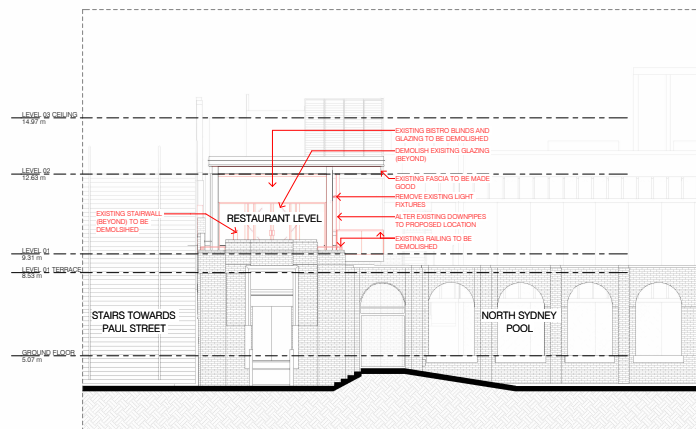
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1 SOUTH ELEVATION-DEMOLITION
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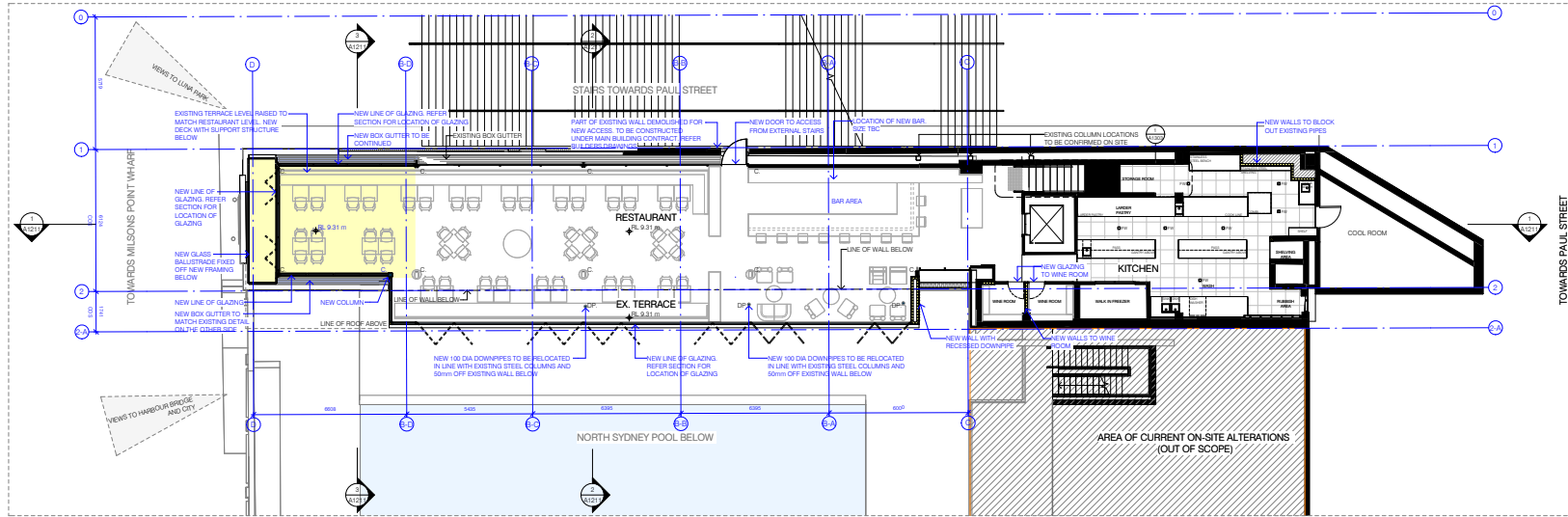
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DEMOLITION ELEVATIONS

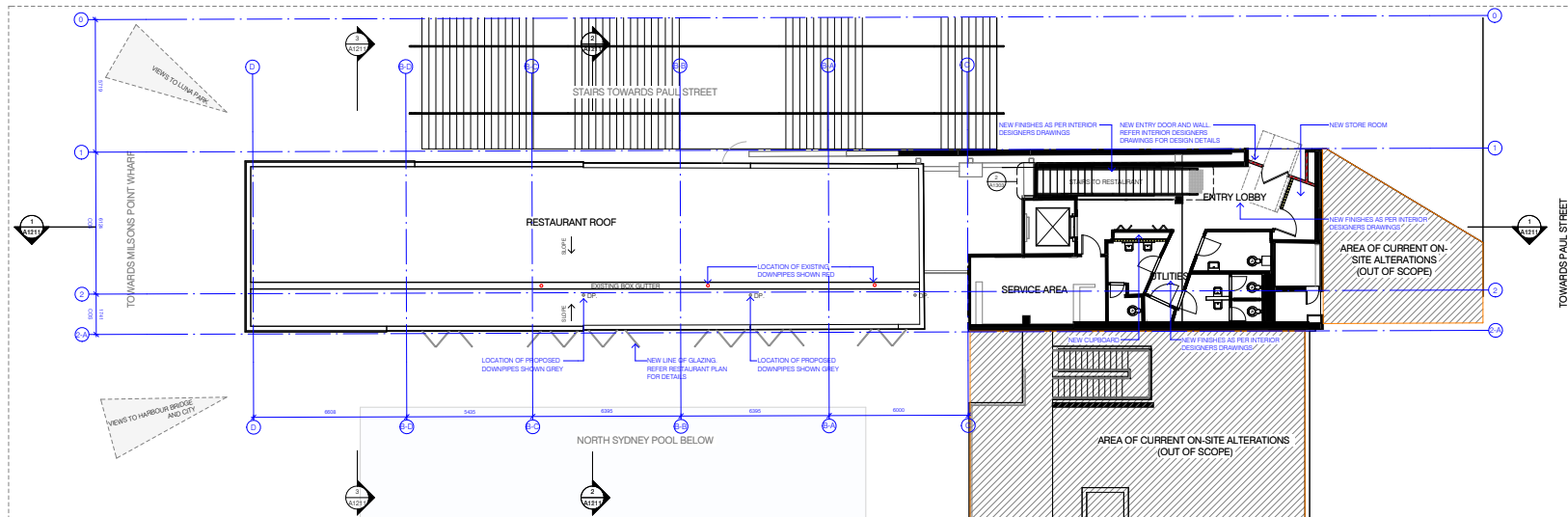
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1 LEVEL 01 FLOOR PLAN - PROPOSED ALTERATIONS
1:100



2 LEVEL 02 FLOOR PLAN - PROPOSED ALTERATIONS
1:100

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- NEW CONCRETE
- NEW BRICK STRUCTURE
- NEW PLASTERBOARD STRUCTURE
- NEW TIMBER STRUCTURE
- NEW GLASS
- CONCRETE (ELEVATION)
- BRICK (ELEVATION)
- PLASTERBOARD (ELEVATION)
- TIMBER (ELEVATION)
- METAL (ELEVATION)



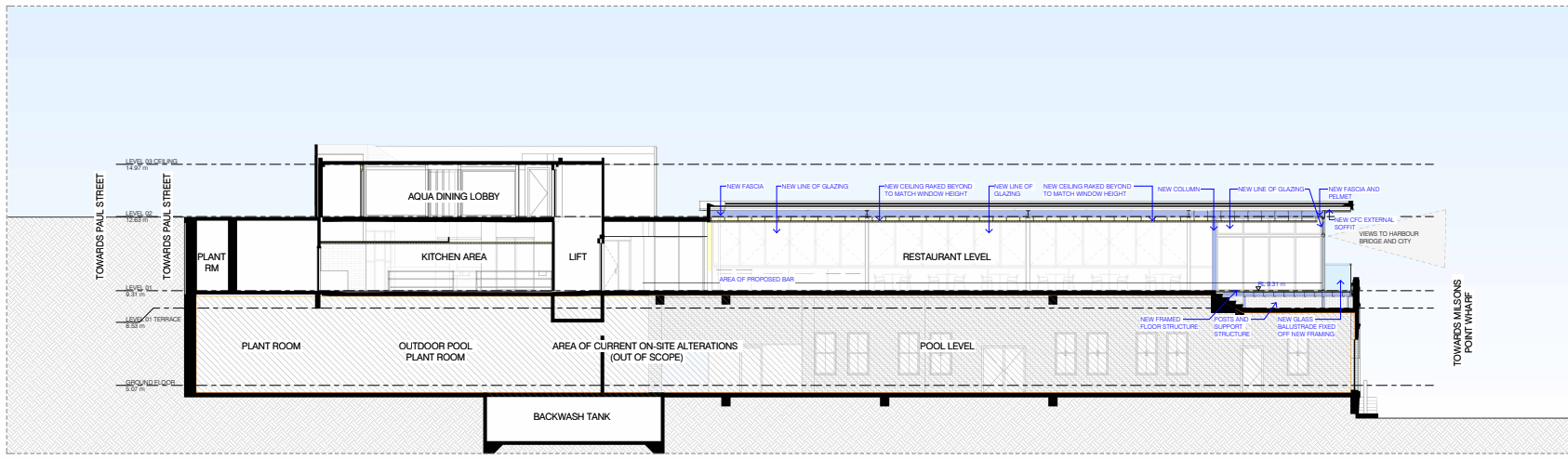
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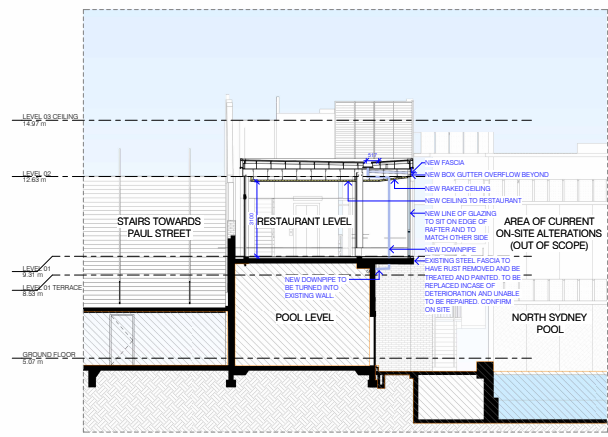
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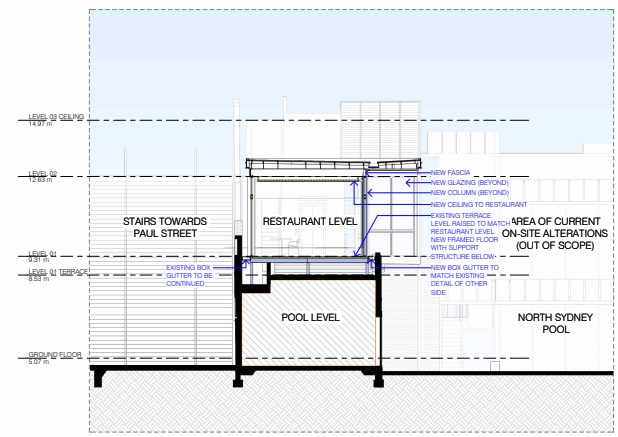
PROPOSED FLOOR PLANS	
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1 LONG SECTION 01 - PROPOSED
1:100



2 SHORT SECTION 01 - PROPOSED
1:100



3 SHORT SECTION 02 - PROPOSED
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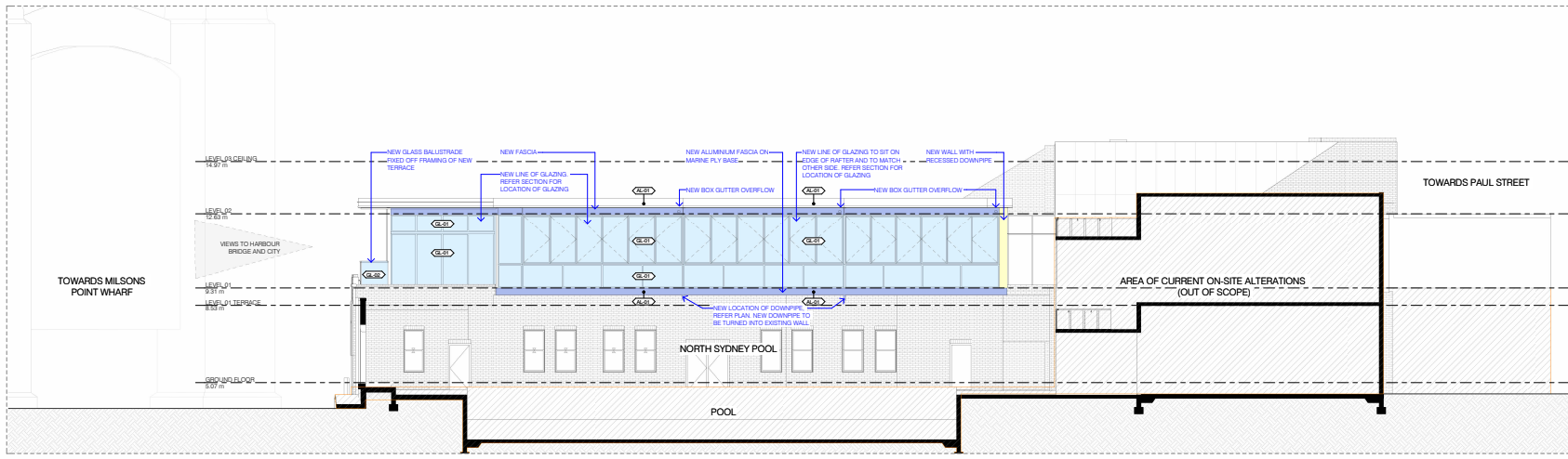
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	NEW STRUCTURE COLOUR CODED AS PER DA COLOUR LEGEND		NEW TIMBER STRUCTURE
	DEMOLITION NOTES		NEW GLASS
			CONCRETE (ELEVATION)
			BRICK (ELEVATION)
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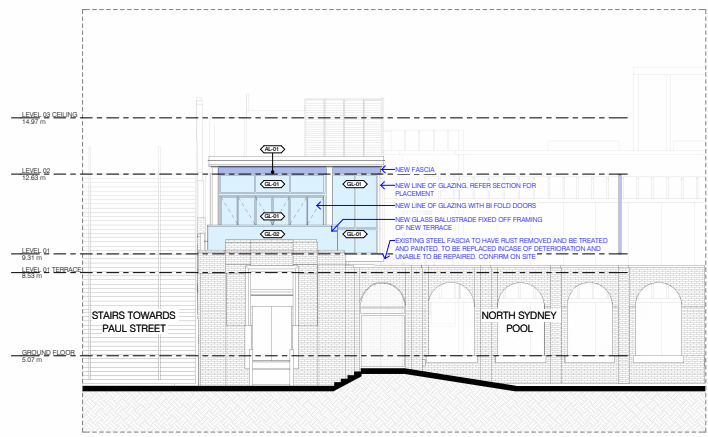
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PROPOSED SECTIONS	
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1 PROPOSED EAST ELEVATION
1:100



2 PROPOSED SOUTH ELEVATION
1:100

- REFER SCHEDULE:
- AL-01 ALUMINUM FASCIA PAINTED ON SIALUM
 - GL-01 GLASS BALUSTRADE
 - GL-02 GLASS BALUSTRADE
 - GL-03 GLASS BALUSTRADE
 - GL-04 ALUMINUM FRAMED GLAZING, GALVALUM WHITE OR SIALUM
 - GL-05 GLASS BALUSTRADE
 - FR-01 SOLID FIBRE CROWN CLIP SPOTTED OAK OR SIALUM
 - FR-02 RED BRICK TO MATCH EXISTING COLOUR SHIP OR SIALUM

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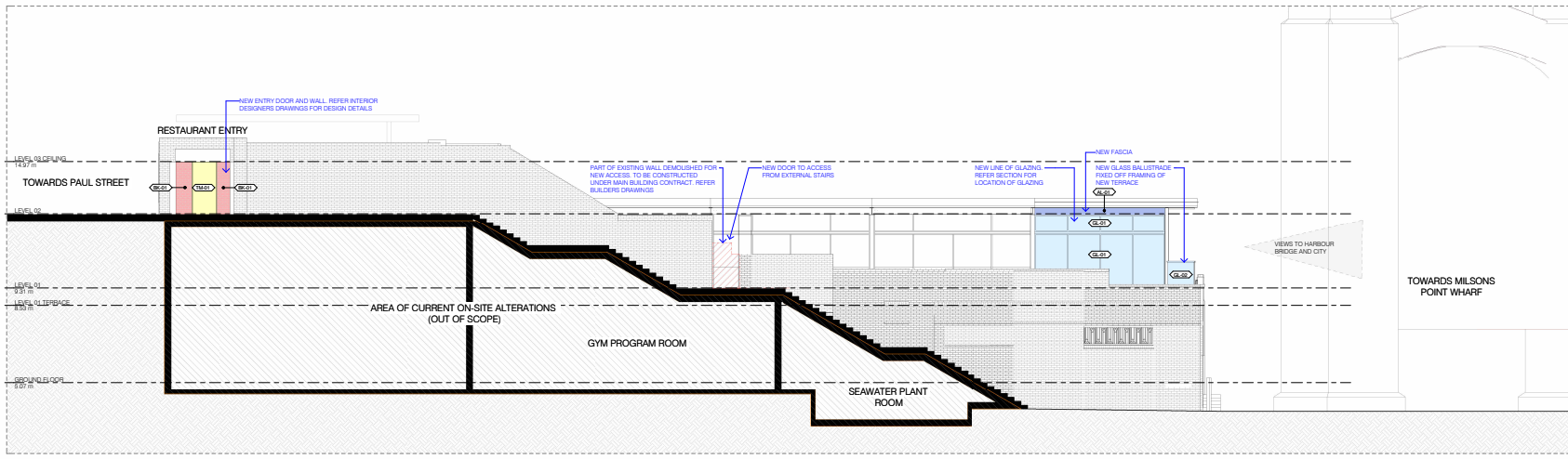
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PROPOSED ELEVATION	
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PROPOSED WEST ELEVATION
1:100

- FINISH SCHEDULE:
- AL-01 ALUMINIUM FABSCIA PAINTED OR GALVALUM
 - GL-01 ALUMINIUM FRAMED GLAZING, GALVALUM WINDOW WHITE OR GALVALUM
 - GL-02 GLASS BALUSTRADE
 - TR-01 SOLID TIMBER CROWN CLUT SPOTTED OAK OR SIMILAR
 - BR-01 RED BRICK TO MATCH EXISTING COLOUR SHANCE OR SIMILAR

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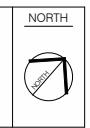
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- NEW TIMBER STRUCTURE
- NEW GLASS
- CONCRETE (ELEVATION)
- BRICK (ELEVATION)
- PLASTERBOARD (ELEVATION)
- TIMBER (ELEVATION)
- METAL (ELEVATION)



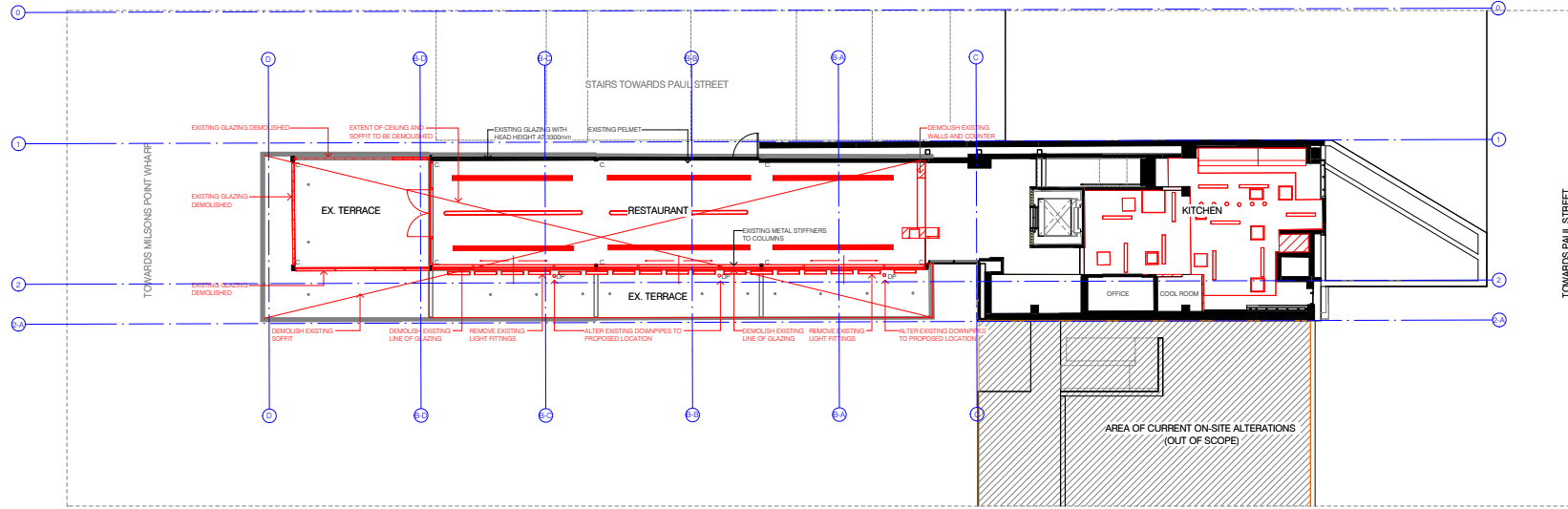
ISSUE	AMENDMENT	DATE
A	A ISSUE FOR DA	22.10.2024

PROJECT
AQUA DINING, NORTH SYDNEY
POOL, MILSONS POINT

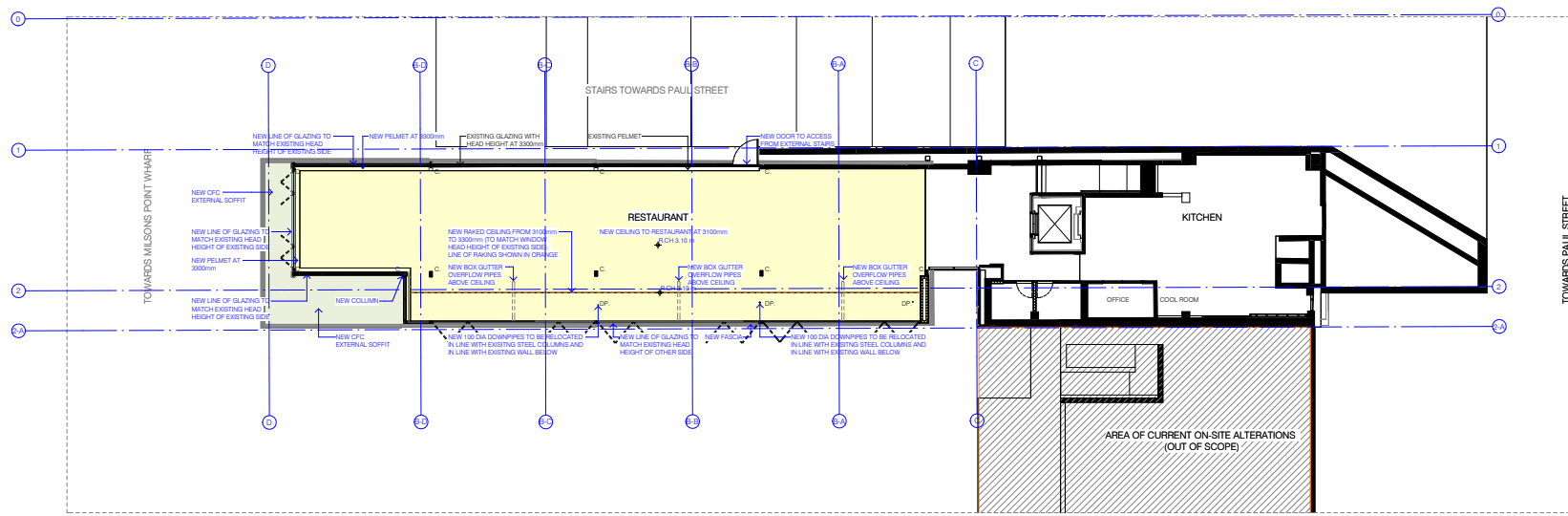
ALTERATIONS & ADDITIONS TO AN
EXISTING FINE DINING RESTAURANT

SRG

PROPOSED ELEVATION	
SCALE: 1:100@ A1	DATE: 22.10.2024
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2023-029	1222



1 LEVEL 01 RCP- DEMOLITION
1:100



2 LEVEL 01 RCP- PROPOSED ALTERATIONS
1:100

ARCHITECT

1 62 8975 9417
 www.bbarchitects.com.au
 3/2077 Darling Ave.
 Westmead NSW 2115

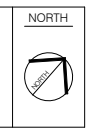
BB Architects Pty Ltd
 Registered Architect
 Barry Batten NSW Reg No. 18006

LEGEND:

- EXISTING WALLS
- PROPOSED DEMOLITION
- AREA OF CURRENT ON-SITE ALTERATIONS - OUT OF SCOPE
- NEW STRUCTURE COLOUR CODED AS PER DA COLOUR LEGEND
- DEMOLITION NOTES

DA COLOUR LEGEND:

- EXISTING WALLS
- NEW CONCRETE
- NEW BRICK STRUCTURE
- PLASTERBOARD STRUCTURE
- NEW TIMBER STRUCTURE
- METAL (ELEVATION)
- NEW GLASS
- CONCRETE (ELEVATION)
- BRICK (ELEVATION)
- PLASTERBOARD (ELEVATION)
- TIMBER (ELEVATION)
- METAL (ELEVATION)



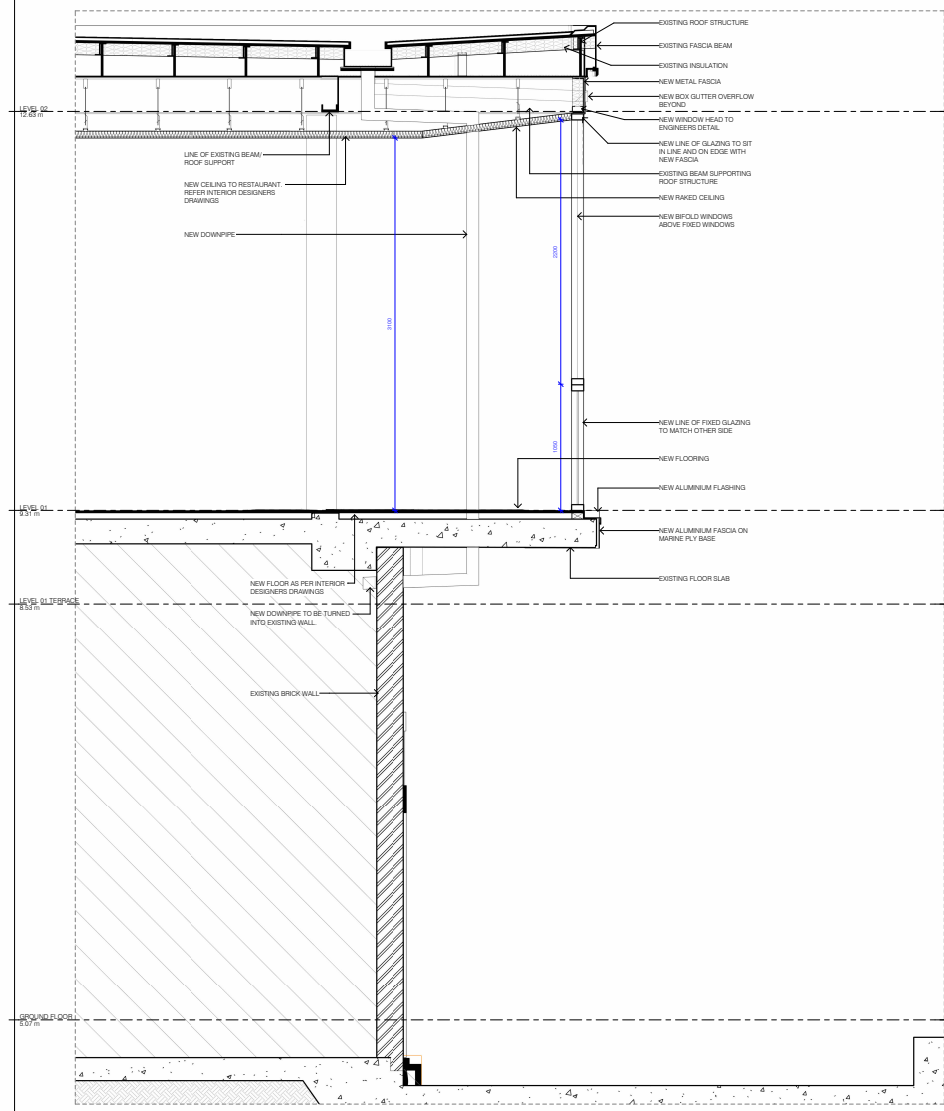
ISSUE	AMENDMENT	DATE
A	A ISSUE FOR DA	22.10.2024

PROJECT
 AQUA DINING, NORTH SYDNEY
 POOL, MILSONS POINT

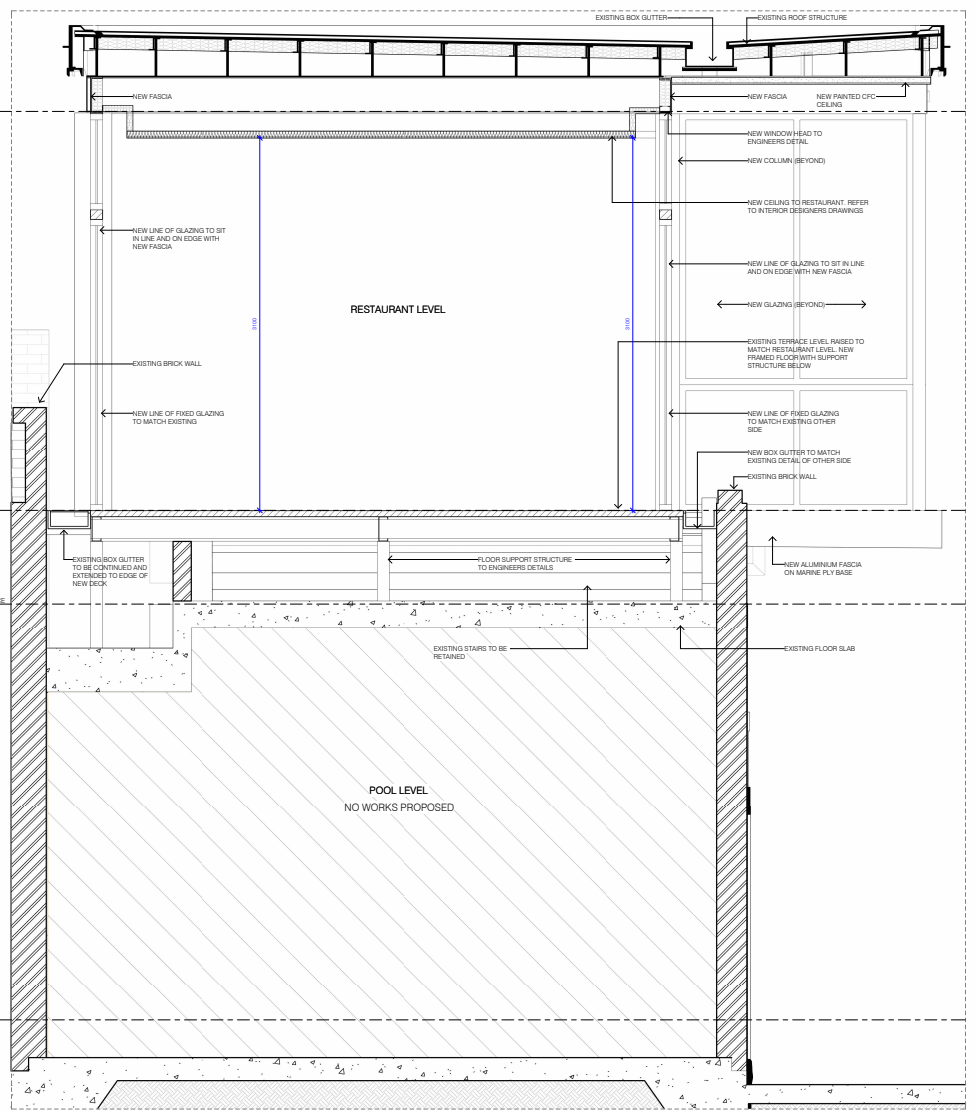
ALTERATIONS & ADDITIONS TO AN
 EXISTING FINE DINING RESTAURANT

SRG

RESTAURANT RCP	
SCALE: 1:100 @ A1 / 1:200 @ A3	DATE: 22.10.2024
ISSUE: A - A ISSUE FOR DA	
2023-029	1A1231



1 DETAILED SHORT SECTION 01 - PROPOSED
A1211 1:20



2 DETAILED SHORT SECTION 02 - PROPOSED
A1211 1:20

ARCHITECT

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 3. 30977 Durrong Ave.
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 BB Architects Pty Ltd
 Notarized Architect
 Barry Batten NSW Reg. No. 1800

LEGEND:

- EXISTING WALLS
- PROPOSED DEMOLITION
- AREA OF CURRENT ON SITE ALTERATIONS - OUT OF SCOPE
- NEW STRUCTURE COLOUR CODES AS PER DA COLOUR LEGEND
- DEMOLITION NOTES

DA COLOUR LEGEND:

- EXISTING WALLS
- NEW CONCRETE
- NEW BRICK STRUCTURE
- NEW PLASTERBOARD STRUCTURE
- NEW TIMBER STRUCTURE
- NEW GLASS
- CONCRETE (ELEVATION)
- BRICK (ELEVATION)
- PLASTERBOARD (ELEVATION)
- TIMBER (ELEVATION)
- METAL (ELEVATION)

ISSUE	AMENDMENT	DATE
A	A ISSUE FOR DA	22.10.2024

PROJECT
 AQUA DINING, NORTH SYDNEY
 POOL, MILSONS POINT

ALTERATIONS & ADDITIONS TO AN
 EXISTING FINE DINING RESTAURANT

SRG

DETAILED SHORT SECTIONS

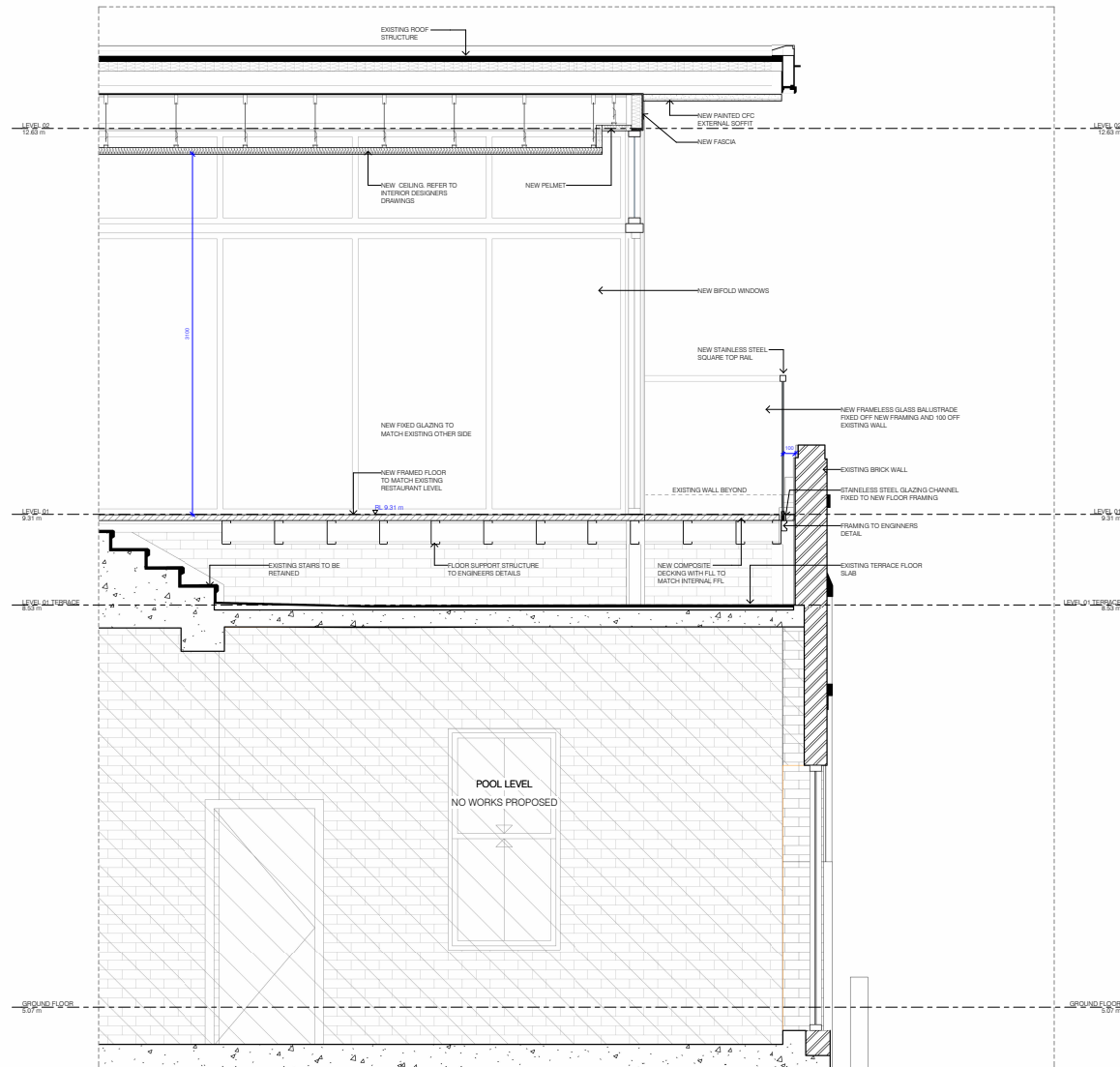
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ISSUE: A - A ISSUE FOR DA

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Page 18 of 21



1 DETAILED LONG SECTION 01- PROPOSED
1:20

ARCHITECT

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Penshurst NSW 2015

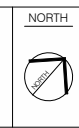
BB Architects Pty Ltd
Nominated Architect
Barrs Number NSW Reg No. 1806

LEGEND:

- EXISTING WALLS
- PROPOSED DEMOLITION
- AREA OF CURRENT ON SITE ALTERATIONS - OUT OF SCOPE
- NEW STRUCTURE COLOUR CODED AS PER DA COLOUR LEGEND
- DEMOLITION NOTES

DA COLOUR LEGEND:

- EXISTING WALLS
- NEW CONCRETE
- NEW BRICK STRUCTURE
- NEW PLASTERBOARD STRUCTURE
- NEW TIMBER STRUCTURE
- NEW GLASS
- CONCRETE (ELEVATION)
- BRICK (ELEVATION)
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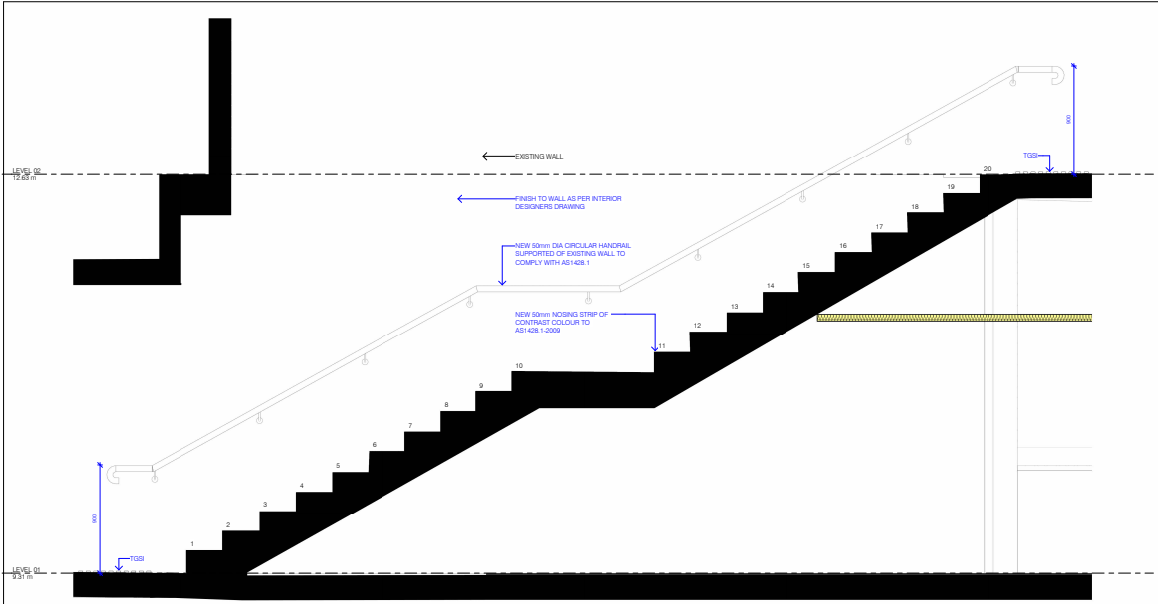


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A	A ISSUE FOR DA	22.10.2024

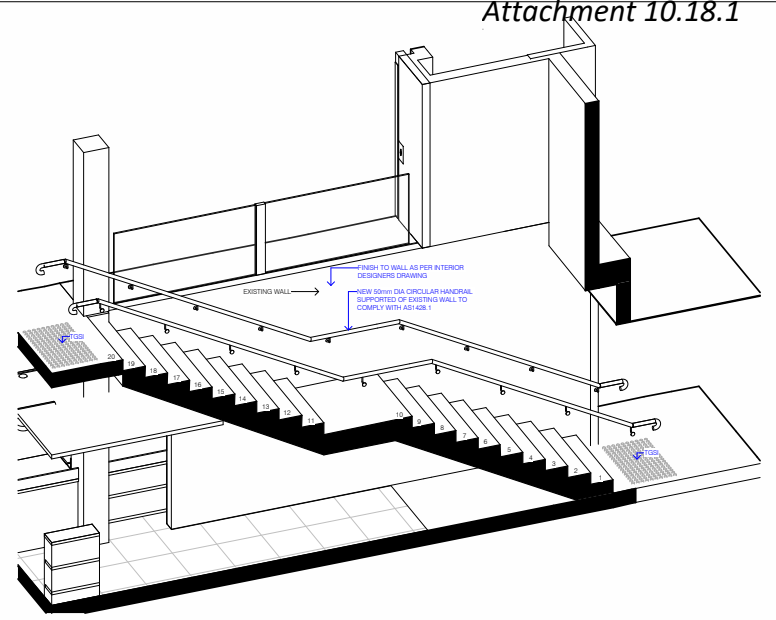
PROJECT
AQUA DINING, NORTH SYDNEY
POOL, MILSONS POINT

ALTERATIONS & ADDITIONS TO AN
EXISTING FINE DINING RESTAURANT
SRG

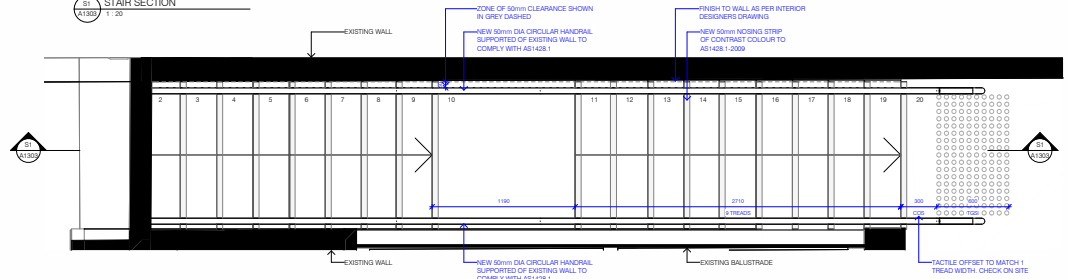
DETAILED LONG SECTION	
SCALE: As indicated @ A1	DATE: 22.10.2024
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2023-029	1302



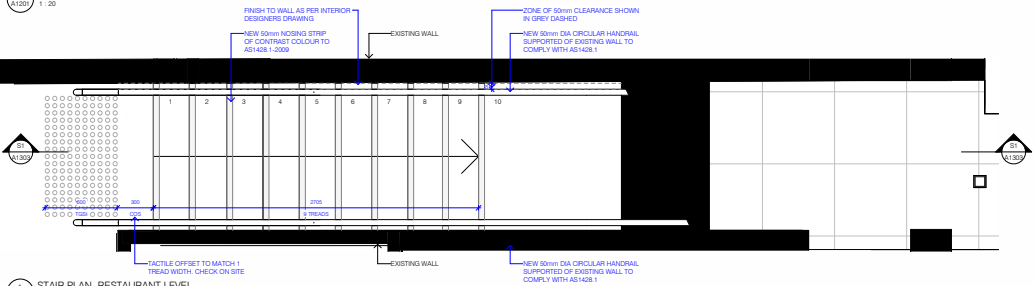
5 STAIR SECTION
A1305 1:20



6 STAIR 3D
A1305



8 STAIR PLAN- ENTRY LEVEL
A1305 1:20

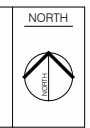


7 STAIR PLAN- RESTAURANT LEVEL
A1305 1:20

ARCHITECT

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 Manly West NSW 1585

BB Architects Pty Ltd
 Notified Architect
 Barry Babin (NSW Reg No: 1806)



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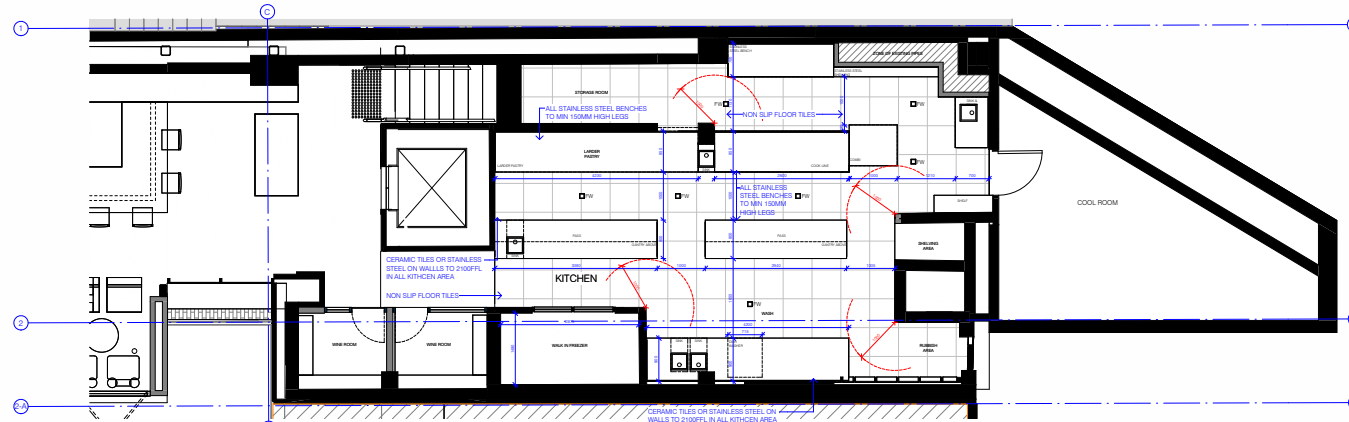
PROJECT
 AQUA DINING, NORTH SYDNEY
 POOL, MILSONS POINT

ALTERATIONS & ADDITIONS TO AN
 EXISTING FINE DINING RESTAURANT

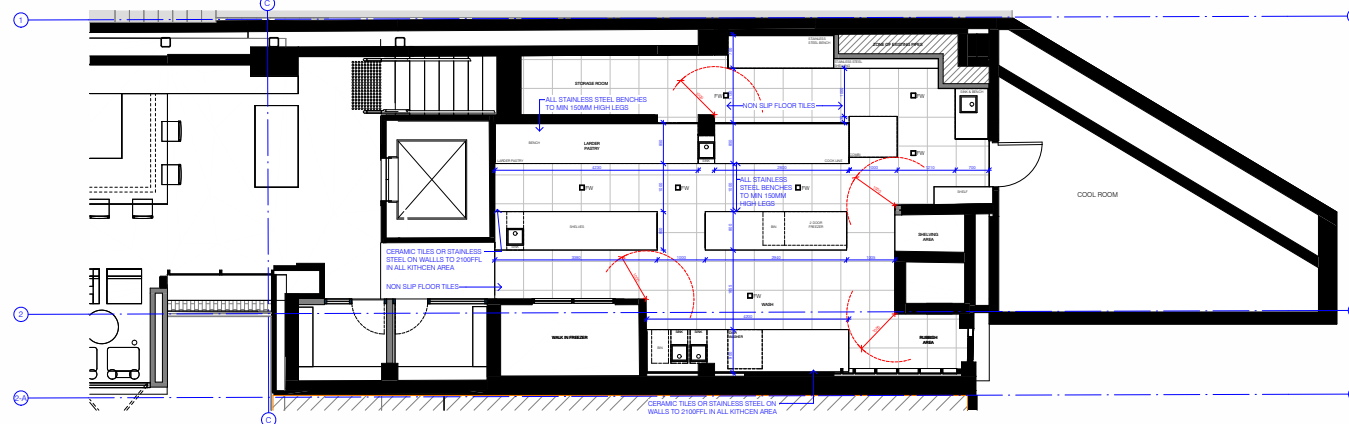
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STAIR DETAILS	
SCALE: 1: 20@) A1	DATE: 22.10.2024
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2023-029	1303

Attachment 10.18.1



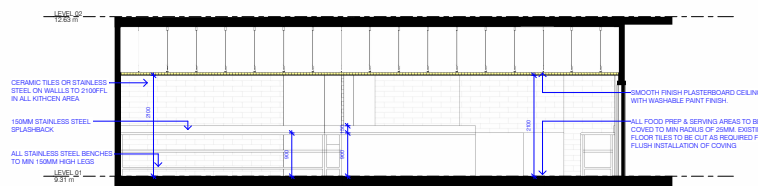
1. LEVEL 01 FLOOR PLAN - PROPOSED KITCHEN LAYOUT - ABOVE BENCH
1:50



2. LEVEL 01 FLOOR PLAN - PROPOSED KITCHEN LAYOUT - UNDER BENCH
1:50



3. SHORT SECTION
1:50



4. LONG SECTION
1:50

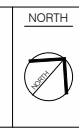
- THE FLOORS SHALL BE OF AN IMPERVIOUS, SMOOTH FINISH COVERED AT THE INTERSECTIONS OF ALL WALLS TO A MINIMUM RADIUS OF 25mm AND THE FLOOR FINISH EXTENDING AT LEAST 100mm UP THE WALL SURFACE. ALL EXISTING CRACKS IN TILE FLOOR SHOULD BE PATCHED.
- ALL FOOD PREPARATION AND STORAGE AREAS SHOULD HAVE ADEQUATE DRAINAGE TO ENSURE LIQUIDS DRAIN TO FLOOR WASTES.
- THE CEILING SHALL BE CONSTRUCTED OF A RIGID SMOOTH FACED, NON ABSORBENT MATERIAL.
- ALL EQUIPMENT, FITTINGS AND FIXTURES SHALL BE SUPPORTED CLEAR ABOVE THE FLOOR ON LEGS AT LEAST 150mm HIGH. OR, ALTERNATIVELY, SOLID CONCRETE PLINTHS COVERED TO THE FLOOR SHALL BE PROVIDED AND FINISHED TO MATCH SURROUNDING WALL TO FLOOR FINISHES. WHERE NOT SUPPORTED OF THE ABOVE, THE EQUIPMENT MUST BE FITTED WITH WHEELS WITH SAFETY LOCKS.
- FITTINGS SUCH AS SINKS, BENCHES OR SIMILAR EQUIPMENT SHALL BE FIXED TO PROVIDE A CLEAR SPACE FROM THE WALL SURFACES (REF: TO AS4674) OR ALTERNATIVELY THE FITTINGS SHALL BE BUILT INTO THE WALL SO THAT THE SPLASHBACK FINISHES LEVEL WITH THE FINISHED WALL SURFACE.
- STAFF SHALL BE PROVIDED WITH SUITABLE PERSONAL LOCKERS STORED AT LEAST 300mm CLEAR OF THE FLOOR.
- ALL PERISHABLE OR POTENTIALLY HAZARDOUS FOODSTUFFS SHALL BE KEPT EITHER BELOW 5°C OR ABOVE 60°C AS THE CASE MAY BE AND THERMOMETERS SHALL BE PROVIDED AND MAINTAINED IN A SATISFACTORY CONDITION IN THE FOOD STORAGE OR DISPLAY AREAS TO ENSURE THESE TEMPERATURE LEVELS ARE MAINTAINED.
- ALL WORKS AND OCCUPATION SHALL COMPLY WITH THE REQUIREMENTS OF SYDNEY WATER TRADE WASTE SECTION.

ARCHITECT

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 Westmead NSW 2115

BB Architects Pty Ltd
 Notary Public
 Barry Babin NSW Reg No: 18008

Council Meeting 28 October 2024 Agenda



ISSUE	AMENDMENT	DATE
A	A ISSUE FOR DA	22.10.2024

PROJECT
 AQUA DINING, NORTH SYDNEY
 POOL, MILSONS POINT

ALTERATIONS & ADDITIONS TO AN
 EXISTING FINE DINING RESTAURANT

SRG

KITCHEN LAYOUT AND FOOD COMPLIANCE	
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2023-029	1304