

**Report to General Manager**

Attachments:

1. Consultancy Report and Concept Design: Forsyth Park, January 2020

**SUBJECT:** Forsyth Park Community Centre - Feasibility Study for After School Care**AUTHOR:** Eric Poulos, Community Worker/Social Planner**ENDORSED BY:** Rebecca Aukim, Acting Director Community and Library Services**EXECUTIVE SUMMARY:**

Council's *Family and Children's Services Strategy 2018-24* made improving Before and After School Care opportunities for local parents a priority action area. The specific recommendation was to undertake an architectural review and estimate of costs (Feasibility Study) of Forsyth Park Community Centre (and amenities block) as a potential After School Care (ASC) site. The review has been completed and is provided with this report. In summary:

- While sufficient funds are available for construction of the proposed After School Care facility (\$1.089m) in the Section 94 Child Care Reserve (\$1.2m), applying them would exhaust the reserve at this stage.
- The maximum number of places (33) created by the proposed design, while comparable to some other Council sponsored centres, would not make sufficient inroads into the Before and After School Care waiting lists to justify the expense.
- The costs per sq. m. for the proposed amenities block is substantially higher at \$2.021m than Council's similar projects.
- Advice from the Division of Open Space and Environmental Services (including through the Forsyth Park Plan of Management) is that there is no immediate need for a new amenities block at Forsyth Park. Four or five other sites would have a greater claim on funds, for example Tunks Park.
- The proposed amenities block design is expensive and if Council adopted the project it is most likely it would be revisited in order to achieve a more economic outcome.
- Despite the above reservations the Feasibility Study provides an attractive and practical solution to the Centre's existing shortcomings and should be taken into account in any future work on the centre, such as the playground/storage upgrade scheduled for 2020/21, so as to ensure such work does not impede future implementation of the recommended improvements. The Centre's use as Council's only weekend hire venue with a substantial playground, will benefit from any improvements.
- Should alternative sources of funding become available, then the Forsyth Park Feasibility Study will deserve further consideration.

**FINANCIAL IMPLICATIONS:**

Competitive quotes for the Feasibility Study were received and costs incurred were \$33,550. Foreshadowed work on the Centre's playground for 2020/21 are estimated at \$200,000.

**RECOMMENDATION:**

1. **THAT** the Forsyth Park Community Centre - Feasibility Study for After School Care report be received.

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## LINK TO COMMUNITY STRATEGIC PLAN

The relationship with the Community Strategic Plan is as follows:

- Direction:
2. Our Built Infrastructure
  3. Our Future Planning
  4. Our Social Vitality
- Outcome:
- 2.1 Infrastructure and assets meet community needs
  - 3.4 North Sydney is distinctive with a sense of place and quality design
  - 4.1 North Sydney is connected, inclusive, healthy and safe

## BACKGROUND

With continued growth in North Sydney's child and family population, local primary schools are catering to increasing numbers, with the flow-on effect for Before and After School Care (BASC). The NSW Government has recognised that several public schools in North Sydney – Anzac Park, Neutral Bay and Cammeray Primary – all experience a critical shortage of BASC places.

North Sydney Council's *Family and Children's Services Strategy 2018-24* made improving BASC opportunities for local parents a priority action area – the specific recommendation was to undertake an architectural review of Forsyth Park Community Centre as a potential After School Care (ASC) site.

At its meeting on 29 April 2019, Council considered Notice of Motion No. 4/19 by Councillors Keen and Mutton in relation to Before and After School Care (Minute No. 121). Council resolved in part:

*4. THAT Council reinforces its objectives in its Family and Children's Services Strategy 2018-2024 to create more places for before and after school care within the North Sydney LGA and works with the State Government so that North Sydney becomes a high priority under the new policy.*

The Mayor and Director Community and Library Services subsequently met with representatives of the Department of Education in June 2019 to press the need for increased numbers of BASC places in local schools and to discuss other options. The second concrete strategy has been the Forsyth Park Community Centre project.

Two characteristics of this centre that made it particularly suited to exploration were firstly that the tenant is a Preschool and therefore not in session between 3pm and 6pm, the hours for after school care; and secondly that it has an oversized playground.

A complication for the Study is the part played in the centre by the playing field changerooms: for many years during school holidays they have been available to the playing field users only at weekends, as they have served as toilets for Council's licensed Vacation Care Program. (One solitary toilet accessible externally in the building is all that has been offered to the general public). For the centre to effectively operate as a desirable after school care venue, the change rooms would have to be relocated.

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The Study (undertaken in co-operation with the Director, Open Space and Environmental Services) has therefore explored two building projects: a refurbished Centre and relocated changerooms.

At its meeting on 24 February 2019, Council considered Item 25 Forsyth Park Playground Upgrade and Increased Capacity (Minute No. 41). Council resolved in part:

*2. THAT Council considers an allocation of \$200,000 from the Reserve - Child Care in the 2020/21 to upgrade Forsyth Park Community Centre's Playground.*

## CONSULTATION REQUIREMENTS

Community engagement will be undertaken in accordance with Council's Community Engagement Protocol.

## SUSTAINABILITY STATEMENT

The sustainability implications were considered and reported on during the initiation phase of this project.

## DETAIL

### The Need

BASC Provider Numbers and Waiting list - 25 June 2019:

Public School	Provider	2018 School No's	Current BASC	Children on Waiting list <sup>1</sup>	Trend in Waiting list
North Sydney Demonstration School	KU Demcare Kids Care (At School)	870	Total 4 sites: 282 in ASC 60 in BSC	Nil	Stable
ANZAC Park Public School	Jigsaw	569	198 in ASC 130 in BSC	100-150 (BASC)	Rising (with School numbers)
Neutral Bay Public School	Neutral Bay Creative Activities Group	970	300 in ASC 100 in BSC	50 ASC	Stable now, but gone down from 2018 (see below)
Cammeray Public School	The Nanyima Centre	934	170 in ASC 60 in BSC	50 BSC 70 ASC	Stable

<sup>1</sup> Information gathered from phone calls to OOSH services on 6/05/19 & 8/05/2019

## **The Site**

Forsyth Park Community Centre is located at the northern end of Forsyth Park, Montpelier Street, Neutral Bay. It is leased during school term to Cameragal Montessori Preschool which, under its license has exclusive use of a playground that meets minimum standards. The playground is in fact larger than this and the additional area is occupied by the local playgroup on Tuesdays and Thursdays. The current fencing design within the whole of the play areas allow the two groups to be separated as required under license, as well as allowing the preschool access to the larger area outside playgroup times. The Study assumes the continuation of this arrangement, and also the continuation of Vacation Care. No storage options for Vacation Care have been identified though this is not regarded as a major issue. It is envisaged that co-operation between the three services will overcome this problem.

## **The Study**

To undertake the review, Council developed a brief and engaged Kennedy Associates to produce a Report and Concept Design. Kennedy Associates have designed changerooms for Council at Cammeray Oval and Anderson Park.

The review has been done in conjunction with the Division of Open Space and Environmental Services. Contributors from OSES have been the Director, Robert Emerson, Kate Bambrick-Browne and David Manson.

The Forsyth Park Plan of Management (POM) notes that the Community Centre accords with Council's Community, Cultural and Recreational Facilities Policy, which among other things encourages community belonging, provides high quality services meeting community need and for centres which support childcare.

## **The Design Solution**

### **a) Proposed After School Care Facility**

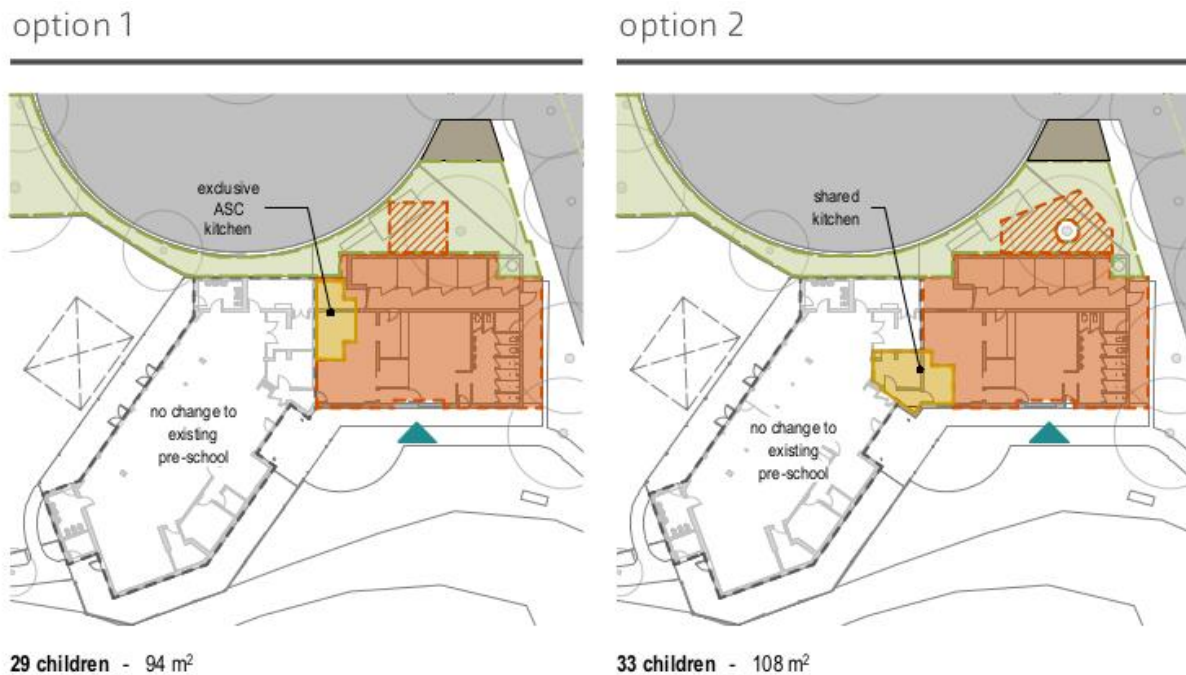
Kennedy's Architects have designed a dedicated ASC space which allows the Preschool, Playgroup and Vacation Care to continue to operate independently with upgraded storage for two of the groups.

Numbers of children allowable in childcare is determined by the *Education and Care Services National Law and Regulations*, which stipulates that services must have at least 3.25 square metres of unencumbered indoor space for each child and 7 square metres of outdoor space. Measured at approximately, 989 sq.m, there is ample outdoor space.

In relation to indoor space, the consultants were able to deliver two options for ASC, for either 29 or 33 children, dependent on the layout of the kitchen.

Outdoor storage has been enhanced by enlarging and improving storage adjacent to the playground, an addition of 6m x 3m. The design presented in the Report was achieved with minimal impact on the footprint of the building. An existing significant tree close to the Centre and all trees in the playground have been protected and retained. A structural engineer has confirmed the viability of both modifications to the design of the ASC centre and the amenities building.

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### b) Proposed Amenities Building

The amenities building is proposed to be placed above three existing water tanks located between the two playing fields at Forsyth Park.

This location was chosen from six considered in the Park and in consultation with OSES staff. Its virtues are:

- it provides good visibility to both playing fields,
- minimises impact on the existing green space as it is placed above an existing structure (water tanks),
- provides access for both people with disabilities and vehicles being adjacent to the access road off Montpellier Street and
- it is located away from residents' homes as much as can be expected.

The proposal will not impact on the water tanks use and maintenance work.



site locations



- site 1 - centre of the park adjacent to the western boundary
- site 2 - between two playing fields adjacent to the western boundary
- site 3 - south western corner of the park
- site 4 - centre of the park adjacent to the eastern boundary
- site 5 - between two playing fields over the existing planting
- site 6 - between two playing fields over the three water tanks

**Estimate of Probable Costs**

After School Care Facility: \$1,089,000

**Comment:**

For comparisons sake, the results of the review have been inserted below into a recent report of indicative construction costs per childcare place from the Australian Childcare Alliance (ACA) on developments in New South Wales for March-April 2020. While a close analysis of the individual developments has not been made, it can nevertheless be seen that the costs per place are clearly related to the number of places.

Council has understood over many years that a viable childcare service is best provided by a minimum of 40 to 60 places. Centres with less than this nevertheless continue to operate (such is the need) but on the back of a lot of hard work by staff and volunteer hours from parents. Examples of this in North Sydney Council buildings are McMahons Point Community preschool (27 places) Kidsnest Occasional care (15 places) and Cammeray Child Care Centre (28 places).

Total DA Cost	Price per child	Centre Location & Number of Places
\$1.8m	\$43K	42 places at Wentworthville
<b>\$1.089m</b>	<b>\$33K</b>	<b>33 places at Forsyth Park</b>
\$1.7m	\$28K	60 places at Hornsby
\$1.6m	\$27K	60 places at Epping
\$1.8m	\$26K	70 places at Kurri Kurri
\$1.0m	\$15K	68 places at Dundas
\$1.2m	\$13K	94 places at Moorebank

Relocated amenities block: \$2,021,000

**Comment:**

While recent benchmarks have not been sourced, it can be noted that that IPART's 2014 Local Infrastructure Benchmark for an amenities block of this size (545 sqm) was \$956,000. In the same year Anderson Park contracted amount was \$717,292, while in 2016 Cammeray Oval's amenities block contract was signed for \$589,000

The chosen site at Forsyth Park, while clearly having the least impact and having great architectural merit, requires additional features which increase the costs substantially. Examples would be a balustrade to the deck (\$66,000) and canopy above the enclosures (\$114,000).

**Conclusion**

- While sufficient funds are available for construction of the proposed After School Care facility in the Section 94 Child Care Reserve (\$1.2m), applying them would exhaust the reserve at this stage.
  - The maximum number of places (33) created by the proposed design would not make sufficient inroads into the BASC waiting lists to justify the expense.
  - The costs per sq. m. for the proposed amenities block is substantially higher than Council's similar projects.
  - Advice from the Division of Open Space and Environmental Services (including through the Forsyth Park Plan of Management) is that there is no immediate need for a new amenities block at Forsyth Park. Four or five other sites would have a greater claim on funds, for example Tunks Park.
  - The proposed design is expensive and if Council adopted the project it is most likely it would be revisited.
  - Despite the above reservations the Feasibility Study provides an attractive and practical solution to the Centre's existing shortcomings and should be taken into account in any future work on the centre, such as the playground/storage upgrade scheduled for 2020/21, to ensure such work does not impede future implementation of the recommended improvements.
  - Should alternative sources of funding become available then the Forsyth Park Feasibility Study would deserve further consideration
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**forsyth park, north sydney**  
consultancy report + concept design

kennedy associates **architects**

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**prepared for** north sydney council  
**date** january 2020

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01



introduction

## background + team + methodology

### 1.1 background

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This report has been prepared by Kennedy Associates Architects.

Kennedy Associates were engaged by North Sydney Council (hereafter the client) to prepare a feasibility report containing concept design for alterations & additions to the existing Forsyth Park Community Centre & new player changeroom & public amenity facilities located at:

**Forsyth Park  
Montpelier Street, Neutral Bay NSW**

### 1.2 kaa project team

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Kennedy Associates urban design team is led by Steve Kennedy.

Steve is a partner of Kennedy Associates Architects, has 35 years experience as an architect and urban designer and formed Kennedy Associates in 1994.

Steve is an architectural and urban design consultant to both local and state government and has been a member of numerous working groups, advisory boards, design excellence panels, design review panels and independent hearing and assessment panels, for over 15 years.

He has participated in over 300 panel sessions and reviewed more than 1500 projects.

Steve is currently a member of 4 Local Planning Panels as well as a member of the Sydney North Planning Panel representing Northern Beaches Council.

Steve is the author of numerous articles and papers, has presented at conferences and forums across Australia and has been a guest critic and taught architecture and urban design at several universities.

In 2014 Steve was awarded the Australian Institute of Architects NSW Presidents Prize for outstanding contribution to the architecture profession

### 1.3 history + methodology

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In September 2019 Kennedy Associates were approached by the client to prepare a feasibility study and concept design for the alterations and additions to the existing Forsyth Park Community Centre building and for a new building containing change rooms and public amenities to serve the park.

In preparing this report Kennedy Associates design team:

- Visited the site and its surrounds
- Attended a project briefing with the clients' representatives
- Attended other project meetings with the clients' representatives
- Attended a project meeting with the clients' appointed structural engineer for this project
- Researched relevant legislation and current regulations for the intended use of future After School Care Centre

This report summarises Kennedy Associates assessment of the site conditions and feasibility of future development as per client's brief.

## 1.4 executive summary

This report presents concept ideas for:

- the refurbishment of the eastern portion of the existing community building in Forsyth Park, Neutral Bay, which currently contains change rooms and storage areas, to provide a dedicated **After School Care Facility (ASC)**
- construction of a new stand-alone building within the park to provide **Player Changerooms and Public Amenities**

The work was commissioned by North Sydney Council in September 2019 to assist in determining the future masterplan of Forsyth Park and, in particular, the capacity to deliver after school care facilities within the park.

This report presents the outcomes of that work.

In summary, it provides:

- 2 options for the After School Care Facility, delivering space for approximately 29 - 33 children depending on the final layout of the facility and, primarily, whether the facility has its own kitchen or shares a kitchen with the pre-school
- 3 options for the Amenities Building, with Option 3 being the preferred option

### Constraints

Several key criteria influenced the work. These included:

#### After School Care Facility

- working within the existing building footprint
- minimal disruption to the existing pre-school
- ensuring existing storage allocations are maintained
- minimising impacts on the exterior spaces

#### Player Changerooms and Public Amenities

- proximity to playing fields
- access (pedestrian and vehicular)
- proximity to services
- visibility / visual impacts
- impacts on neighbours
- impacts on the existing open space
- security

### Concept design

To prepare the report Kennedy Associates undertook extensive analysis to determine both the best layout for the After School Care Facility, as well as the best location for the new Amenities Building.

The resulting Concept Design achieves the requirements of the brief with minimal impact on the existing quantum of open space and trees within the park.

The new After School Care Facility provides a well located and easy to operate facility within the existing building, with good access to existing play equipment, storage and the like.

The new Amenities Building is proposed to be constructed above the existing water tanks located between the two playing fields. The tanks are in the optimal location for the facility in terms of accessibility, visibility and the like and, by building over them, the proposal not only makes use of an existing structure to deliver the new building but also minimises the impacts of that structure of the existing green space.

Council's engineers have confirmed the new building can be located above the tanks without impacting on their use.

A structural engineer has provided preliminary advice as to the viability of the proposals. A quantity surveyor has provided a preliminary estimate of the cost of the works.

### Report

This report presents the work undertaken and the resulting Concept Design Options.

The ideas within this report are presented as preliminary ideas only. They are specifically intended to facilitate North Sydney Council's strategic planning in determining the future masterplan for Forsyth Park with respect to the provision of an After School Care Facility within the park. Whilst both designs have been resolved to a high level, further work will be required prior to a Development Application being prepared for the work.

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**02**  
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site analysis

## 2.1 site location


### location plan

The subject site, known as 'Forsyth Park', is located at Montpelier Street, Neutral Bay.

Located between Bent Street and Montpelier Street, the subject site is in close proximity to Military Road and a number of bus stops. As such, it is well accessed from multiple directions.



### legend

 forsyth park



0 70 140 350m

1:7,000 @ A4



## 2.2 site photos



① view looking north onto playing fields, water tanks & childcare centre



② view looking east onto playing field 2



③ view looking south onto playing field 1 from oil tank



④ view looking south onto playground and childcare centre



⑤ view looking west onto playing field 1



key plan

## 2.3 key features

### key features


Main features of the park are the two sports fields, the bushland reserve and the playgrounds.

The park also contains a Community Centre building currently sharing usage between a pre-school, a playground & a vacation care centre as well as player changeroom & toilets for the park's sports fields.

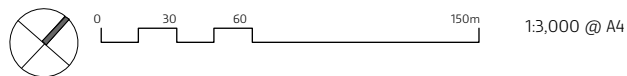
Other infrastructure & amenities on site include the heritage oil tanks, the community garden and the concrete water tanks located between the two sports fields.

- ① WWII heritage oil tanks
- ② sports field 1
- ③ sports field 2
- ④ vehicular entry
- ⑤ pedestrian entries
- ⑥ child care centre
- ⑦ bushwalking track
- ⑧ playgrounds
- ⑨ water tanks
- ⑩ community garden

### legend

- |  |   |  |
|--|---|--|
|  forsyth park      |  sporting field    |  heritage items   |
|  childcare centre  |  playgrounds       |  community garden |
|  water tanks       |  pedestrian access |  vehicular access |
|  bushwalking track |   |  |

### site plan



## 2.3 key features cont'd

### key features

The subject site includes a significant amount of landscaped area and tree coverage. In particular, the park boundary is generally edged by a dense row of trees, as well as the northern corner of the site where the bushland reserve is located.

The natural topography of the area has formed much of the landscaping of the park with falls towards the southern boundary.

The main vehicular entry to Forsyth Park is via the existing path from Montpellier Street.

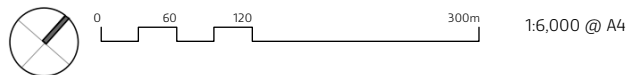
There are a number of points of pedestrian access located around the subject site, including three from Montpellier Street and two from Bent Street.

An extensive area of the site is occupied by the two well-used sports fields, mostly used for cricket & hockey and occasionally football & touch football throughout the year.

- ① treed areas
- ② site falls
- ③ vehicular and pedestrian entries
- ④ existing buildings, infrastructure and amenities

### legend

	forsyth park		heavily treed areas		lightly treed areas
	steep falls		gentle falls		sporting field
	childcare centre		vehicular access		pedestrian access
	water tanks		community garden		playgrounds
	heritage tanks		light poles		



### site diagrams



① treed areas



② site falls



③ vehicular & pedestrian entries



④ existing buildings, infrastructure and amenities

**03**  
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after school care

### 3.1 location - site analysis

#### location









The 'Forsyth Park Community Centre' building and the associated playground, zoned RE1 - Public Recreation, are immediately adjacent to the heritage oil tanks and two public playgrounds.

The public playground, with close proximity to the community centre building, has an area of approximately 548 m2 with two canopy structures providing covered seating. This area is proposed to provide outdoor play area for the After School Care.

An unused outdoor area to the north eastern corner of the building provides opportunities to be utilised as a part of the proposed concept design.

#### legend

-  herigate tanks
-  outdoor Montessori
-  existing pathways
-  existing buildings
-  outdoor ASC
-  pedestrian access



1:400 @ A4

#### site analysis



### 3.2 site photos



① view looking north onto childcare centre



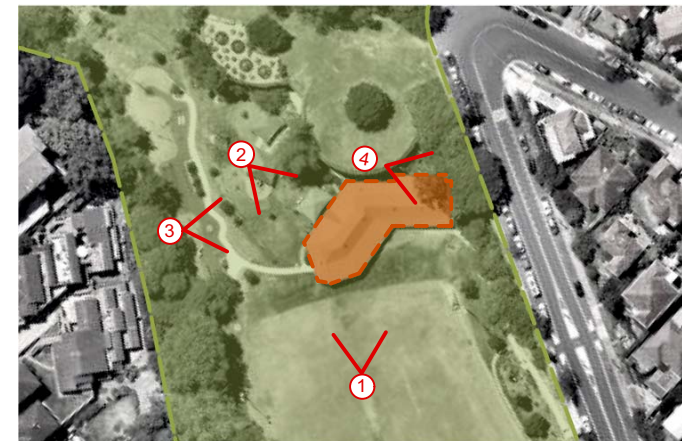
② view looking south onto childcare centre



③ view looking east onto playground area



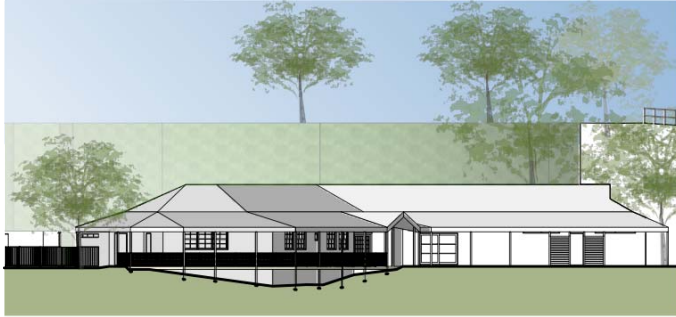
④ existing significant tree to be retained



key plan

### 3.3 existing building

#### main elevation



The existing building is mainly divided into the following sections in relation to the current usage of spaces:


- the pre-school
- common room
- changerooms & toilets
- storage

The concept design for the After School Care proposes changes to the spaces where the common room, changerooms & toilets and storage are located. The changes are mostly within the existing footprint except for the addition of an outdoor covered area to the north eastern facade. The changeroom facilities are to be located elsewhere on site.

There are minimal or no changes to the western wing of the building, maintaining the layout of the Montessori Pre-School and the outdoor play area as it is.

The existing significant tree close to the north eastern facade is to be protected and retained. The proposed concept design options accommodate for this.

#### legend

 area dedicated to ASC



1:400 @ A4

#### floor plan



### 3.4 concept design analysis

## ASC main requirements

### indoor

play area	3.25 sqm per child
main entry	single point of entry no direct view into play area supervised at all times
childrens' toilets	age appropriate accessible from inside & outside
staff toilet	can be used as visitors toilet
kitchen	enclosed or with lockable cupboards
general storage	lockable
staff lockers	one locker per staff
personal storage	separate storage area for each child
principal's office	
meeting space	

### outdoor

play area	7 sqm per child clear line of sight from indoor areas provide enough shaded area
storage	lockable

## legend

	proposed ASC area		proposed covered outdoor area		outdoor storage
	existing Montessori area		kitchen		proposed pedestrian access
	outdoor area ASC				



1:500 @ A4

## option 1



**29 children - 94 m<sup>2</sup>**

- no shared facilities
- open plan kitchen to ASC
- outdoor store close to main building

## option 2



**33 children - 108 m<sup>2</sup>**

- upgraded shared kitchen
- accommodates 4 extra children
- outdoor store away from main building



### 3.5 option 1 - site plan

#### area summary

indoor	area	w x d	
play area	94 sq m	11.6 x 9.0	29 children
entry foyer	17 sq m	11.6 x 1.6	
childrens' toilets	22 sq m	3.7 x 6.1	
staff toilet	6 sq m	2.0 x 3.3	
kitchen	16 sq m	3.0 x 6.1	
general storage	7 sq m	varies	
staff lockers	2 sq m	3.5 x 0.6	
personal storage	2 sq m	3.5 x 0.6	
principal's office	11 sq m	3.4 x 3.4	
meeting space	combined with principal's office		

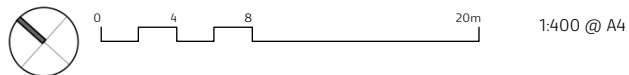
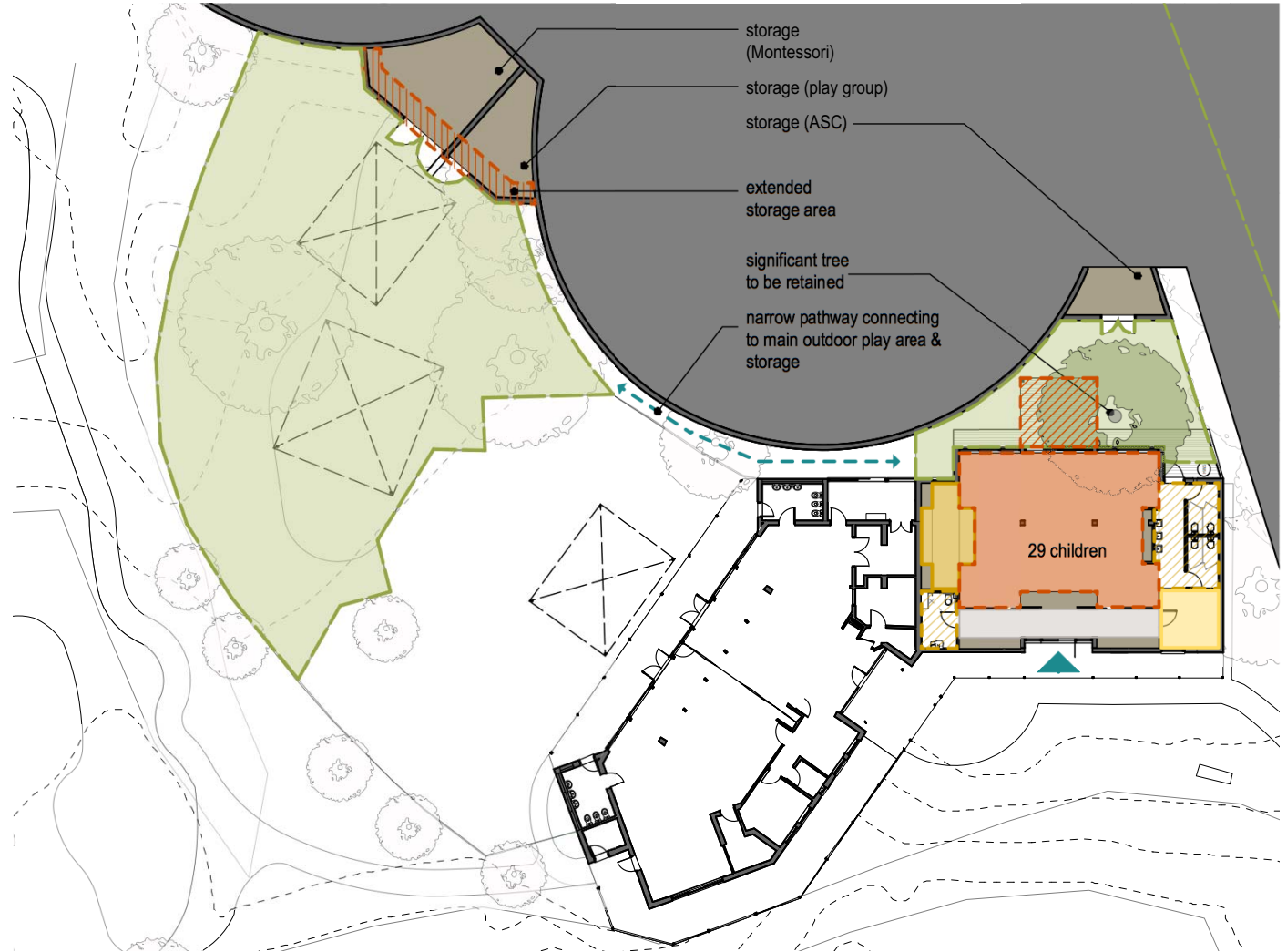
  

outdoor	area	w x d	
play area	614 sq m	varies	21 sq m per child
under cover area	18 sq m	4.5 x 4.0	
storage (Montessori)	37 sq m	varies	
storage (play group)	22 sq m	varies	
storage (ASC)	13 sq m	varies	

#### legend

	indoor play area		kitchen		office / meeting
	outdoor play area		toilets		storage
	undercover play area		entry foyer		pedestrian access

#### site plan

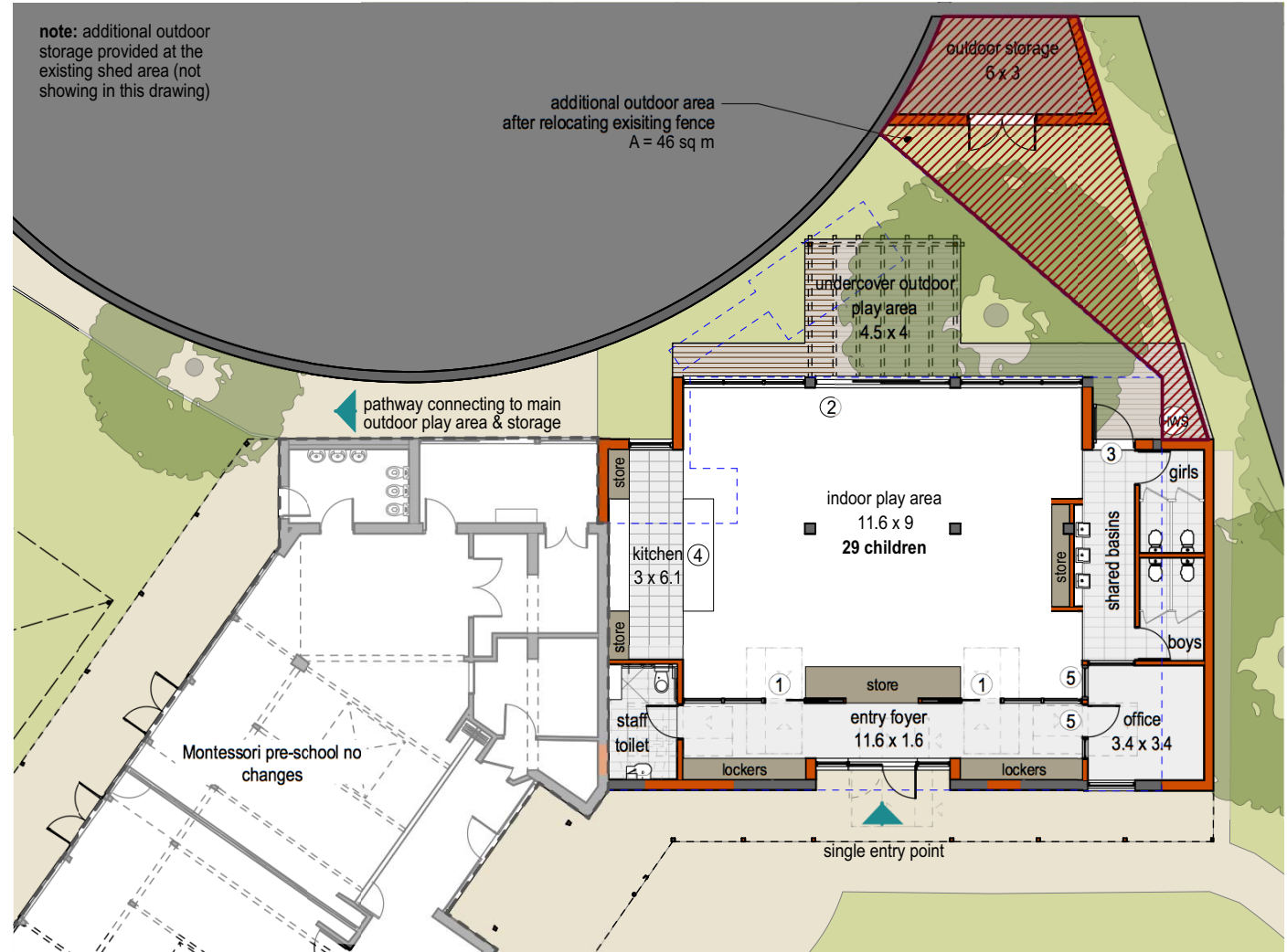


### 3.5 option 1 - concept plan

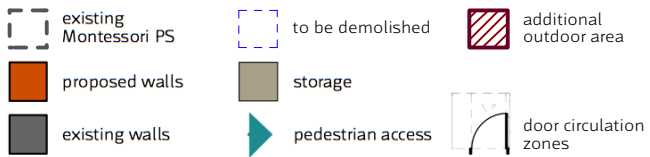
#### key features

- ① controlled access point to play area
- ② accessible path of travel to outdoor area
- ③ connection between outdoor area and toilets
- ④ open kitchen with island bench
- ⑤ glazed wall and doors for passive surveillance

#### floor plan



#### legend



### 3.6 option 2 - site plan

#### area summary

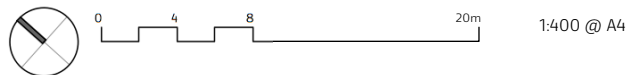
indoor	area	w x d	
play area	107 sq m	13.5 x 8.2	33 children
entry foyer	9 sq m	4.7 x 2.4	
childrens' toilets	19 sq m	2.9 x 6.4	
staff toilet	7 sq m	2.3 x 3.0	
kitchen	22 sq m	6.3 x 4.1	shared with MPS
general storage	11 sq m	varies	
staff lockers	0 sq m	0.4 x 0.6	
children storage	2 sq m	2.8 x 0.6	
principal's office	15 sq m	5.1 x 3.0	
meeting space	combined with principal's office		

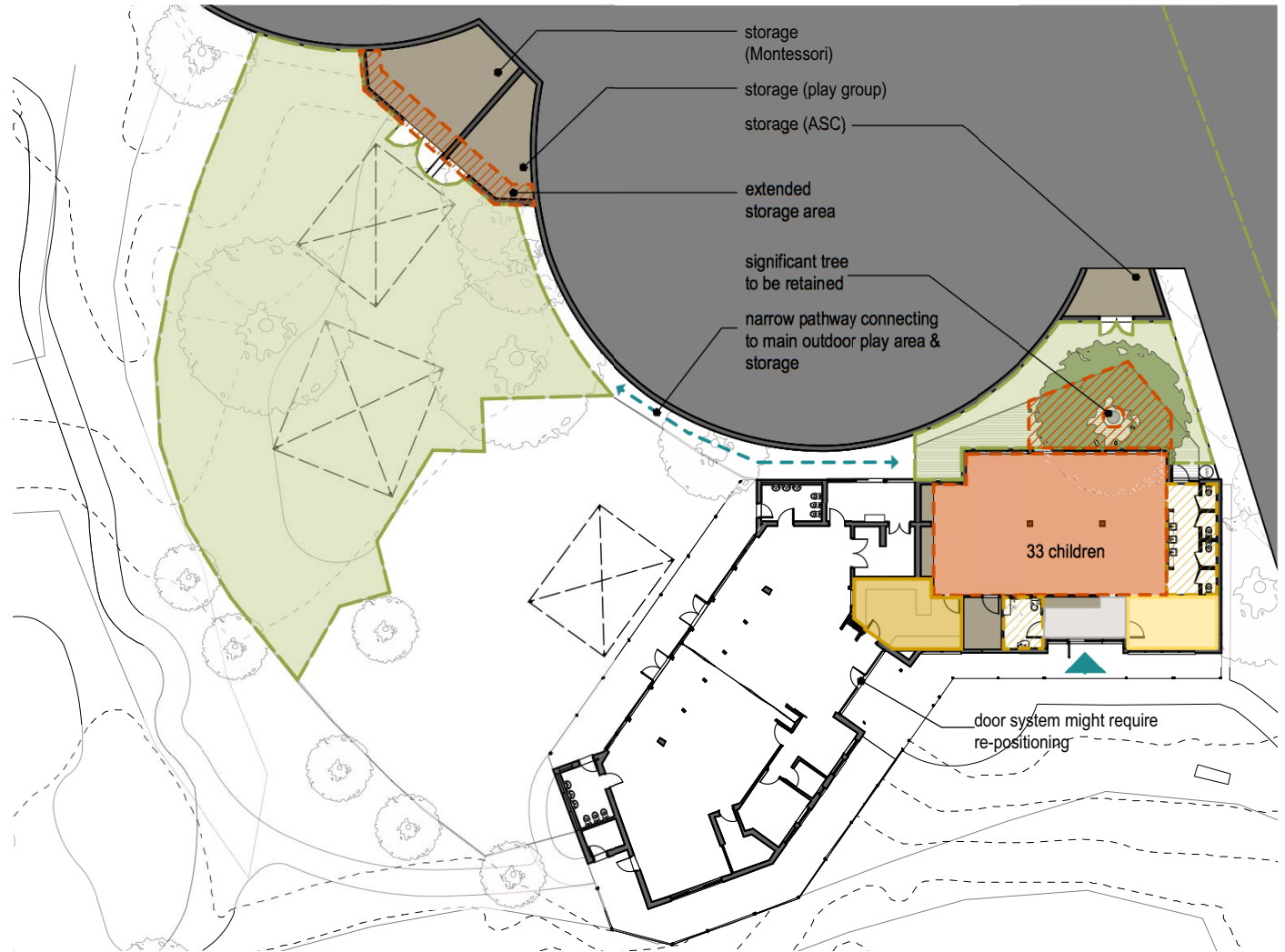
outdoor	area	w x d	
play area	613 sq m	varies	19 sq m per child
under cover area	30 sq m	8.3 x 4.8	
storage (Montessori)	37 sq m	varies	
storage (play group)	22 sq m	varies	
storage (ASC)	13 sq m	varies	

#### legend

 indoor play area	 kitchen	 office / meeting
 outdoor play area	 toilets	 storage
 undercover play area	 entry foyer	 pedestrian access



#### site plan



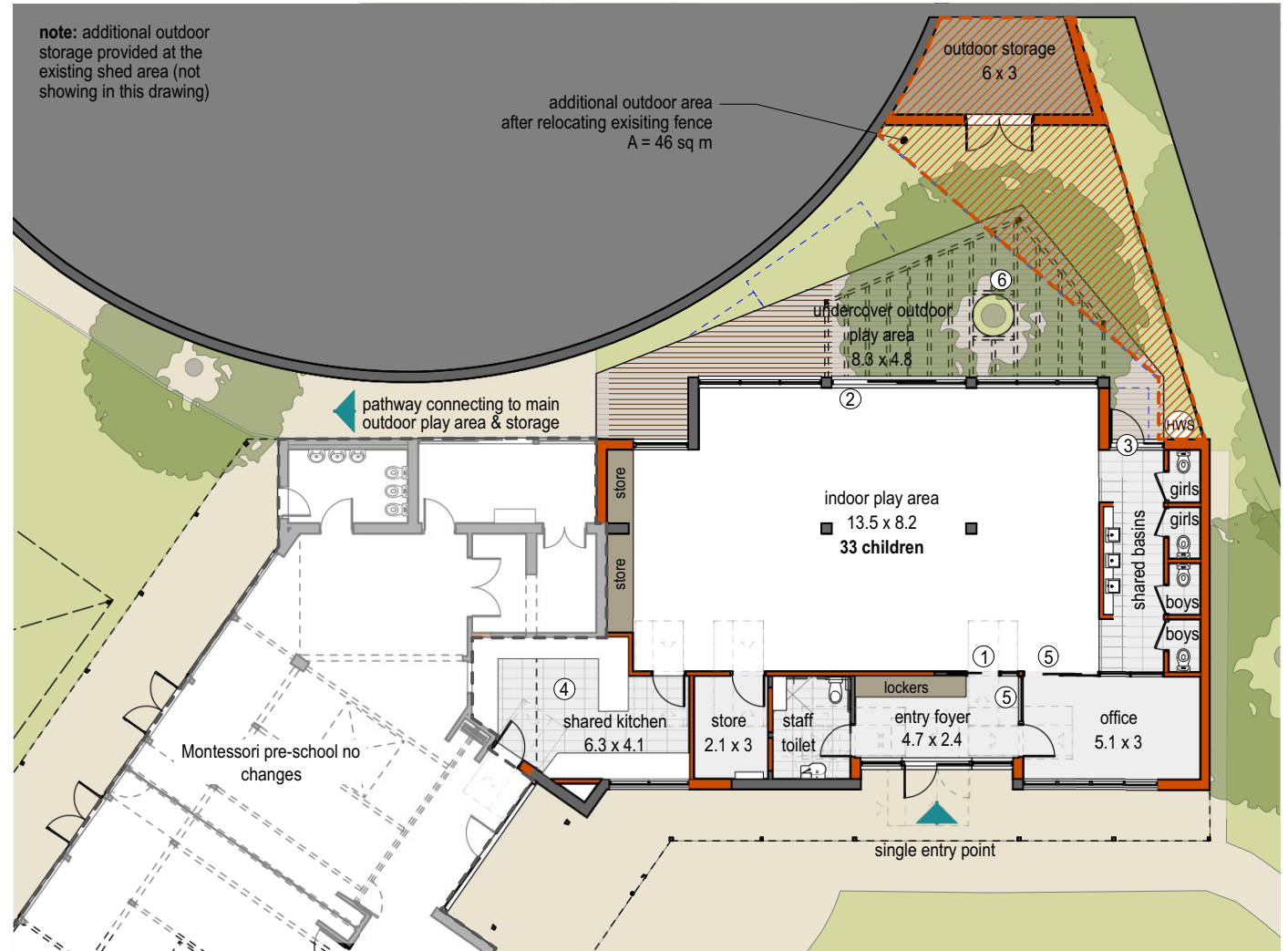
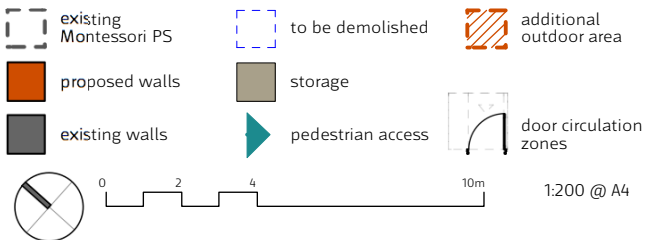
### 3.6 option 2 - concept plan

#### key features

- ① controlled access point to play area
- ② accessible path of travel to outdoor area
- ③ connection between outdoor area and toilets
- ④ enclosed kitchen to be shared with Montessori pre-school
- ⑤ glazed wall and doors for passive surveillance
- ⑥ deck and pergola to be installed around existing tree

#### floor plan

#### legend



## 3.7 area summary comparison

### area summary comparison

The following table summarises the area break-down of the two After School Care (ASC) options against the existing areas currently in use by Montessori pre-school, vacation care and play group.

	existing	option 1	option 2
<b>montessori</b>			
indoor play area	158 sq m	no change	no change
outdoor play area	365 sq m	no change	no change
kitchen	9 sq m	no change	<b>shared</b> 22 sq m
toilets	15 sq m	no change	no change
admin / meeting / staff	50 sq m	no change	no change
indoor storage	16 sq m	no change	no change
outdoor storage	<b>shed</b> 42 sq m <b>cages</b> 13 sq m	<b>shed</b> 37 sq m	<b>shed</b> 37 sq m
<b>play group</b>			
outdoor storage	10 sq m	22 sq m	22 sq m
<b>vacation care</b>			
outdoor storage	5 sq m	-	-
<b>public amenities</b>			
change room	36 sq m	refer to section 4	refer to section 4
showers & toilets	26 sq m	refer to section 4	refer to section 4
accessible toilets	3 sq m	3 sq m	3 sq m
<b>after school care</b>			
indoor play area	-	94 sq m	107 sq m
outdoor play area	-	613 sq m	613 sq m
kitchen	-	16 sq m	<b>shared</b> 22 sq m
toilets	-	22 sq m	19 sq m
admin / meeting / staff	-	19 sq m	22 sq m
indoor storage	-	7 sq m	11 sq m
outdoor storage	-	13 sq m	13 sq m

**04**  

---

player changeroom & public amenity facility

## 4.1 potential sites

### issues related to site location

Site investigations were undertaken to determine the most suitable location for the new player changeroom & public amenity building.

The changerooms at Cammeray Park were used as a base model to determine the approximate dimensions, area & facility requirements for the purpose of these investigations (refer page 44 section 4.10).

A number of potential site locations were assessed against criteria assessing impacts on the park and local area as well as the quality of park amenities and their relationship with the users.

The following is a list of the criteria taken into account for investigations of new location for player changerooms & public amenity facilities:

- impacts on neighbouring views
- impacts on trees
- impacts on green space
- connection to and impacts on playing fields
- visual impacts on park
- services
- vehicular access
- ambulant access
- safety

### legend

-  forsyth park
-  potential locations



1:3,000 @ A4

### site locations



## 4.1 potential sites cont'd

### site locations



- site 1 - centre of the park adjacent to the western boundary
- site 2 - between two playing fields adjacent to the western boundary
- site 3 - south western corner of the park
- site 4 - centre of the park adjacent to the eastern boundary
- site 5 - between two playing fields over the existing planting
- site 6 - between two playing fields over the three water tanks

### legend

-  forsyth park
-  potential locations

### issues

	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 1	4	1	2	1	1	3	2	1	15
site 2	1	2	2	1	1	2	3	1	13
site 3	3	2	2	4	4	3	1	4	23
site 4	3	2	3	4	4	3	2	2	23
site 5	2	3	3	2	3	3	3	3	22
site 6	2	4	4	3	3	3	3	3	25

### comments

Options 4, 5 and 6 are the only options that scored:

- 2 or higher for all issues
- as well as a minimum of 22 out of 32

### ranking

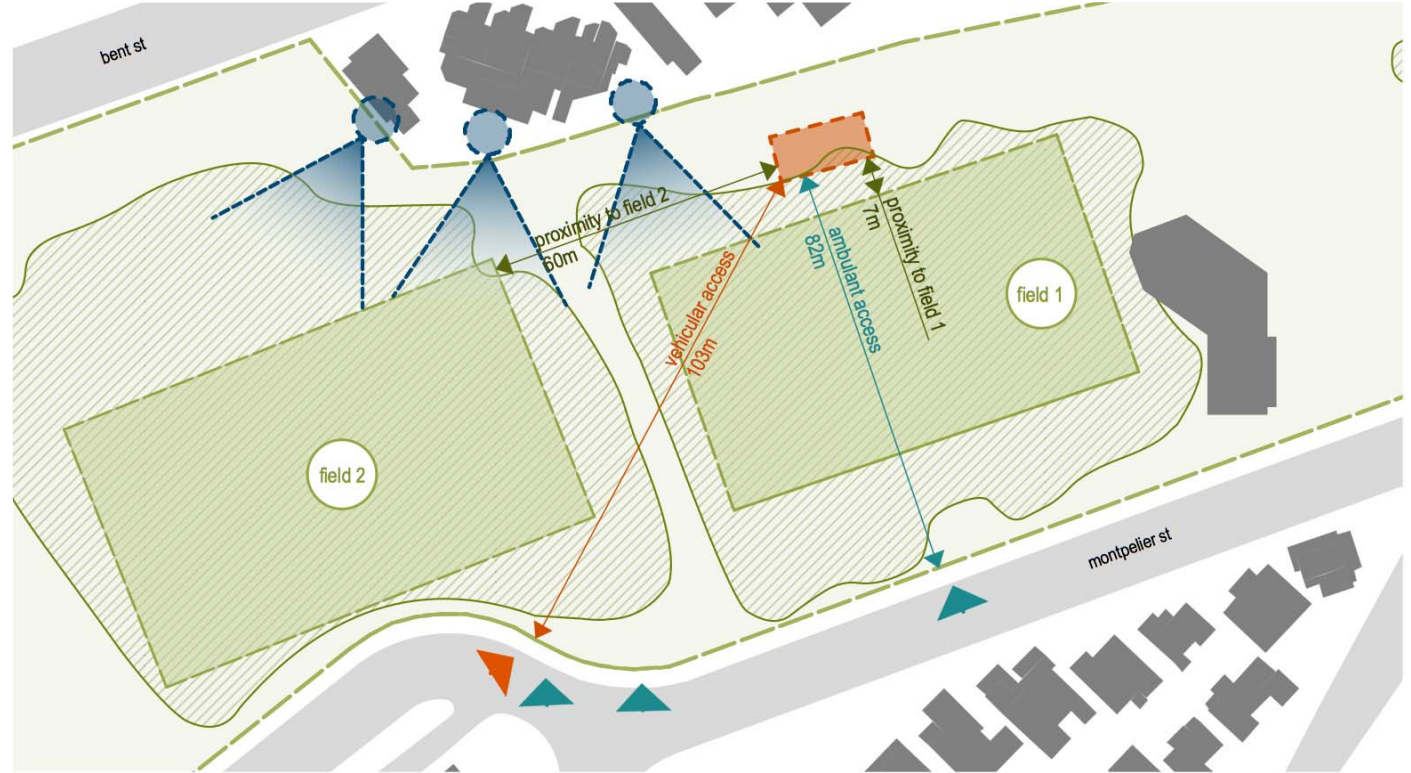
	poor	satisfactory	good	very good
score	1	2	3	4



### 4.1 potential sites - site 1

site 1 - location

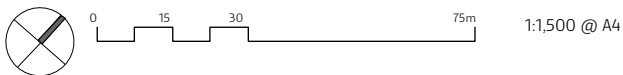
site 1 - analysis



notes

- minimal impacts on neighbouring views
- close proximity to field 1 however considerable distance to field 2
- distant from both ambulant and vehicular access

	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 1	4	1	2	1	1	3	2	1	15



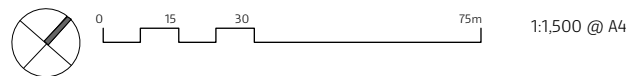
## 4.1 potential sites - site 2

site 2 - location

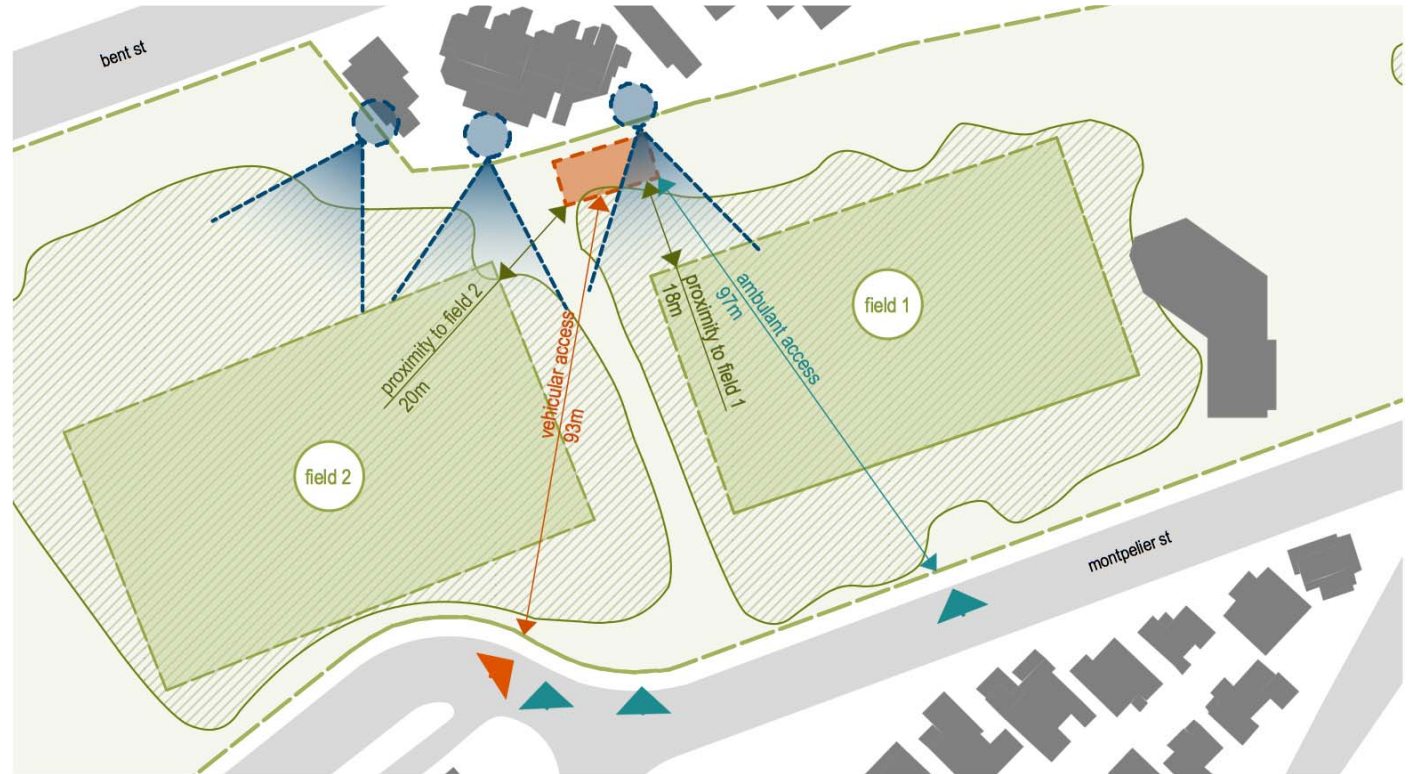


### notes

- close proximity to both fields
- results in loss of green space
- distant from both ambulant and vehicular access



site 2 - analysis

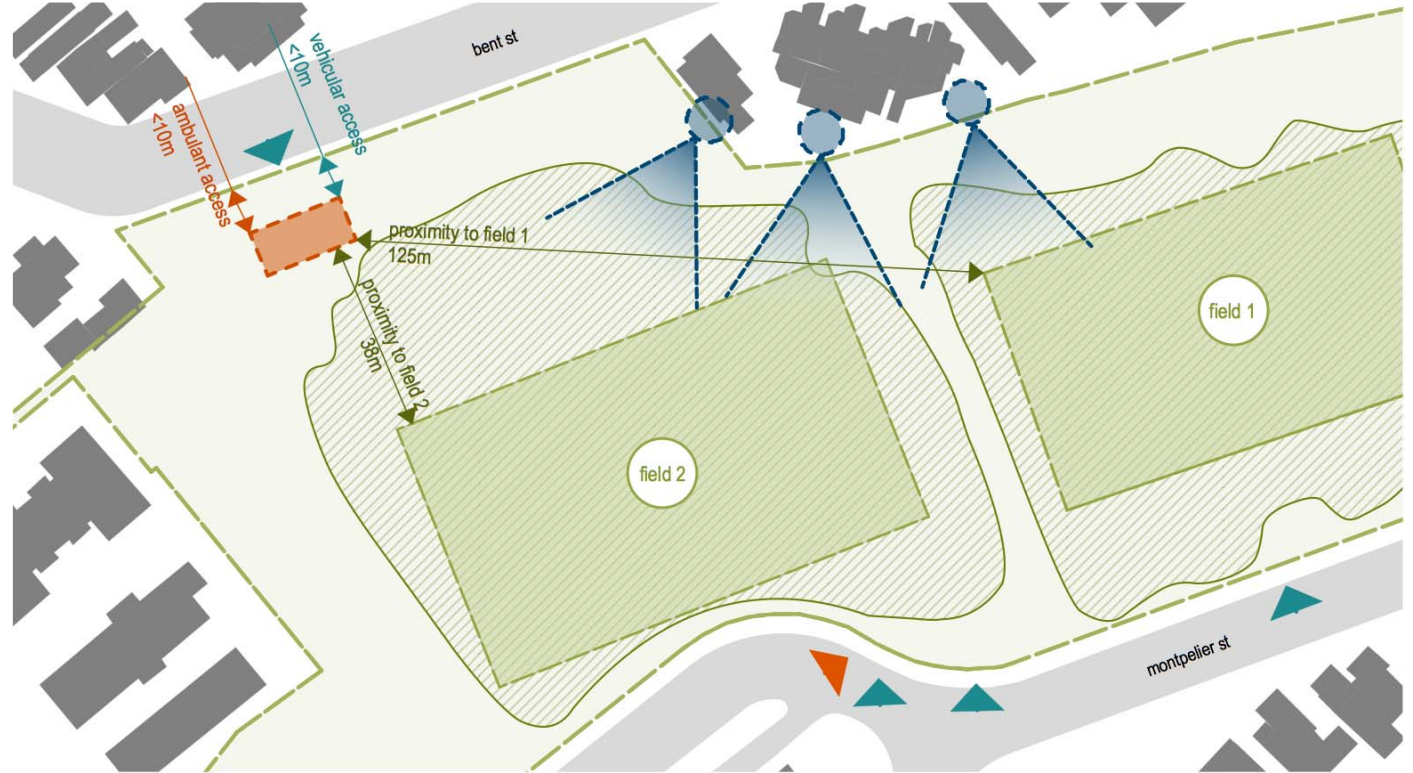


	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 2	1	2	2	1	1	2	3	1	13

### 4.1 potential sites - site 3

site 3 - location

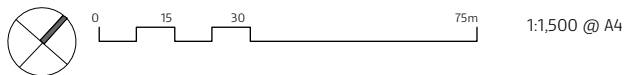
site 3 - analysis



notes

- distant from both fields particularly field 1
- small impact on neighbouring views and park views
- close proximity to ambulant access

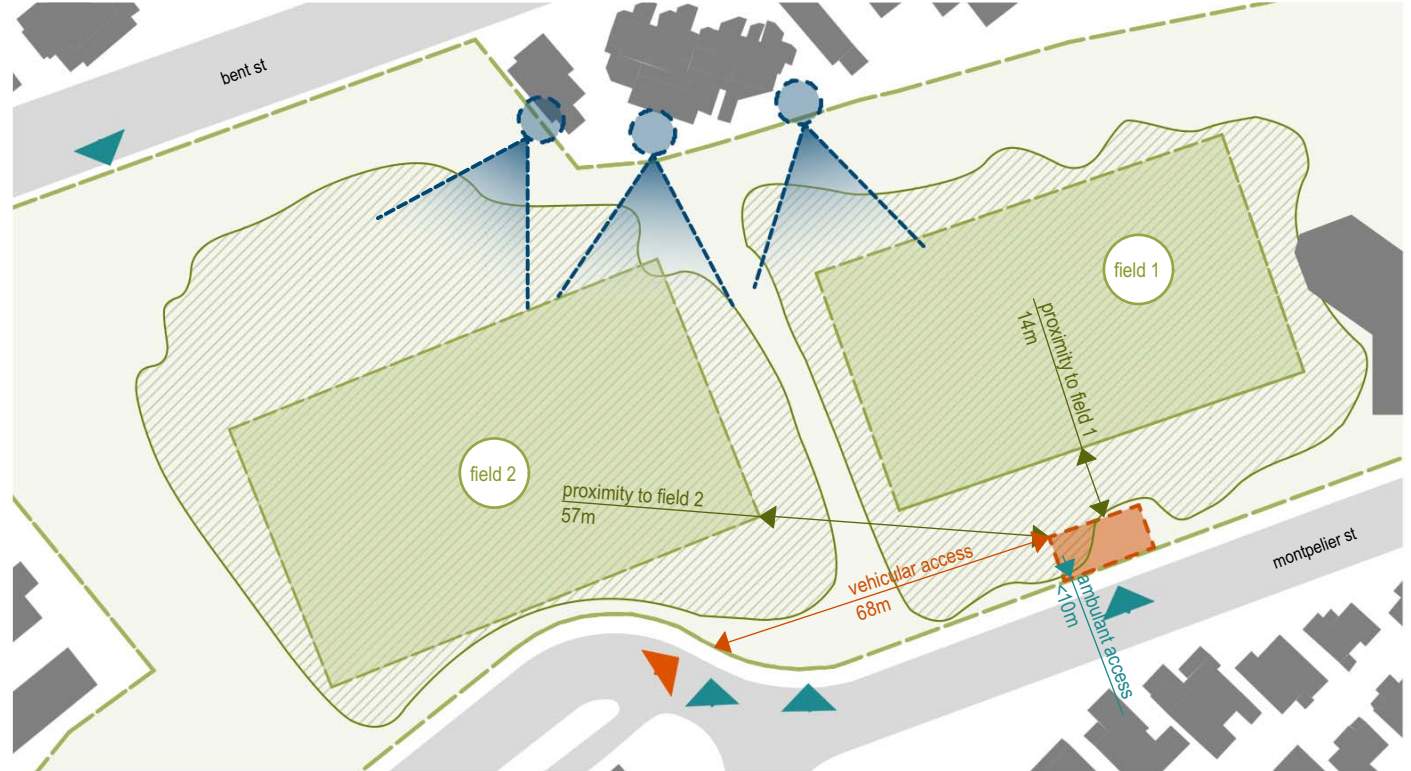
	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 3	3	2	1	4	4	3	1	4	22



### 4.1 potential sites - site 4

site 4 - location

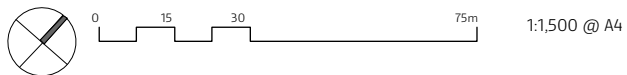
site 4 - analysis



### notes

- close proximity to vehicular and ambulant access
- safety issues as location allows for climability from adjacent street onto amenities roof
- poor connection to field 2

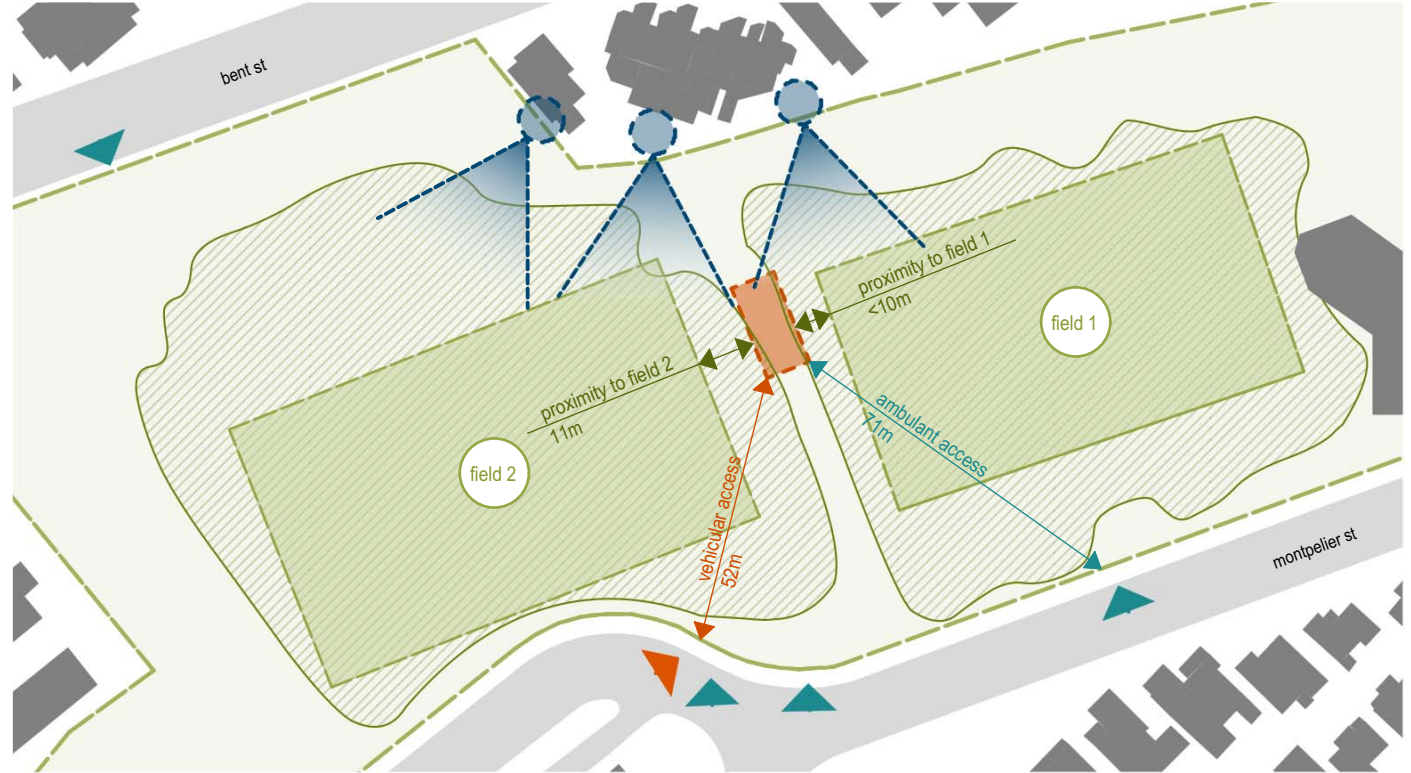
	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 4	3	2	3	4	4	3	2	2	23



### 4.1 potential sites - site 5

site 5 - location

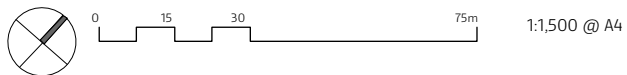
site 5 - analysis



notes

- good connection to both fields
- small impact on neighbouring views onto the park
- acceptable distance from ambulant and vehicular accesses

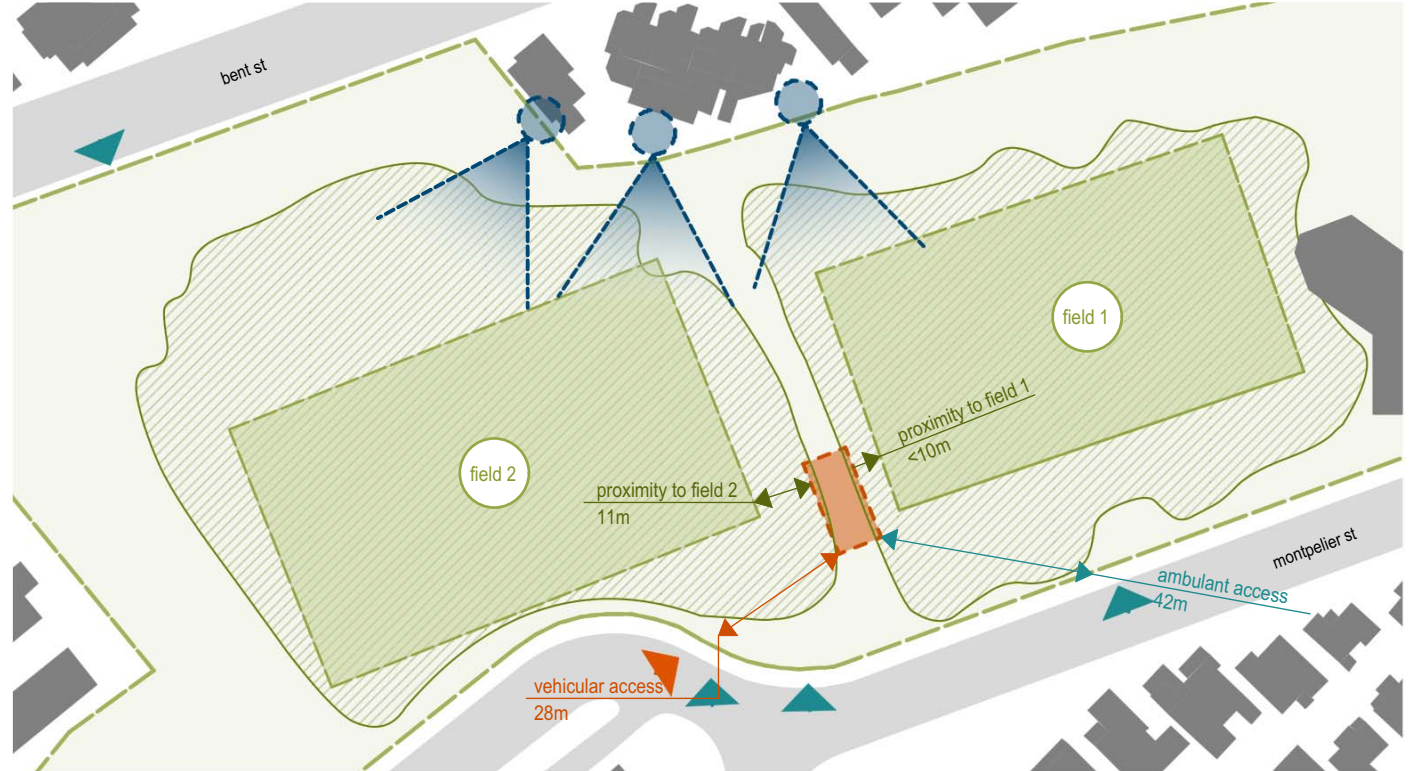
	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 5	2	3	3	2	3	3	3	3	22



### 4.1 potential sites - site 6

site 6 - location

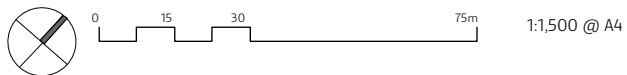
site 6 - analysis



### notes

- good connection to both fields
- close proximity to ambulant and vehicular accesses
- no impact on green space & trees as selected land is already built upon

	impacts on neighbouring views	impacts on trees	impacts on green space	vehicular access	ambulant access	visual impacts on park	connection to fields	services	rank (out of 32)
site 6	2	4	4	3	3	3	3	3	25



## 4.2 preferred location - site analysis

### location



The preferred location, Site 6, places the proposed facilities directly above the three existing concrete water tanks.

The water tanks are located between the two sports field, with Field 1 being slightly higher than the top of the tanks whilst Field 2 is approximately the same level as the bottom of the tanks.

The proposed concept design options have been designed to ensure no impact on the water tanks and accommodate for the protection of the existing Phoenix Palm tree to the west of the tanks. There are no changes or impacts to access to the existing pump room.

### legend

- forsyth park
- sporting field
- existing pathways
- built structures
- ▶ vehicular access



1:400 @ A4

### site analysis



### 4.3 preferred location - site photos



① view looking east onto water tanks



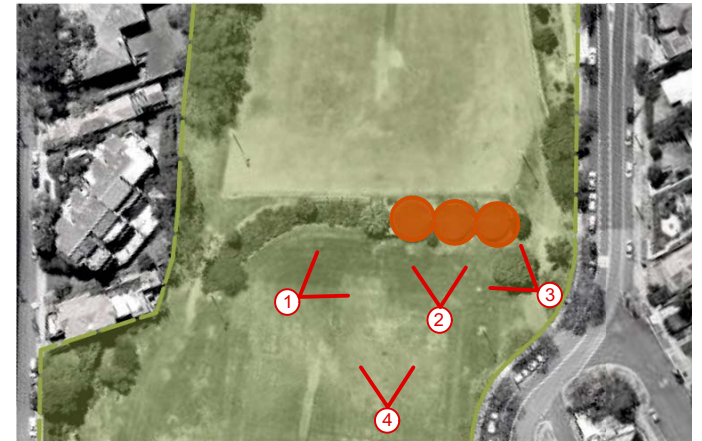
② view looking north onto water tanks



③ view looking west onto water tanks



④ view looking north onto field 2 and water tanks

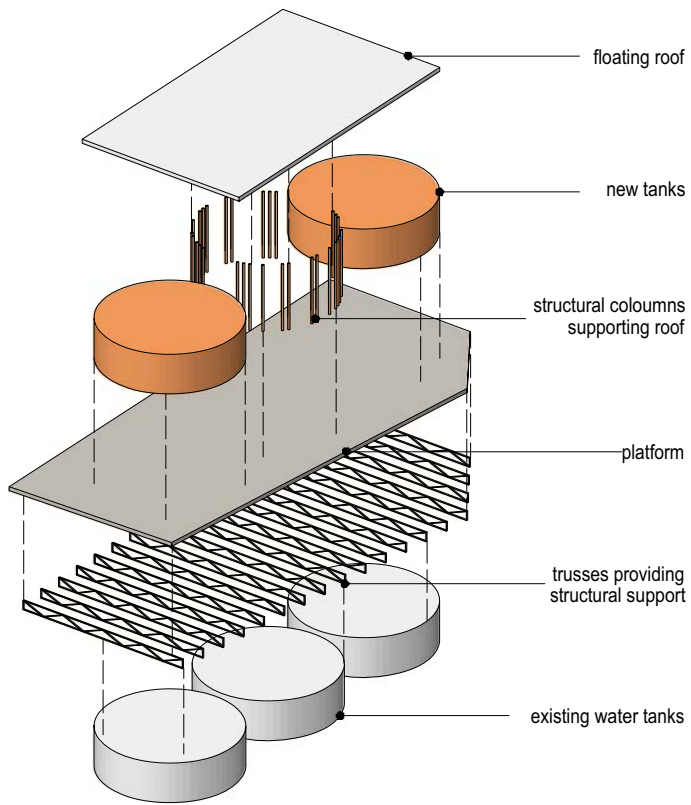


key plan

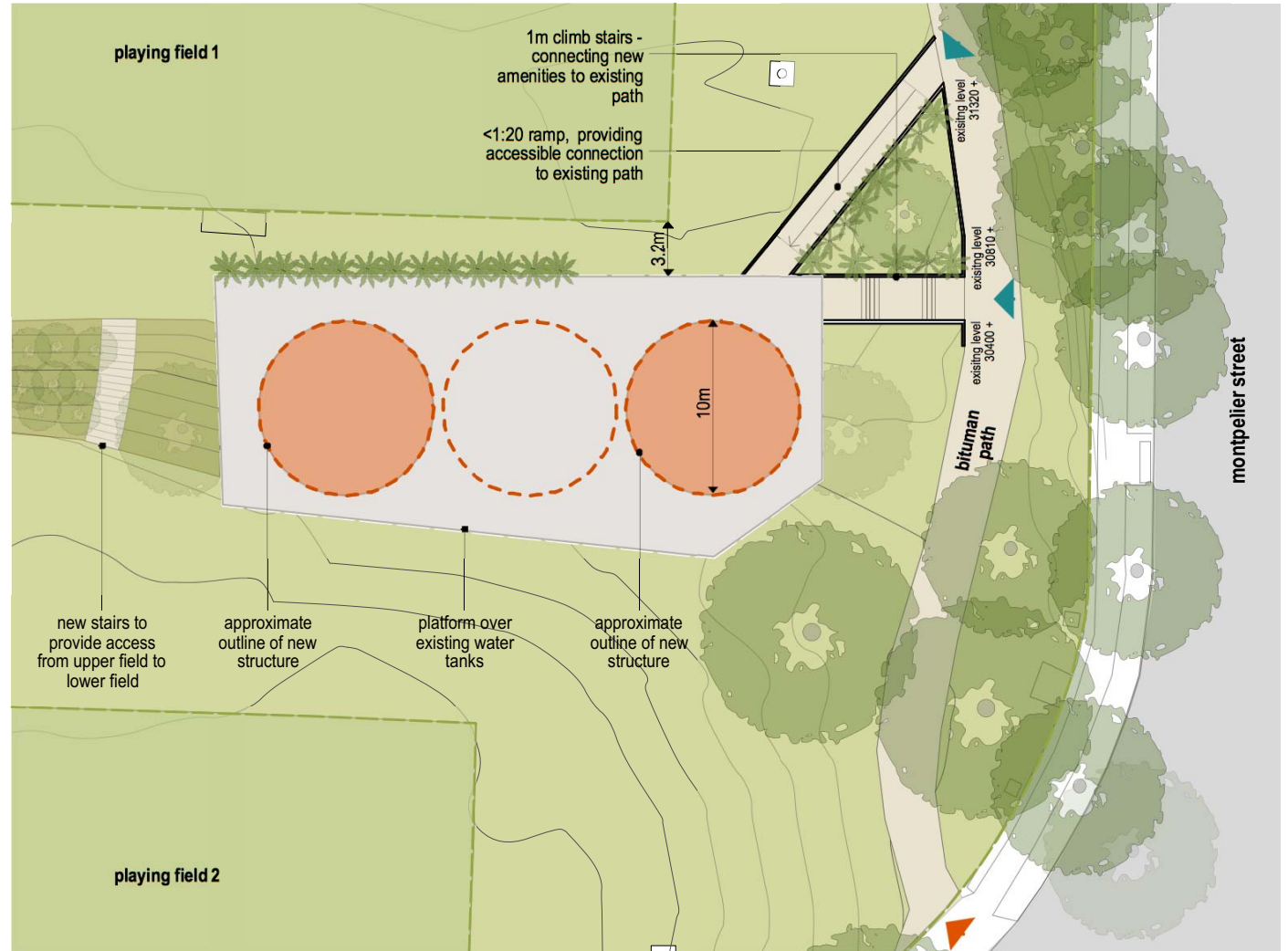
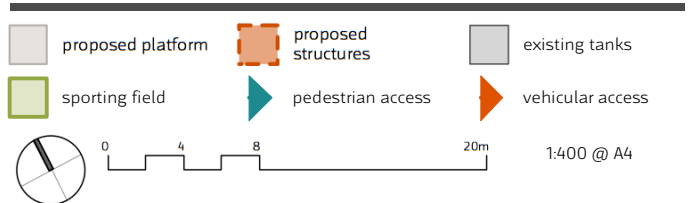


## 4.4 concept design analysis - general

### concept diagram

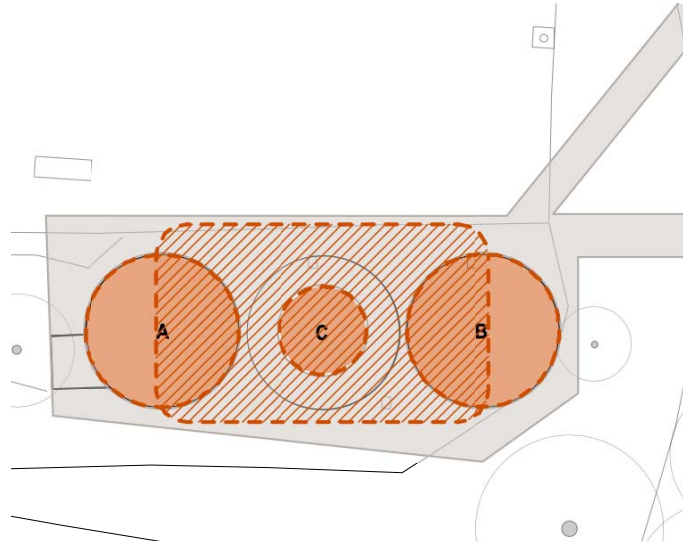


#### legend



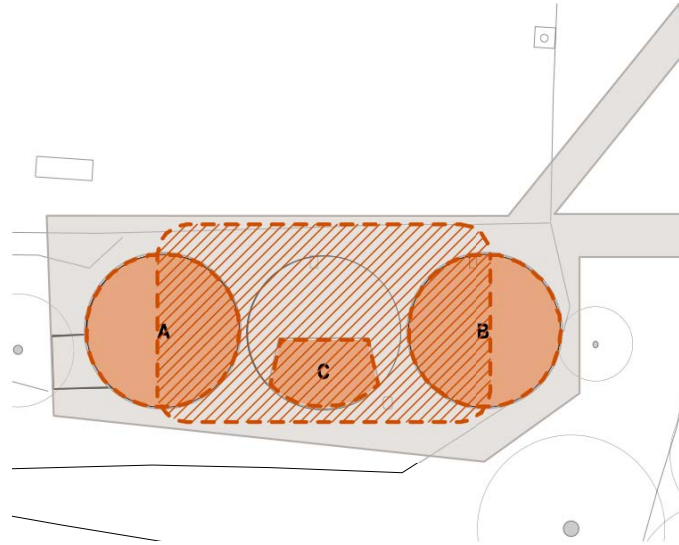
## 4.5 concept design analysis - options

option 1



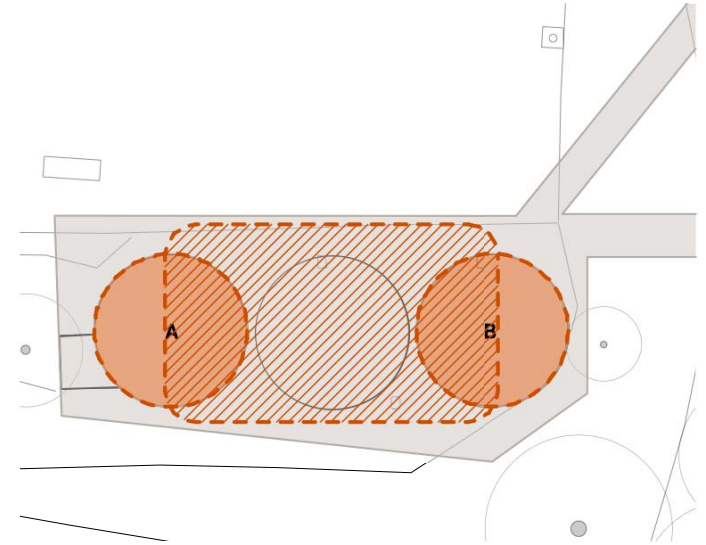
- **building A:** two changerooms
- **building B:** large store room & public toilets
- **building C:** canteen
- large canopy over deck for weather protection

option 2



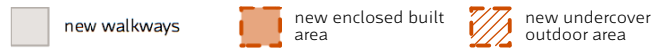
- **building A:** one changeroom, female public toilets & store room
- **building B:** one changeroom, male public toilets & accessible unisex toilet
- **building C:** canteen
- large canopy over deck for weather protection

option3



- **building A:** two changerooms
- **building B:** store room, public toilets, cleaners room & canteen
- open space between buildings A & B
- large canopy over deck for weather protection

### legend



### facilities requirements

- changerooms for two teams with showers, washbasin & toilet
- public toilets & accessible toilet
- canteen
- store room & cleaners room










1:500 @ A4

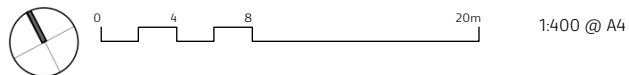
## 4.6 option 1 - site plan

### area summary

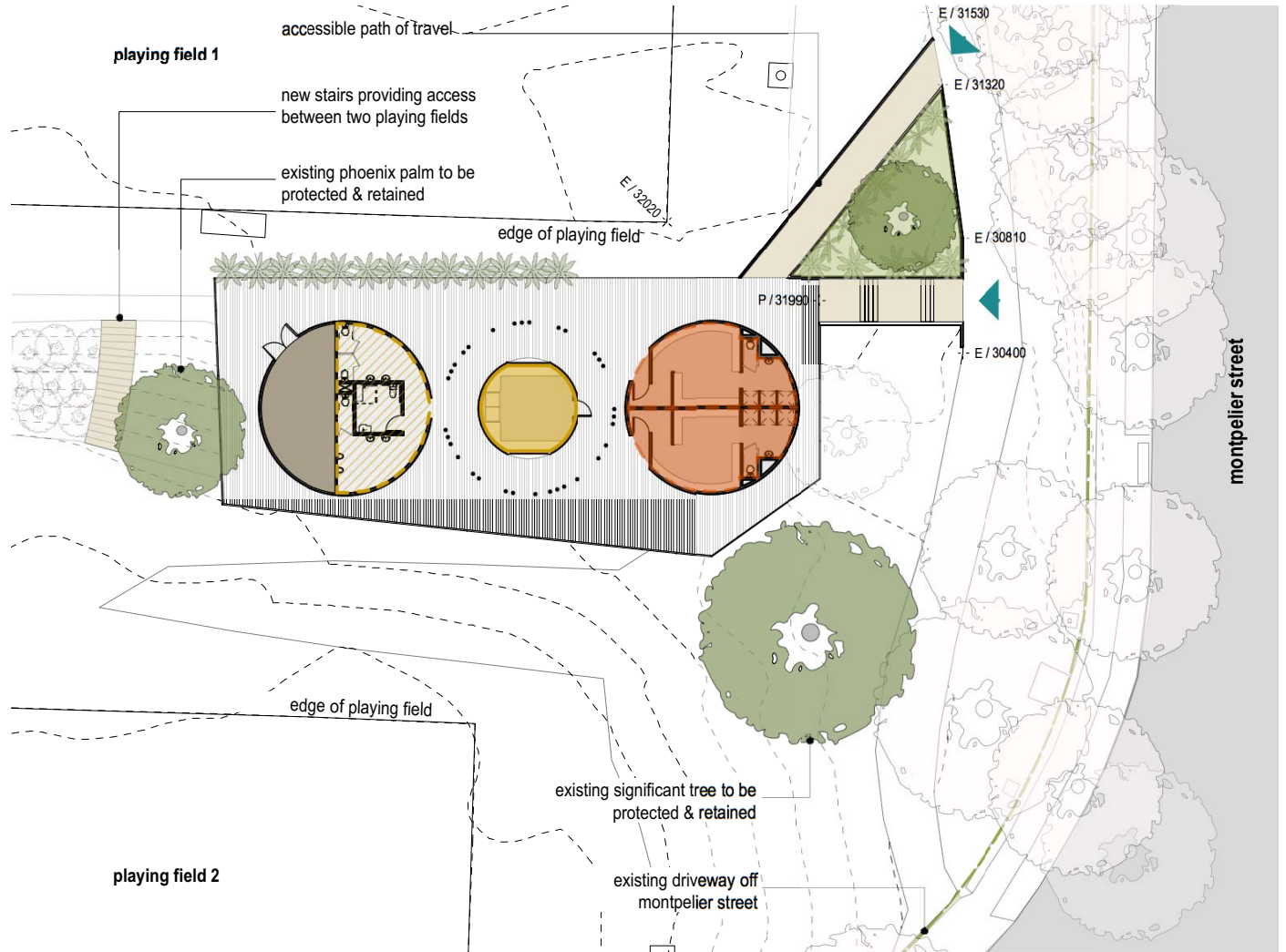
<b>indoor</b>	
changerooms	68 sq m
canteen	23 sq m
storage	32 sq m
public toilets	42 sq m
<b>changerooms</b>	
total area p/t	34 sq m
change area p/t	20 sq m
bench meterage p/t	12 m
<b>outdoor</b>	
platform	314 sq m

### legend

	changerooms		canteen		storage
	toilets		proposed platform		new paths
	new landscpaing		pedestrian access		



### site plan

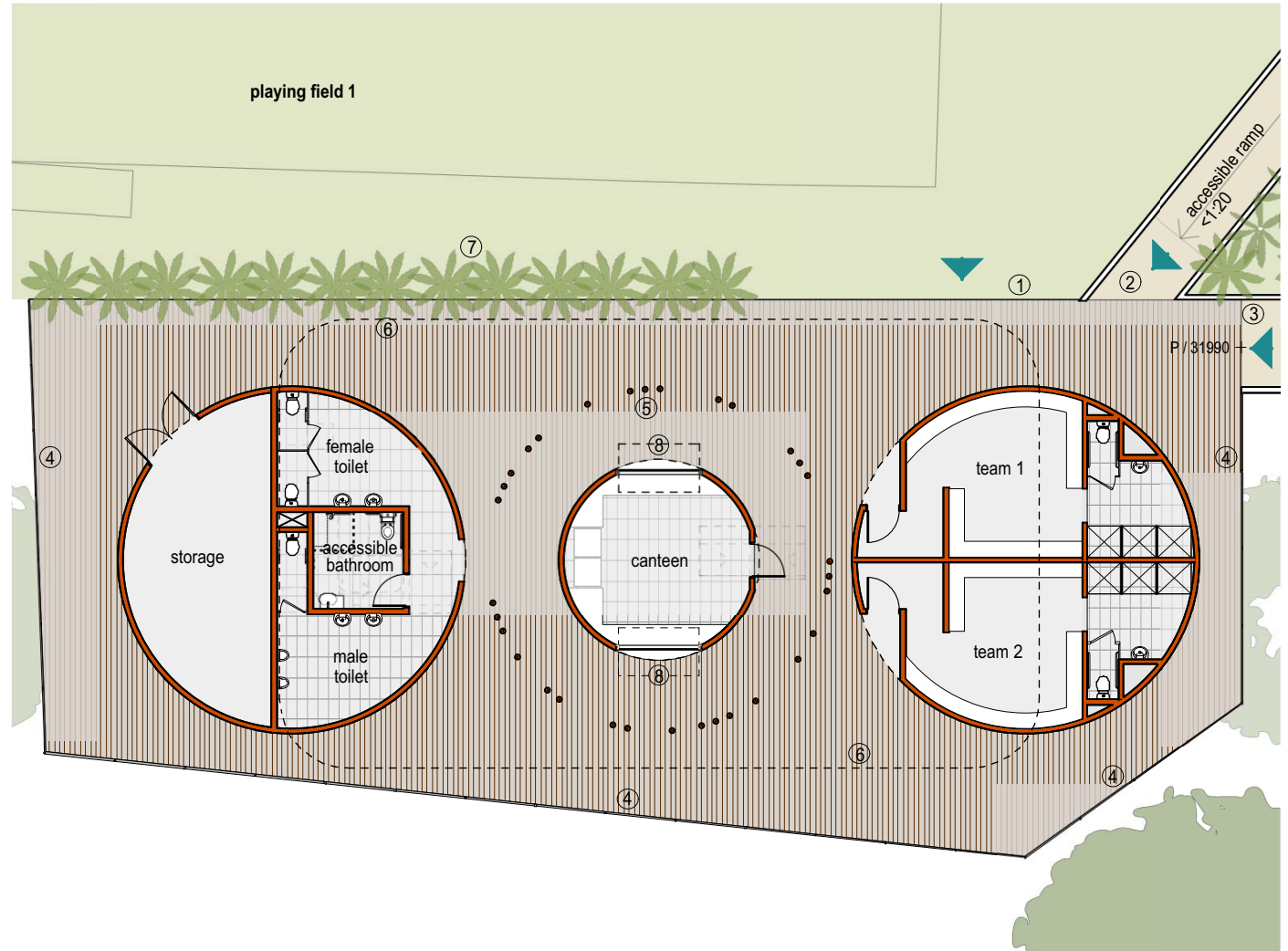


## 4.6 option 1 - concept plan

### key features

- ① level access from playing field 1
- ② accessible path of travel from existing access road
- ③ path with stairs from existing access road
- ④ balustrade on deck edge
- ⑤ columns to support canopy above
- ⑥ canopy above shown dotted
- ⑦ planting to edge of deck
- ⑧ servery to canteen

### floor plan



### legend

- proposed walls
- proposed platform
- new paths
- pedestrian access
- door circulation zones



1:200 @ A4

## 4.7 option 2 - site plan

### area summary

#### indoor

changerooms	92 sq m
canteen	23 sq m
storage	7 sq m
public toilets	46 sq m








#### changerooms

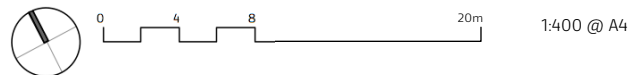
total area p/t	46 sq m
change area p/t	26 sq m
bench meterage p/t	16.8 m

#### outdoor

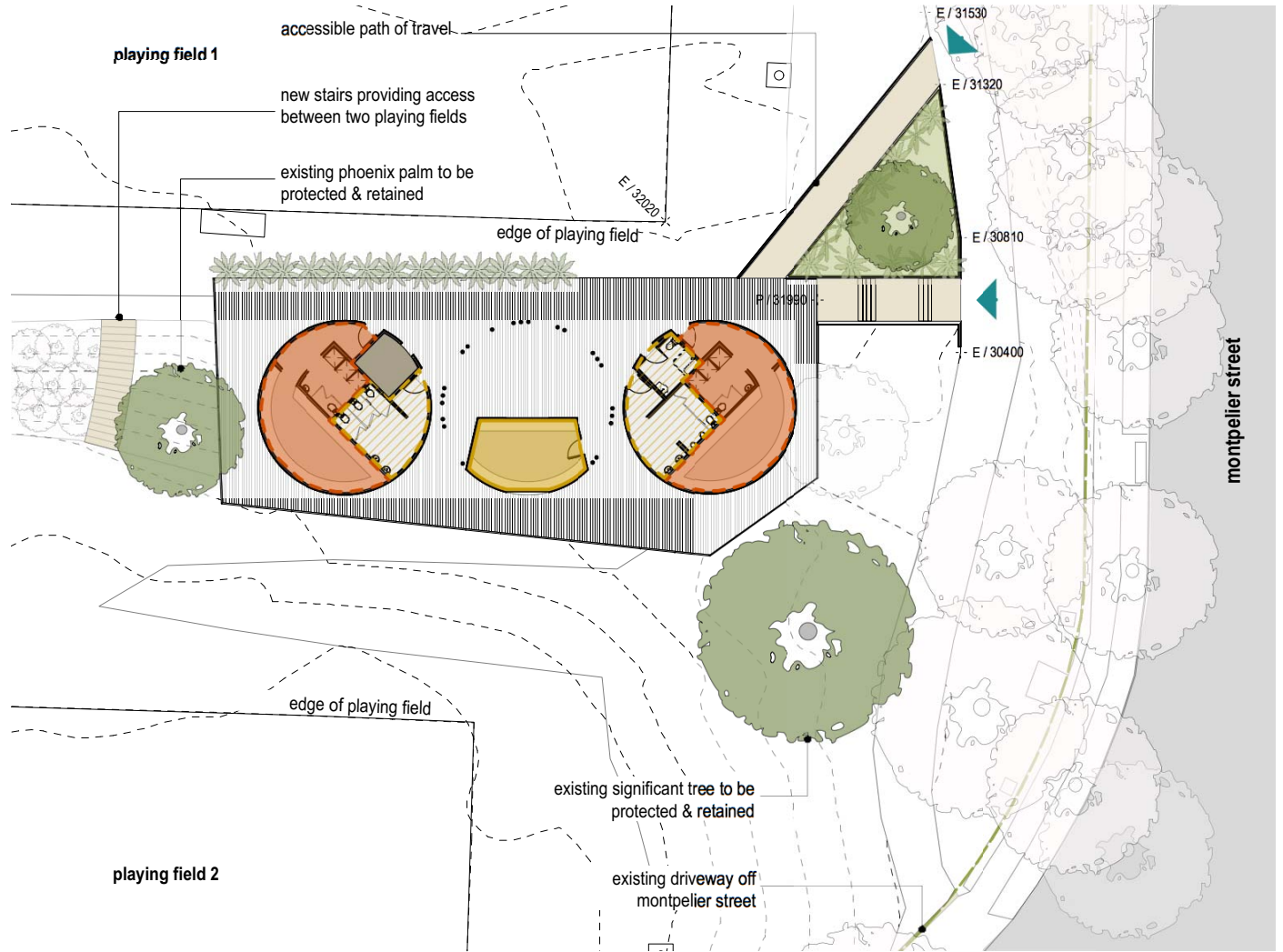
platform	314 sq m
----------	----------

### legend

 changerooms	 canteen	 storage
 toilets	 proposed platform	 new paths
 new landscpaing	 pedestrian access	



### site plan



## 4.7 option 2 - concept plan

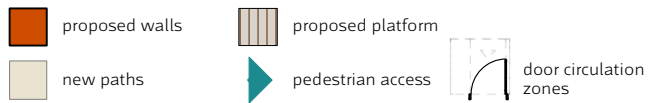
### key features

- ① level access from playing field 1
- ② accessible path of travel from existing access road
- ③ path with stairs from existing access road
- ④ balustrade on deck edge
- ⑤ columns to support canopy above
- ⑥ canopy above shown dotted
- ⑦ planting to edge of deck
- ⑧ servery to canteen

### floor plan



### legend



1:200 @ A4

## 4.8 option 3 - site plan

### area summary

#### indoor

changerooms	70 sq m
canteen	14 sq m
storage	14 sq m
public toilets	37 sq m








#### changerooms

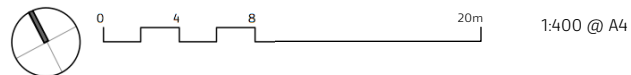
total area p/t	35 sq m
change area p/t	21 sq m
bench meterage p/t	9.5 m

#### outdoor

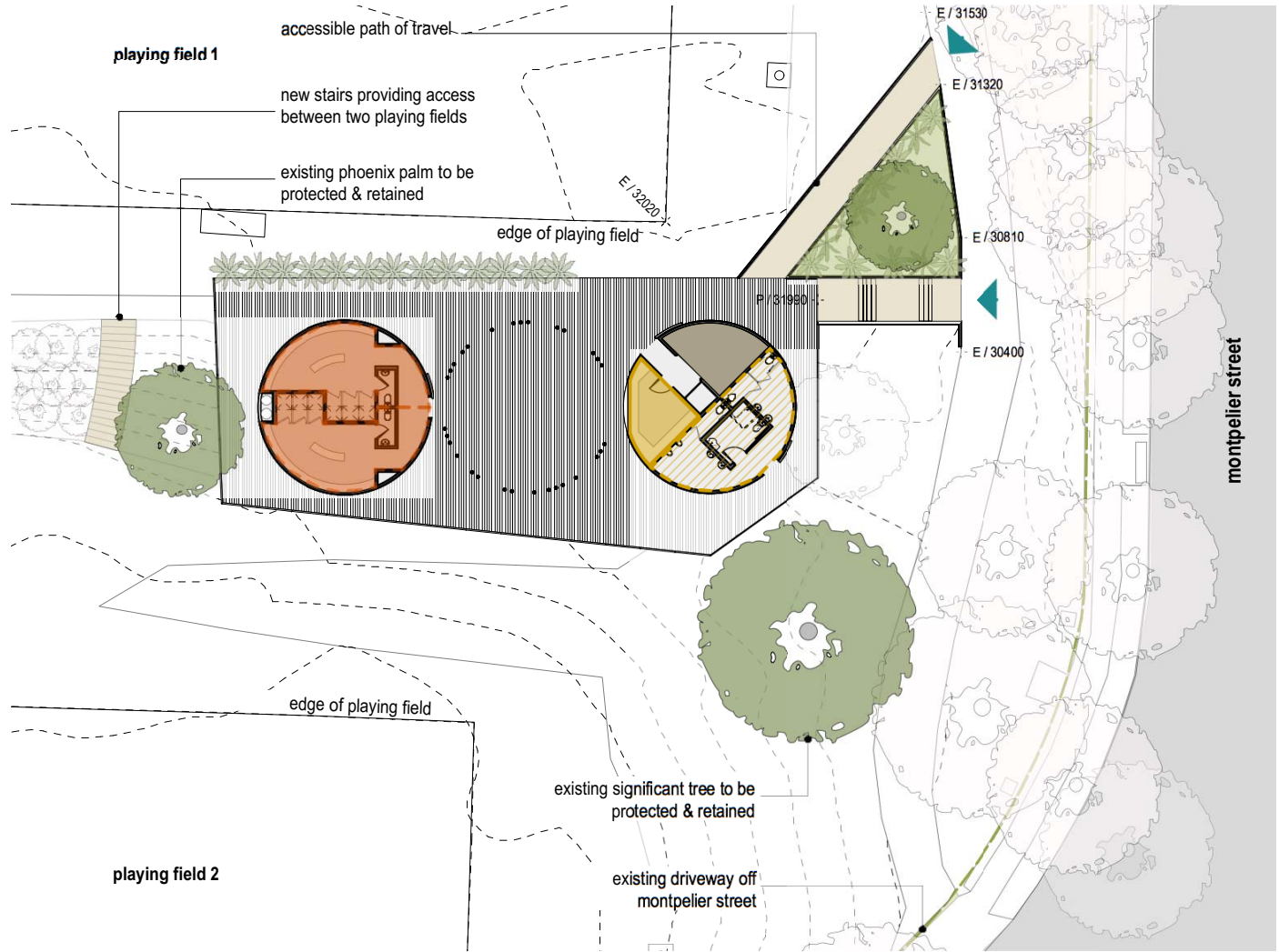
platform	349 sq m
----------	----------

### legend

 changerooms	 canteen	 storage
 toilets	 proposed platform	 new paths
 new landscpaing	 pedestrian access	



### site plan

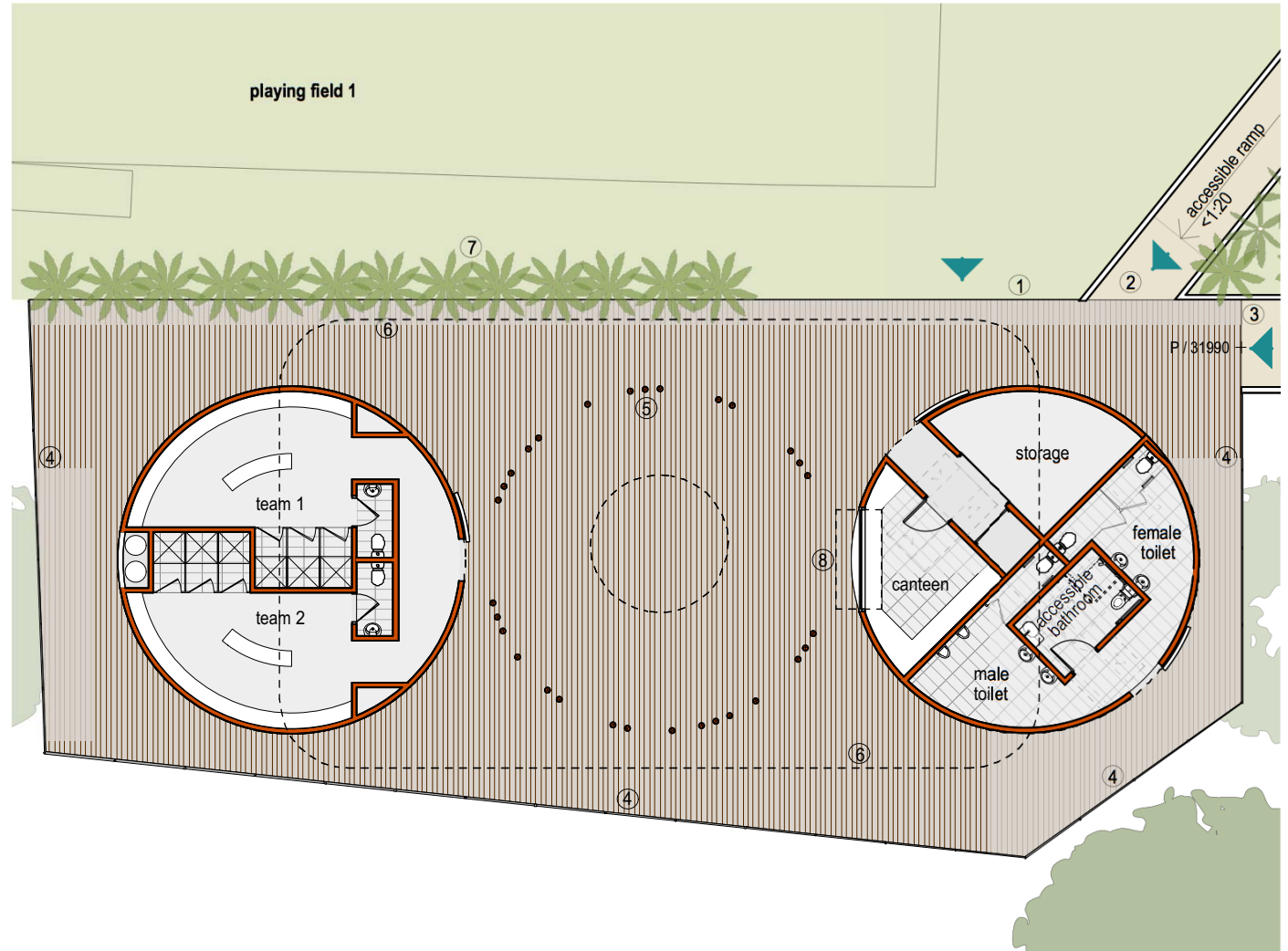


## 4.8 option 3 - concept plan

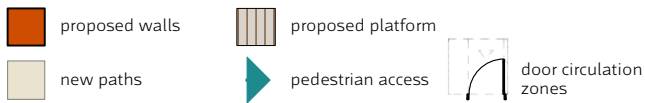
### key features

- ① level access from playing field 1
- ② accessible path of travel from existing access road
- ③ path with stairs from existing access road
- ④ balustrade on deck edge
- ⑤ columns to support canopy above
- ⑥ canopy above shown dotted
- ⑦ planting to edge of deck
- ⑧ servery to canteen

### floor plan



### legend



1:200 @ A4



## 4.9 concept design views 1



## 4.9 concept design views 2



### 4.9 concept design views 3



## 4.9 concept design views 4

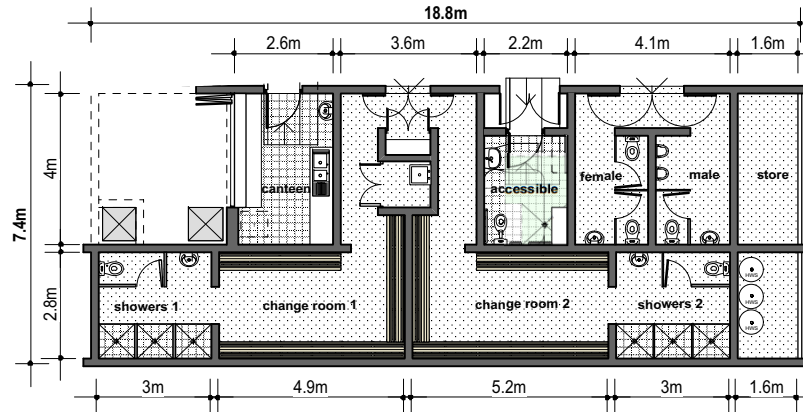


## 4.10 comparable amenity buildings

### comparable amenity buildings

#### cammeray park:

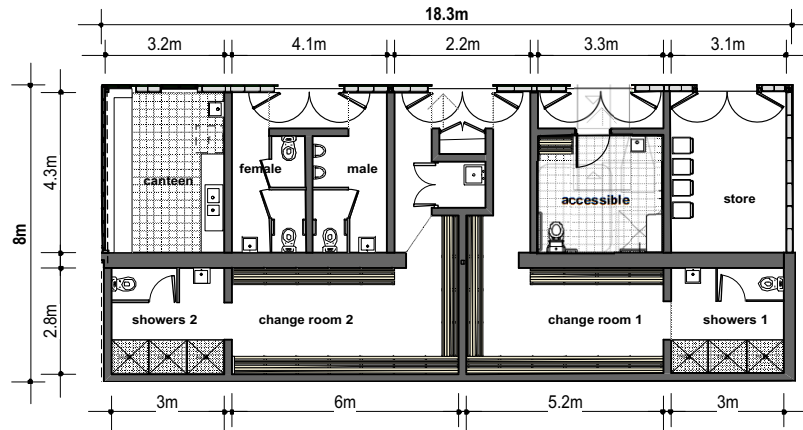
dimensions: **18.8m X 7.4m**  
 area: **124.6 m<sup>2</sup>**



cammeray park amenities

#### anderson park:

dimensions: **18.3m X 8m**  
 area: **147 m<sup>2</sup>**



anderson park amenities



1:200 @ A4

## 4.10 comparable amenity buildings cont'd

### area summary comparison

The following table summarises the area break-down of the three options and the two comparable buildings located at Cammeray Park and Anderson Park.

	option 1	option 2	option 3	cammeray park	anderson park
<b>indoor</b>					
<b>changerooms</b>	68 sq m	92 sq m	70 sq m	61 sq m	66 sq m
<b>canteen</b>	23 sq m	23 sq m	14 sq m	10 sq m	14 sq m
<b>storage</b>	32 sq m	7 sq m	14 sq m	6 sq m	13 sq m
<b>public toilets</b>	42 sq m	46 sq m	37 sq m	26 sq m	31 sq m
<b>changerooms</b>					
<b>total area p/t</b>	34 sq m	46 sq m	35 sq m	30 sq m	33 sq m
<b>change area p/t</b>	20 sq m	26 sq m	21 sq m	15 sq m	19 sq m
<b>bench meterage p/t</b>	12 m	16.8 m	9.5 m	10.8 m	13.5 m
<b>outdoor</b>					
<b>platform</b>	314 sq m	314 sq m	349 sq m	n/a	n/a

end of document

**05**  
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addenda

5.1 addendum 1  
structural engineer report



# Proposed Upgrade of Forsyth Park, for North Sydney Council Structural Feasibility Report

19-278 | 17/1/20 | Revision A

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# Document control

Rev No	Date	Revision details	Approved	Verified	Prepared
A	17/1/20	Approved Issue	SDC	SETB	SDC

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# 1.0 Introduction

Woolacotts Consulting Engineers were engaged by North Sydney Council (Council) to prepare a Structural Feasibility Report, inclusive of concept sketches for the proposed amenities building to be constructed over existing water tanks at Forsyth Park, Neutral Bay.

This report has been based upon:

- Site inspection/meeting held with Council's representatives and the project architect, Kennedy Associates Architects on 26 November 2019.
- Review of the 90% review documents prepared by Kennedy Associates Architects, dated 20/12/19.

At the time of the preparation of this report there were no existing structural drawings for the site available for review.

During the site visit, we also inspected the existing change room facilities attached to the Montessori Preschool building at the north eastern end of the site, which are proposed to be refurbished as an After School Care Facility.



Figure 1: Annotated satellite image of Forsyth Park

## 2.0 Existing Conditions

The following description of existing conditions is based upon what could be observed during our site inspection on 26 November 2019. At the time of preparation of this report, no existing structural drawings had been made available for our review.

### 2.1 Water Tanks

Three above ground water tanks are located side by side, recessed into the embankment between the two playing fields at the Park, refer Photographs 1 to 2. The tanks are circular, with concrete framed walls and concrete roof slabs. The roof of the tanks are fenced off to prevent public access.

At the time of our inspection, there was no access available to the roof of the tanks.



Photograph 1: View of tanks looking west

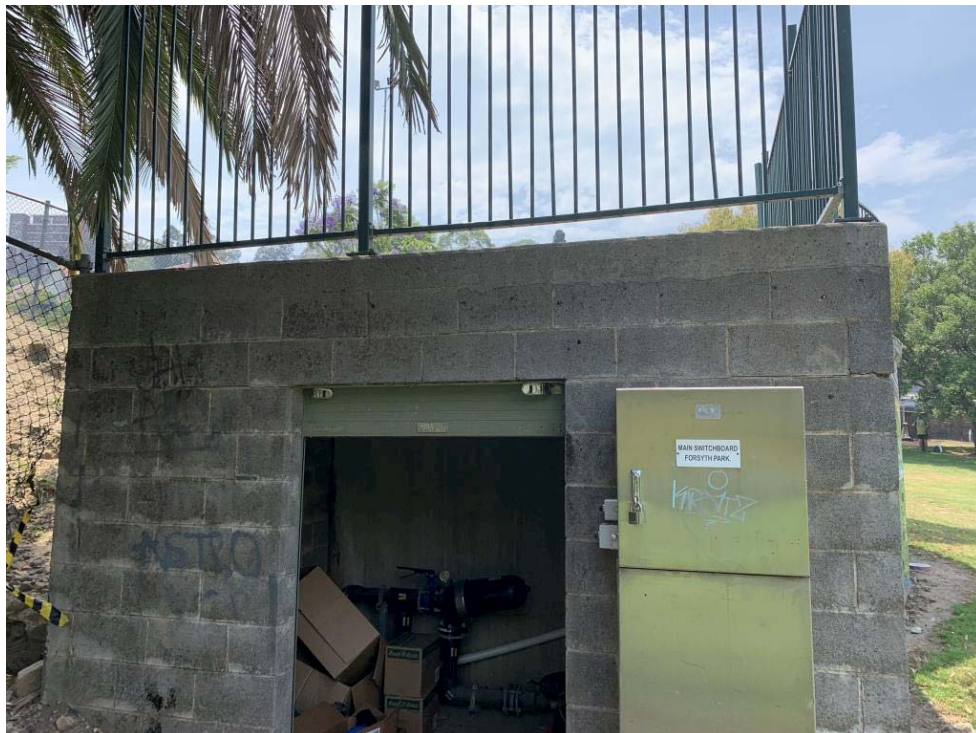


Photograph 2: Tanks recessed into embankment

A pump room is located adjacent to the western most tank, constructed of a base slab, reinforced blockwork walls and a suspended roof slab supported by permanent metal formwork – refer Photographs 3 and 4.



Photograph 3: Pump room a western end of tanks



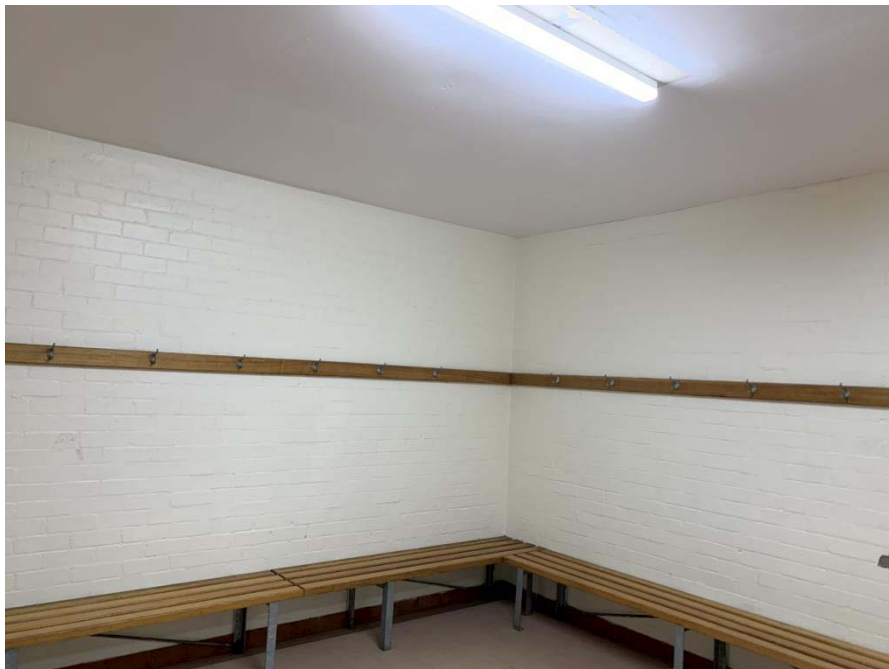
Photograph 4: Pump room a western end of tanks

## 2.2 Change Room Facility

The existing single storey building at the Northern end of the site contains changing rooms, toilets and storage areas at its eastern end and the Montessori Preschool at its western end. The construction of the eastern end of the building consists of concrete floor slabs and load bearing masonry walls supporting a timber framed, metal clad roof.



Photograph 5: Existing Building - change room facilities at eastern end.



Photograph 6: Masonry walls and set ceilings within change rooms

## 3.0 Proposed Works

The following description of the proposed works at the site is based upon our discussions at the site meeting on 26/11/19 and our review of the 90% Review document prepared by Kennedy Associates Architects.

### 3.1 New Amenities Facility Over Water Tanks

The Architectural document presents 3 options for building new amenities structures above the existing water tanks. The options each consist of reflecting the shape of the two outside water tanks in the structures above, with a raised canopy roof over the central area and timber decking on all sides - refer Figures 2 & 3, extracted from the Architectural 90% Review Document.

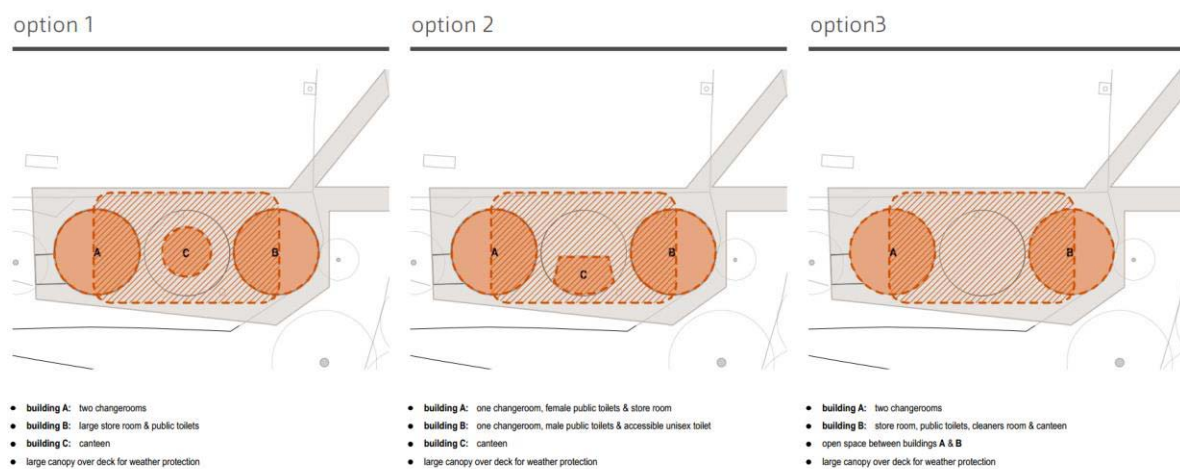


Figure 2: Floor plan options for new amenities over water tanks. Buildings shown in orange, canopy roof over dashed. Timber deck around perimeter in grey.



Figure 3: Rendering of option 1, indicating typical deck and canopy roof layout



### 3.2 After School Care Centre at Existing Building

The proposed works consist of the complete re-configuration of the internal space which will involve the demolition of the majority of the internal walls. The below existing and proposed floor plans, designated as Figures 4 to 6, have been extracted from the Architectural 90% Review Document.



Figure 4: Part existing Floor Plan – Area to be refurbished in orange

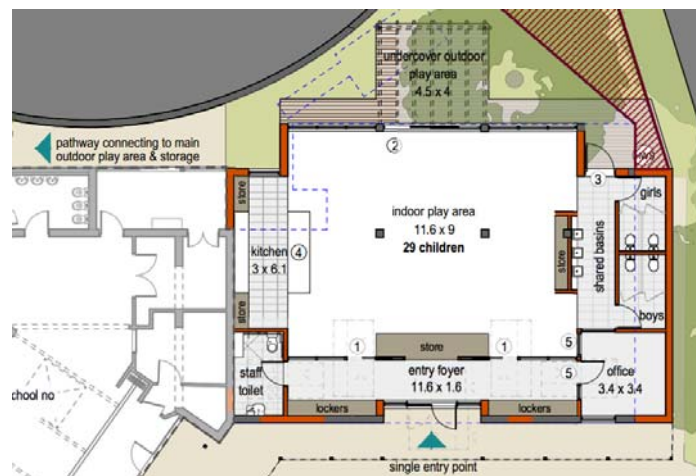


Figure 5: Proposed Floor Plan – Option 1

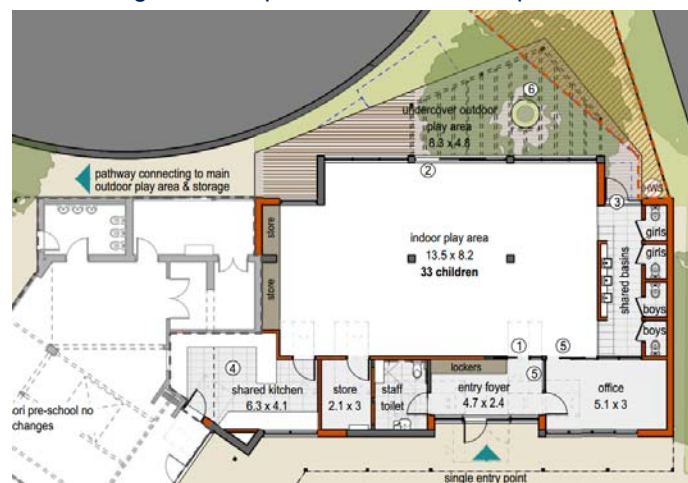


Figure 6: Proposed Floor Plan – Option 2

## 4.0 Structural Feasibility and Concepts

We have reviewed the structural feasibility of the proposed works and report as follows.

### 4.1 New Amenities Facility Over Water Tanks

We understand that the proposed amenities facility is intended to be constructed using lightweight materials (steel and timber) to minimise the depth of the structural floor framing required to span over the existing water tanks.

At the time of reporting, there were no available details of the construction of the concrete roof slabs over the tank but in our opinion the roof slabs are unlikely to have sufficient capacity to support the additional load of the proposed structures over and therefore the primary structural beams to support the new floor framing will need to span a minimum clear distance of 10 metres over the tanks. We estimate that the floor structure will therefore need to be in the order of 450 to 500mm deep.

It may be possible that the new structure can be supported directly off of the concrete tank walls but this would need to be confirmed by review of existing structural drawings (if they can be located) which indicate the tank construction and footing details. The structure will otherwise require new columns and foundations located between the tanks as shown the concept details attached as Appendix A. A geotechnical investigation should be undertaken to confirm the ground conditions for new footings.

With regard to the canopy roof shown in the architectural concepts, we recommend that columns are extended off of the new amenities buildings at either end in order to eliminate very long cantilever beams and minimise the overall depth of the roof structure. If the canopy roof is only supported by columns located over the perimeter of the centre water tank, the roof will need to be a very deep structure.

Refer to the sketches SK1 and SK2 in Appendix A for high level concept structural framing for the floor and roof structures.

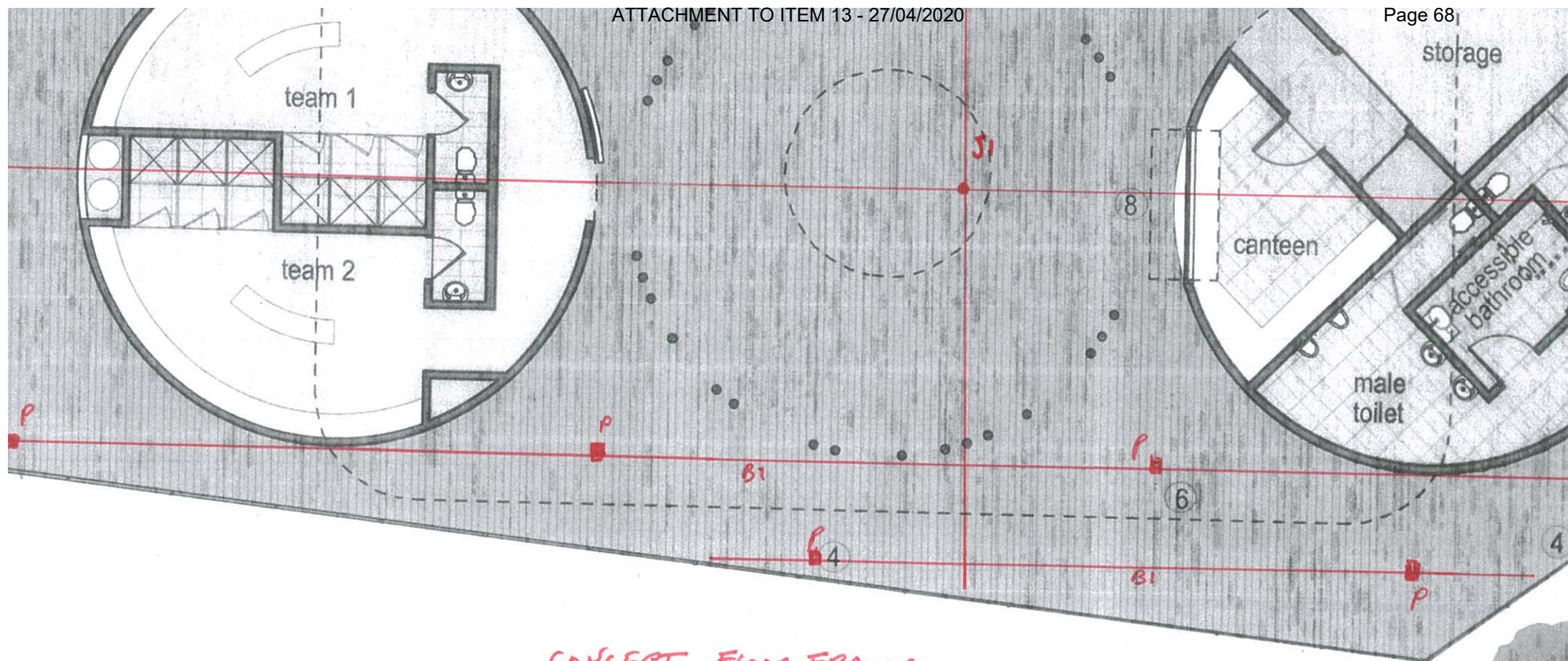
### 4.2 After School Care Centre at Existing Building

The proposed refurbishment options are both structurally feasible, but we note that the removal of the internal masonry walls will require additional structural framing to support the roof structure and ensure adequate lateral restraint is maintained.

In order to provide schematic structural design sketches, parts of the set ceilings within the building will need to be locally removed or else existing structural drawings located in order to determine how the existing roof framing is supported off of the internal masonry walls.

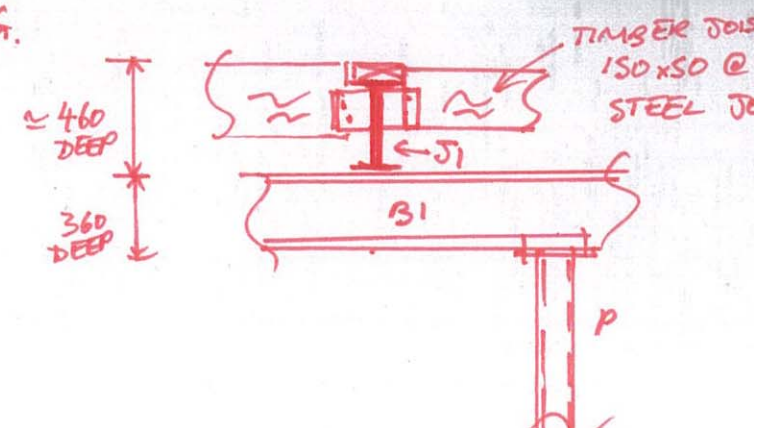
## Appendix A

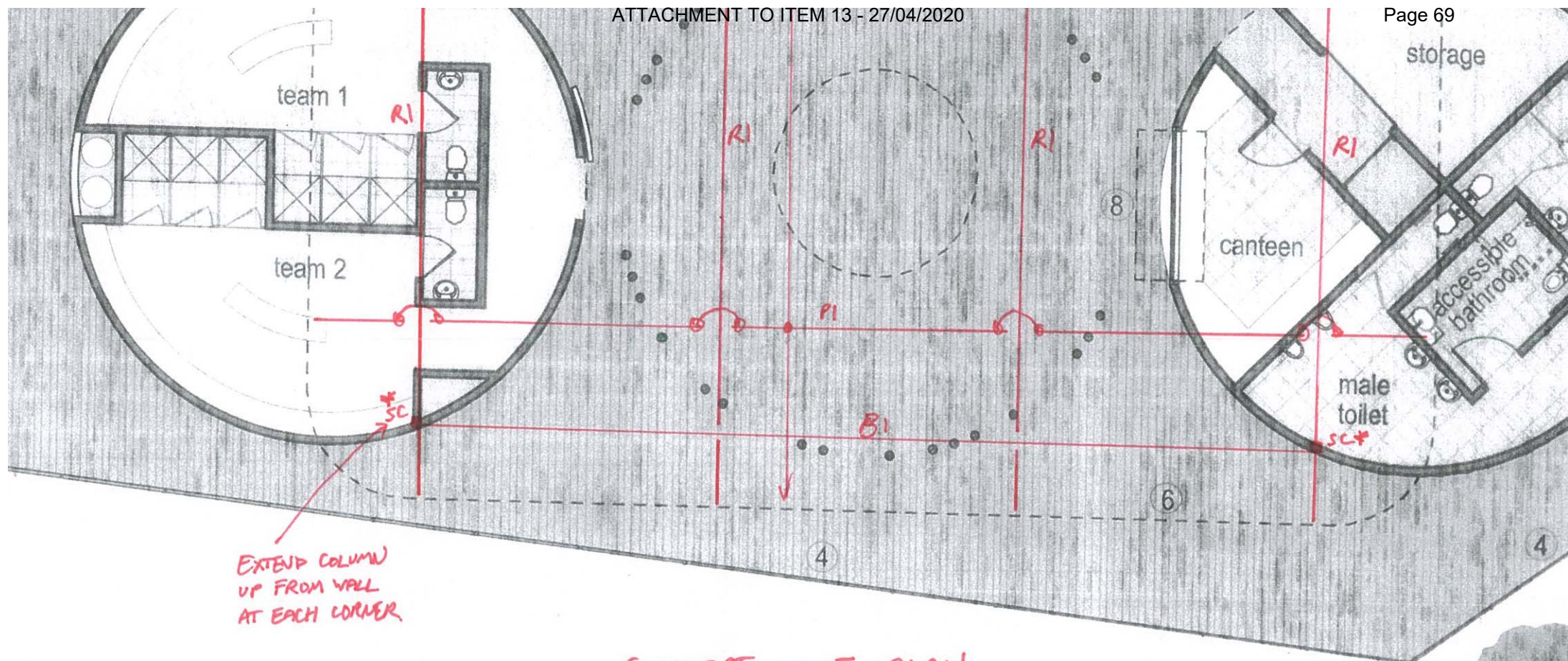
# Concept Structural Sketches



CONCEPT FLOOR FRAMING.

JOISTS J1 - NOMINALLY 40 US @ 2.5m MAX CTS  
 BEAMS - B1 - NOMINALLY 360 US UNDER JOISTS  
 POSTS - P - 200 SHS ON CONCRETE FOOTING.





CONCEPT ROOF PLAN.

IF EXTEND 2 COLUMNS EACH END FROM NEW AMENITIES BUILDINGS ⇒ OVERALL DEPTH COULD BE LIMITED TO APPROX 300 MM

- RAFTERS - R1 - 250 UB
  - BEAMS - B1 - 250 UB
  - PURLINS - P1 - C200 @ 1200 LTS
- } LOCATE WITHIN SAME DEPTH.

5.2 addendum 2  
quantity surveyor report

**FERRARIN CONSULTING SERVICES**

M. 0418287321

Email: [johnferrarin@gmail.com](mailto:johnferrarin@gmail.com)**MEMORANDUM**

DATE: 19 JANUARY 2020

TO: KENNEDY ASSOCIATES ARCHITECTS

ATTN: VANESSA ALVES DOS SANTOS, STEVE KENNEDY

FROM: JOHN FERRARIN

**SUBJECT: FORSYTH PARK – NORTH SYDNEY  
AFTER SCHOOL CARE AND AMENITIES/CHANGEROOM FACILITIES**

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As requested we have prepared an estimate of costs and advise you that the suggested budget at rates current in December 2019 is \$3,010,000 exclusive of Contingency and GST as shown in the attached Main Summary of Costs. We have suggested the addition of a 10% Contingency as shown in the Main Summary.

We attach our Indicative Budget Estimate for your reference, which includes the following:

- A. Summary of Indicative Construction Costs;
- B. Schedule of Indicative Floor Areas;
- C. Schedule of Exclusions.
- D. Schedule of Information Used.

We draw your attention to the Schedule of Exclusions in this report, which identifies items that have been excluded from the estimate and which should be considered separately in the overall feasibility study, where applicable.

Due to the preliminary nature of the drawings received and the limited design documentation made available for this review, we have made a number of assumptions in order to prepare the estimate. We recommend that prior to finalising feasibility studies that detailed estimates be prepared from further developed design documentation.

The suggested budgets are based on the concept drawings prepared by yourselves. (Refer to Schedule of Information Used.)

The estimate assumes that the works will be competitively tendered to a number of suitable contractors and based on completed design documentation.

We outline below a number of assumptions and qualifications, which have been made in the preparation of these suggested budgets:-

- i) The estimate assumes a quality of facility similar to the existing facilities.
- ii) We have not been provided with any specific/detailed site remediation reports and therefore have excluded costs in this regard. We recommend that prior to finalising any financial considerations that a Hazardous Material/Remediation Plan be prepared and considered.
- iii) The estimate of construction cost assumes that both projects will be built simultaneously, i.e. one building contract to one contractor.

- iv) The estimate assumes that the works will be tendered to appropriate contractor (not a negotiated delivery process).
- v) Assumes that materials and equipment can be delivered adjacent the works site by truck

#### AFTER SCHOOL CARE – OPTION 2

- Assumes that roof line and height will remain as existing, however we have included cost allowances for structural alterations to support roof load. We assume that childcare area will have at least 2 columns.
- Eastern façade to edge of existing verandah is new work with removal of existing column support.
- Existing floor finishes are removed and assumes there is an existing timber framed floor, with new vinyl flooring.
- Provide new concrete slab to eastern extension.
- Allow new paving to South-Western sections of existing colonnade.
- Roof drainage is as existing.
- Storage shed can be expanded by relocating existing façade and extending roof and paving (no allowance to replace roof/floor, etc).
- No allowance is included for furniture, computers, audio visual,

#### AMENITIES BUILDING – OPTION 3

- Assumes that the existing tank structure is not taking structural load and the proposed additional load will be supported independently.
- Assumes that the existing service infrastructure is suitably sized to enable connection to the new facilities.
- We have included a provisional amount for base building works to the Canteen Pod which has not yet been defined. We have included a Provisional Cost of \$150,000 for Kitchen Equipment.

We note, due to the preliminary nature of the information provided the estimate should be regarded as **“PRELIMINARY AND INDICATIVE ONLY”** at this stage. Please review these estimates when design developed drawings and project brief are available.

Should you require any further information or wish to discuss any aspect of the attached, please do not hesitate to contact us.

Regards  
FERRARIN CONSULTING SERVICES

JOHN FERRARIN  
Director



**PROPOSED AFTER SCHOOL CARE AND AMENITIES FACILITIES  
FORSYTH PARK, NORTH SYDNEY**

**SUMMARY OF INDICATIVE CONSTRUCTION COSTS**

	\$	\$
<b>A. AFTER SCHOOL CARE FACILITIES – OPTION 2</b>		
DEMOLITION AND PREPARATION	175,000	
MAIN BUILDING WORKS	575,000	
EXTERNAL WORKS	220,000	
CIVIL SERVICES	<u>20,000</u>	990,000
<b>B. PLAYER CHANGEROOM AND PLAYERS AMENITIES – OPTION 3</b>		
PREPARATION WORKS	55,000	
MAIN BUILDING WORKS	1,325,000	
KITCHEN EQUIPMENT – PROVISIONAL	150,000	
EXTERNAL WORKS	475,000	
CIVIL SERVICES	<u>15,000</u>	2,020,000
		3,010,000
DESIGN CONTINGENCY – 10% - SAY		<u>300,000</u>
<b>SUGGESTED BUDGET AT DECEMBER 2019 RATES – Excl. GST</b>		<b>\$3,310,000</b>

OPTION

ADDITIONAL COST TO PROVIDE CONCRETE ROOF TO AMENITY/CHANGEROOM  
WITH TURFING – NOT APPLICABLE

INDICATIVE ADDITIONAL COST TO PROVIDE OPTION 1 TO AFTER SCHOOL

CARE OVER OPTION 2 (INCL. STORAGE)	ADD	\$50,000
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**PROPOSED AFTER SCHOOL CARE AND AMENITIES FACILITIES  
FORSYTH PARK, NORTH SYDNEY****SCHEDULE OF INDICATIVE FLOOR AREAS**

	<b>GFA (m<sup>2</sup>)</b>
AFTER SCHOOL CARE FACILITIES – 0.2	184
KITCHEN ALTERATIONS	<del>20</del> 204
PLAYER CHANGEROOMS, AMENITIES – 0.3 AMENITIES	<del>237</del>
<b>TOTAL INDICATIVE FLOOR AREA (m<sup>2</sup>)</b>	<b>441</b>

**PROPOSED AFTER SCHOOL CARE AND AMENITIES FACILITIES  
FORSYTH PARK, NORTH SYDNEY****SCHEDULE OF EXCLUSIONS**

The following items have been excluded from these estimates and should be provided for separately in the feasibility: (if applicable)

1. Land Costs, Legal Fees, Interest Charges, Holding Costs.
2. DA/CC fees and charges, Authority Fees, Section 61 and 94, 73 Contributions, Headworks charges, Long Service Leave Levy.
3. Design & Consultant fees, Project Management Fees.
4. Site Remediation, removal of asbestos and/or hazardous materials.
5. Diversion of existing services.
6. Amplification/upgrade of existing services infrastructure to the site.
7. Maintenance and/or upgrade works to buildings/park other than as shown on scope drawings.
8. Staging costs.
9. Loose Furniture, Operating Plant and Equipment and Supplies
10. Scope of Works not shown on sketch plans.
11. Escalation in construction costs beyond December 2019.
12. Design, Construction and Development Contingencies.

**PROPOSED AFTER SCHOOL CARE AND AMENITIES FACILITIES  
FORSYTH PARK, NORTH SYDNEY****SCHEDULE OF INFORMATION USED**

The budget estimate is prepared from concept scope documents prepared by Kennedy Architects as follows:-

Player Changeroom and Public Amenity Facility

Concept Design Issue – dated 18/6/19

Sketch 011A

Sketch 012A

After School Care

Existing Building Plan dated 18/6/19

Sketch 001A Option 2

Sketch 004A Option 2

Sketch 005A Option 2

**FORSYTH PARK NORTH SYDNEY****AFTER SCHOOL CARE-OPTION 2****PRELIMINARY AND INDICATIVE ESTIMATE OF CONSTRUCTION COSTS****MAIN SUMMARY OF ESTIMATED COSTS**

<b>PREPARATORY WORKS</b>		\$	\$	\$
DEMOLITION WORKS	204	300	61,200	
DEMOLITION , DECKS,TERRACES etc	200	80	16,000	
PROTECTION	1	20000	20,000	
TEMPORARY SCREENING	1	10000	10,000	
SITE FENCING	80	100	8,000	
DEMOLISH RETAINING WALLS,LANDSCAPE	1	5000	5,000	
REMOVE TREES	1	2000	2,000	
SERVICES DISCONNECTION AND MG	1	5000	5,000	
ENVIRONMENTAL CONTROL	1	10000	10,000	
PRELIMINARIES AND MARGIN	1	25000	25,000	162,200
<b>BULK EARTHWORKS</b>				
BULK EXCAVATION-GENERAL ALLOWANCE	1	4000	4,000	
SHORING/SURFACE STABILISATION	1	0	-	
RETAINING WALL	1	4000	4,000	
SERVICES DIVERSION	1	2000	2,000	
FOUNDATION PILING provisional			N/A	
PRELIMINARIES MARGIN	1	3000	3,000	13,000
<b>AFTER SCHOOL CARE</b>				
AFTER SCHOOL BUILDING-SEE ANALYSIS	204	2810	573,240	
REFURB EXISTING KITCHEN	20		incl	573,240
<b>EXTERNAL WORKS</b>				
PROTECT EXISTING TREE	1	2000	2,000	
NEW NARROW PATHWAY	40	200	8,000	
ALTERATION TO EXISTING STORAGE SHED	1	15000	15,000	
OUTDOOR UNDERCOVER ROOF	30	1250	37,500	
OUTDOOR SOFT FLOORIONG	60	800	48,000	
RELOCATE EXISTING FENCING	15	600	9,000	
NEW SITE FENCING	18	550	9,900	
RELANDSCAPE	110	100	11,000	
MAKE GOOD EXISTING LANDSCAPE	32	300	9,600	
MAKE GOOD TO PAVING AT ENTRY	36	200	7,200	
GENERAL LANDSCAPE	1	4000	4,000	
SIGNAGE	1	2000	2,000	
IRRIGATION	1	3000	3,000	
EXTERNAL LIGHTING	1	6000	6,000	
EXTERNAL SERVICES	1	8000	8,000	
PRELIMINARIES	1	40000	40,000	220,200
<b>CIVIL SERVICES</b>				
ALLOW FOR CIVIL SERVICES	1	20000	20,000	20,000
<b>SUGGESTED BUDGET AT DECEMBER 2019 RATES,EXCL GST</b>			<b>988,640</b>	<b>988,640</b>
AVERAGE COST PER M2 FECA			5,573	

**FORSYTH PARK NORTH SYDNEY  
AFTER SCHOOL CARE-OPTION 2**

**PRELIMINARY AND INDICATIVE BUDGET ESTIMATE OF CONSTRUCTION COST**

**ELEMENTAL ANALYSIS OF COST**

	QUANTITY	RATE \$	TOTAL \$
Substructure-generally existing	169	100	16,900
New concrete slab to east	28	600	16,800
Columns	4	1000	4,000
Roof-make good	169	80	13,520
Roof-structural provision (assume 2 column supports remain)	1	20000	20,000
Roof drainage-make good only	1	6000	6,000
External Walls			-
Cavity brickwork	60	400	24,000
Glazed façade	65	800	52,000
Make good existing brickwork	30	50	1,500
Façade Screening-assumed scope	1	5000	5,000
External doors-Main Entry	1	12000	12,000
Toilet entry door	1	1500	1,500
Internal Walls			-
Single skin wall	80	200	16,000
Glazed wall	24	700	16,800
plasterboard walls	20	120	2,400
Internal Doors			-
internal door	4	1100	4,400
Toilet cubicle door	4	700	2,800
Sliding office door	1	2000	2,000
Wall Finishes	204	120	24,480
Floor Finishes-make good existing slab and new vinyl	204	140	28,560
Tile to amenities	18	200	3,600
Ceiling Finishes	204	100	20,400
Fitments			
Kitchen joinery and prep kitchen,pantry	1	15000	15,000
Appliances	1	3000	3,000
Store Room joinery	1	4000	4,000
Staff toilet	1	2000	2,000
Lockers	33	300	9,900
Office joinery	1	2000	2,000

Basin room	1	3000	3,000
Bathroom joinery and fittings	1	3000	3,000
General joinery	1	2000	2,000
Hydraulic Services	204	250	51,000
Electrical Services	204	200	40,800
Fire services	1	2000	2,000
Mechanical Services	204	160	32,640
BWIC	1	5000	5,000

**ESTIMATED COST EXCL PRELIMINARIES  
AND MARGIN**

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470,000

**HEAD CONTRACTOR PRELIMINARIES AND MARGIN,say 22%**

103,400

**ESTIMATED COST AT DECEMBER 2019 RATES  
TO MAIN SUMMARY OF COSTS**

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573,400

**COST PER M2**

2,810.78

**ASSUMES WORKS CARRIED OUT SIMULTANEOUSLY WITH AMENITIES PROJECT**

**FORSYTH PARK NORTH SYDNEY****PLAYER CHANGEROOM AND PUBLIC AMENITY-OPTION 3****PRELIMINARY AND INDICATIVE ESTIMATE OF CONSTRUCTION COSTS****MAIN SUMMARY OF COSTS**

<b>FLOOR AREAS</b>	<b>GFA</b>	<b>GBA</b>	<b>BALCONY TERRACE</b>	<b>TOTAL</b>
PLAYER CHANGEROOM	79			
AMENITIES	79			
CANTEEN ENCLOSURE	79			
GARAGE	0			
		237		
PLATFORM/DECK OVER TANKS	500			
<b>TOTAL</b>	<b>737</b>	<b>0</b>	<b>0</b>	<b>-</b>
ADD				

**SUMMARY OF ESTIMATED COSTS****PREPARATORY WORKS**

		\$	\$	\$
DEMOLITION WORKS		180	-	
DEMOLITION , DECKS,TERRACES etc		80	-	
SITE FENCING		45	-	
DEMOLISH RETAINING WALLS,LANDSCAPE	1	20000	20,000	
REMOVE TREES	1	5000	5,000	
SERVICES DISCONNECTION AND MG	1	5000	5,000	
ENVIRONMENTAL CONTROL	1	5000	5,000	
PRELIMINARIES AND MARGIN	1		-	
				35,000

**BULK EARTHWORKS**

BULK EXCAVATION	200	80	16,000	
SHORING/SURFACE STABILISATION		400	-	
RETAINING WALL		800	-	
SERVICES DIVERSION	1	5000	5,000	
FOUNDATION PILING provisional			N/A	
PRELIMINARIES MARGIN	1		-	
				21,000

**BUILDINGS**

PLATFORM-STRUCTURAL STEEL	500	500	250,000	
COLUMN FOOTINGS	12	6000	72,000	
PLATFORM JOISTS,DECK	500	300	150,000	
PLAYER CHANGEROOM	79	3900	308,100	
PUBLIC AMENITY	79	3900	308,100	
CANTEEN AREA	79	3000	237,000	
				1,325,200
<b>CANTEEN-PROVISIONAL EQUIPMENT ALLOWANCE</b>	<b>1</b>	<b>150000</b>	<b>150,000</b>	<b>150,000</b>



<b>EXTERNAL WORKS</b>			-	
ACCESS FROM FIELD 1	1	8000	8,000	
ACCESSIBLE PATH FROM ACCESS ROAD	35	400	14,000	
PATH FROM ACCESS ROAD	20	400	8,000	
STAIRCASE TO PATH	1	3000	3,000	
BALUSTRADE TO PLATFORM DECK	60	1100	66,000	
CANOPY ABOVE ENCLOSURES	286	400	114,400	
COLUMNS SUPPORTING CANOPY	32	1100	35,200	
SOFFIT LINING TO CANOPY	286	200	57,200	
GLAZED SKYLIGHT	1	6000	6,000	
PLANTING TO NORTH OF DECK	40	500	20,000	
DRIVEWAY CROSSOVER	1	2000	2,000	
NEW STAIRS TO PLAYING FIELDS	1	12000	12,000	
PROTECT PHOENIX PALM	1	2000	2,000	
PROTECT SIGNIFICANT TREE	1	2000	2,000	
BOUNDARY WALLS	1	5000	5,000	
SOFT LANDSCAPE	1	15000	15,000	
HARD LANDSCAPE	1	2000	2,000	
IRRIGATION	1	3000	3,000	
EXTERNAL LIGHTING	1	5000	5,000	
EXTERNAL SERVICES	1	5000	5,000	
PRELIMINARIES	1	90000	90,000	
			-	474,800
<b>CIVIL SERVICES</b>			-	
ALLOW FOR CIVIL SERVICES	1	15000	15,000	15,000
			-	
<b>SUGGESTED BUDGET AT DECEMBER 2019 RATES,EXCL GST</b>			2,021,000	2,021,000
<b>FURNITURE,FITTINGS AND EQUIPMENT</b>			EXCL	EXCL
<b>(see above for kitchen equipment)</b>				
DESIGN AND CONSULTANT FEES-EXCLUDED			EXCL	EXCL
DESIGN CONTINGENCY, EXCLUDED			EXCL	EXCL
<b>TOTAL SUGGESTED BUDGET AT DECEMBER 2019 RATES-EXCL GST</b>			<b>2,021,000</b>	<b>2,021,000</b>